



8204 HARDING AVE., Miami Beach, FL

PROPOSED NEW 3 & 4 STORIES TOWNHOUSE PROJECT WITH 7 UNITS
FINAL SUBMITTAL | HISTORIC PRESERVATION BOARD | FILE NUMBER (HPB - 19 - 0297)
04.08.19

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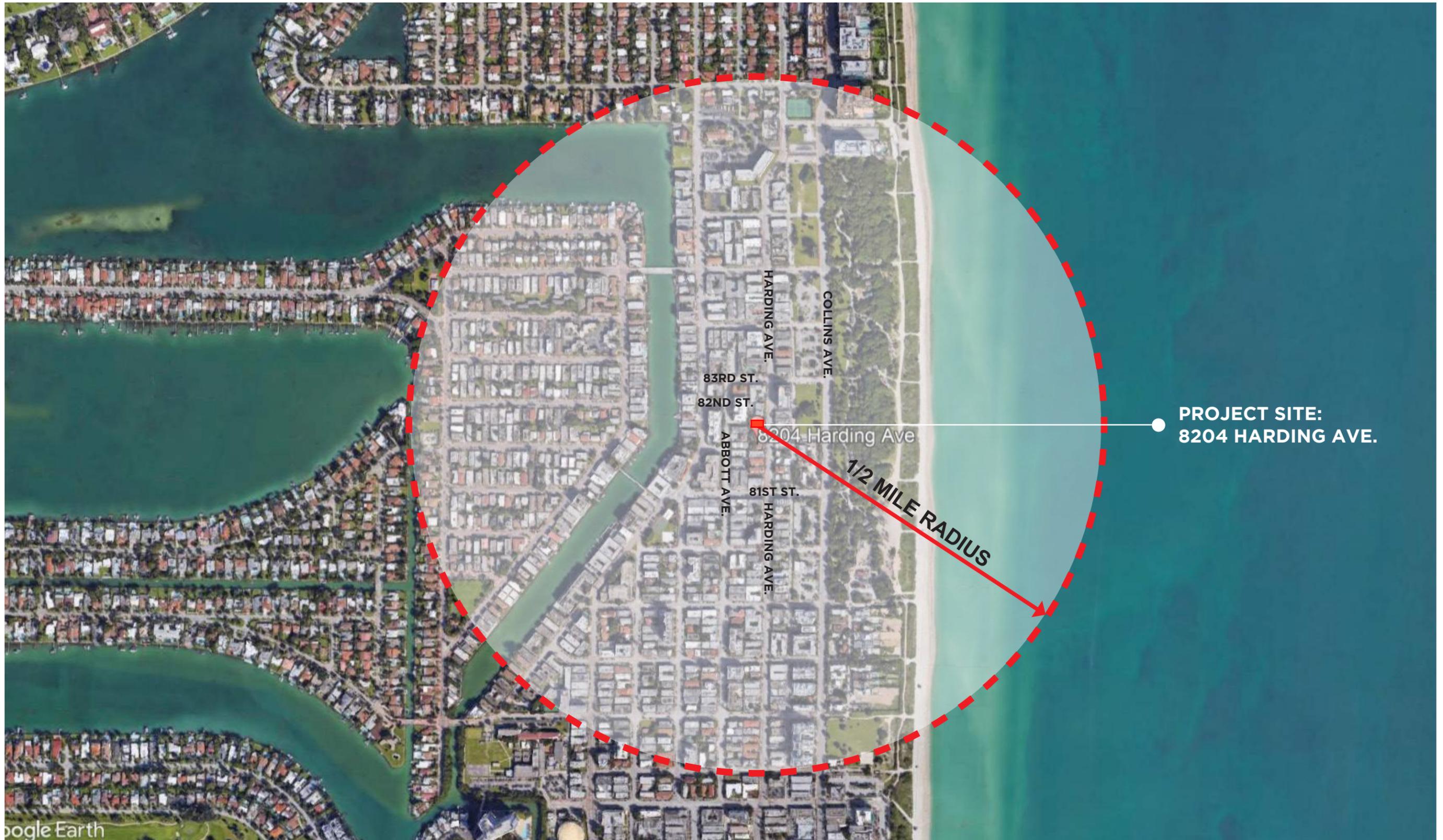
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LEGEND

- | | |
|---------|-----------------------------|
| 1 Story | ± 5' Rear Setback |
| 2 Story | ± 10' Plus Front Setback |
| 3 Story | ± 10' or Less Front Setback |
| 4 Story | ± 7'5' Front Setback |
| 5 Story | |
| 7 Story | |



EMPTY LOT WITH ADJACENT PROPERTIES



FRONT APPROACH (EAST SIDE)



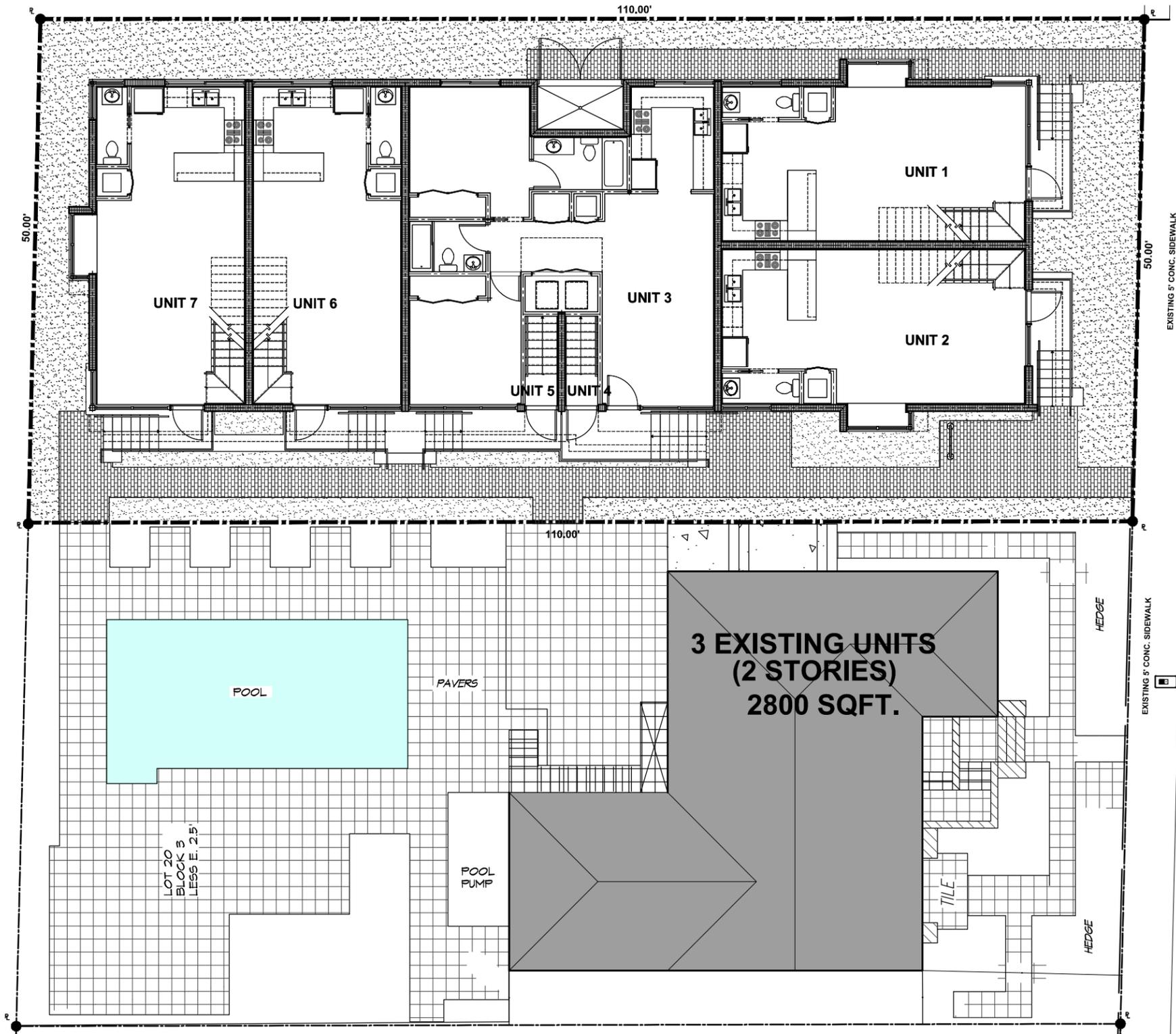
SIDE APPROACH CLOSE-UP (EAST OF LOT)



EXISTING PROPERTY (SOUTH OF LOT)

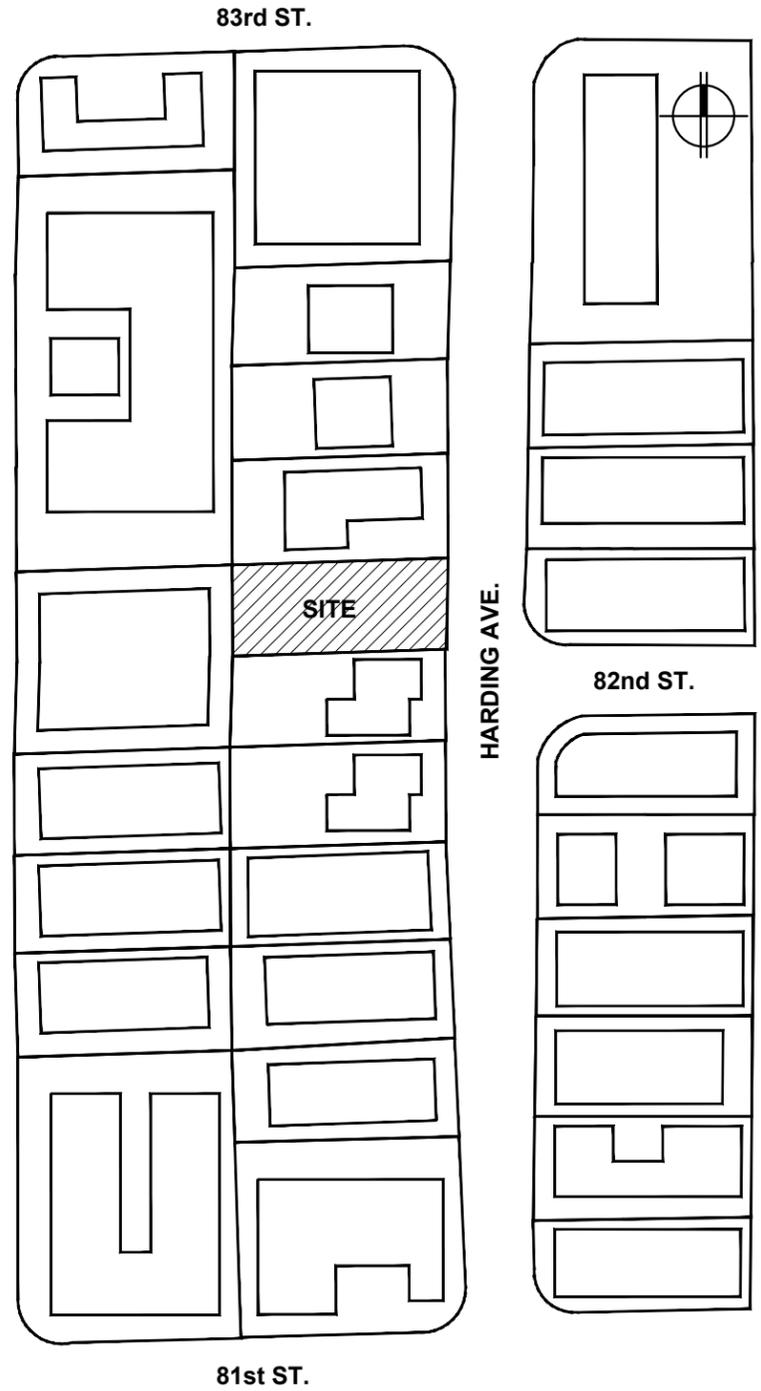


EXISTING PROPERTY (NORTH OF LOT)



HARDING AVENUE

ABBOT AVE.



