SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY LOCATED AT 2192 ALTON ROAD. MIAMI BEACH, FL 33140.

REQUEST FOR WAIVER TO EXCEED THE 70% SECOND TO FIRST FLOOR RATIO.

CLIENT

KEVIN HIRSCH, HIRSCH FAMILY TRUST
700 MONTEREY BLVD NE
ST. PETERSBURG, FL 33704

LANDSCAPE ARCHITECTURE

CHRIS CABEZAS LANDSCAPE ARCHITECTURE
80 NE 5TH AVE.
DELRAY BEACH, FL 33483
561.596.6771

HIRSCH RESIDENCE

2192 ALTON ROAD
MIAMI, FL 33140

DRB FINAL SUBMITTAL

FEBRUARY 4, 2019

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

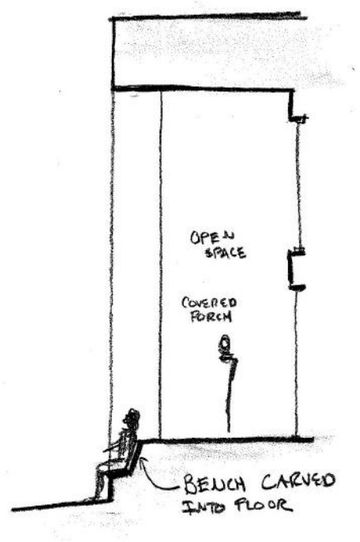
HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

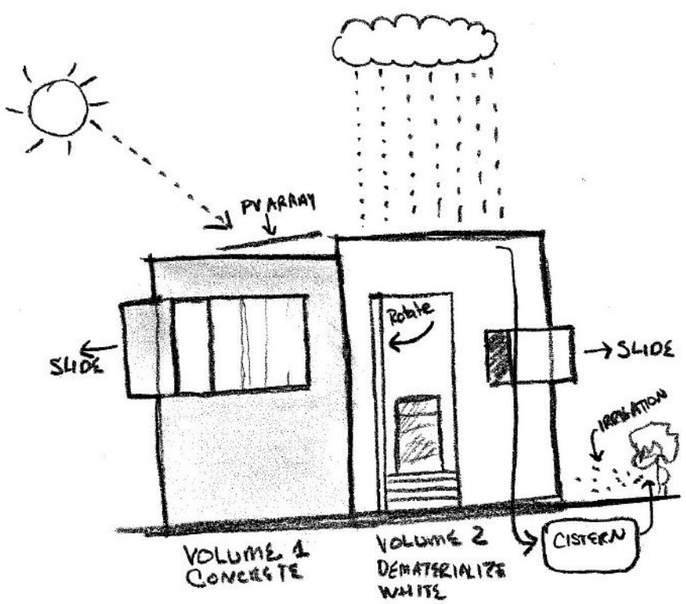
MOSS Architecture & Design Group
1200 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.8677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

COVER PAGE

D-000





ARCHITECT'S LETTER OF INTENT

January 11th 2019
City of Miami Beach
Design Review Board
1700 Convention Center Drive, Second Floor
Miami Beach, Florida 33139

Members of the Design Review Board:

We intend to build a new home in Miami Beach that is energy efficient, sustainable, resilient as well as elegant that will be located at 2192 Alton Road. The front of the lot faces towards the east, which allows for the house to be oriented lengthwise along the north and south of the property. The house has two main rectangular volumes, one along the north of the property and the other along the south of the property. Taking advantage of this orientation, the roof on the shorter volume incorporates a photovoltaic array (solar panels) facing towards the south for maximum efficiency. Additionally, the house is equipped with a rainwater-harvesting cistern to be used for irrigation to reduce rainwater runoff as well as water consumption. Openings are strategically located within the volumes to allow maximum natural light into specific interior spaces, operable windows and doors, and views to connect the occupants with the exterior natural environment, while at the same time limiting the amount of glass to conserve energy and reduce excessive heat gain.

There are architectural elements that contribute to enhancing the experience of the occupants:

- **Rear roof overhang** – At the rear of the property is a major element that creates a beautiful spatial condition. This element is a large 10-foot roof overhang with two large columns that make up one of the rectangular volumes. At the base of this element becomes the rear patio and incorporates a bench carved into the base located along the pool. This element protects that rear patio from the natural elements and helps shade the rear facing openings.
- **Main entrance** – The entrance, being the most important part of the home, is bold with a two-story opening carved into the volume that sits on a concrete wall that forms the front porch. This concrete wall creates the appearance that it has been rotated to allow for the opening.
- **Shifting walls** – On the front façade and on the north façade, there are shifting walls that create openings. These walls create lateral movement and give the perception that a portion of the wall has slid to create each opening. Additionally there are eyebrows over select openings that create movement, depth, and add protection from rain and sun.
- **Material Textures** – Materials and texture are vital for the composition of elements that define the architecture and the architectural experience. There are six materials used throughout the exterior of the home; smooth white painted stucco used for the north volume and pergola; hand plastered concrete used for the south volume and the garage; black painted stucco used for accent walls, select elements; blacked painted / stained wood for the entrance wall; black/bronze metal for the window and door frames, railings, exterior soffits, and the garage door; grey tinted glass for the openings; and stone for the pool deck.

The lot area is 7,325 square feet and is currently a vacant lot that is zoned as RS-4. RS-4 allows for a maximum of 3,662.5 square feet of unit size (50% of lot area), 2,197.5 square feet of lot coverage (30% lot area), and two-stories with a maximum roof height of 24 feet above base flood elevation. The proposed home is compliant with a unit size of 3,662 square feet (49.9%), lot coverage of 2,090 square feet (28.5%), 2-stories with a roof height of 24 feet above base flood elevation. The house is designed with the first floor and all critical mechanical and electrical equipment at the FEMA Base Flood Elevation plus 1-foot of freeboard in order to be resilient to sea-level rise, flooding, and adaptable to future street level increases.

We intend to request a waiver to increase the second to first floor ratio from 70% to 75.2%; the floor area of the second floor is 1,571.5 square feet, and the floor area of the first floor is 2,090.5 square feet.
The landscape will play a role in the resiliency and sustainability of the home. The landscape design is minimal and resilient because of the plant species selected are native and can withstand the local environment. There are trees that currently exist on the lot that will be relocated. A rainwater-harvesting cistern is located under the driveway directly in front of the house used for the landscape irrigation, reducing water consumption and water run-off as well as on-site water retention areas.

We intend to fully comply with the zoning requirements as-of-right, except for the waiver that we are seeking to increase the maximum allowed second to first floor ratio. We hope that the Design Review Board finds our proposal to be acceptable and grants us approval.

Sincerely,

Brett G. Moss, Principal
MOSS Architecture & Design Group

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group
1200 BRICKELL AVE, SUITE 1410
MIAMI, FLORIDA 33131
305.761.6677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

ARCHITECT'S LETTER OF INTENT

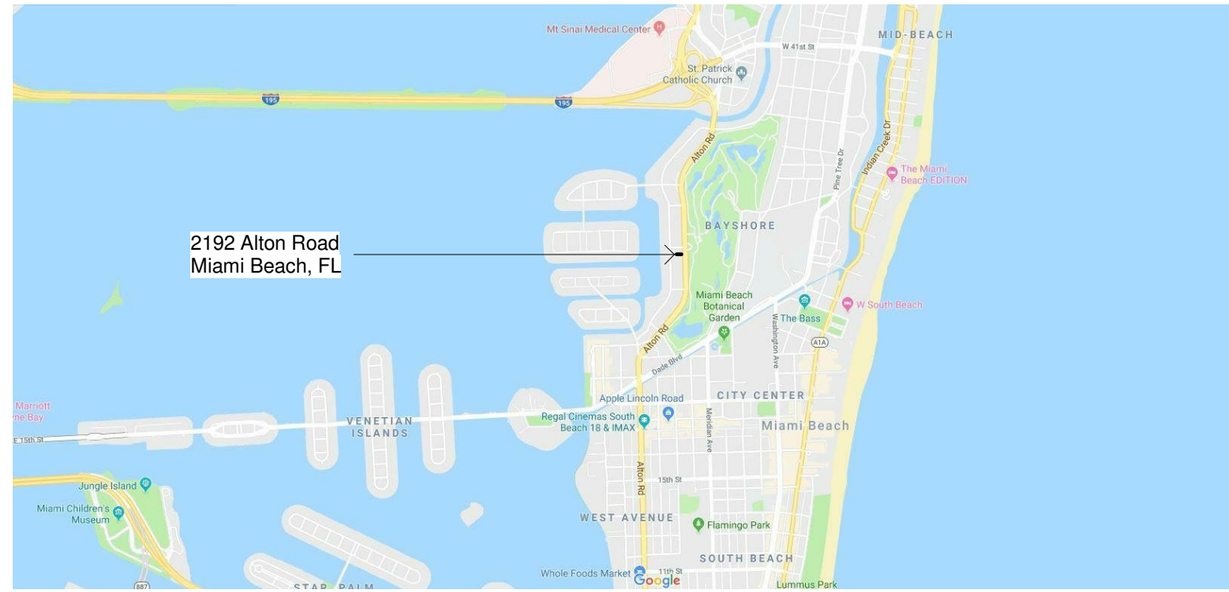
D-001

DRAWING LIST

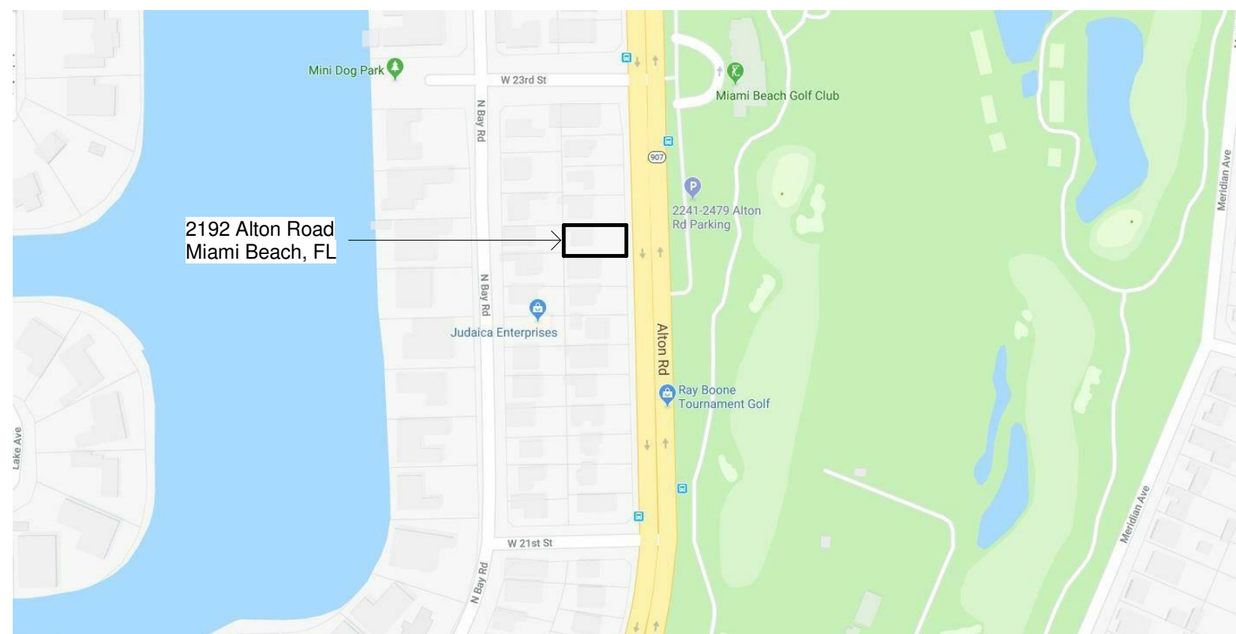
COVER PAGES / CONTEXT
D-000 COVER PAGE
D-001 ARCHITECT'S LETTER OF INTENT
D-002 CITY LOCATION AND INDEX
D-003 SURVEY
D-004 EXISTING SITE CONTEXT
D-005 EXISTING SITE CONTEXT
D-006 NEIGHBORHOOD CONTEXT
D-007 EXISTING CONTEXT DIAGRAM
D-008 PROPOSED CONTEXT DIAGRAM

ARCHITECTURE
D-100 ZONING CHART
D-101 LOT COVERAGE DIAGRAM
D-102 UNIT SIZE GROUND FLOOR
D-103 UNIT SIZE 2ND FLOOR
D-104 OPEN AREA DIAGRAM
D-200 SITE PLAN / GRADING PLAN
D-300 GROUND FLOOR PLAN
D-301 SECOND FLOOR PLAN
D-302 ROOF PLAN
D-400 BUILDING ELEVATIONS
D-401 BUILDING ELEVATIONS
D-402 BUILDING ELEVATIONS
D-403 BUILDING ELEVATIONS
D-500 BUILDING SECTIONS
D-501 BUILDING SECTIONS
D-600 AXONOMETRIC VIEWS
D-800 RENDERING FRONT
D-801 RENDERING BACK

LANDSCAPE
LP001 TREE DISPOSITION PLAN
LP002 LANDSCAPE PLAN
LP003 LANDSCAPE DATA
LP004 LANDSCAPE PLANT IMAGERY



1 CITY MAPS
NTS



2 NEIGHBORHOOD MAPS
NTS

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group
1200 BRICKELL AVE, SUITE 1410
MIAMI, FLORIDA 33131
305.741.6877
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

