

**IN-SITE DESIGN GROUP LLC**  
ARCHITECTURAL SERVICES

1546 Jackson Street  
Hollywood, Florida 33020

AA26001758  
WWW.INSITEDESIGNGROUP.COM

ANNIE K. CARRUTHERS  
ARCHITECT AR-97156

**DRB # 18-0360**

**PROJECT:**

HIBISCUS RESIDENCE  
266 & 270 South Hibiscus  
Drive, Miami Beach,  
FL 33139

**PROPOSED  
REAR  
ELEVATION  
RENDERING**

**DATE:**

02/04/2019

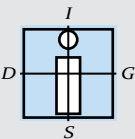
**ITEM NUMBER:**

9-Q

**SHEET NUMBER:**

133





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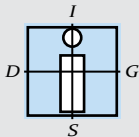
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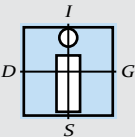
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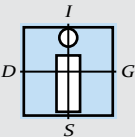
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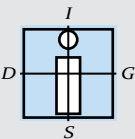
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**PROPOSED  
ARIAL  
RENDERING**

**DATE:**

02/04/2019

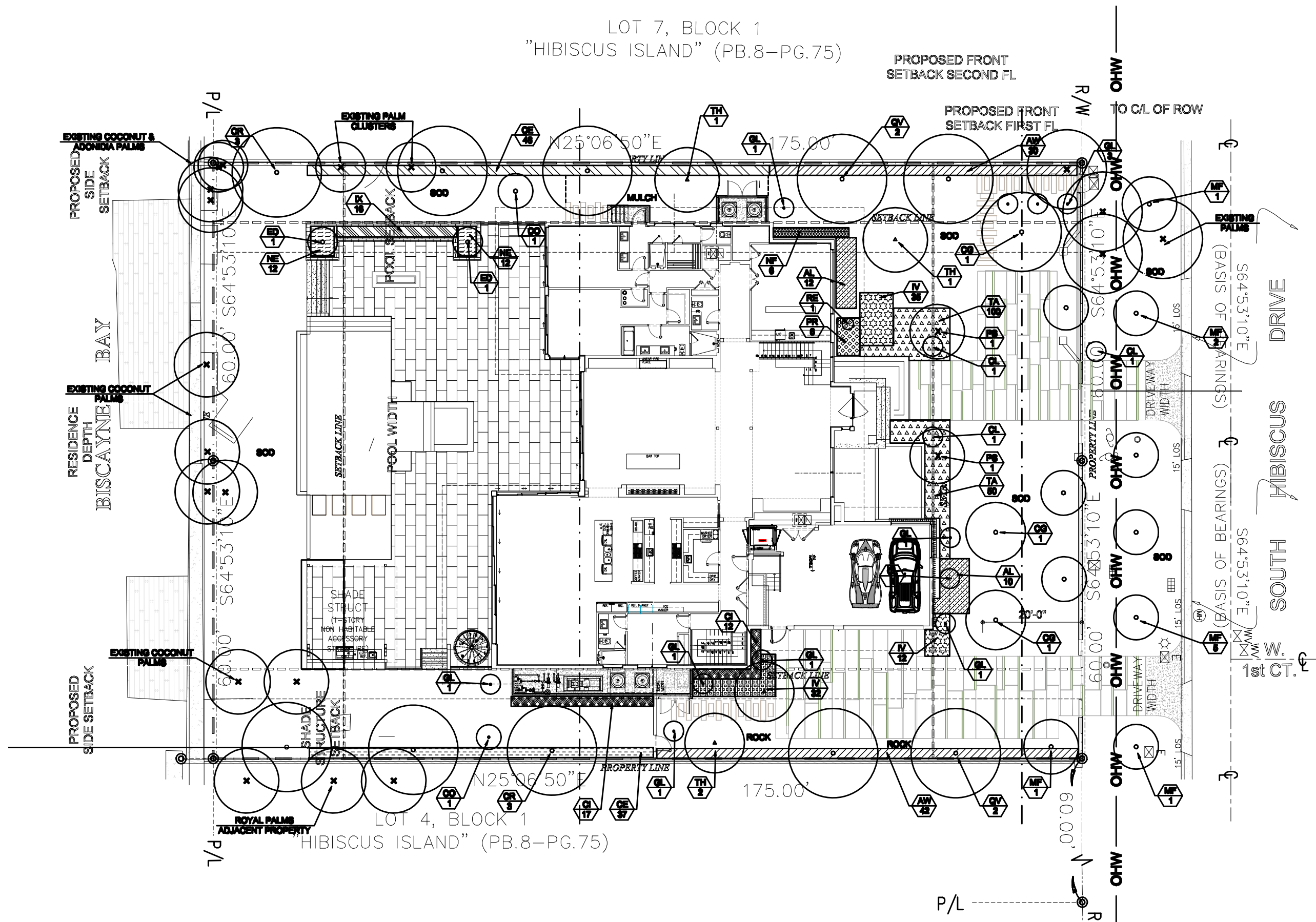
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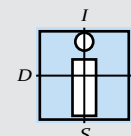
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NEW SITE PLAN  
SCALE : 1" = 20'