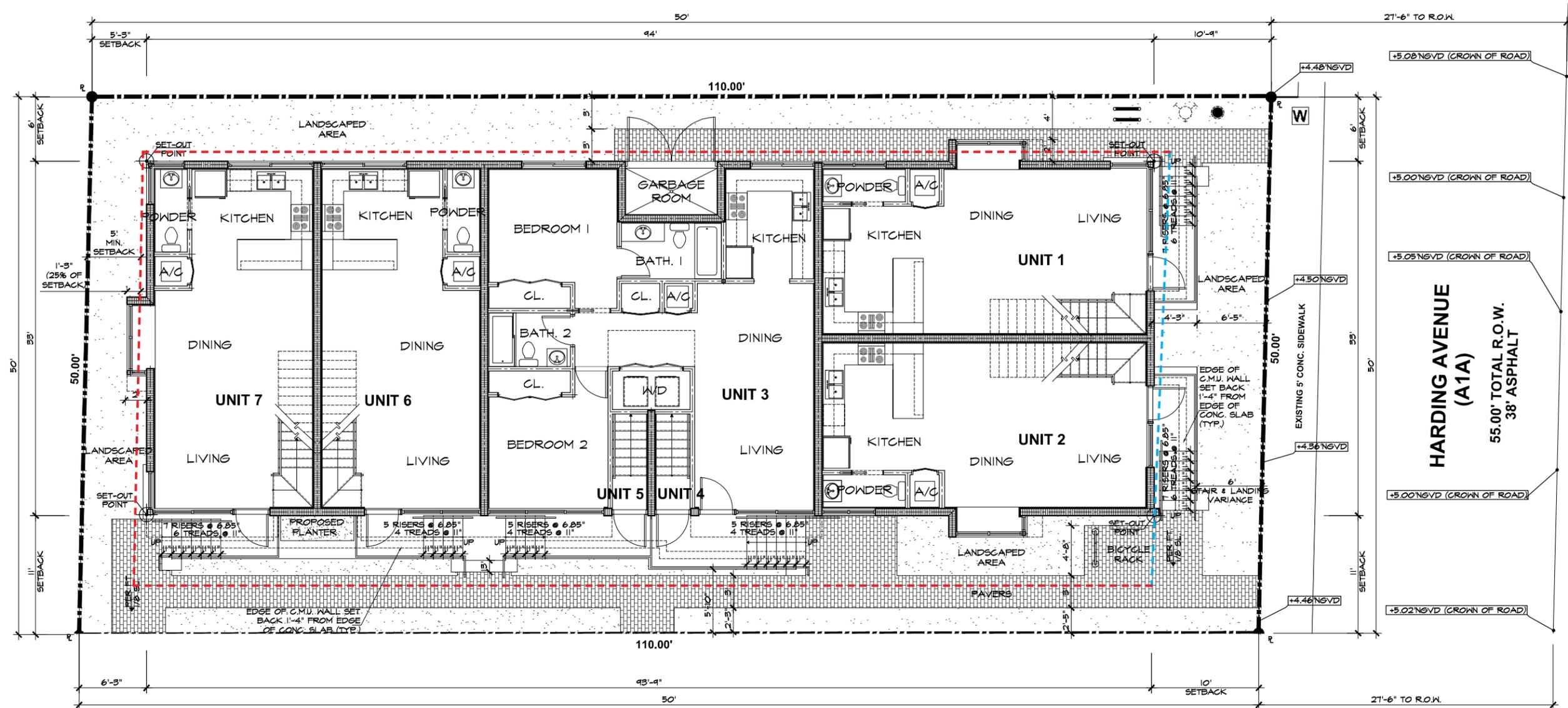
CONTEXT PLAN

N.T.S.

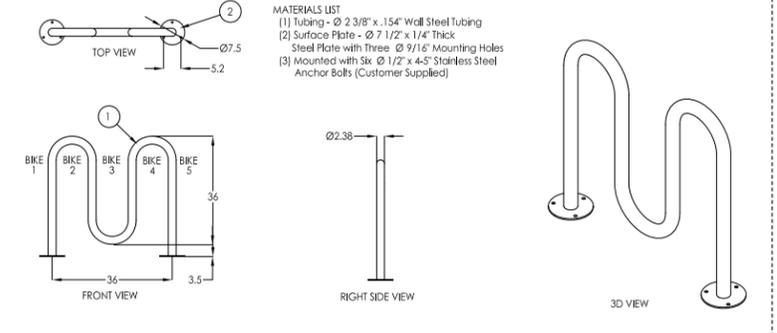


LOCATION MAP

FINAL SUBMITTAL / 04.08.19 N.T.S.



BICYCLE RACK DETAIL



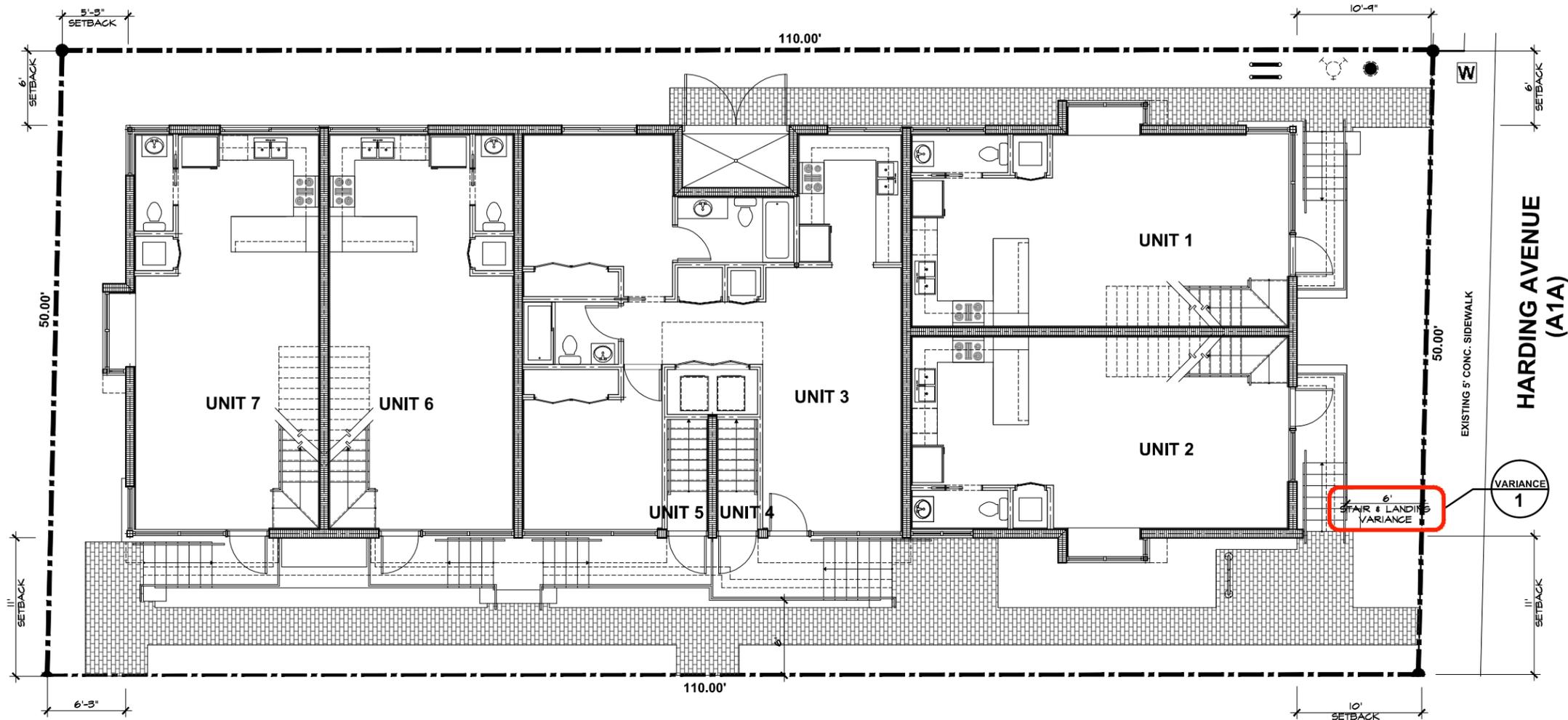
SITE PLAN

SCALE $\frac{3}{32}'' = 1'-0''$
FINAL SUBMITTAL / 04.08.19

REQUIRED SETBACK

- 10' MIN.
- 5' MIN.

LEGAL DESCRIPTION			
LOT 19, LESS E2.5FT BLOCK 3, HAYNSWORTH BEACH SUB PB 41-2 OR 18675-1409 05 1999 1			
ZONING INFORMATION			
ZONING	RM-1		
No. OF UNITS	7		
LOT AREA	5,500 SQFT.		
F.A.R.	1.25		
TOTAL ALLOWABLE AREA	ALLOWED	PROVIDED	
	6,875 SQFT. MAX.	6,854 SQFT. (TOTAL BUILDING AREA)	
No. OF STORIES	5 STORIES MAX.	4 STORIES	
BUILDING HEIGHT	45'-0" MAX.	40'-9 1/2" TOP OF ROOF EDGE TO B.F.E. +1'	
SET BACKS	REQUIRED	PROVIDED	
	FRONT	10'-0"	10'-0"
	SIDE	5'-0"	6'-0"
	SIDE	5'-0"	11'-0"
	REAR	5'-0"	5'-3"
PARKING	NONE REQUIRED		

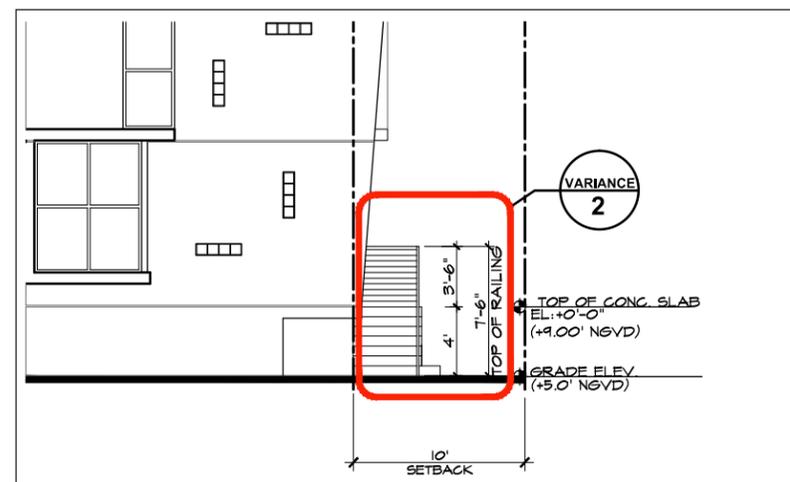


VARIANCES & WAIVERS REQUESTED
KEY NOTES:

- 1- FRONT SETBACK AS PER RM-1 REQUIRED: 10' MIN. PROVIDED: 6' TO STAIR LANDING
- 2- MAXIMUM HEIGHT OF RAILINGS AT LANDINGS REQUIRED: 5' ABOVE GRADE PROVIDED: 7'-6" LANDING HEIGHT ABOVE GRADE
- 3- BUILDING DEPTH HEIGHT RESTRICTION: REQUIRED: 32' OF HEIGHT IN 25' OF BUILDING DEPTH
WAIVER: 32' OF HEIGHT IN 20' OF BUILDING DEPTH
- ROOF CANOPY FOR HPB REVIEW