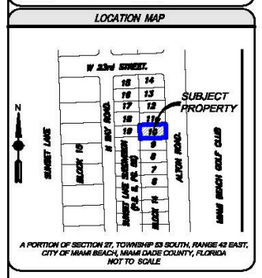
CITY LOCATION AND INDEX

D-002

LEGEND AND ABBREVIATIONS

CONCRETE POLE	HANDICAP PARKING MARK
CONCRETE POWER POLE	BABY STROLLER PARKING MARK
CONCRETE LIGHT POLE	UNKNOWN MANHOLE
ALUMINUM POLE	WATER MANHOLE
ALUMINUM LIGHT POLE	SEWER MANHOLE
WOOD POLE	PHONE MANHOLE
WOOD POWER POLE	IRRIGATION MANHOLE
WOOD LIGHT POLE	GREASE TRAP MANHOLE
TRAFFIC BOX	GAS MANHOLE
STREET LIGHT BOX	FIBER OPTIC MANHOLE
PHONE BOX	ELECTRICITY MANHOLE
IRRIGATION BOX	DRAINAGE MANHOLE
ELECTRIC BOX	COMMUNICATION MANHOLE
COMMUNICATION BOX	BELL SOUTH MANHOLE
CABLE T.V. BOX	PARKING METER
UNKNOWN BOX	PARKING KIOSK
TRAFFIC CONTROL BOX	WATER VALVE
CLEANOUT	SEWER VALVE
BOLLARD	IRRIGATION VALVE
ARM GATE	GAS VALVE
ANCHOR	FIBER OPTIC MAN VALVE
WATER METER	VACUUM BREAKER ASSEMBLY
IRRIGATION METER	
GAS METER	SNARES CONNECTION
ELECTRIC METER	POST INDICATOR VALVE
SQUARE COLUMN	FIRE HYDRANT
ROUND COLUMN	DOUBLE DETECTOR CHECK VALVE
MAIL BOX	BACK FLOW PREVENTOR
IRRIGATION PUMP	PROPERTY LINE
GUARD POST	CENTERLINE
GROUND LIGHT	RIGHT-OF-WAY
FLAG POLE	INVERT
DRAINAGE WELL	DELTA ANGLE
SQUARE DRAINAGE	ARC DISTANCE
	PCP PERMANENT CONTROL POINT
	PRM PERMANENT REFERENCE MONUMENT
P6 INLET	P9 PC PLAT BOOK AND PAGE
	OHW OVERHEAD UTILITY WIRES
P5 INLET	ORB OFFICIAL RECORDS BOOK
	CBS CONCRETE BLOCK STRUCTURE
CURB INLET	CONC. CONCRETE
CIRCULAR DRAINAGE	CLF. CHAINLINK FENCE
CATCH BASIN	W.F. WOOD FENCE
	FND. I.P. FOUND IRON PIPE
ACCESS MANHOLE	FND. NAIL FOUND NAIL & DISKS DESC
	CLR. CLEAR
	ENCR. ENCROACHMENT
SWALE INLET	(S) SEED OR LEGAL DISTANCE
TRAFFIC SIGNAL POLE	(M) MEASURED DISTANCE
TRAFFIC SIGN	(N) RECORD OR PLATTED DISTANCE
	(C) RECORD CALCULATED
PEDESTRIAN CROSS SIGNAL	U.E. UTILITY EASEMENT
PAVEMENT: ASPHALT	CONCRETE

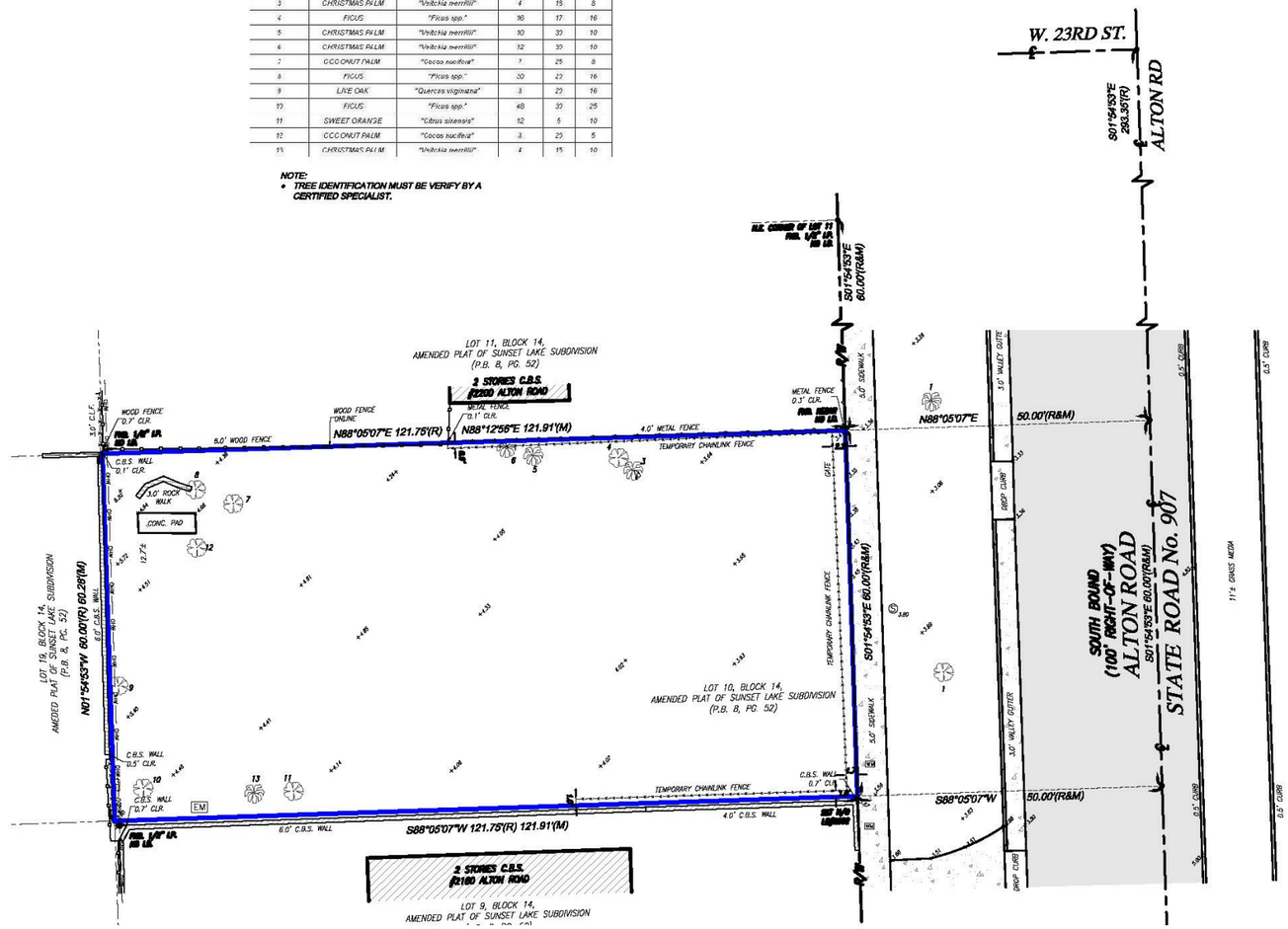
LOCATION MAP



A PORTION OF SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI DADE COUNTY, FLORIDA
NOT TO SCALE

TREE NUMBER	COMMON NAME	SPECIES	DIA. IN.	HT. FT.	CNPY Ø FT.
1	MAHOGANY	"Swietenia mahagoni"	30	25	24
2	COCONUT PALM	"Cocos nucifera"	12	25	16
3	CHRISTMAS PALM	"Veitchia merrillii"	4	15	8
4	FICUS	"Ficus spp."	36	17	16
5	CHRISTMAS PALM	"Veitchia merrillii"	10	30	10
6	CHRISTMAS PALM	"Veitchia merrillii"	12	30	10
7	COCONUT PALM	"Cocos nucifera"	7	25	8
8	FICUS	"Ficus spp."	20	23	16
9	LIVE OAK	"Quercus virginiana"	3	23	16
10	FICUS	"Ficus spp."	48	30	25
11	SWEET ORANGE	"Citrus sinensis"	12	5	10
12	COCONUT PALM	"Cocos nucifera"	3	20	5
13	CHRISTMAS PALM	"Veitchia merrillii"	4	15	10

NOTE:
- TREE IDENTIFICATION MUST BE VERIFY BY A CERTIFIED SPECIALIST.



GRAPHIC SCALE
0 5 10 20
1 INCH = 10 FEET

BOUNDARY SURVEY

PREPARED FOR:
SOUTH BEACH CONSTRUCTION, INC.
LYING AND BEING IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

J.Hernandez & Associates Inc
LAND SURVEYORS AND MAPPERS
CERTIFICATE OF AUTHORIZATION No. LB6662
6905 NW 79th AVE. SUITE #5, DORAL, FL 33166
(P) 305-525-0505 (E) info@hasurveys.com

DRAWN BY: S.A.M.	CHECKED BY: J.G.H.	JOB NUM.: 151012
DATE: 05/13/17	DATE: 05/15/17	F.B. MD-5 , PG.11

LEGAL DESCRIPTION

LOT 10 IN BLOCK 14 OF AMENDED PLAT OF SUNSET LAKE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8 AT PAGE 52 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LYING AND BEING IN SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES

1. FIELD SURVEY WAS COMPLETED ON: MAY 12, 2017 AND UPDATED ON JANUARY 8, 2019
2. BEARINGS BASED ON AN ASSUMED BEARING OF S01°54'53"E, ALONG THE EAST BOUNDARY LINE OF SUBJECT PROPERTY.
3. LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT.
4. SUBJECT PROPERTY AREA: 7,325 Sq.Ft. (0.168 ACRES)
5. DISTANCES ALONG BOUNDARY LINES, AS SHOWN HEREON, ARE RECORD AND/OR MEASURED UNLESS OTHERWISE NOTED.
6. INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSES ONLY, UNLESS OTHERWISE NOTED.
7. UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
8. ABOVEGROUND AND/OR VISIBLE UTILITIES HAVE BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.
9. SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO AND FROM ALTON ROAD A PUBLIC DEDICATED RIGHT-OF- WAY.
10. THIS BOUNDARY SURVEY IS SUBJECT TO EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT PROPERTY.

PROPERTY INFORMATION

- OWNER: KEVIN HIRSCH.
- PROPERTY ADDRESS: 2192 ALTON RD, MIAMI BEACH, FL 33140
- PROPERTY FOLIO NUMBER: 02-3227-009-1130
- PROPERTY ZONE: (RS-4) SINGLE FAMILY RESIDENTIAL

FLOOD ZONE INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE" (EL. 8), AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12086C0317L, DATED SEPTEMBER 11, 2009

ELEVATION REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 AND IS EXPRESSED IN FEET.

CERTIFY TO:

- KEVIN HIRSCH

DATUM AND BENCHMARKS

1. ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. 1929) AND ARE EXPRESSED IN FEET.
2. BENCHMARKS:
   a. CITY OF MIAMI BEACH BENCHMARK (CMB 51 03)
   ELEVATION 8.02' (N.A.V.D. 1988)
   CONVERSION=(8.02'+1.55'=7.27' N.G.V.D. 1929)
   LOCATION:NW 20TH st. SUNSET
   DESC. - PK NAIL IN CATCH BASIN, 6.W. CORNER OF BRIDGE

ENCROACHMENTS

- A PORTION OF 6' WOOD FENCE, ALONG THE NORTH BOUNDARY LINE ENCROACH 0.2' ONTO SUBJECT PROPERTY FROM ADJOINING LANDS.
- OTHER THAN THESE SHOWN HEREON, THERE ARE NO OBSERVED ENCROACHMENTS ONTO THE SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.

REVISIONS

DATE	JOB No.	DESC.	BY
01/08/19	151059	UPDATE SURVEY	SAM

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION. THIS SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE BOARD OF SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.

SURVEYOR & MAPPER LICENSED NO. 6952 STATE OF FLORIDA

Digitally signed by Jose G. Hernandez, LS No. 6952 State of Florida, on this document this has been digitally signed and sealed by Jose G. Hernandez, LS No. 6952 State of Florida, on printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
email: ahernandez@hasurveys.com, c=US
Date: 2019.01.11 12:23:30 -05'00'

BY:
JOSE G. HERNANDEZ, PRESIDENT
PROFESSIONAL LAND SURVEYOR No. 6952
STATE OF FLORIDA.

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

THIS IS A BOUNDARY SURVEY
PROJECT NUMBER: MD - 154
SHEET NUMBER: 1 OF 1

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group
1200 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.6677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

SURVEY

D-003

2 **FRONT VIEW 1**
NTS

3 **FRONT VIEW 2**
NTS

1 **KEY PLAN 01**
NTS

4 **FRONT VIEW 3**
NTS

5 **REAR VIEW 1**
NTS

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group
1200 BRICKELL AVE, SUITE 1410
MIAMI, FLORIDA 33131
305.741.6577
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

EXISTING SITE CONTEXT

D-004

1 **FRONT AERIAL VIEW**
NTS

2 **REAR AERIAL VIEW**
NTS

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

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MIAMI, FLORIDA 33131
305.741.6677
moss-arch.com

BRETT G. MOSS
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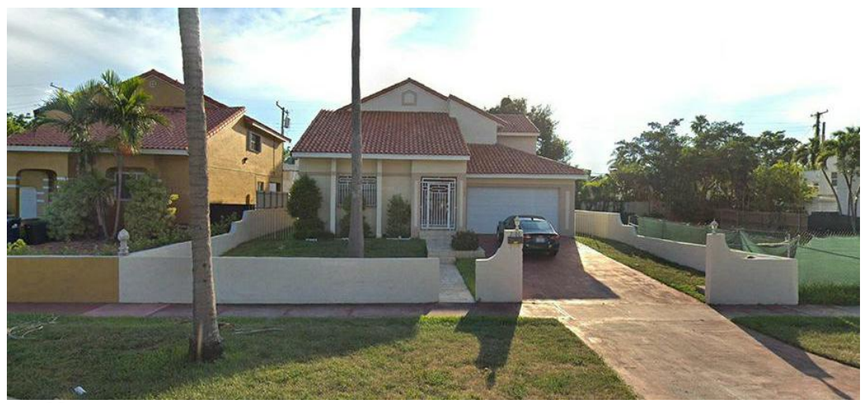
EXISTING SITE CONTEXT

D-005

1 **2170 ALTON ROAD**
NTS



2 **2180 ALTON ROAD**
NTS

3 **2192 ALTON ROAD**
NTS

4 **2200 ALTON ROAD**
NTS

5 **2210 ALTON ROAD**
NTS

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

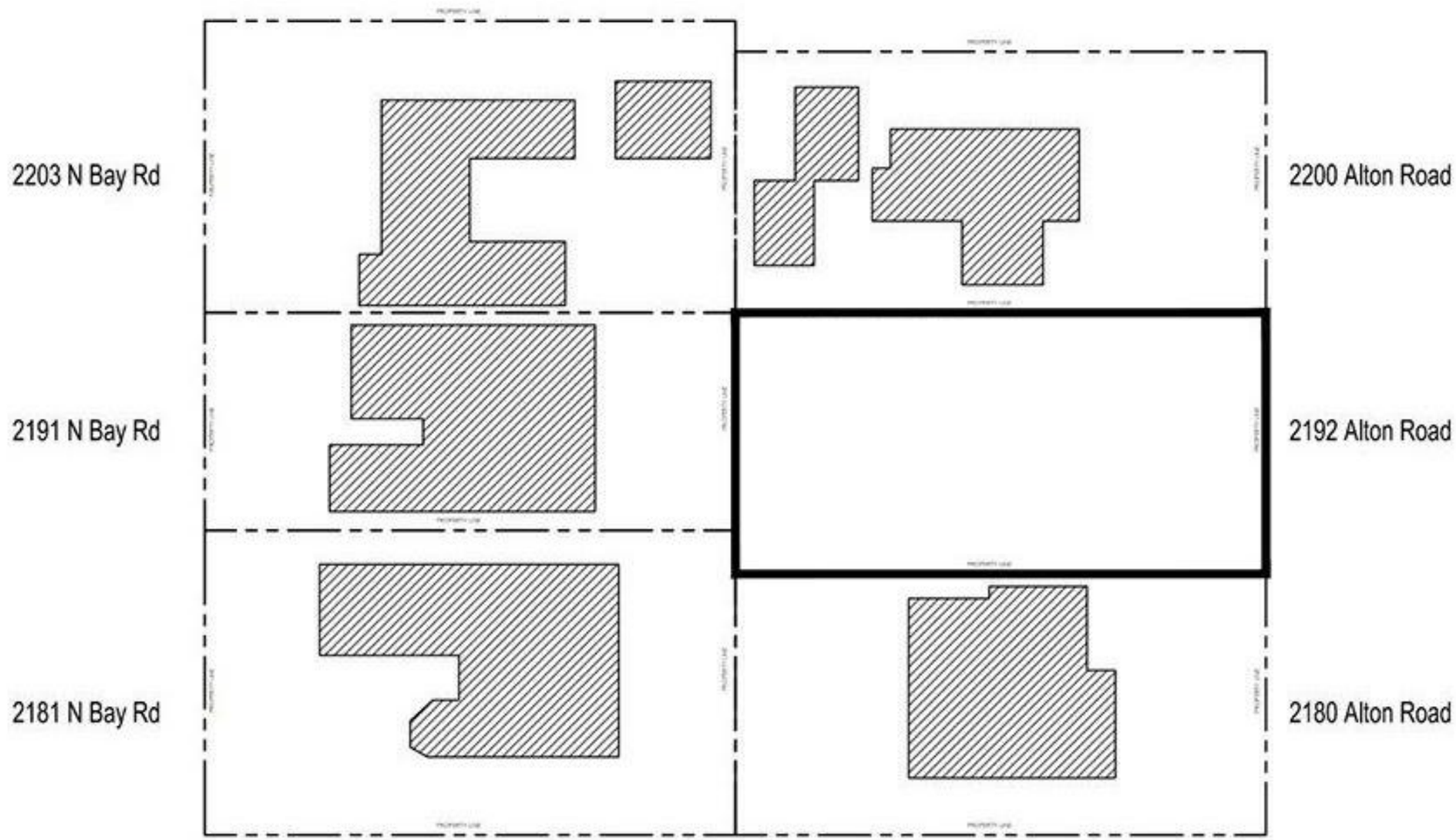
HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group
1320 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.6677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

NEIGHBORHOOD CONTEXT

D-006



1 **EXISTING CONTEXT DIAGRAM**
NTS

N

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

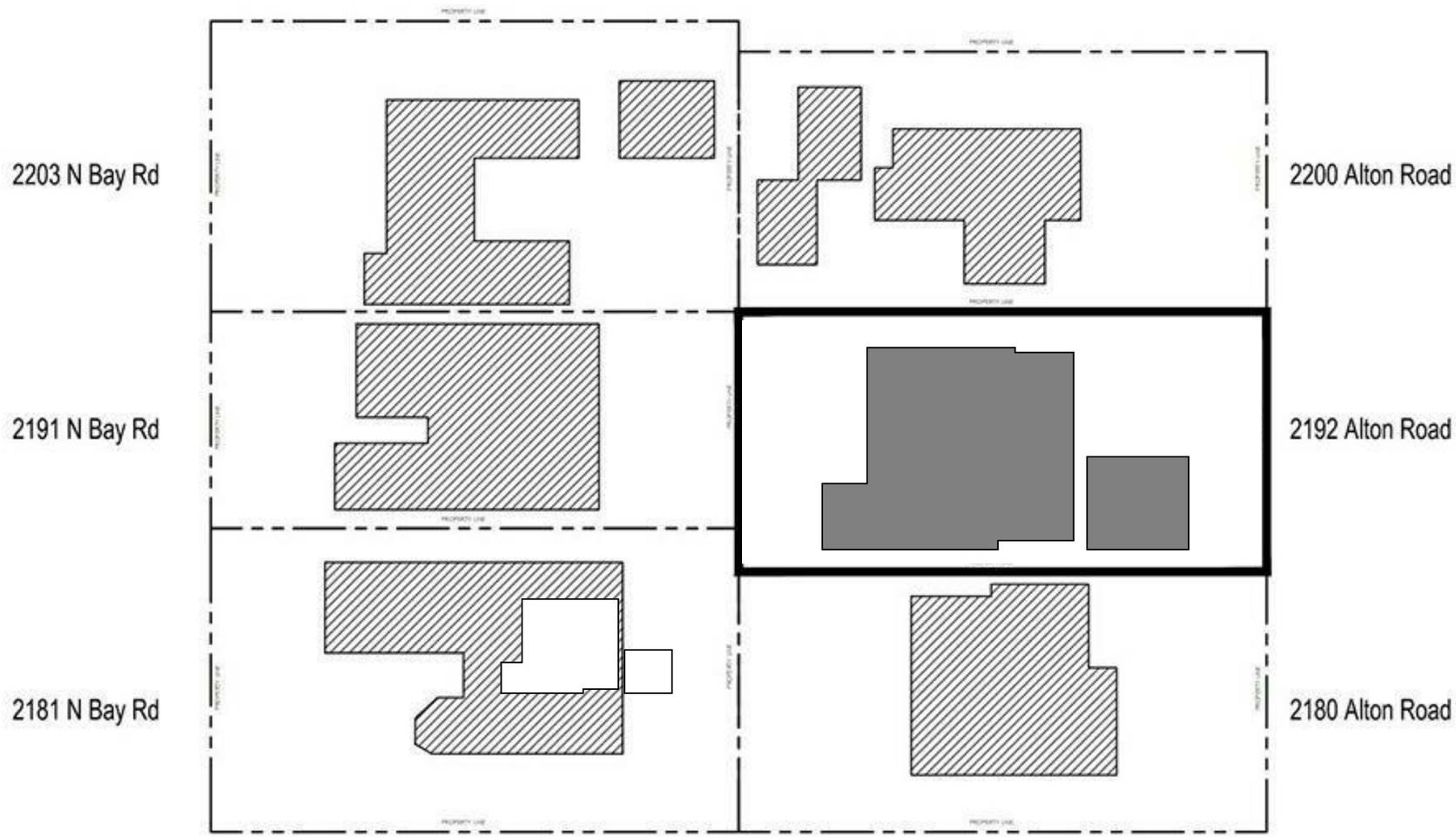
HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group
1200 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.6677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

EXISTING CONTEXT DIAGRAM

D-007



1 PROPOSED CONTEXT DIAGRAM

NTS

N

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

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MIAMI, FL 33140

MOSS Architecture & Design Group
1200 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.6677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

PROPOSED CONTEXT DIAGRAM

D-008

ZONING DATA

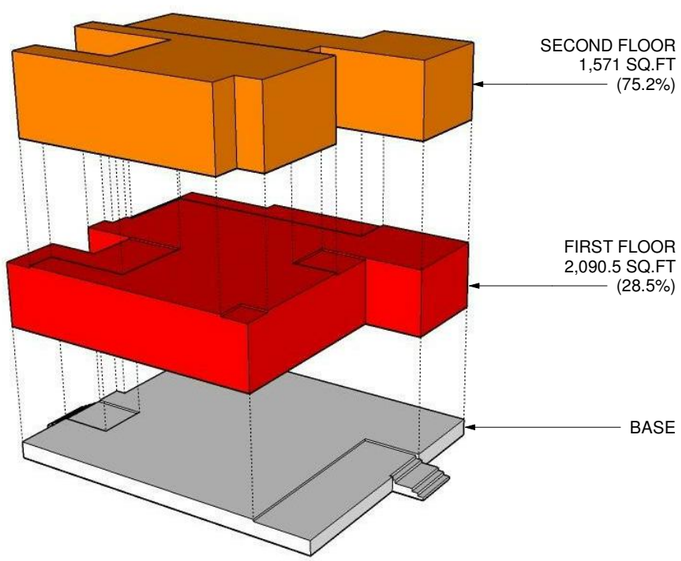
PROJECT DESCRIPTION:	NEW CONSTRUCTION - SINGLE FAMILY
MUNICIPALITY:	MIAMI BEACH
STREET ADDRESS:	2192 ALTON ROAD, MIAMI BEACH, FL 33140
FOLIO NUMBER:	02-3227-008-1130
ZONING DISTRICT:	RS-4
FEMA ZONE:	AE
BASED FLOOD ELEVATION:	8'-0" NGVD

CODE OF ORDINANCES REFERENCES

LOT AREA:	142 - 105
MINIMUM LOT WIDTH:	142 - 105
GROSS BUILDING AREA:	142 - 105
LOT COVERAGE:	142 - 105
BUILDING HEIGHT:	54 - 35
BUILDING SETBACKS:	142 - 106
FENCE HEIGHT:	142 - 1132
DRIVEWAYS:	142 - 1132
POOL SETBACK:	142 - 1133
PROJECTIONS:	142 - 1132, 142 - 105
OTHER DIMENSIONAL REQUIREMENTS:	142 - 105

SECOND TO FIRST FLOOR VOLUMETRIC DIAGRAM

2192 ALTON ROAD
LOT SIZE: 7,325 SQ.FT
LOT COVERAGE: 28.5%
FIRST-SECOND FLOOR RATIO: 75.2%



MIAMIBEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	2192 Alton Road, Miami Beach, FL 33140-4549		
2	Folio number(s):	02-3227-008-1130		
3	Board and file numbers :			
4	Year built:	1923	Zoning District:	RS-4
5	Based Flood Elevation:	8'-0"	Grade value in NGVD:	3.45' NGVD
6	Adjusted grade (Flood+Grade/2):	5.75' NGVD	Finish Floor Elevation	9'-0" NGVD
7	Lot Area:	7,325 SQ.FT		
8	Lot width:	60'-0"	Lot Depth:	122' -0"
9	Max Lot Coverage SF and %:	2,197.5 SQ.FT. (30%)	Proposed Lot Coverage SF and %:	2,090.5 SQ.FT. (28.5%)
10	Existing Lot Coverage SF and %:		Lot coverage deducted (garage-storage) SF:	448 SQ.FT.
11	Front Yard Open Space SF and %:	607 SQ.FT. (50.6%)	Rear Yard Open Space SF and %:	842 SQ.FT. (70%)
12	Max Unit Size SF and %:	3,662.5 SQ.FT. (50%)	Proposed Unit Size SF and %:	3,662 SQ.FT. (49.9%)
13			Proposed First Floor Unit Size:	2,090.5 SQ.FT. (28.5%)
14			Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	1,571.5 SQ.FT. (75.2%) Waiver Requested
15			Proposed Second Floor Unit Size SF and % :	1,571.5 SQ.FT. (75.2%)
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A

		Required	Existing	Proposed	Deficiencies
17	**Height:**	**24'-0"**		**24'-0"**	N/A
18	**Setbacks:**				N/A
19	Front First level:	20'-0"	N/A	20'-0"	N/A
20	Front Second level:	30'-0"	N/A	46'-5"	N/A
21	Side 1:	7'-6"	N/A	7'-6"	N/A
22	Side 2 or (facing street):	7'-6"	N/A	7'-6"	N/A
23	Rear:	20'-0"	N/A	20'-4"	N/A
	Accessory Structure Side 1:	7'-6"	N/A	N/A	N/A
24	Accessory Structure Side 2 or (facing street) :	7'-6"	N/A	N/A	N/A
25	Accessory Structure Rear:	7'-6"	N/A	N/A	N/A
26	Sum of Side yard :	15'-0"	N/A	15'-0"	N/A

27	Located within a Local Historic District?	NO
28	Designated as an individual Historic Single Family Residence Site?	NO
29	Determined to be Architecturally Significant?	NO

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

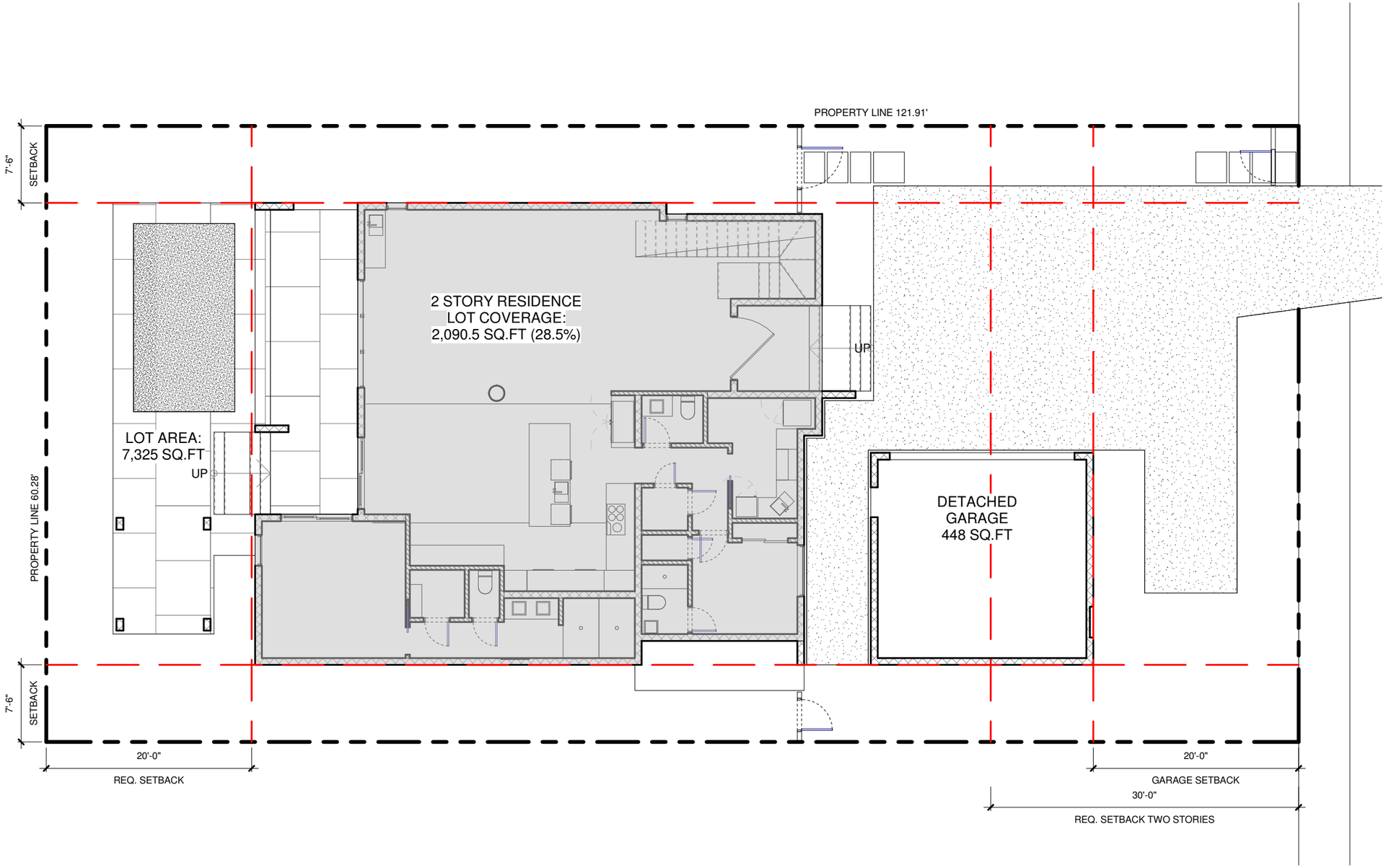
HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group
1200 BRICKELL AVE, SUITE 1410
MIAMI, FLORIDA 33131
305.741.6877
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