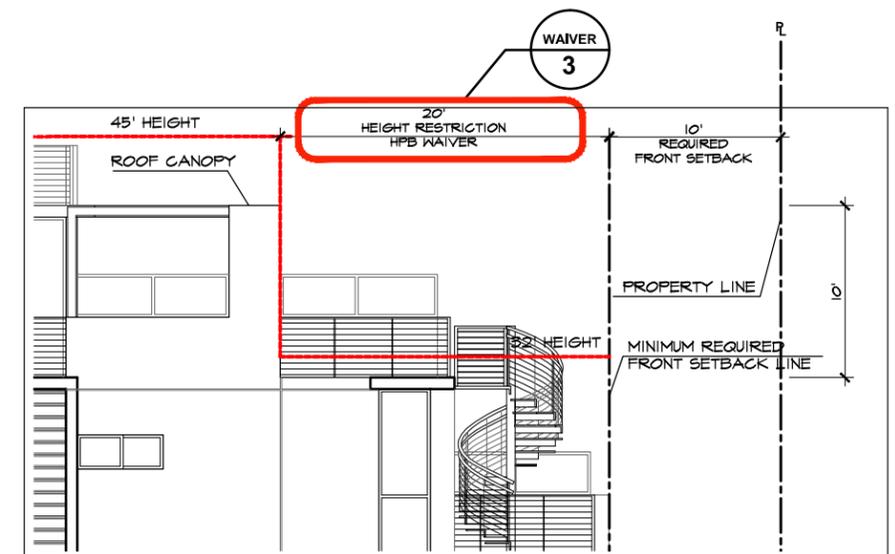
SITE PLAN SETBACKS & VARIANCE DIAGRAM

N. SCALE 3/32" = 1'-0"



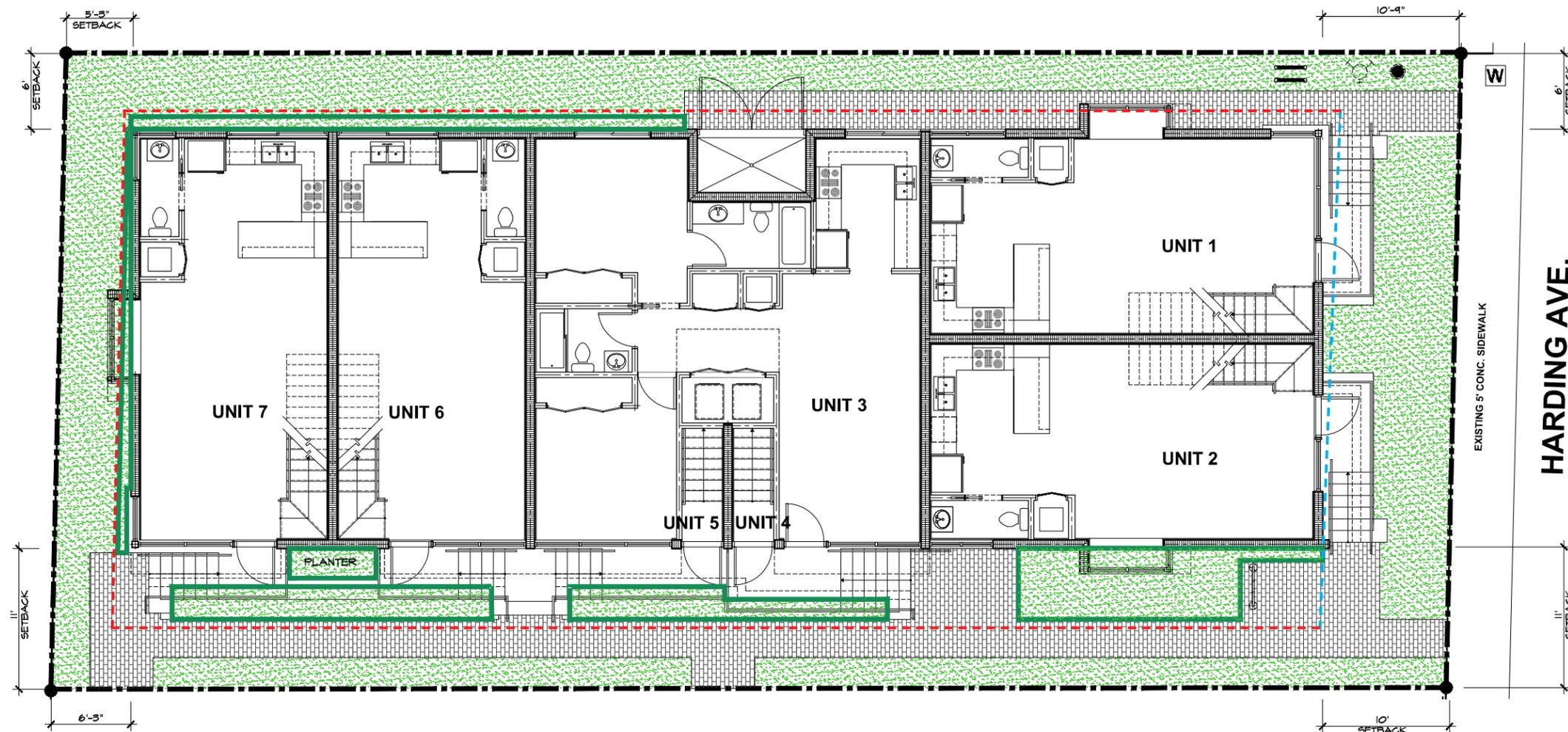
RAILINGS HEIGHT

SCALE 3/32" = 1'-0"



BUILDING HEIGHT RESTRICTION WAIVER

SCALE 3/32" = 1'-0"



TOTAL LANDSCAPED AREA: 1,420 SQ.FT.
TOTAL HARDSCAPED AREA: 674 SQ.FT.

NATURALLY LANDSCAPED AREAS:
 AS PER SECTION 142-884(d):
 5% MIN. LANDSCAPED AREA REQUIRED WITHIN SETBACK: 275 SQ.FT.
 (TOTAL LOT AREA: 5,500 SQ.FT.)
 - LANDSCAPED AREA PROVIDED WITHIN SETBACK: 300 SQ.FT. (5%)
 - TOTAL LANDSCAPED AREA PROVIDED: 1,420 SQ.FT. (26%)

HARDSCAPED AREA:
 (TOTAL LOT AREA: 5,500 SQ.FT.)
 - HARDSCAPED AREA PROVIDED: 674 SQ.FT. (12.25%)

-  ALL NATURALLY LANDSCAPED AREAS
-  NATURALLY LANDSCAPED AREAS IN ADDITION TO REQUIRED SETBACK
-  HARDSCAPED AREAS

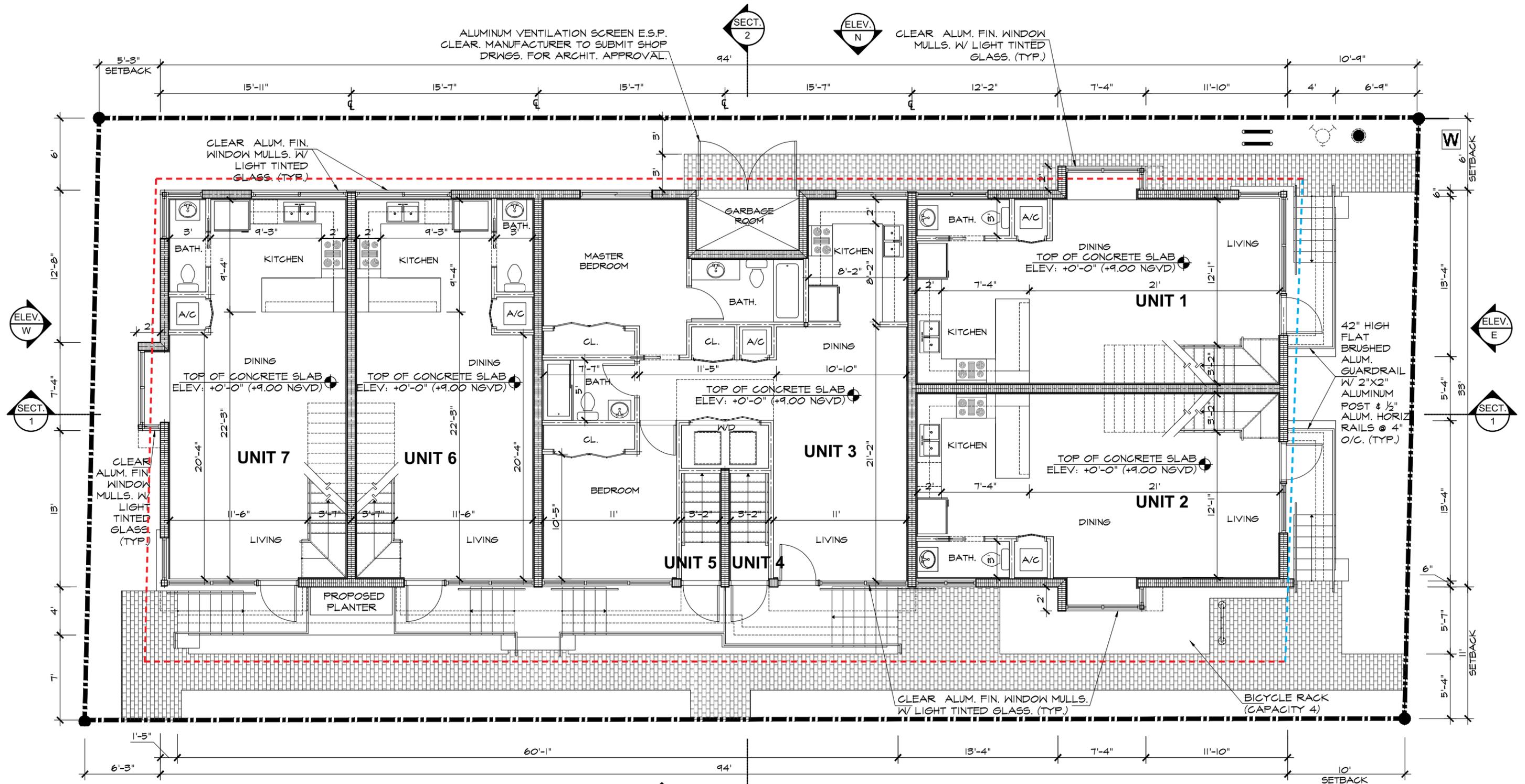
- REQUIRED SETBACK**
-  10' MIN.
 -  5' MIN.

**LANDSCAPED AND
 HARDSCAPED
 AREAS DIAGRAM**

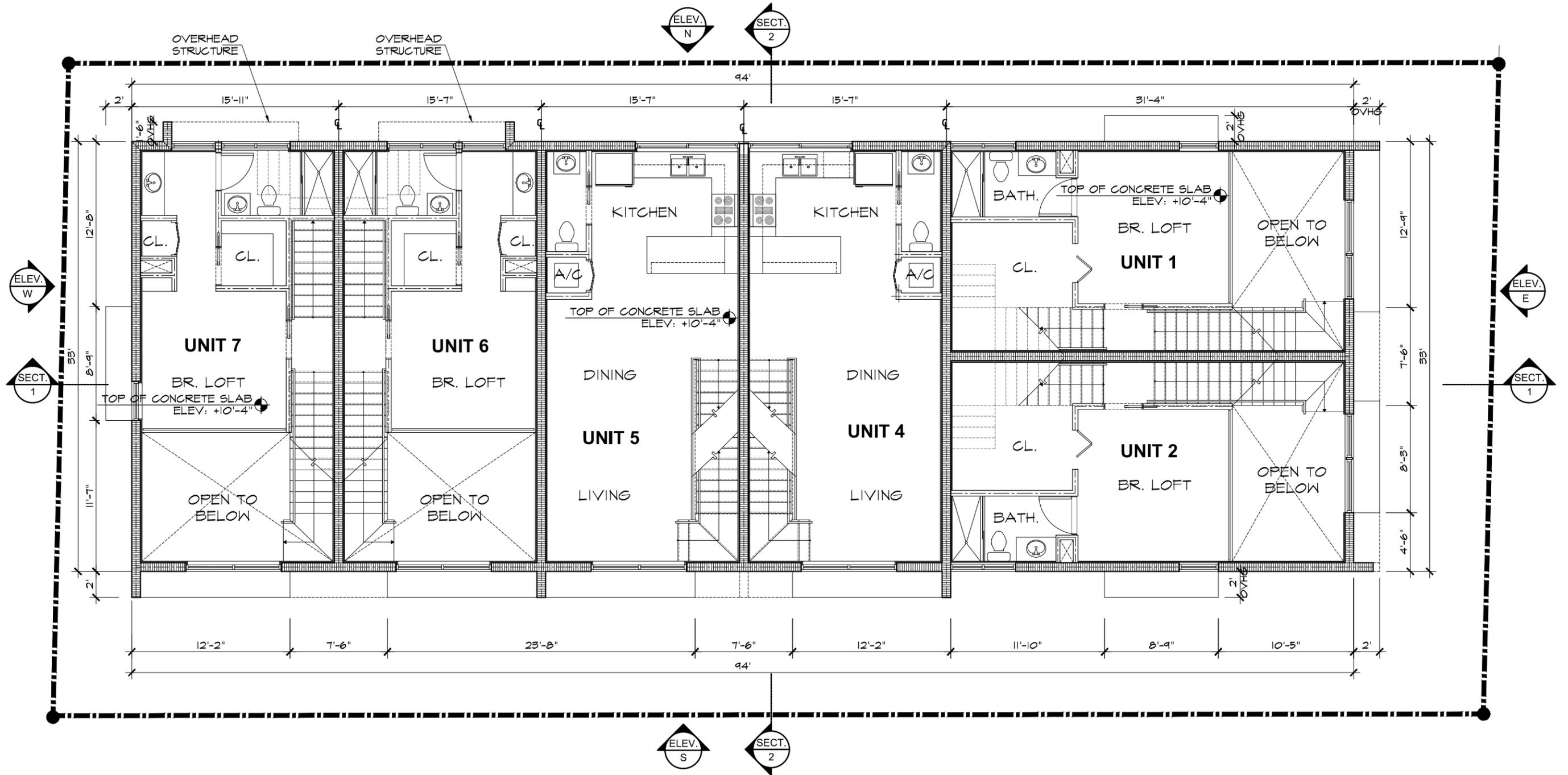


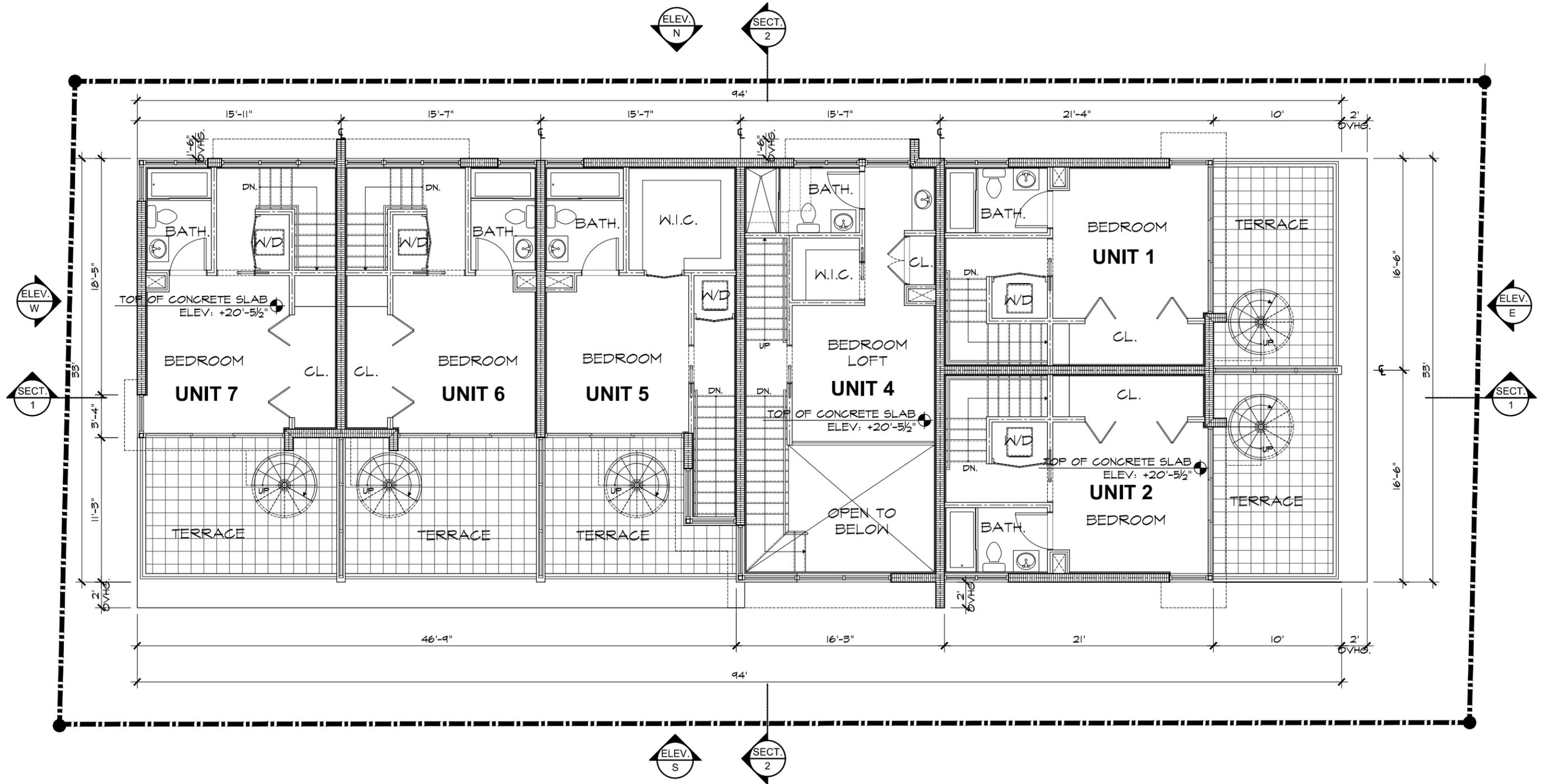
N. SCALE $\frac{3}{32}'' = 1'-0''$

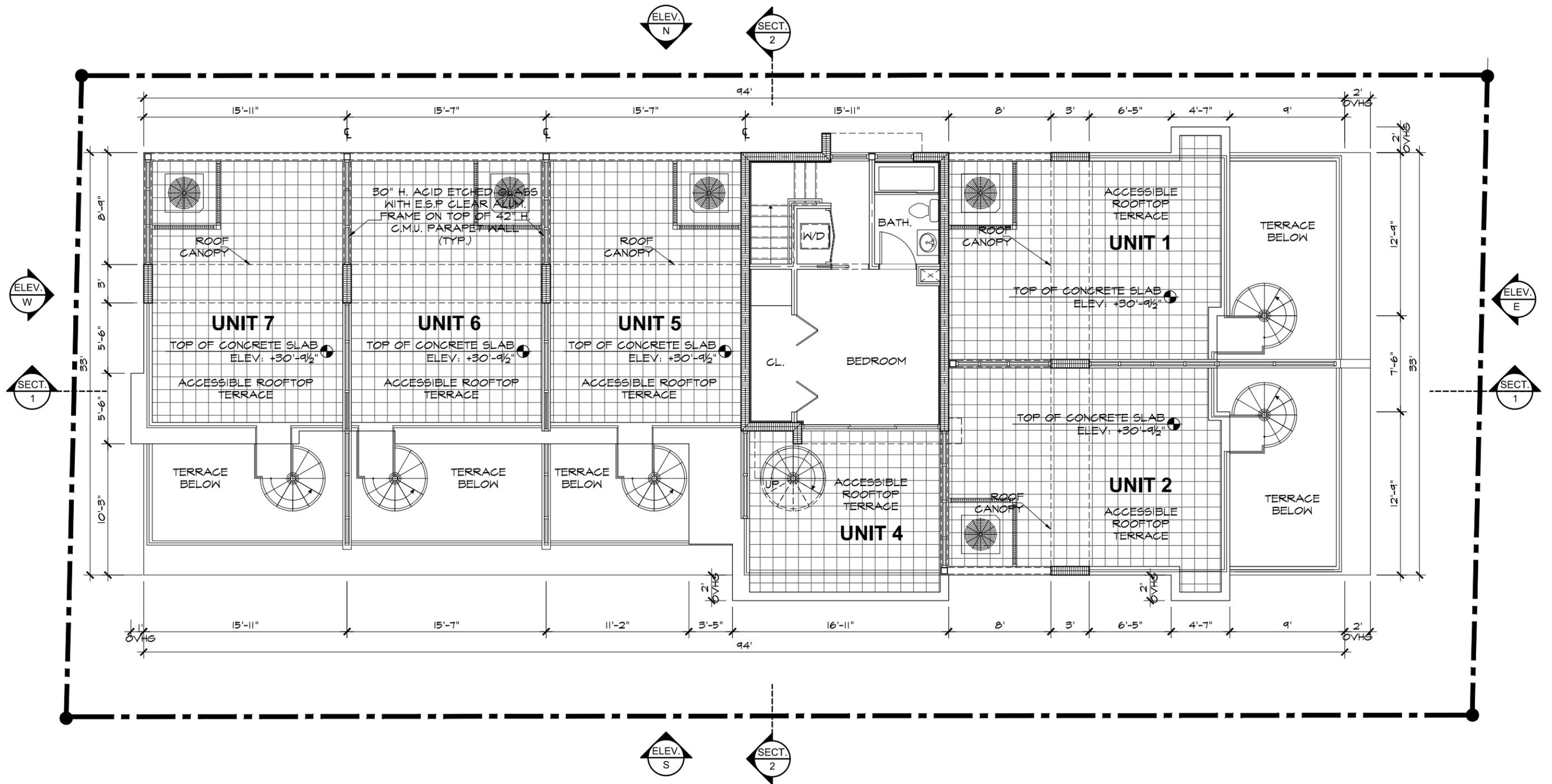


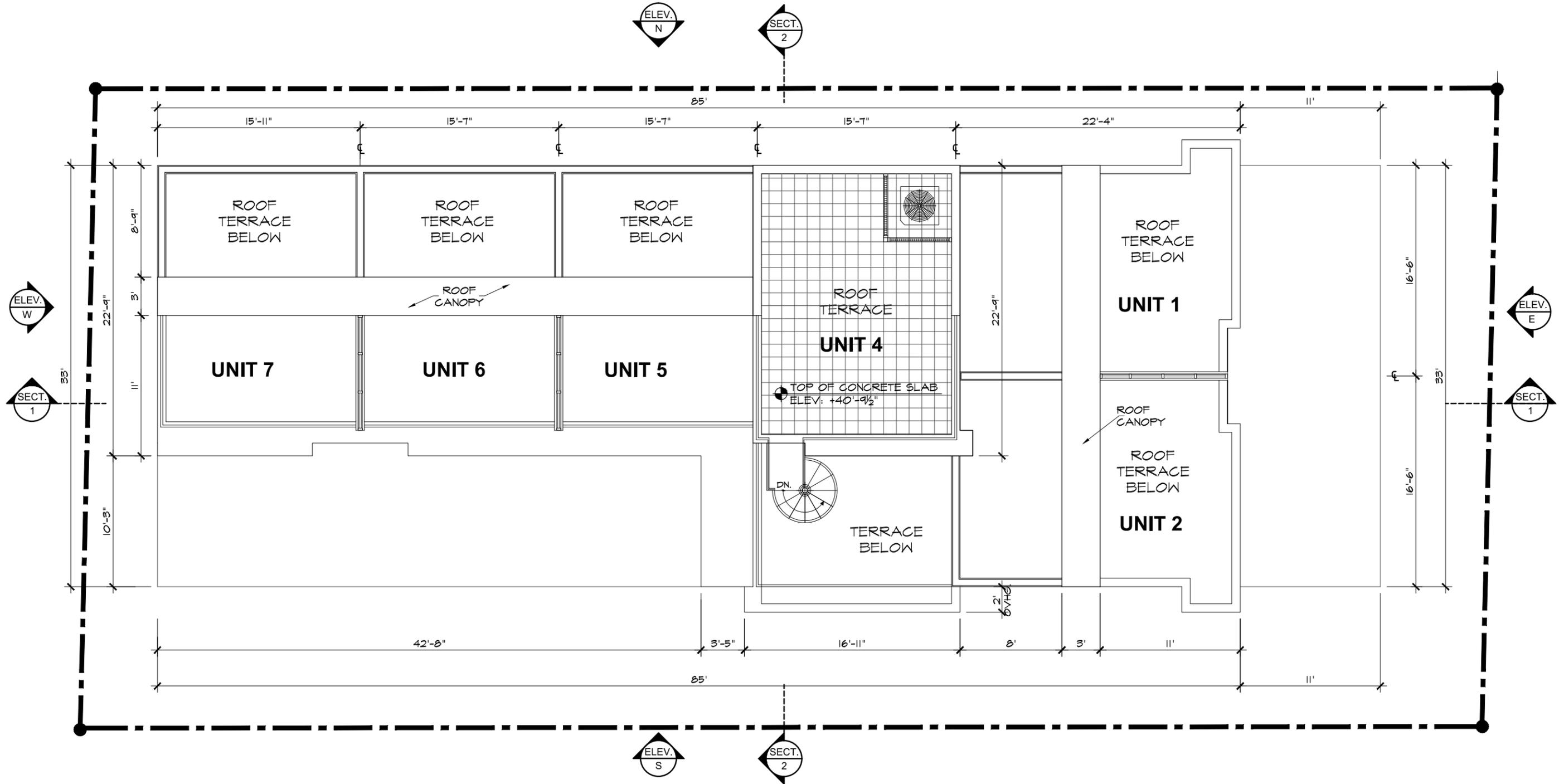


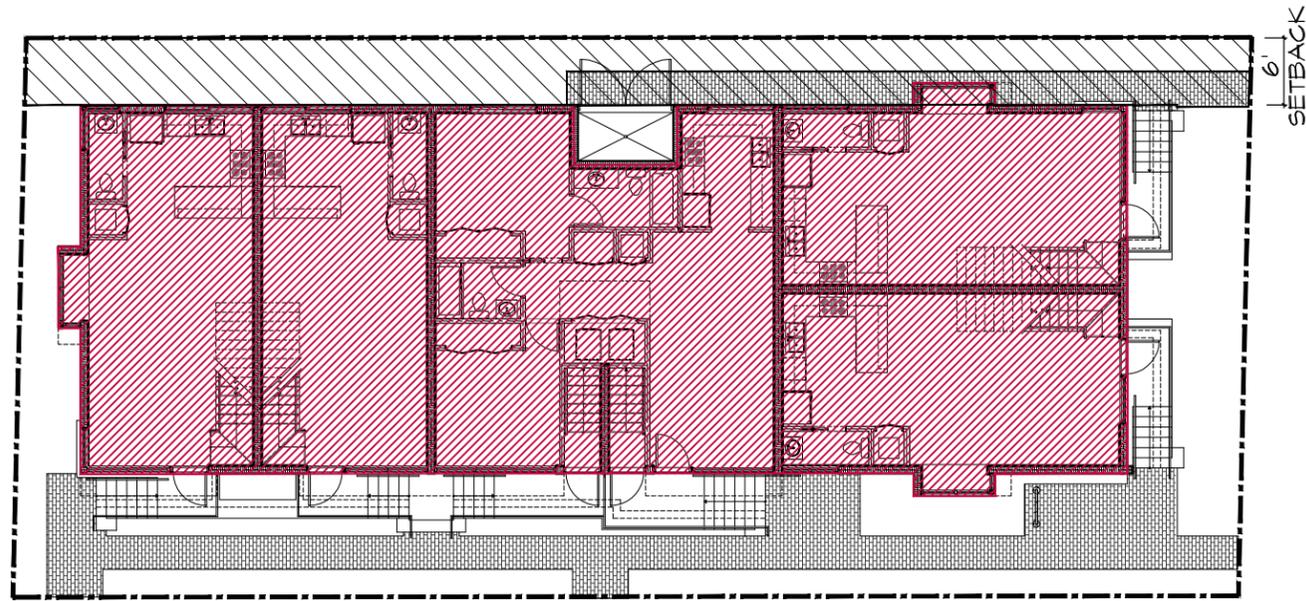
REQUIRED SETBACK
 - - - - - 10' MIN.
 - - - - - 5' MIN.





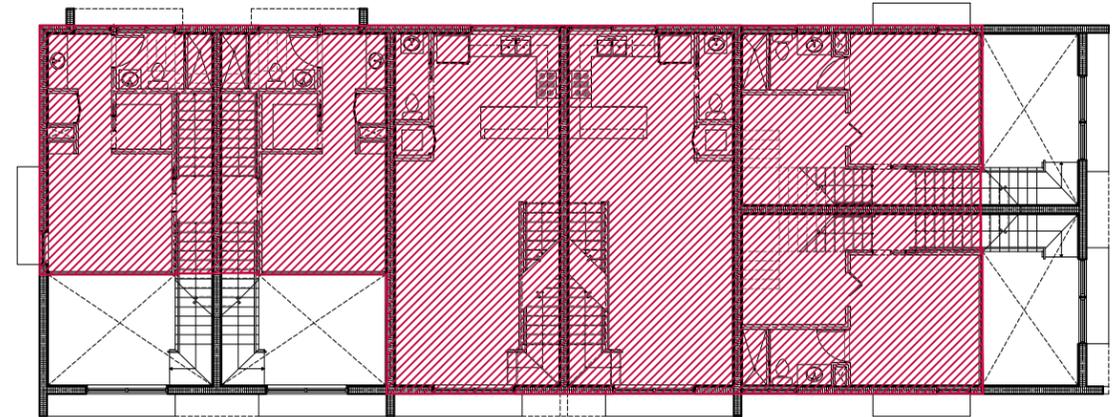




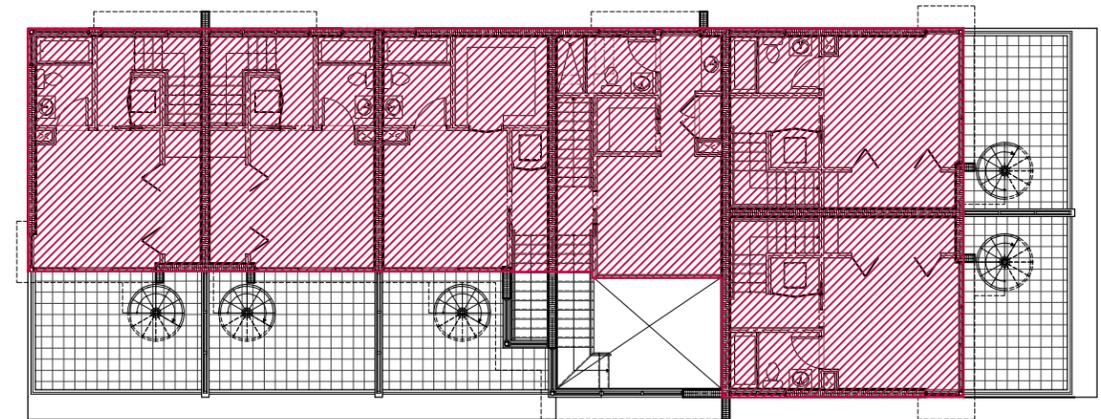


GROUND FLOOR AREA: 3,052 SQFT.

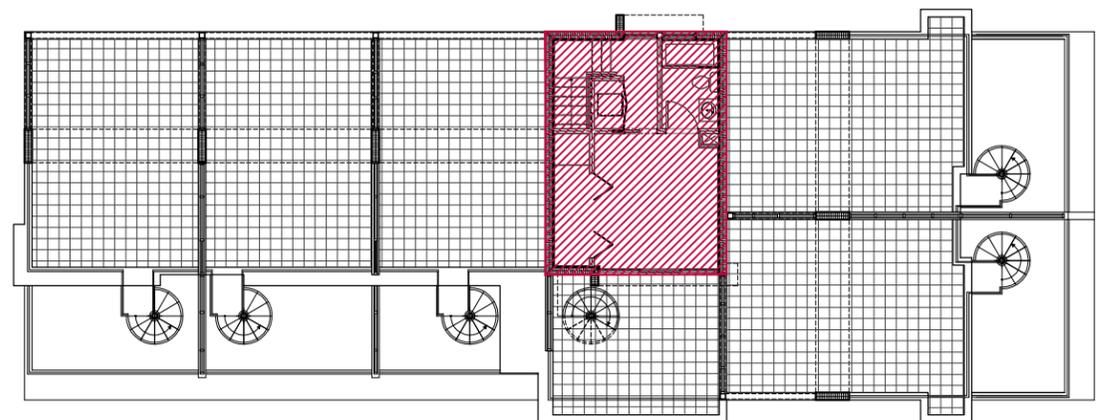
- SIDE YARD AREA: 686 SQFT.
- 5' SETBACK (REQUIRED)
- 6' SETBACK (PROVIDED)
- TOTAL CONCRETE DECK : 172 SQFT.
(25%)



SECOND FLOOR AREA: 2,041 SQFT.



THIRD FLOOR AREA: 1,414 SQFT.