ZONING CHART

D-100



LOT SIZE = 7,320 SQ.FT
LOT COVERAGE = 2,134 SQ.FT
(29.1%)

N

0 4 10 20

2 LOT COVERAGE

3/32" = 1'-0"

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1300 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
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moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

LOT COVERAGE DIAGRAM

D-101

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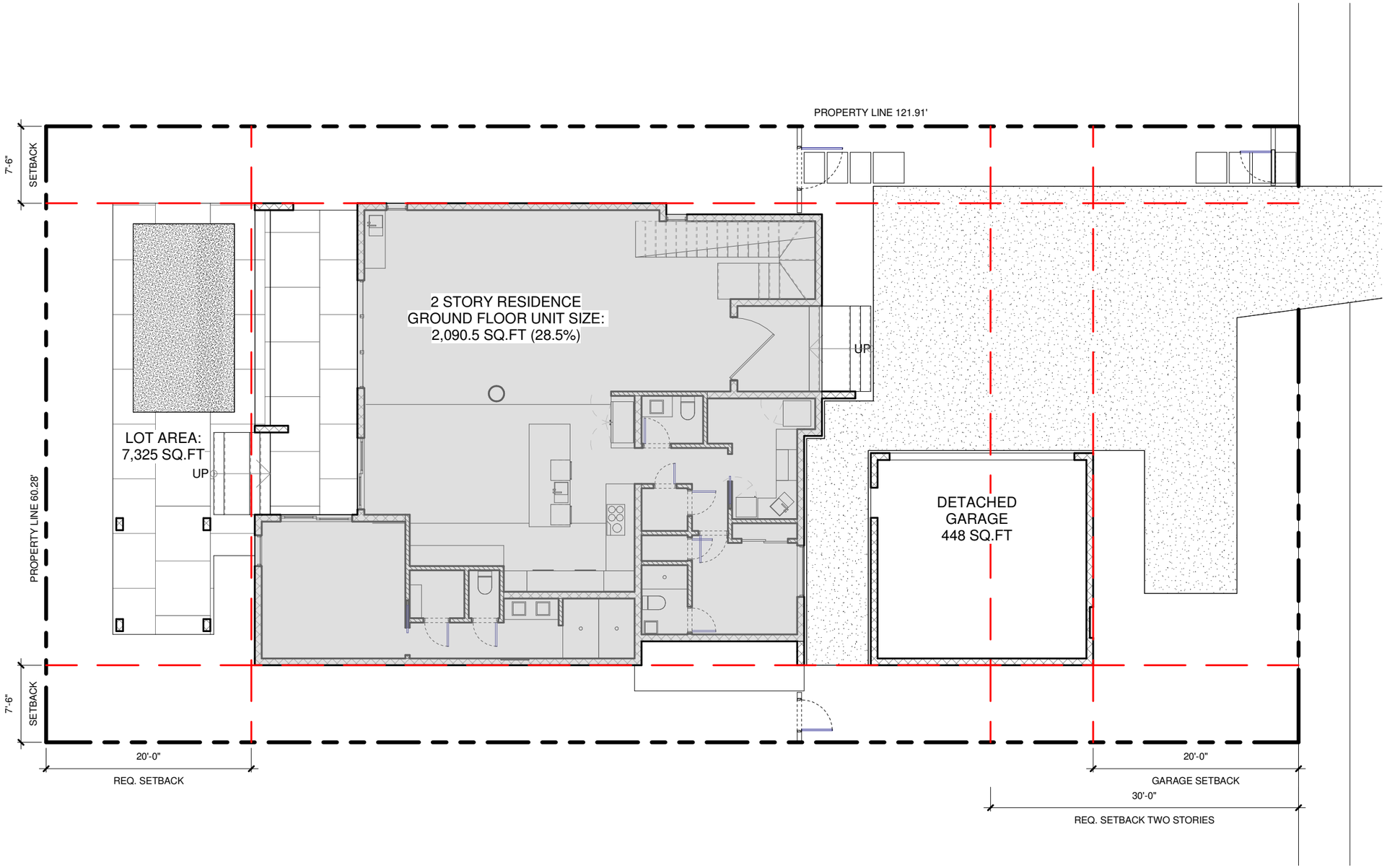

UNIT SIZE = 2,134 SQ.FT

1 UNIT SIZE GROUND FLOOR

3/32" = 1'-0"

N

0 4 10 20

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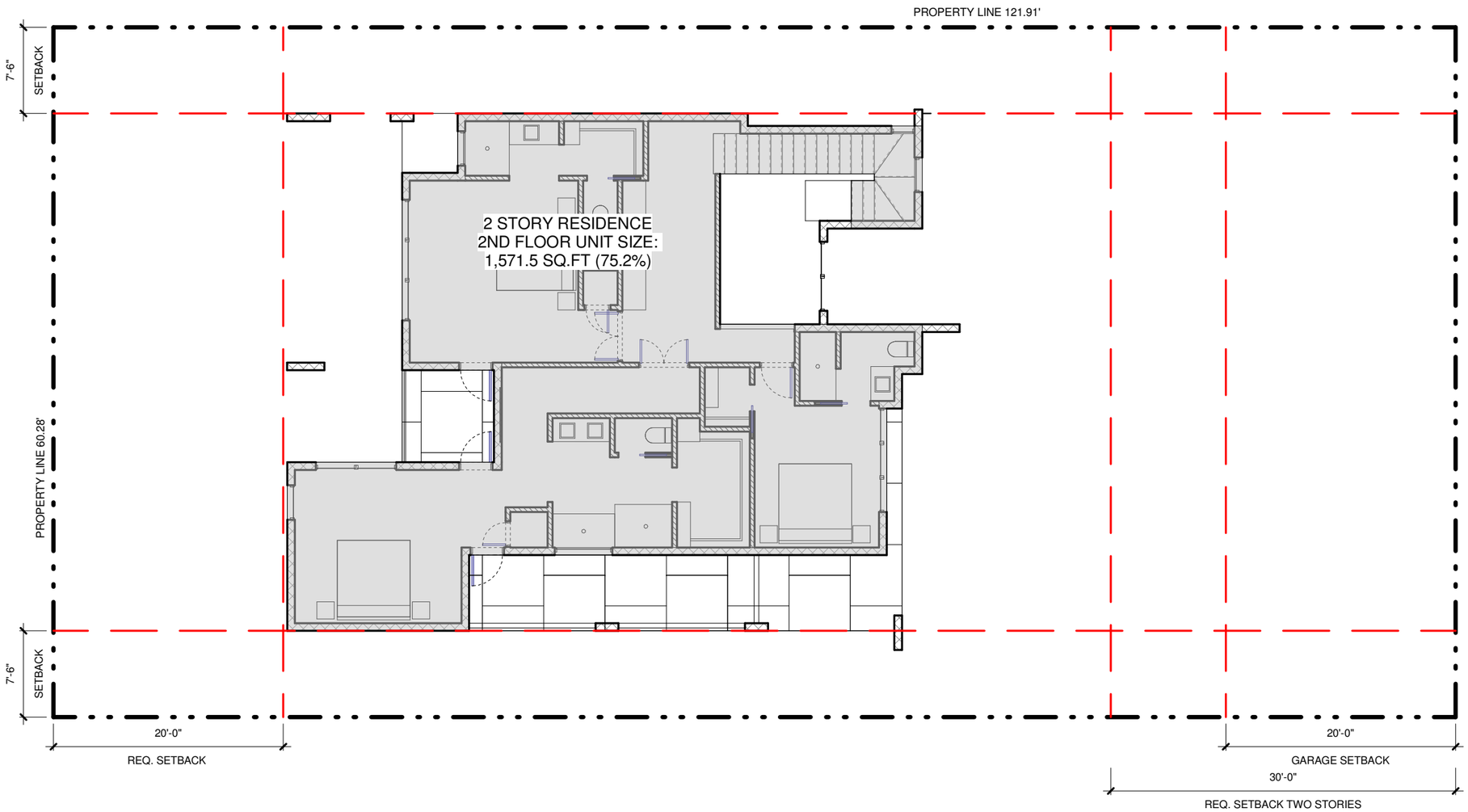
ARCHITECT
FL LIC. NO. AR94561

UNIT SIZE GROUND FLOOR

D-102



UNIT SIZE = 1,528 SQ.FT
(71.1% OF 2,134 SQ.FT
GROUND FLOOR)

1 **UNIT SIZE 2ND FLOOR**
3/32" = 1'-0"

N

0 4 10 20

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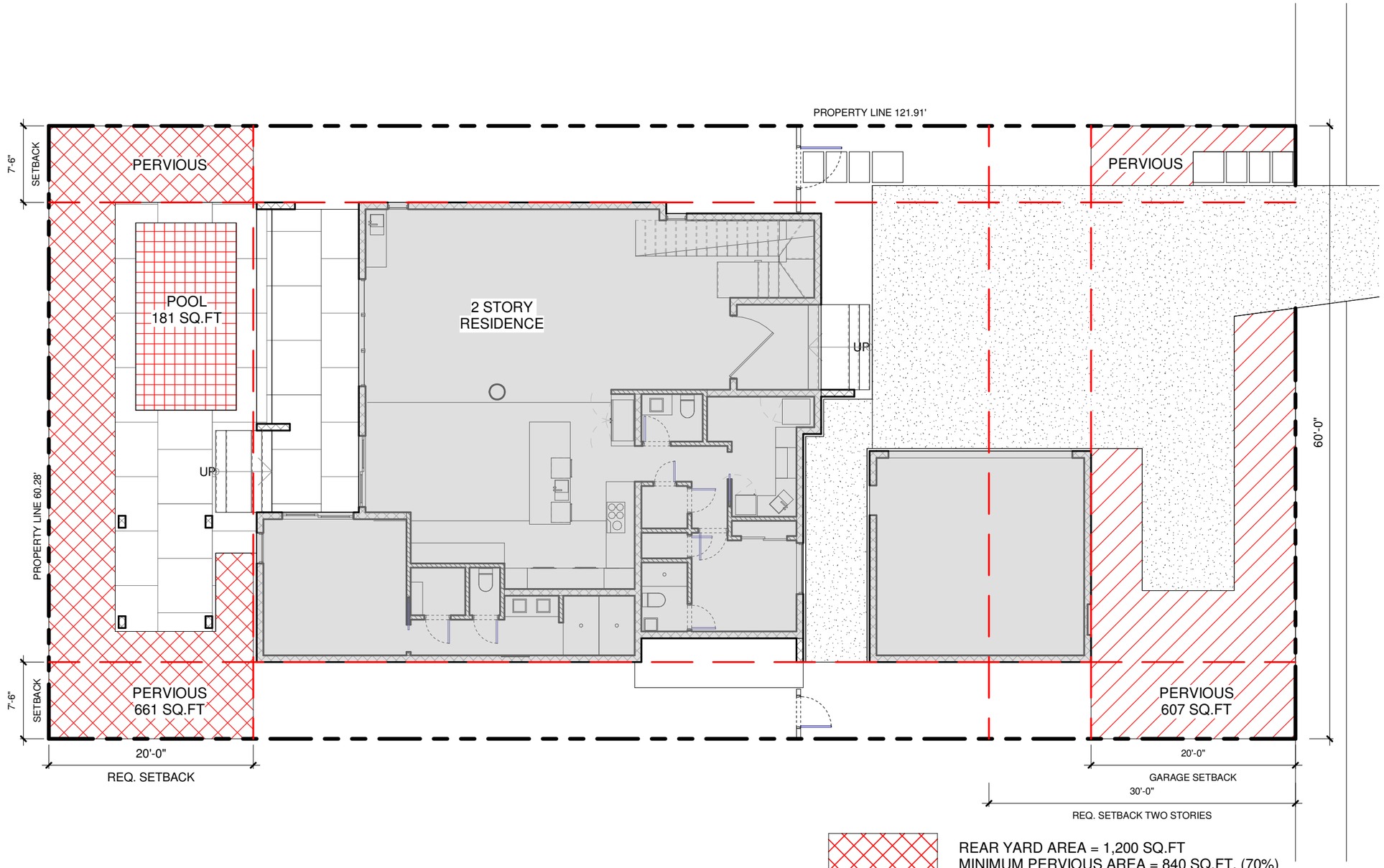
ARCHITECT
FL LIC. NO. AR94561

UNIT SIZE 2ND FLOOR

D-103



REAR YARD AREA = 1,200 SQ.FT
MINIMUM PERVIOUS AREA = 840 SQ.FT. (70%)
REAR YARD = 661 SQ.FT.
+ POOL = 181 SQ.FT. =
PROVIDED PERVIOUS AREA = 842 SQ.FT. (70%)

FRONT YARD AREA = 1,200 SQ.FT
MINIMUM PERVIOUS AREA = 600 SQ.FT. (50%)
PROVIDED PERVIOUS AREA = 607 SQ.FT (50%)

1 OPEN AREA DIAGRAM

3/32" = 1'-0"