FOURTH FLOOR AREA: 348 SQFT.

ZONING INFORMATION		
ZONING	RM-1	
No. OF UNITS	7	
LOT AREA	5,500 SQFT.	
F.A.R.	1.25	
	REQUIRED	PROVIDED
TOTAL AREA	6,875 SQFT. MAX. ALLOWED	6,854 SQFT. (TOTAL AREA OF BUILDING)
No. OF STORIES MAX.	5 STORIES MAX.	3 & 4 STORIES
BUILDING HEIGHT	45'-0" MAX.	40'-9 1/2" TOP OF ROOF SLAB TO B.F.E. +1'

BUILDING AREA PER FLOOR	
FLOOR	SURFACE (SQ. FT.)
GROUND	3,052
SECOND	2,041
THIRD	1,414
FOURTH	348
TOTAL BUILDING AREA	6,854
TOTAL GROSS AREA	6,935
F.A.R.	1.25
TOTAL ALLOWABLE AREA (S.F.)	6,875

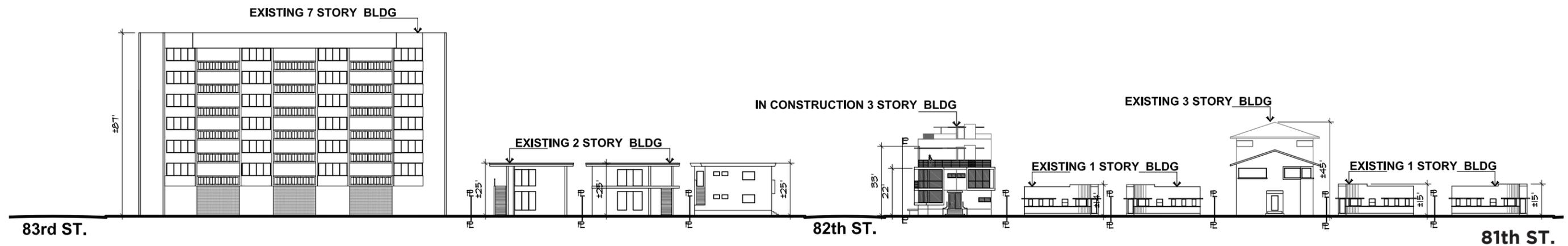
UNITS AREA AVERAGE	
UNIT	SURFACE (SQ. FT.)
1	1,030
2	1,030
3	1,005
4	1,000
5	780
6	1,080
7	923
UNITS AVERAGE	979

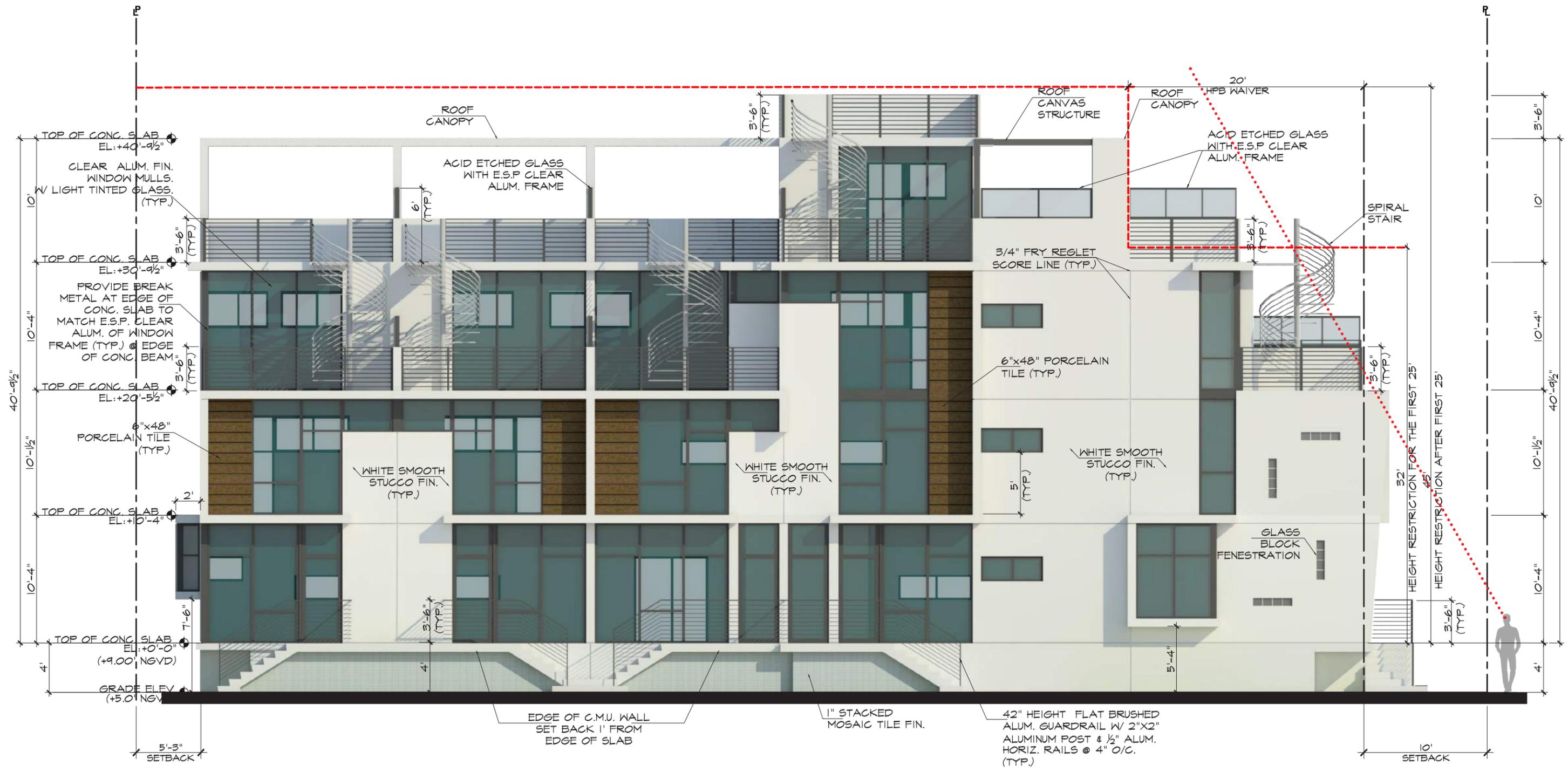
*GROSS AREA calculation definition as per FBC-B 2017, Chapter 2.