N

0 4 10 20

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

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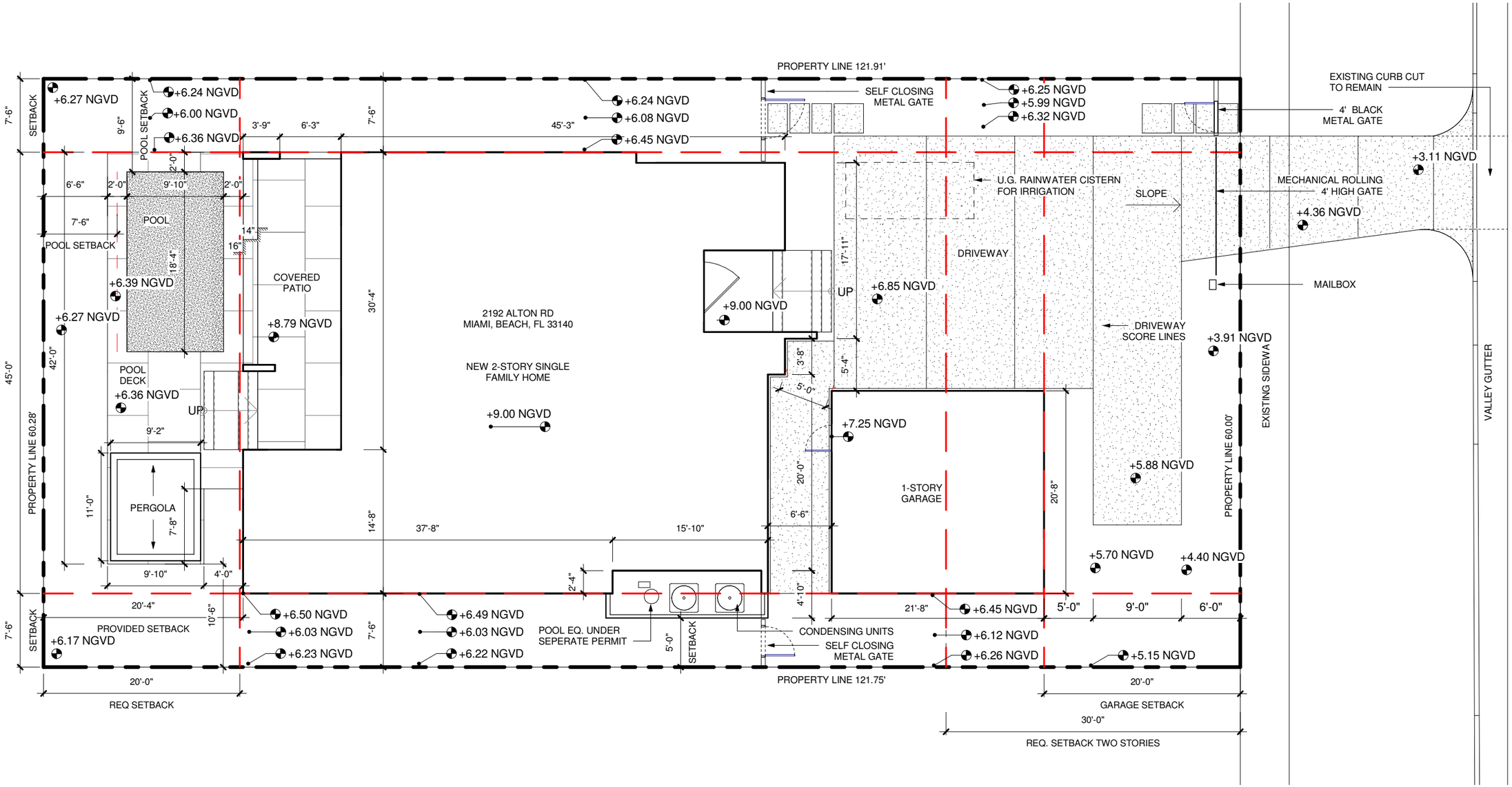
FL LIC. NO. AR94561

OPEN AREA DIAGRAM

D-104

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL



HIRSCH RESIDENCE

2192 ALTON ROAD
MIAMI, FL 33140

ALTON ROAD

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1200 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.4677
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ARCHITECT
FL LIC. NO. AR94561

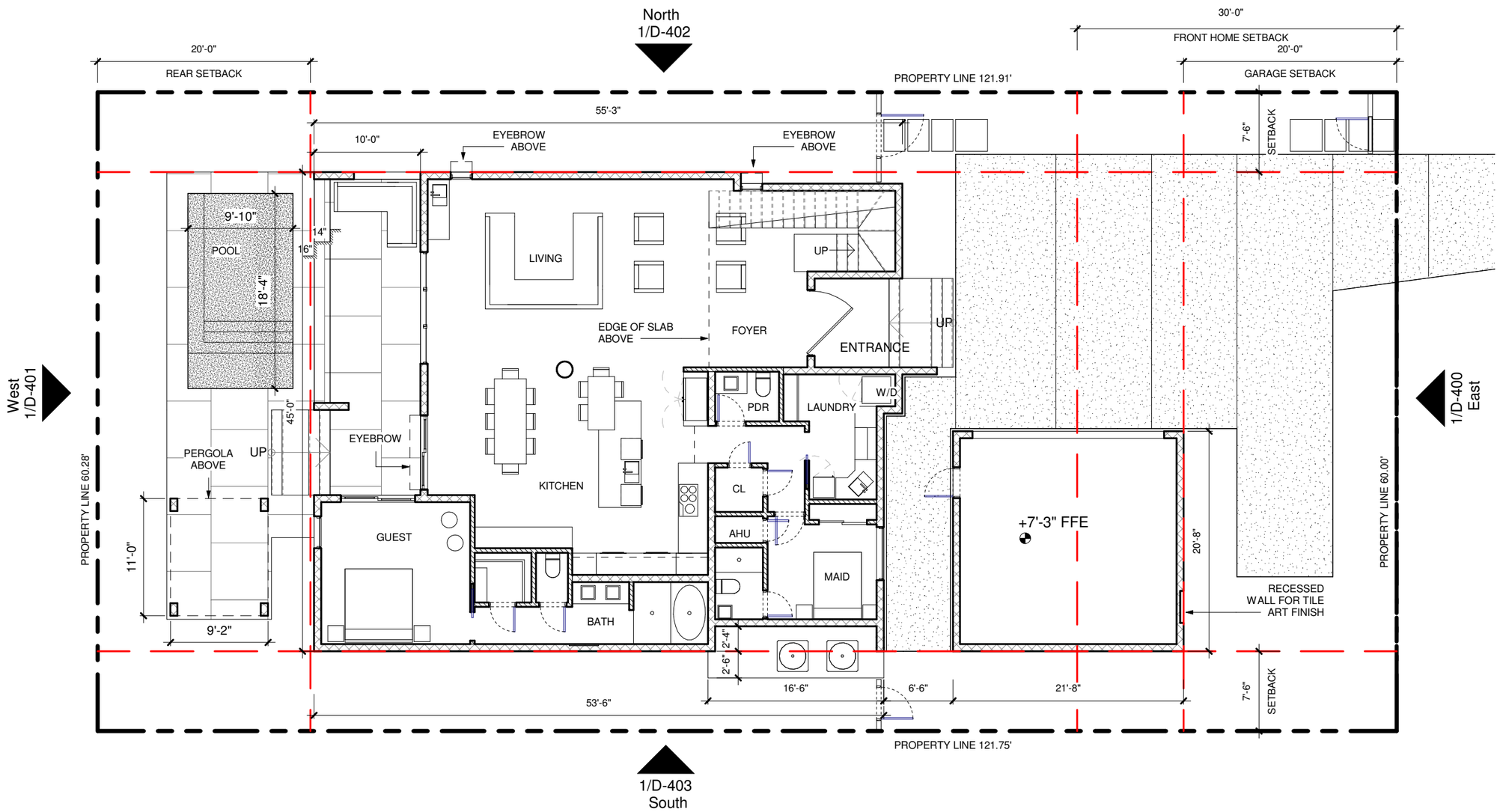
SITE PLAN / GRADING PLAN

D-200

1 **SITE PLAN / GRADING PLAN**
3/32" = 1'-0"

N

0 4 10 20



1 **FIRST FLOOR**
3/32" = 1'-0"

N

0 4 10 20

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DRB FINAL SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
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moss-arch.com

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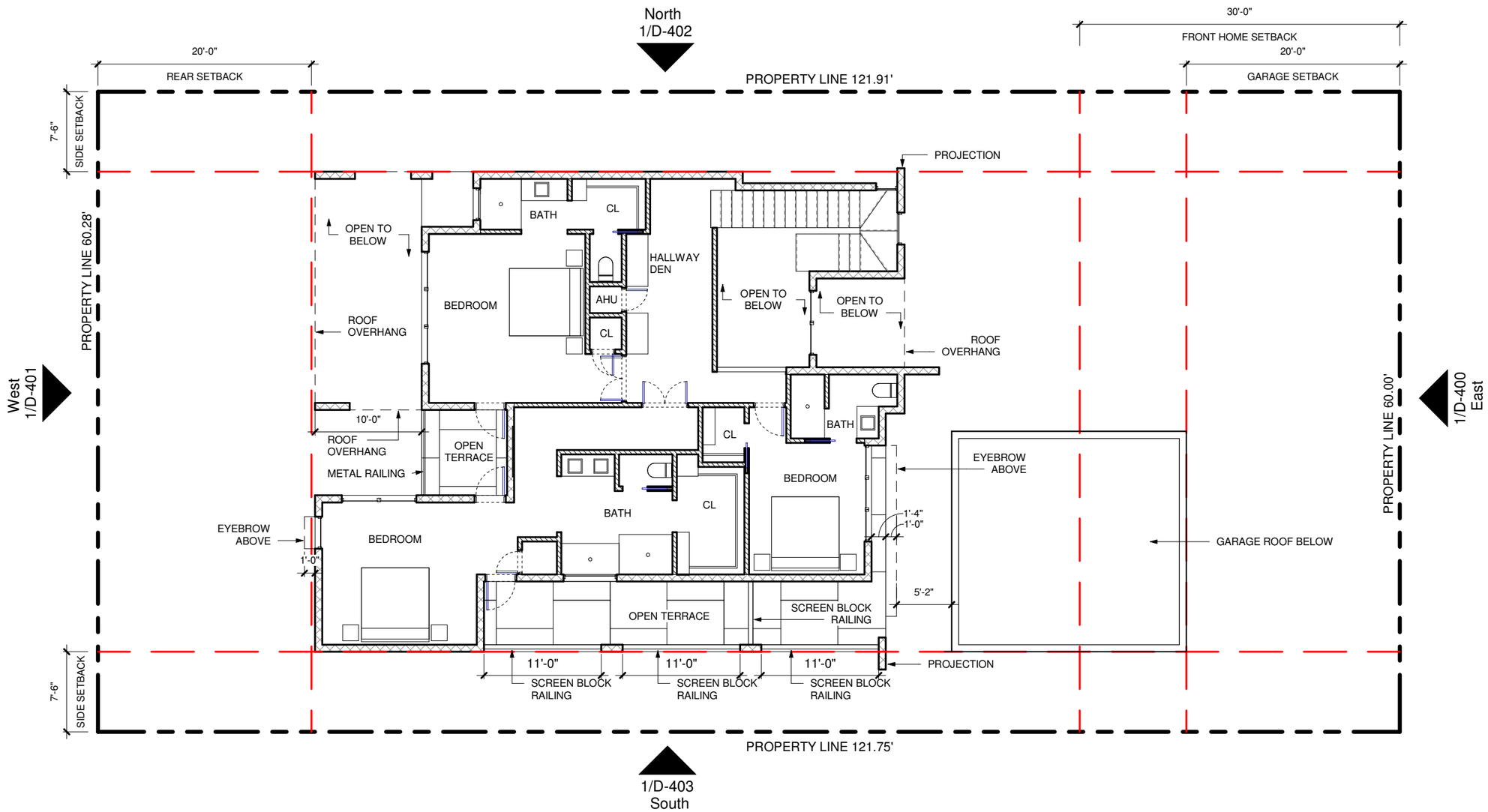
ARCHITECT
FL LIC. NO. AR94561

GROUND FLOOR PLAN

D-300



1 **SECOND FLOOR**
3/32" = 1'-0"

N

0 4 10 20

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HIRSCH RESIDENCE
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moss-arch.com

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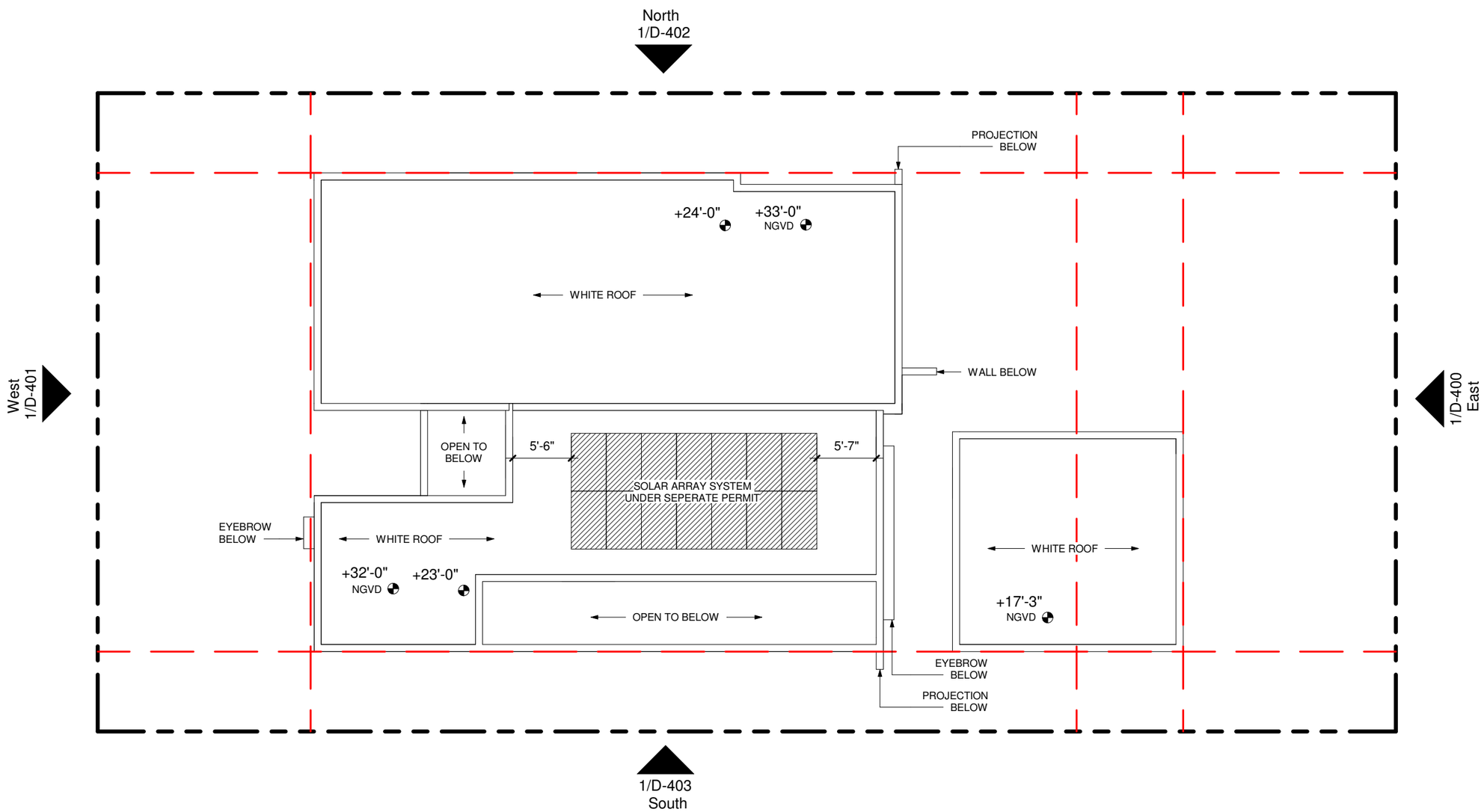
ARCHITECT
FL LIC. NO. AR94561

SECOND FLOOR PLAN

D-301



1 **ROOF PLAN**
3/32" = 1'-0"

N

0 4 10 20

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HIRSCH RESIDENCE
2192 ALTON ROAD
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MIAMI, FLORIDA 33131
305.741.8677
moss-arch.com

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ARCHITECT
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ROOF PLAN

D-302

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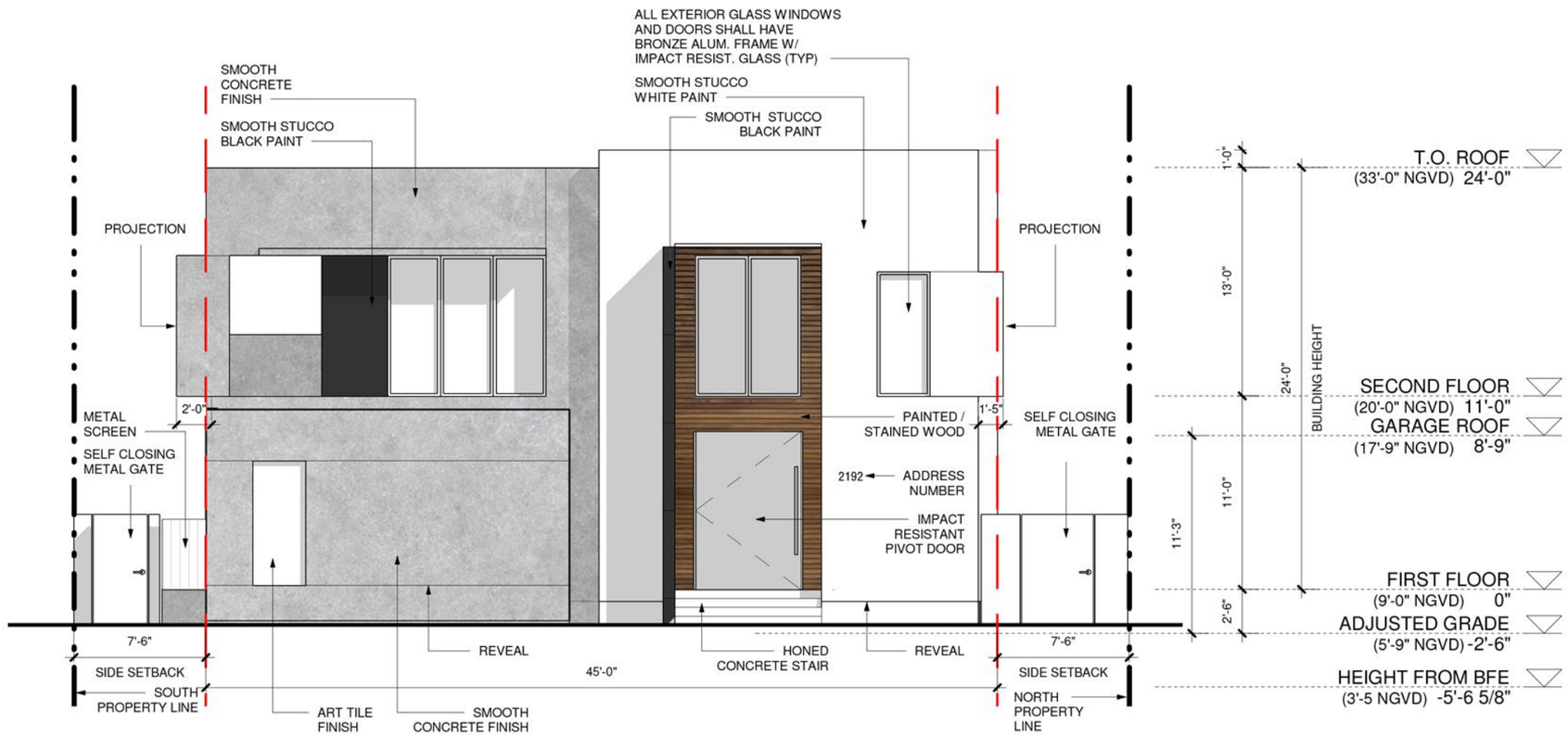
DRB FINAL SUBMITTAL

HIRSCH RESIDENCE

2192 ALTON ROAD
MIAMI, FL 33140



1 East

1/8" = 1'-0"

0 4 10 20

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BUILDING ELEVATIONS

D-400

FEBRUARY 4, 2019

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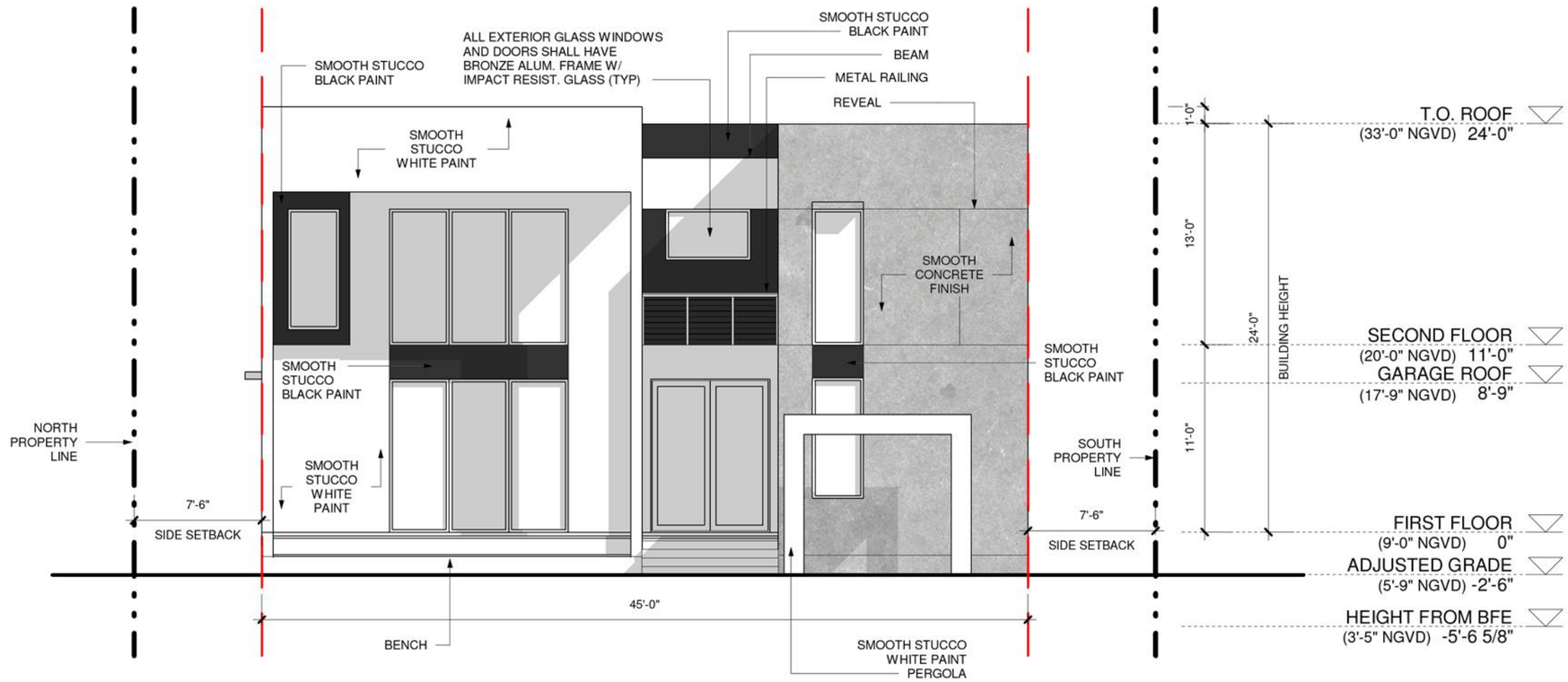
HIRSCH RESIDENCE

2192 ALTON ROAD
MIAMI, FL 33140



1 **West**
1/8" = 1'-0"

0 4 10 20

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305.741.6677
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ARCHITECT
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BUILDING ELEVATIONS

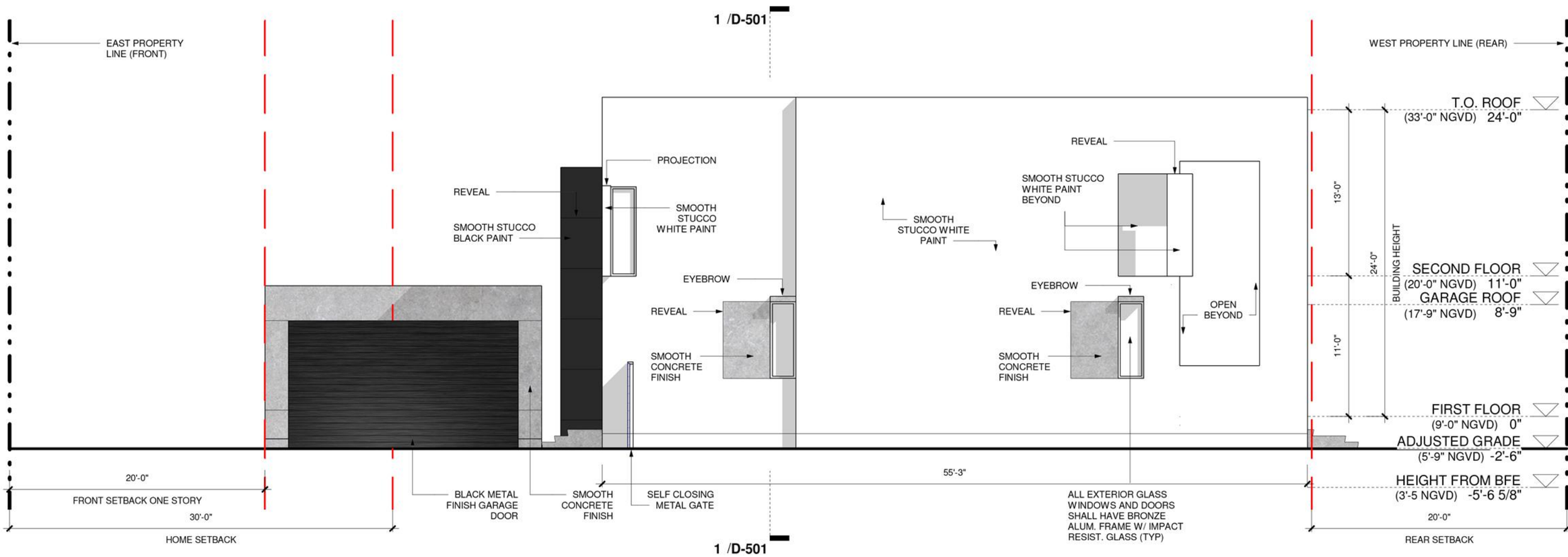
D-401

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE

2192 ALTON ROAD
MIAMI, FL 33140



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MIAMI, FLORIDA 33131
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ARCHITECT
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BUILDING ELEVATIONS

1 **North**
1/8" = 1'-0"

0 4 10 20

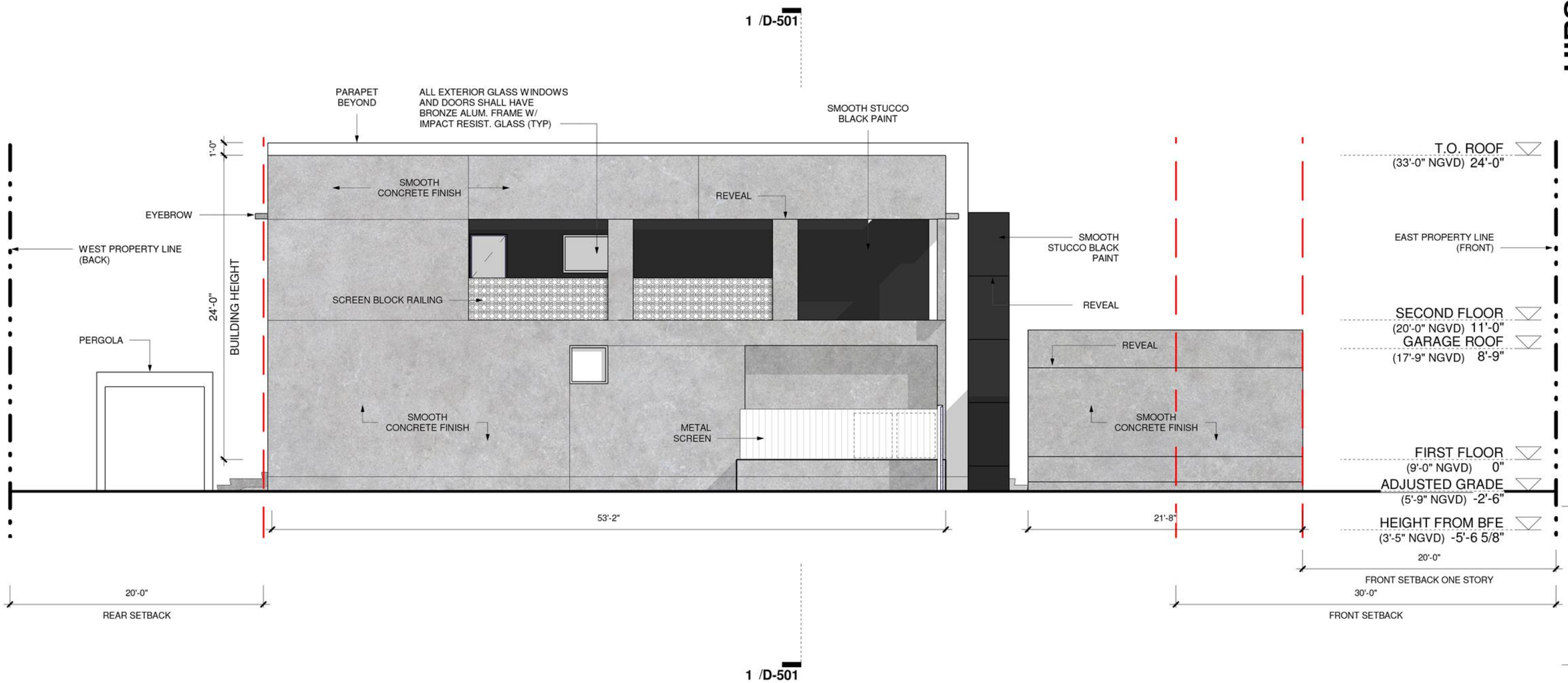
D-402

FEBRUARY 4, 2019

DRB FINAL SUBMITTAL

HIRSCH RESIDENCE

2192 ALTON ROAD
MIAMI, FL 33140



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1200 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.6677
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ARCHITECT
FL LIC. NO. AR94561