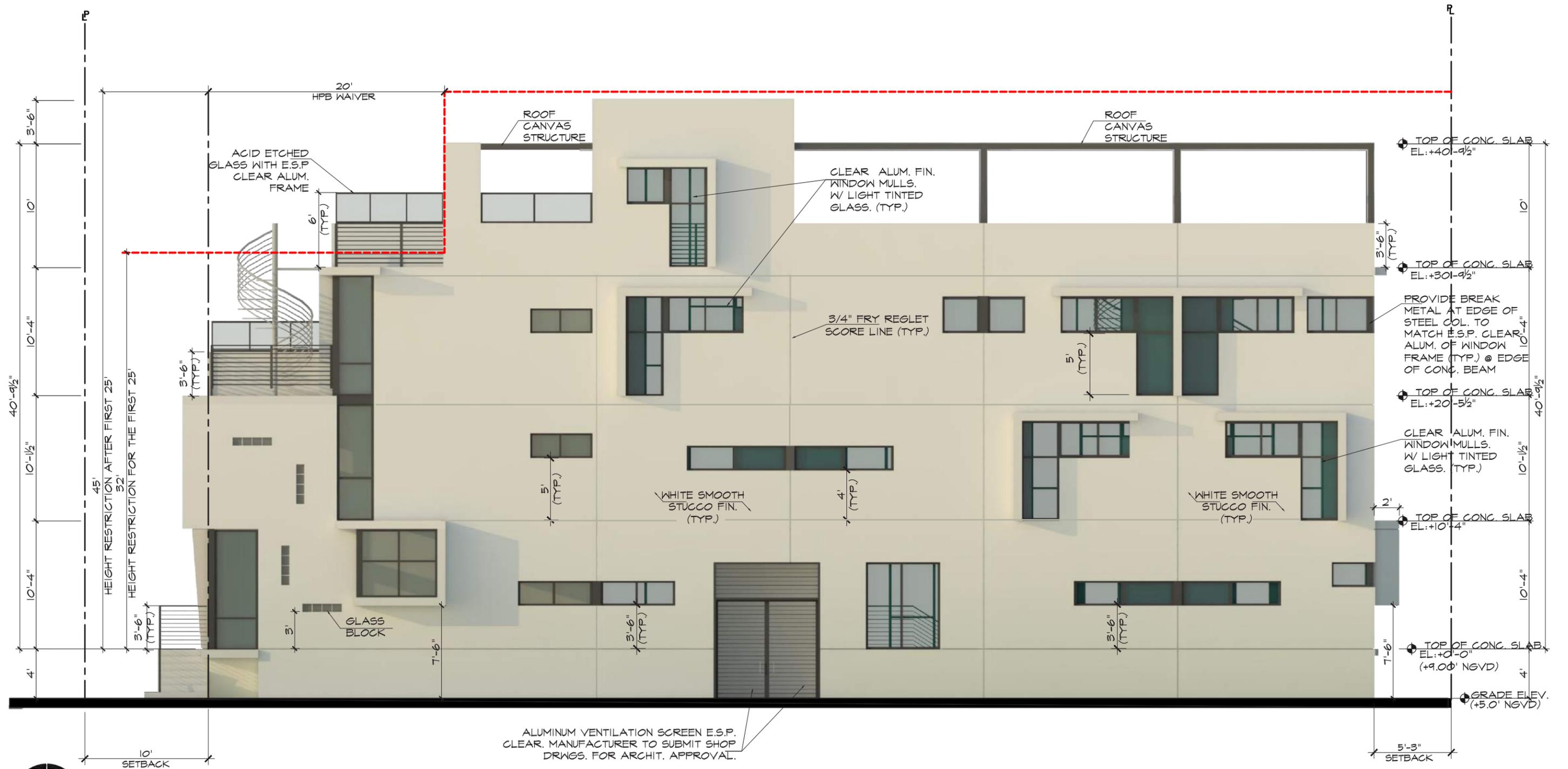
HARDING AVE. WEST ELEVATION



HARDING AVE. EAST ELEVATION





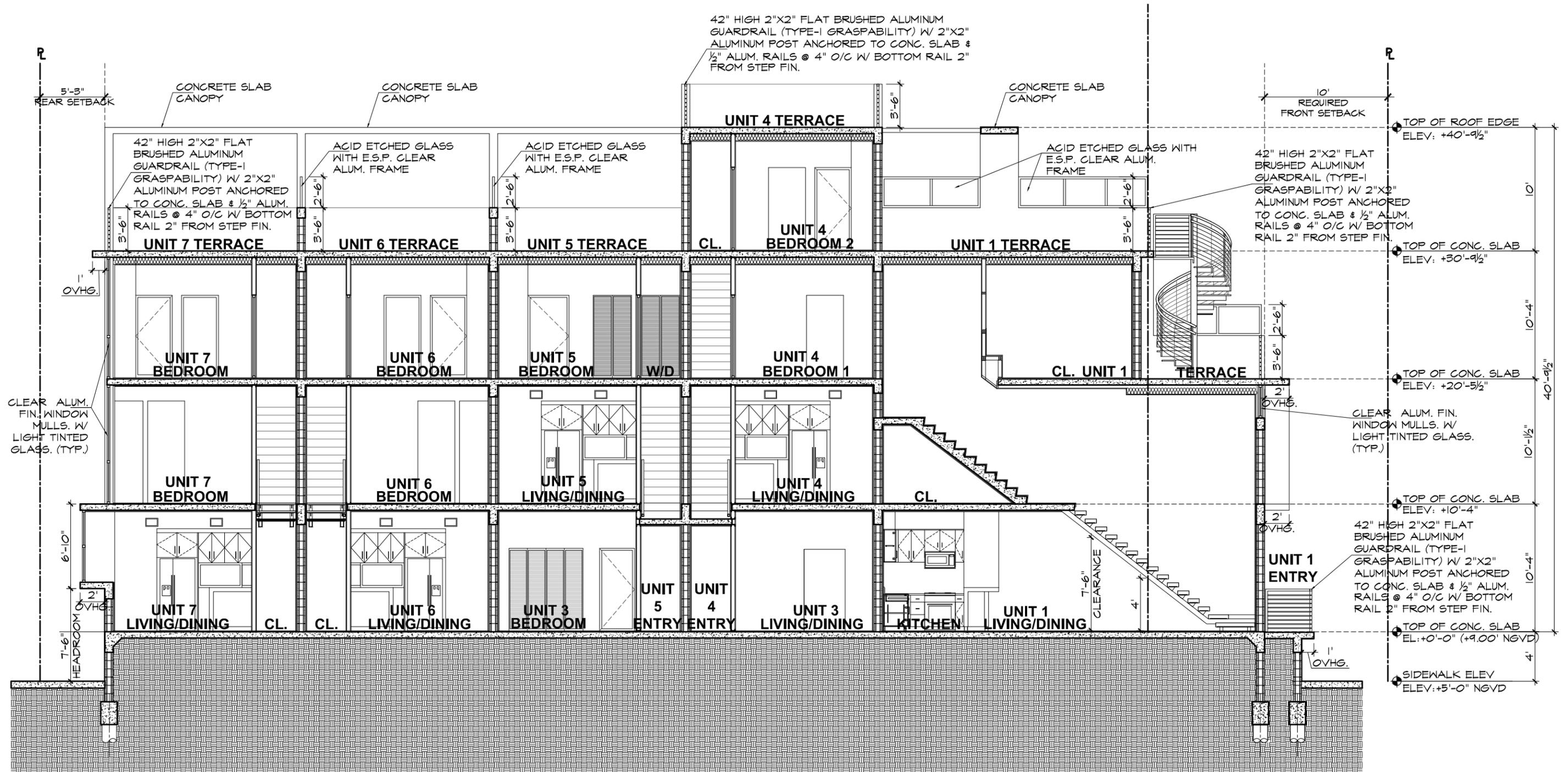


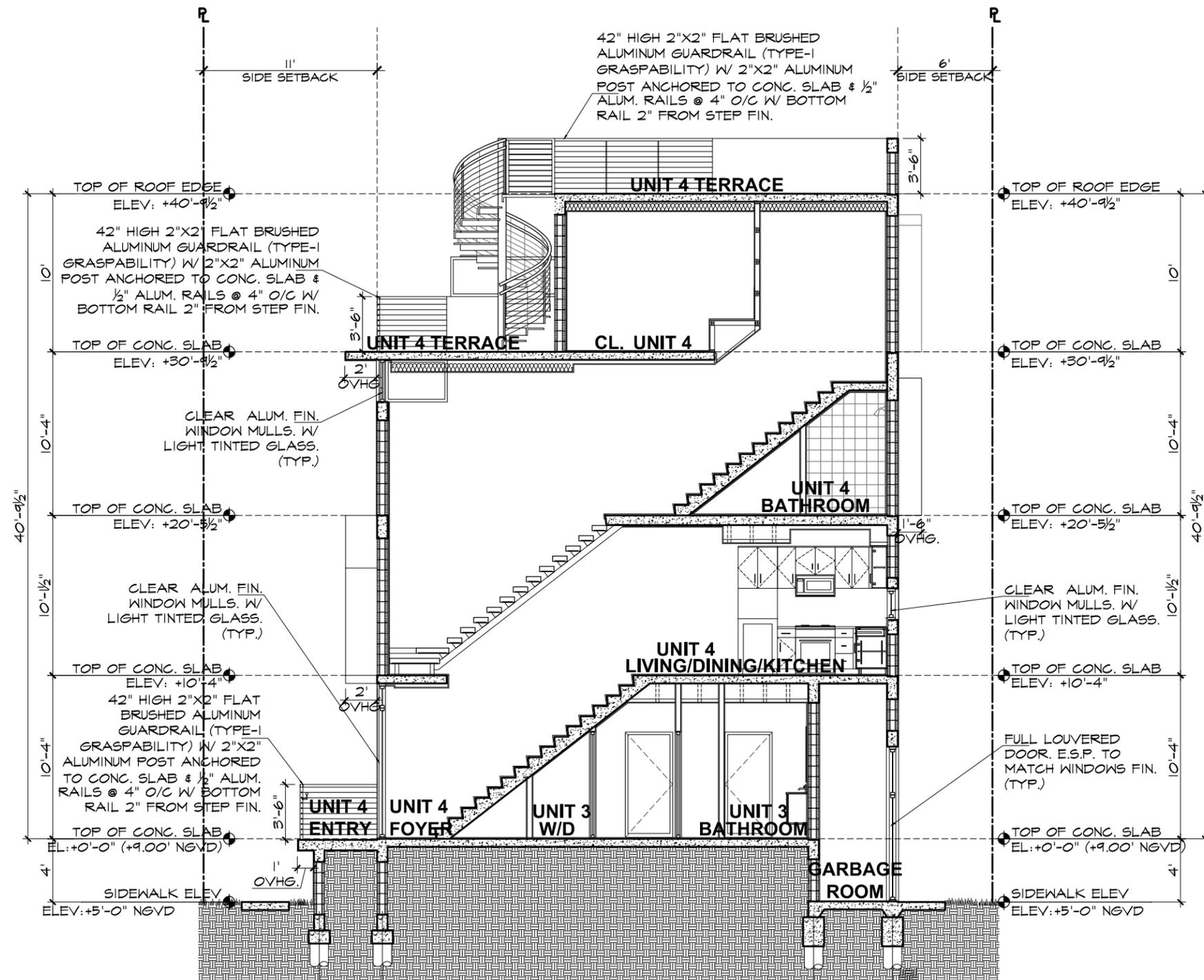
NORTH ELEVATION

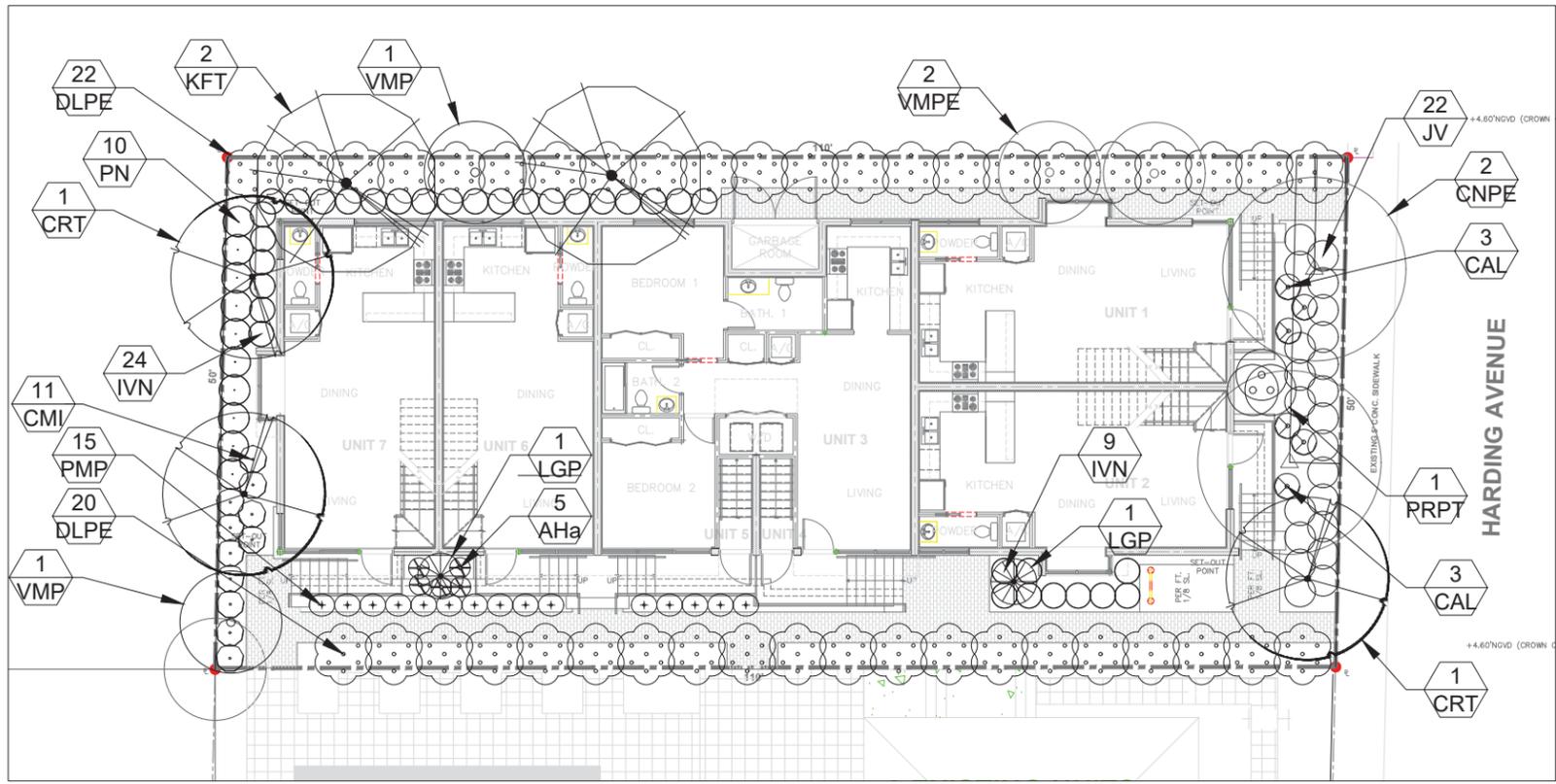
SCALE 1/8" = 1'-0"
FINAL SUBMITTAL / 04.08.19











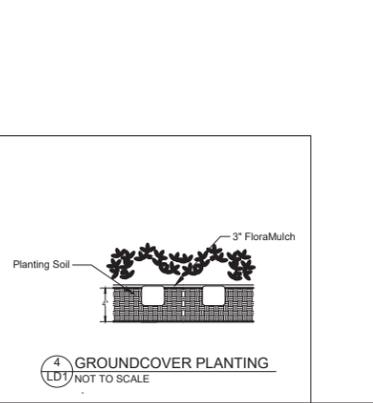
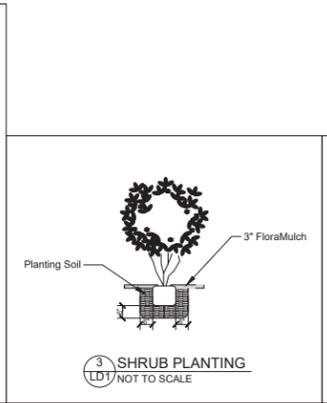
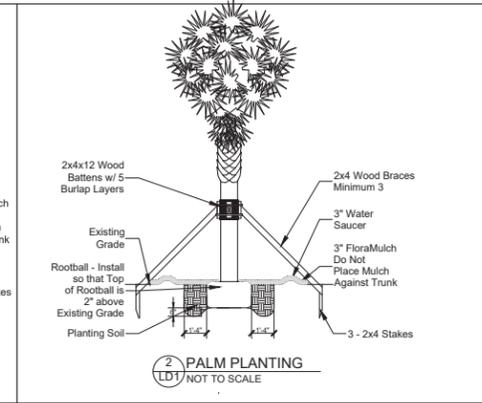
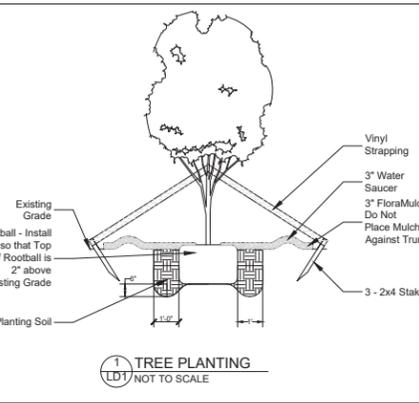
LANDSCAPE PLAN
SCALE: 1" = 8'



Miami Beach Landscape Plant List

LKEY	NEW	EXISTING	BOTANICAL	COMMON	HEIGHT	CANOPY	CALIPER	MATURE-HT	MATURE-CAN	NATIVE(Y)	NATIVE(N)	QUANTITY	CONTAINER	DROUGHT-TOL
CNPE		X	Cocos nucifer 'Malayan Dwarf'	Dwarf Malayan Coconut Palm	38-42'	18'	12"	60'			X	2	N/A	High
CRT	X		Clusia rosea	Signature Tree	12'		2 1/2"	30'	30'	X		3	30 Gallon	High
DLPE		X	Dypsis lutescens	Areca Palm	18'		20'				X	42	N/A	High
KFT	X		Krugiodendron ferreum	Black Ironwood	12'		2 1/2"	20'		X		2	45 Gallon	High
LGP	X		Licuala grandis	Licuala Palm	4-5'		8"				X	2	15 Gallon	Low
PRPT	X		Phoenix roebelinii	Pygmy Date Palm - Triple	6' 4, 2'		10"			X	1	Field Grown	High	
VMeP	X		Veitchia merrillii	Christmas Palm	12-14'		25"			X	2	Field Grown	High	
VMePE		X	Veitchia merrillii	Christmas Palm	24'	12'	5"	25'			X	2	N/A	High

LKEY	NEW	EXISTING	BOTANICAL	COMMON	HEIGHT	CANOPY	NATIVE(Y)	NATIVE(N)	QUANTITY	CONTAINER	DROUGHT-TOL
AHa	X		Aechmea 'Hacienda'	Hacienda Bromeliad	24"x22"			X	5	9" Pot	High
CAL	X		Cordyline 'Auntie Lou'	Auntie Lou Ti Plant	2-3'			X	6	3 Gallon	Medium
CMI	X		Codiaeum 'Mrs. Ictone'	Ictone Croton	20", Full			X	11	3 Gallon	High
IVN	X		Ilex vomitoria 'Nana'	Wax Jasmine	12"x12"		X		33	3 Gallon	High
JV	X		Jasminum volubile	Wax Jasmine	18"x18"			X	22	3 Gallon	Medium
PMP	X		Podocarpus 'Pringles'	Pringles Podocarpus	14"x16"			X	15	3 Gallon	Medium
PN	X		Psychotria nervosa	Wild Coffee	24"		X		10	3 Gallon	Medium