BUILDING ELEVATIONS

1 South

1/8" = 1'-0"

0 4 10 20

D-403

FEBRUARY 4, 2019

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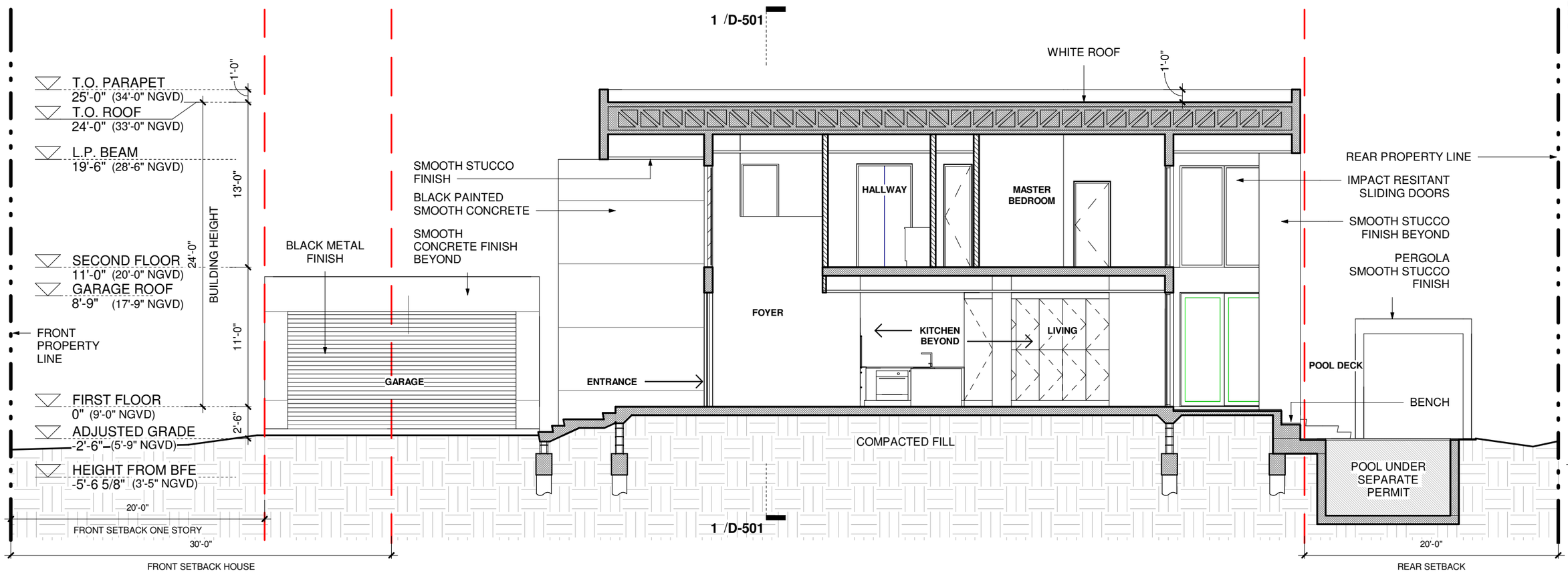
HIRSCH RESIDENCE

2192 ALTON ROAD
MIAMI, FL 33140



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1200 BRICKELL AVE. SUITE 1410
MIAMI, FLORIDA 33131
305.741.5677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

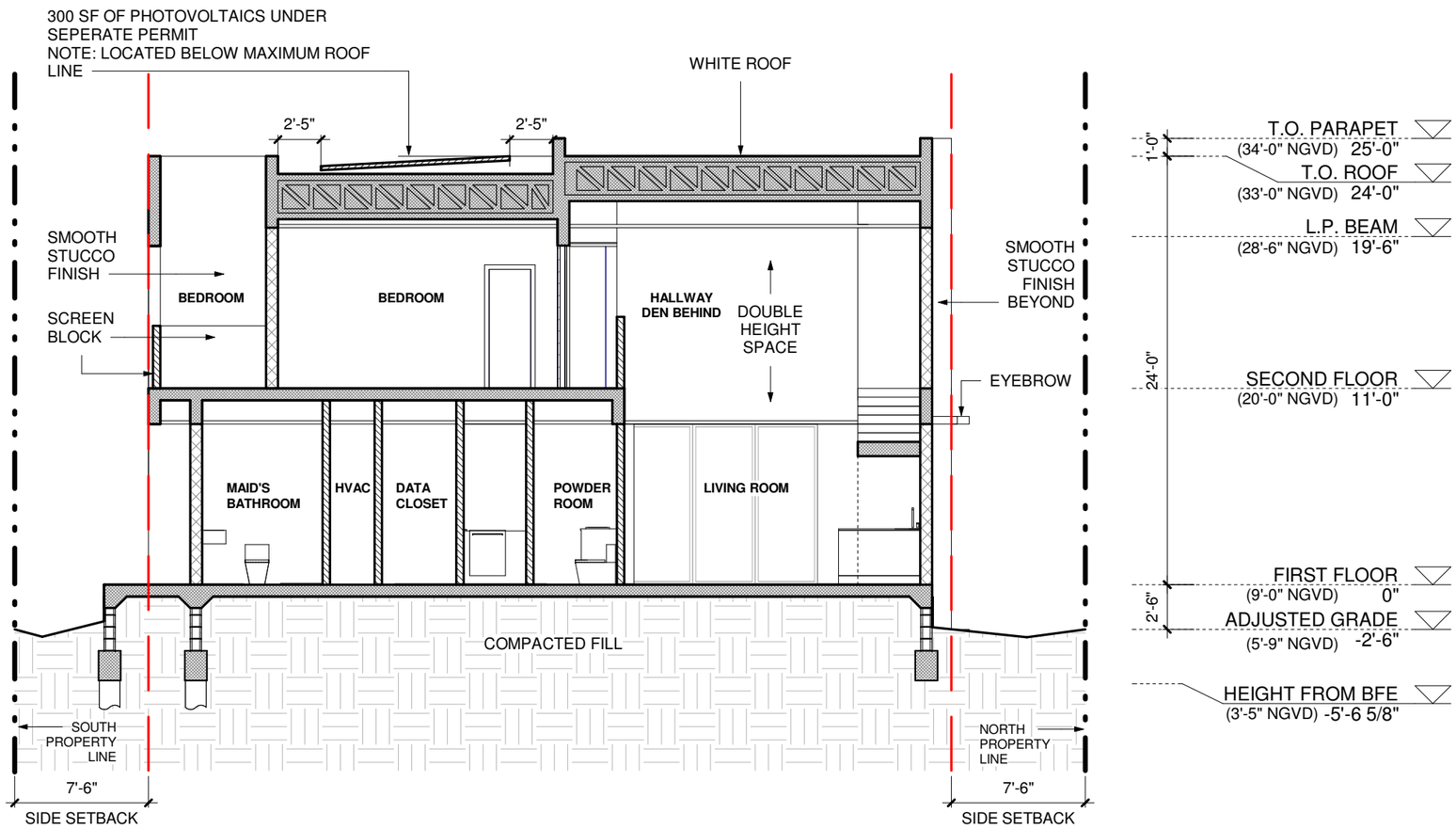
BUILDING SECTIONS

1 LONGITUDINAL SECTION

1/8" = 1'-0"

0 4 10 20

D-500



1 **CROSS SECTION**
1/8" = 1'-0"

0 4 10 20

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HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

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1200 BRICKELL AVE, SUITE 1410
MIAMI, FLORIDA 33131
305.741.6577
moss-arch.com

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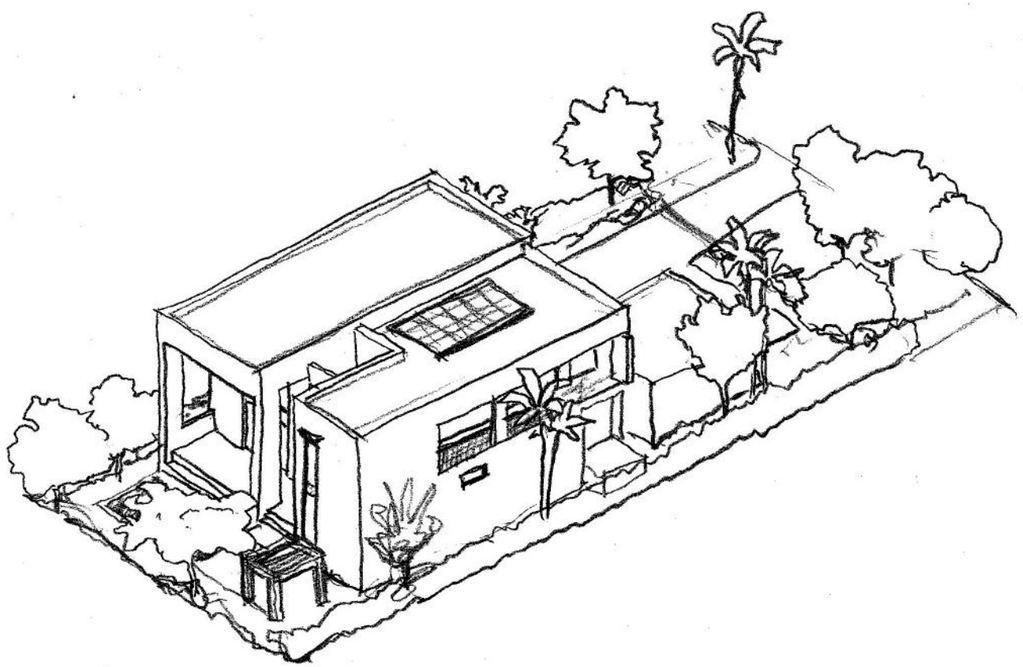
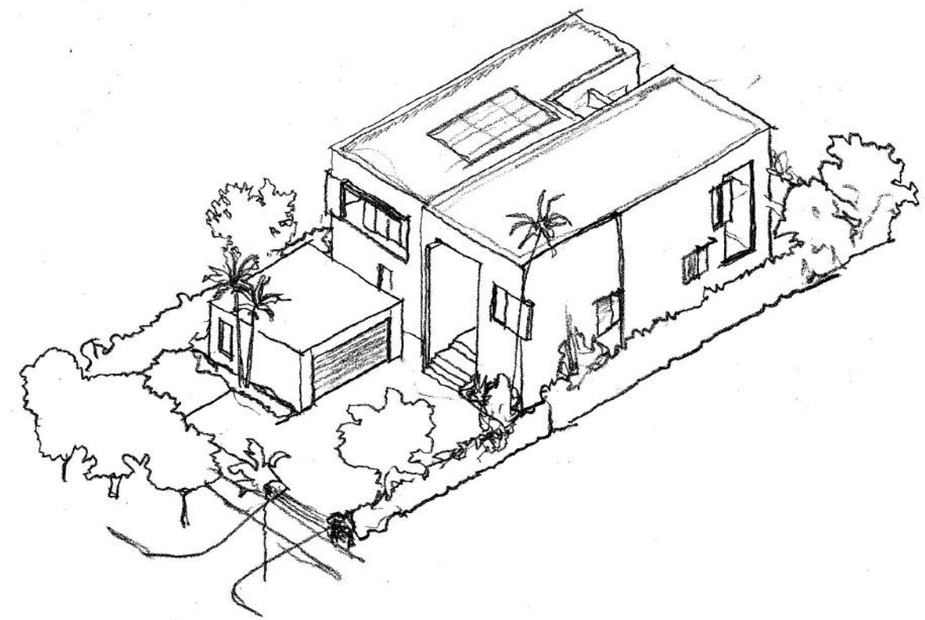
ARCHITECT
FL LIC. NO. AR94561

BUILDING SECTIONS

D-501



2 **SW AXONOMETRIC**
NTS



1 **NE AXONOMETRIC**
NTS

FEBRUARY 4, 2019

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HIRSCH RESIDENCE
2192 ALTON ROAD
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1320 BRICKELL AVE, SUITE 1410
MIAMI, FLORIDA 33131
305.741.6677
moss-arch.com

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

AXONOMETRIC VIEWS

D-600

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305.741.8677
moss-arch.com

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ARCHITECT
FL LIC. NO. AR94561