CITY OF MIAMI BEACH
LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Opening District	RM-1	Lot Area	.13	Acres	5500
OPEN SPACE				REQUIRED/ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = 5500 s.f. x .30 % = 1650 s.f.				1650	
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces: 0 x 10 s.f. parking space = 0				0	0
C. Total square feet of landscaped open space required: A+B=				1650	
LAWN AREA CALCULATION				1650	
A. Square feet of landscaped open space required				1650	
B. Maximum lawn area (soil permitted) = 30 % x 1650 s.f.				495	0
TREES					
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements =				4	4
B. % Natives required: Number of trees provided x 30% =				2	4
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =				5	
D. Street Trees (maximum average spacing of 20' o.c.) 110 linear feet along street divided by 20' =				3	1 Tree & 2 Palms
SHRUBS					
A. Number of shrubs required: Sum of lot and street trees required x 12% =				84	102
B. % Native shrubs required: Number of shrubs provided x 50% =				42	43
LARGE SHRUBS OR SMALL TREES					
A. Number of large shrubs or small trees required: Number of required shrubs x 10% =				9	
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50% =				5	

LANDSCAPE SPECIFICATIONS

I. RELATED DOCUMENTS

A. Contract Agreement, Drawings, and these Specifications apply to the work specified in this Section.

B. References:

1. Standards and Standards for Nursery Plants, Florida Department of Agriculture and Consumer Services, 2nd Edition, February 1996
2. Dretsch's Reference Guide to Florida Landscape Plants, Dretsch and Marrow, 1994.

II. SCOPE

A. Scope of Work
Work under this contract consists of furnishing all labor, supplies, equipment, and materials to complete the installation of all landscape work as specified on these plans dated 09/03/19 including the plant list, details, and these specifications. Scope includes warranty and maintenance of plants through Substantial Completion.

B. City & County Ordinances
All work under this contract is to be done in full accord with the building code as established by the City of Miami Beach and Miami Dade County.

C. Changes in Work
The Owner without invalidation of the contract may order extra work or make changes to the work by written agreement between Owner and Contractor.

D. Verification of Existing Site Conditions & Claims for Extra Work
The Contractor is responsible for verifying existing conditions prior to mobilization and shall not be entitled to any claim for extra work as a result of existing conditions.

E. Protection of Existing Site
The Contractor shall ensure that the existing site including existing plant material is protected from his operations and is responsible for replacement or repair to any damage resulting from these operations. The Contractor must comply with all laws associated with locating existing utilities including meeting Sunshine State One Call.

F. Duration
Work shall be completed within 30 days from Notice to Proceed issued in writing by the Owner.

III. QUALITY ASSURANCE

A. Landscape Contractor Qualification
No individual, company or corporation will be permitted to perform any work under this Section by contract or subcontract unless such individual, company or corporation is fully qualified to perform the work. The Contractor, if requested, shall provide the following evidence of qualifications:

1. Membership in trade or professional organizations, b.) Associated Landscape Contractors of America, c.) American Association of Nurserymen, d.) Florida Nurserymen and Growers Association, e.) List of not less than three (3) similar projects which the individual, company or corporation performed under contract or subcontract to a general contractor, building-owner, or governmental entity.

B. Supervision
All planting shall be performed by competent and skilled personnel experienced in planting procedures, under the supervision of a qualified Superintendent and Foreman.

IV. MATERIAL

A. Submittals
Submit literature, describing materials, samples of materials and sources of supply for materials proposed for use in this project for approval as specified in this Section.

B. Plant Material

1. Standards - All plant material shall be Florida No. 1 or better at time of planting as specified in the Florida Department of Agriculture's Grades & Standards for Nursery Plants, 2nd Edition, February 1996. This includes but is not limited to:
 - 1) Health & Vigor, ii.) Condition of Foliage, iii.) Root System, iv.) Absence of Pests, Disease, or Mechanical Damage, v.) Form & Branching Habits.
2. Planting - Remove one-half of the older leaves at the time of digging and tie together around the ball the remaining leaves with a biodegradable twine.
3. Size and Species - Plants shall be true to species and variety as indicated on the Plant List and shall conform to size and specifications as shown herein, except that larger size plants may be used if approved by the Owner and/or the Landscape Architect at no extra cost to the Owner.

C. Planting

1. Caliper - As per Florida's Grades and Standards for Florida Plants Caliper shall be measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches above the ground for larger trees. The average of the largest diameter and that perpendicular to it is referred to as caliper.
2. Height - Measured from the ground to the topmost portion of the tree as shown in the Grades and Standards for Nursery Plants.
3. Crown Spread Diameter - The average of the widest branch spread and that perpendicular to it as shown in the Grades and Standards for Nursery Plants.

D. Planting

1. Overall Height - Highest point in the canopy measured from the soil line to the natural position of the leaf fully expanded as shown in the Grades and Standards for Nursery Plants.
2. Soil - Soil shall be of even thickness and with good root structure. Soil must be reasonably free of wood, freshly removed before cutting and in good healthy condition when laid, as well as not stacked for more than 24 hours.
3. Acceptance of Material - The Landscape Architect and/or the Owner reserves the right to reject any landscape material that does not meet the criteria set forth in these specifications and/or drawings.
4. Substitutions - No substitution of any landscape material shall be permitted without the written consent of the Owner and/or the Landscape Architect.
5. Non-Availability - In the event that a specified plant is not available, the Contractor shall provide written notice to the Landscape Architect and/or Owner. Should the Landscape Architect and/or Owner locate a source for the specified plant within the State of Florida, the Contractor shall be bound by purchase and install from that source.
6. Discrepancies - Where quantities and/or species differ between the Planting Plans and the Plant List, the Plans shall govern.

E. Soil
Topsoil shall be natural, friable, and free from rocks larger than 1/2" diameter, weeds, stumps, plant tissue, litter, toxic substances, or any other deleterious materials. Provide proof of soil characteristics and suitability for plant growth from independent and certified testing laboratories, independently mailed to the Owner and/or the Landscape Architect prior to the delivery and use of the soil.

F. Pre-Emergent Herbicide

V. INSTALLATION

A. Plant Selection
The Contractor shall be responsible for selecting all plant material that meets plan and specification requirements, except for material tagged in advance by Landscape Architect. The Landscape Architect may visit the sources to inspect the selected plant material and/or require photographs. Approval of the selected plant material at the source shall not impair the Landscape Architect's right to reject the plant material after delivery to the site, and/or during subsequent progress of the work.

B. Delivery, Handling and Storage
Field grown material shall not be removed from the ground until the Contractor is ready to transport it to the site. Containerized material shall not be removed from container until ready for planting. Plants transported to the project in open vehicles shall be covered with tarpaulins or other suitable covers securely fastened to the body of the vehicle to prevent damage to the plants. Closed vehicles shall be adequately ventilated to prevent overheating of plants. Protect plants from delivery through planting.

C. Excavation
Remove existing soil as specified on the details and if suitable use as topsoil. Plant material shall not remain unattended on-site longer than 24 hours after delivery. If detrimental material is encountered, notify the Owner immediately prior to proceeding.

D. Layout
All plant material will be laid out according to these plans.

E. Tree & Palm Planting
Dig holes for trees 6" deeper and 12" wider on each side of the root ball. Plant trees so that the top of the root-ball is at least 2" above existing grade after settling.

F. Shrub Planting
Dig holes for shrubs 3" deeper and 6" wider on each side of the root-ball. Plant shrubs so that the top of the root-ball is at least 1" above existing grade.

G. Planting Soil
Planting Soil shall be 50% Existing Soil if suitable and 50% New Soil. New Soil shall be 50% Sand, 50% Topsoil. Fertilizer shall include fertilizer tablets not to exceed manufacturer's recommendations.

H. Subsoil for Sod
A 1" Layer of Soil (50% Sand & 50% Topsoil) shall be provided for all sod areas.

I. Sod
An application of 6-6-6 40% organic fertilizer will be applied to lawn area just prior to laying of the sod to ensure tight joints. Sod is to be watered before and laid in place. Sod is to be laid so as to ensure tight joints. Sod is to be power rolled with a 1-ton roller within 48 hours after laying.

J. Pre-Emergent Herbicide
Apply Swirlen or an approved equal Pre-Emergent Herbicide as per manufacturer's recommendations. Apply after planting and prior to mulching.

K. Mulch
Apply specified mulch in all planting areas to depth shown on the details.

L. Clean-Up
Upon completion of all planting operations, the Contractor shall remove from the site all excess soil, debris, rubbish and related material and equipment, and shall leave all soft and hard surface areas free from vehicular marks and dirt that may have resulted from his work. Contractor shall wash and clean dirt from all paved areas affected by the landscape operation.

VI. MAINTENANCE

A. Duration of Work
Maintenance shall begin immediately after installation of plant material and shall extend through the approved Substantial Notice of Completion except for Waring which shall continue upon completion of the watering period.

B. Watering
Watering - Plants shall be watered by hose soaking thoroughly each day for the first two weeks (14 calendar days) and every other day for the following two-week period. Water shall be clean & free of pesticides. At the end of this two-week watering period, earth saucers shall be collapsed and mulch installed in accordance with the details & these specifications.

C. Pruning
Pruning shall be conducted in accordance with standard horticultural practices and as directed by the Landscape Architect. Pruning shall include removal of dead wood or injured branches, removal of suckers, and general thinning and shaping. Only sharp tools shall be used. Plants must be Florida #1 with regards to form after planting for acceptance.

D. Weeding
The Contractor shall remove weeds and apply herbicide, as required to control weed growth.

E. Fertilizing
The Contractor shall fertilize plant material where needed, according to nutrient deficiency symptoms or as directed by the Landscape Architect.

F. Guying & Staking
The Contractor shall be responsible for repairing and tightening guys, resetting plants to proper grades or upright positions, and resetting planting saucers. Guys and stakes shall be removed six months after substantial completion.

VII. SUBSTANTIAL COMPLETION

A. Substantial Completion
At completion of the installation, the Owner and/or Landscape Architect shall schedule an inspection of the work and if the work is determined to be substantially complete, will issue a punch list of items to be completed prior to final acceptance. Punch list items must be completed within two weeks of their issuance. Once completed a final inspection shall be scheduled by the Owner and/or Landscape Architect.

VIII. WARRANTIES

A. Guarantee
The Contractor shall guarantee all plant material for a period of one (1) year after installation and provisional acceptance issued in writing by the Owner or his designated representative upon completion of all landscape work, excluding maintenance. All replacement plant material shall carry guarantee as specified above. Material of doubtful survival at the termination of the guaranteed period shall carry and additional one (1) year guarantee. If after this period the survival of the plant remains doubtful, or appearance does not contribute to the aesthetic appearance of the project for reasons attributable to its selection, delivery, or installation, the contractor shall replace the plants within 30 days in accordance with these Specifications at no additional cost to the Owner.

B. Acts of God
Plant material, which is damaged by Acts of God, are not subject to the above warranties. Such Acts of God shall include hurricanes, tornadoes, or freeze. In order to claim such warranty exceptions, the Contractor shall submit published records of the nearest official U.S. Weather station, which shall substantiate the occurrence of the above phenomena.

C. Damage & Theft
Any damage or theft after substantial completion to the plant material beyond the contractor's control shall be borne by the Owner.

CLIENT
8204 HARDING AVE RESIDENCE

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DATE 4-3-19
SCALE AS SHOWN
JOB NO. GJR-19-02
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DRAWING # **LD1**
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