RENDERING FRONT

D-800

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HIRSCH RESIDENCE

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moss-arch.com

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ARCHITECT
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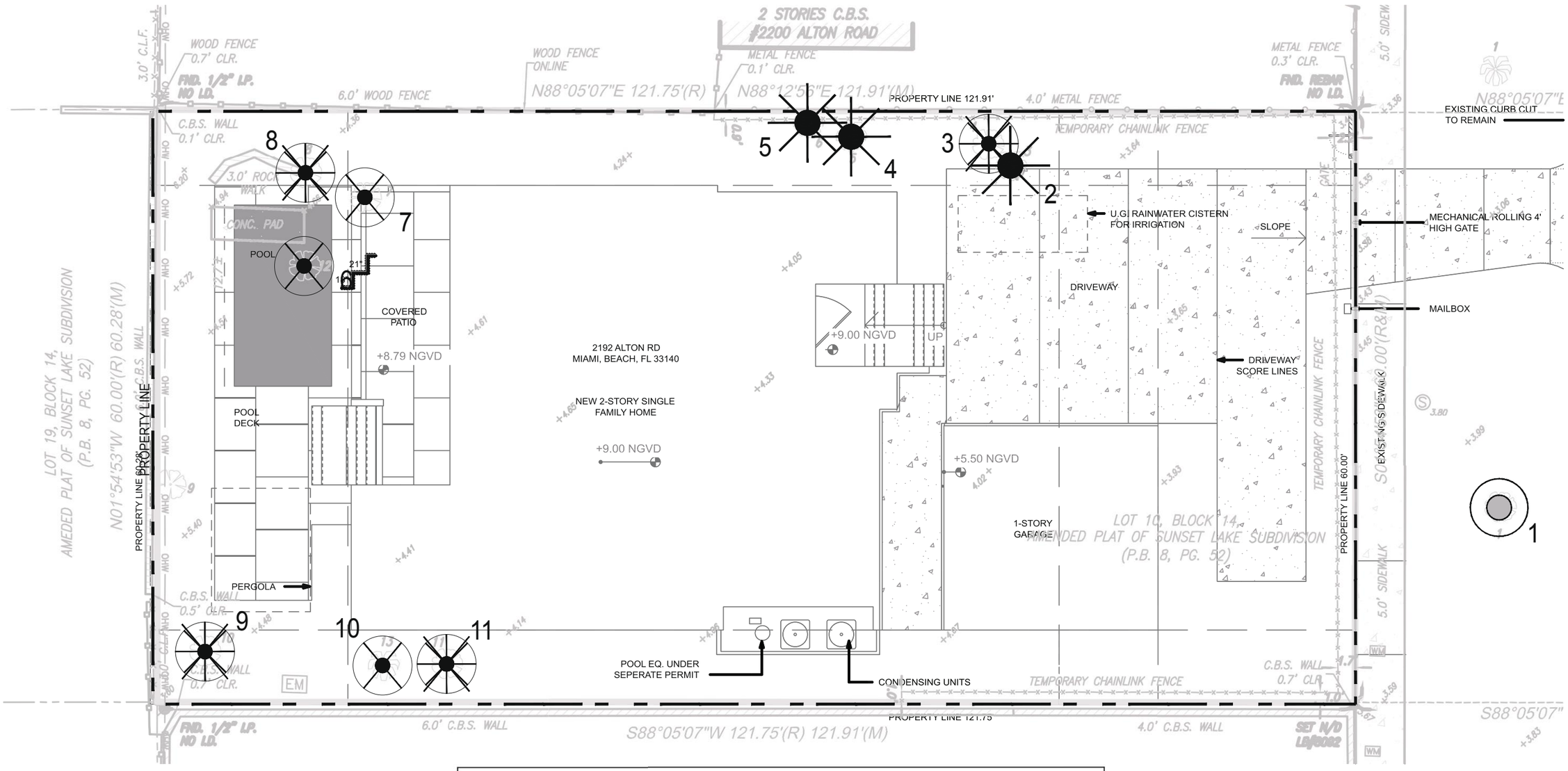
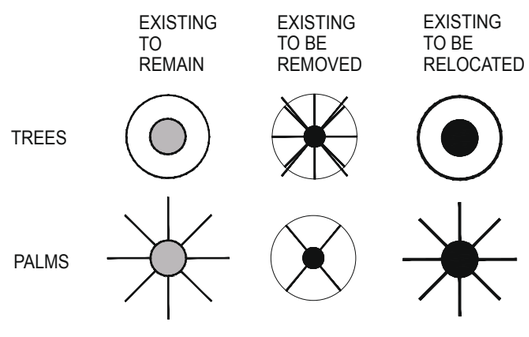
RENDERING BACK

D-801



PLANT SYMBOLS



TREE DISPOSITION

Tree Number	Botanical Name	Common Name	DBH (Inches)	Height (FT)	Canopy (FT)	Disposition	Note
1	Swietenia mahagoni	Mahagony	12”	25’	25’	Remain	
2	Veitchia merrillii	Christmas Palm	5”	25’	8’	Relocate	
3	Ficus aurea	Strangler Fig	16”	20’	16’	Remove	Conflict with design
4	Veitchia merrillii	Christmas Palm	12”	18’	10’	Relocate	
5	Veitchia merrillii	Christmas Palm	12”	18'	10'	Relocate	
6	Veitchia merrillii	Christmas Palm	8”	10’	6’	Remove	
7	Veitchia merrillii	Christmas Palm	7”	6’	6'	Remove	
8	Ficus aurea	Strangler Fig	30”	20'	16'	Remove	Conflict with design
9	Ficus aurea	Strangler Fig	48”	30’	25’	Remove	Conflict with design
10	Veitchia merrillii	Christmas Palm	4"	15'	6’	Remove	
11	Citrus sinensis	Sweet Orange	6”	15’	8'	Remove	Poor condition

N

0 4 10 20

JANUARY 14, 2019

DRB CAP
FIRST
SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

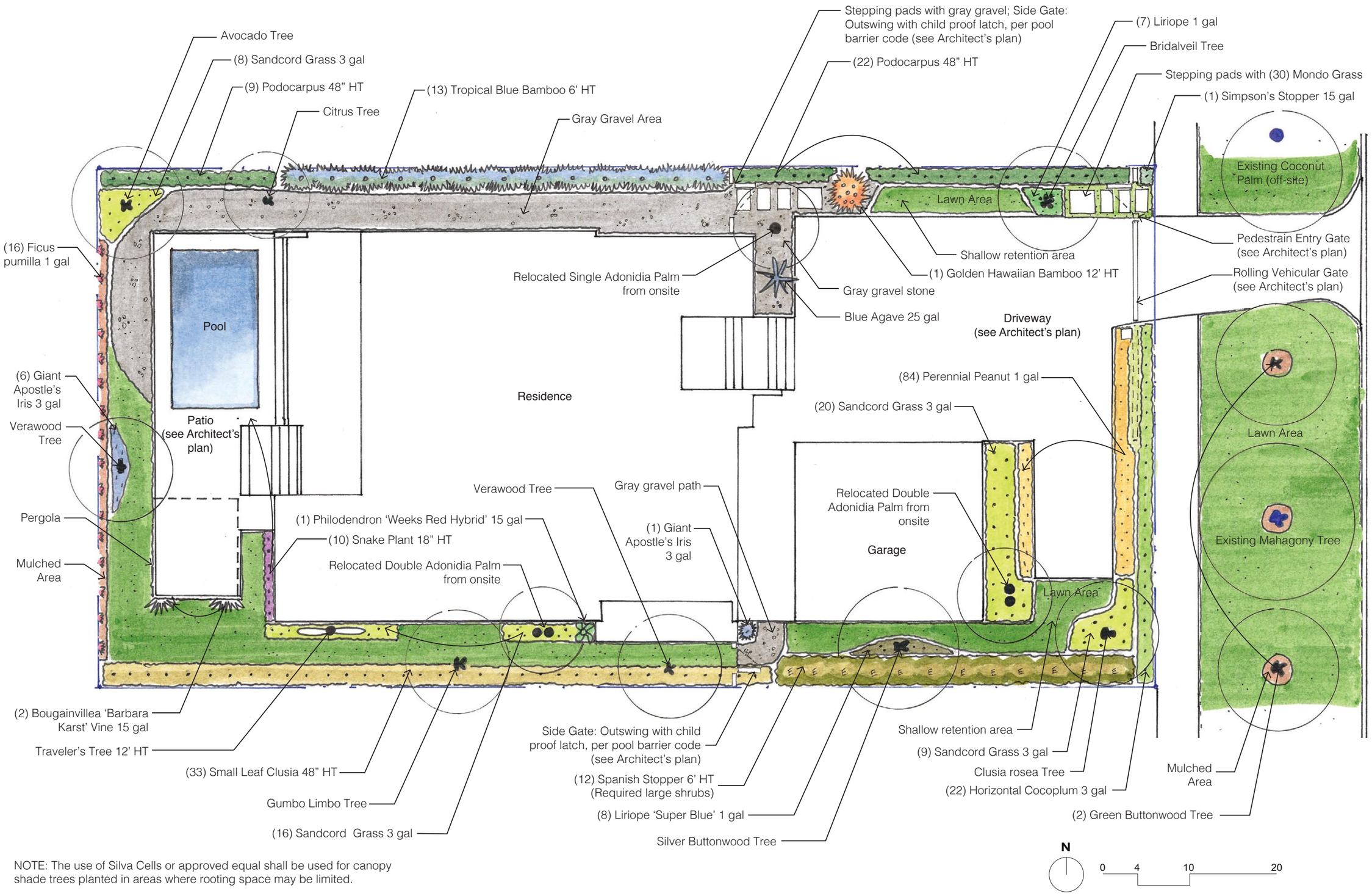
MOSS Architecture & Design Group

CHRIS CABEZAS
LANDSCAPE ARCHITECT
RLA 6667347

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

TREE DISPOSITION PLAN

LP001



NOTE: The use of Silva Cells or approved equal shall be used for canopy shade trees planted in areas where rooting space may be limited.

JANUARY 14, 2019

DRB CAP FIRST SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group

CHRIS CABEZAS
LANDSCAPE ARCHITECT
RLA 6667347

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

LANDSCAPE PLAN

LP002

PLANT SCHEDULE

TREES	QTY	Scientific Name	Common Name	Specs	Notes
BUS	1	Bursera simaruba	Gumbo Limbo	12' HT, 6' CT, 6' SPR	Standard; 4' Straight Trunk
BAR	2	Bulnesia arborea	Verawood	12' HT, 6' CT, 6' SPR	Standard; 4' Straight Trunk
CGR	1	Caesalpinia granadillo	Bridalveil Tree	12' HT, 6' CT, 6' SPR	Standard; 4' Straight Trunk
COD	1	Clusia rosea	Autograph Tree	12' HT, 6' CT, 6' SPR	Standard; 4' Straight Trunk
CER	2	Conocarpus erectus	Green Buttonwood	12' HT, 6' SPR	Standard; 4' Straight Trunk
CES	2	Conocarpus erectus var. sericeus	Silver Buttonwood	12' HT, 6' SPR	Standard; 4' Straight Trunk
FRUIT TREES	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
CSP	1	Citrus spp.	Lime Tree	12' HT, 6' SPR	Grafted
PAM	1	Persea americana	Avocado Tree	12' HT, 6' SPR	
BAMBOO	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
BSP	13	Bambusa chungii	Tropical Blue Bamboo	6' HT	Clumping variety only
BV	1	Bambusa vulgaris 'Vittata'	Golden Hawaiian Bamboo	12' HT	Clumping variety only
PALMS	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
RMA	1	Ravenala madagascariensis	Travelers Tree	14-16' HT	
VMD	2	Veitchia merrillii	Christmas Palm	Double	Relocated from on-site; #4, #5
VMS	1	Veitchia merrillii	Christmas Palm	Single	Relocated from on-site, #2
VINES	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
BK	2	Bougainvillea 'Barbara Karst'	Same	5-6' HT	Trellis
FP	16	Ficus pumila	Creeping Fig Ivy	3 gal	Full
ACCENTS	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
AT	1	Agave tequilana	Blue Agave	3' HT x 3' SPR	
PW	1	Philodendron 'Weeks Red Hybrid'	Same	15 gal	
LARGE SHRUBS	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
EF	12	Eugenia foetida	Spanish Stopper	Bush, 6' HT, 4' SPR	
MF	1	Myrcianthes fragrans	Simpson's Stopper	15 gal, multi-trunk	with character
SHRUBS	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
CG	33	Clusia guttifera	Small Leaf Clusia	48" HT x 24" SPR	30" O.C.
CI	22	Chrysobalanus icaco 'Horizontal	Horizontal Cocoplum	18" HT x 18" SPR	24" O.C.
NC	7	Neomarica caerulea 'Regina'	Giant Apostle's Iris	18" HT x 18" SPR	24" O.C.
PM	31	Podocarpus macrophyllus	Japanese Yew	48" HT x 24" SPR	30" O.C.
SS	10	Sansevieria spp.	Snake Plant	18" HT	18" O.C.
SB	53	Spartina bakeri	Sandcord Grass	18" HT x 18" SPR	24" O.C.
GROUND-COVERS	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
AG	84	Arachis glabrata	Perennial Peanut	1 gal, Full	12" O.C.
LM	15	Liriope Muscari 'Super Blue'	Lilyturf	1 gal, Full	12" O.C.
OJ	30	Ophiopogon japonicus	Dwarf Mondo Grass	1 gal, Full	12" O.C.
SOD	**QTY**	**Scientific Name**	**Common Name**	**Specs**	**Notes**
STS	650 sf	Zoysia spp.	Empire Zoysia		Pallets
GRAVEL	**QTY**	**Item Name**		**Specs**	**Notes**
STS	475 sf	Gray Granite Gravel		Fines	Weed liner and thin edging

AREA CALCULATIONS	
Total Site Area	7305 sf
Total Impervious Area	4805 sf
Total Pervious Area	2500 sf

LANDSCAPE REQUIREMENTS (RS-4)		
	Required	Provided
The minimum number of required trees (within property line)	7	8
The minimum number of trees species	3	8
Street Trees (20' Average Spacing)	3	3
Shrubs Required (12 shrubs x 10 required trees)	120 shrubs	167
Large Shrubs (10% of total shrubs)	12	13
Maximum allowable percentage of sod within the property	50%	26% (650 sf)

MITIGATION SUMMARY		
Required Mitigation (see Tree Dispo sheet)		1,027 sf
Provided Mitigation Points		
Quantity	Type	Square Feet Credits
11	Category 1 Trees (300 pts)	3300 sf
Provided Mitigation Points		**3300 sf**

JANUARY 14, 2019

DRB CAP FIRST SUBMITTAL

HIRSCH RESIDENCE
2192 ALTON ROAD
MIAMI, FL 33140

MOSS Architecture & Design Group

CHRIS CABEZAS
LANDSCAPE ARCHITECT
RLA 6667347

BRETT G. MOSS
ARCHITECT
FL LIC. NO. AR94561

LANDSCAPE DATA

LP003

Gumbo Limbo
Bursera simaruba

Verawood
Bulnesia arborea

Bridalveil Tree
Caesalpinia granadillo

Autograph Tree
Clusia rosea

Green Buttonwood
Conocarpus erectus

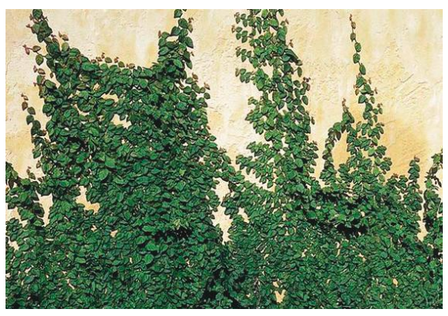
Silver Buttonwood
Conocarpus erectus 'sericeus'

Travelers Tree
Ravenala madagascariensis

Christmas Palm
Veitchia merrillii

Bougainvillea 'Barbara Karst'
Same

Tropical Blue Bamboo
Bambusa chungii



Creeping Fig Ivy
Ficus pumila

Blue Agave
Agave tequilana

Philo. 'Weeks Red Hybrid'
Philodendron spp.

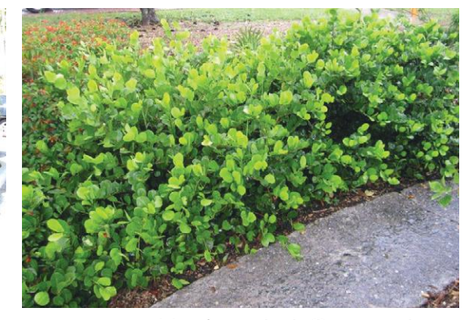
Spanish Stopper
Eugenia foetida

Giant Apostle's Iris
Neomarica caerulea 'Regina'

Sandcord Grass
Spartina bakeri

Small Leaf Clusia
Clusia guttifera

Japanese Yew
Podocarpus macrophyllus



Horizontal Cocoplum
Chrysobalanus icaco

Perennial Peanut
Arachis glabrata

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LANDSCAPE PLANT IMAGERY

LP004