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**LANDSCAPE  
PLAN**

**DATE:**

02/04/2019

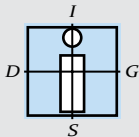
**ITEM NUMBER:**

10-A

**SHEET NUMBER:**

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## Landscape Legend

	Zoning District: RS-3 Lot Area: 21,000 sf Acres: .48 AC		
	<b>OPEN SPACE</b>	<b>REQUIRED/ ALLOWED</b>	<b>PROVIDED</b>
A.	Square feet of required Open Space as indicated on site plan: Lot Area = 21,000 s.f.x 25% = sf	5250 sf	5586 sf
B.	Square feet of parking lot open space required as indicated on site		
	Number of parking spaces 0 x 10 s.f. parking space =	0	0
C.	Total square feet of landscaped open space required: A+B=	5250 sf	5586 sf
	<b>LAWN AREA CALCULATION</b>		
A.	Square feet of landscaped open space required	5250 sf	5586 sf
B.	Maximum lawn area (sod) permitted= 50 % x 5250 s.f.	2625 sf	2625 sf
	<b>TREES</b>		
A.	Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=	20	20
B.	% Natives required: Number of trees provided x 30% =	6	10
C.	% Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	10	20
D.	Street Trees (maximum average spacing of 20' o.c.) 120 LF along street divided by 20'=	6	6
E.	Street Trees allowed directly beneath powerlines ( maximum avergae spacing of 20' o.c.) 120 LF along street divided by 20'=	6	6
	<b>SHRUBS</b>		
A.	Number of shrubs required: Sum of lot and street trees x 12 =	312	339
B.	% Native shrubs required: Number of shrubs x 50%=	161	191
	<b>LARGE SHRUBS OR SMALL TREES</b>		
A.	Number of large shrubs or small trees required: Number of required shrubs x 10%=	32	33
B.	% Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	16	14

## Plant List

Trees/ Palms					
Sym	Qty	Botanical / Common Name	Size	Native	Drought Tolerance
CO	3	Cordia sebestena/ Orange Geiger Tree	6' Ht x 3' Spr, 1.5" cal	Yes	High
CG	3	Caesalpinia granadillo / Bridalveil Tree	10' Ht. x 5' Spr., 2" cal., Single Trunk	No	High
CR	6	Clusia rosea/ Pitch Apple	12' Ht. x 6' Spr., 2" cal.	Yes	High
ED	3	Elaeocarpus decipiens/ Japanese Blueberry	6' Ht. x 3' Spr., 1.5" cal.	No	Medium
MF	10	Myrcianthes fragrans / Simpson's Stopper	12' Ht. x 5' Spr., 2" cal.	Yes	High
TH	3	Tabebuia hyterophylla / Pink Trumpet Tree	12' Ht. x 5' Spr., 2" cal.	No	High
PS	2	Phoenix sylvestris/ Sylvester Palm	10' CT, matched	No	High
QV	4	Quercus virginiana/ Live Oak	12' Ht. x 6' Spr., 2" cal.	Yes	High
GL	8	Gymnanthes lucida/ Crabwood	6' x 3', 1.5" cal	Yes	High
LJ	4	Ligustrum japonicum/ Japanese Privet	6' Ht x 3' Spr, multi trunk	No	High
Shrubs/Groundcovers					
AL	22	Alocasia odora 'California'/ Alocasia	24" x 24"	No	Low
AW	72	Acalypha wilkesiana/ Copperleaf	24" x 24", 24" O.C.	No	Low
CE	83	Conocarpus erectus/ Green Buttonwood	30" x 24", 24" O.C.	Yes	High
CL	11	Crinum ' Queen Emma'/ Crinum Lily	36" x 36"	No	Medium
CI	47	Chrysobalanus icaco / Cocoplum	24" x 24", 24" O.C.	Yes	Medium
IV	137	Ilex vomitoria 'Stokes Dwarf'/ Dwarf Ilex	10" x 10", 18" O.C.	Yes	High
NF	13	Nephrolepis falcata/ Macho Fern	20" x 20", 24" O.C.	No	Medium
PM	28	Podocarpus macrophyllus / Podocarpus	24" x 24", 24" O.C.	No	Medium
RE	1	Rhapis excelsa/ Lady Palm	5' Ht, 7 stem min, full	No	Medium
NE	24	Neoregelia 'Bossanova'/ Bromeliad	12" x 12", 18" O.C.	No	High
TA	220	Trachelospermum asiaticum/ Dwarf Confederate Jasmine	6" x 12", 18" O.C.	No	Medium
IX	16	Ixora 'Petite'/ Red Taiwan Dwarf Ixora	14" x 10", 18" O.C.	No	Medium
PR	6	Philodendron 'Rojo Congo'/ Red Congo	18" x 18", 24" O.C.	No	High
PTV	31	Pittosporum tobira ' Variegata'/ Var Pittosporum	18" x 18", 24" O.C.	No	Medium
Sod		St. Augustine			
Mulch		Shredded Melaleuca or Eucalyptus			

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### LANDSCAPE PLAN

### ITEM NUMBER:

10-A

139.2



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## HARDSCAPE PLAN

DATE:

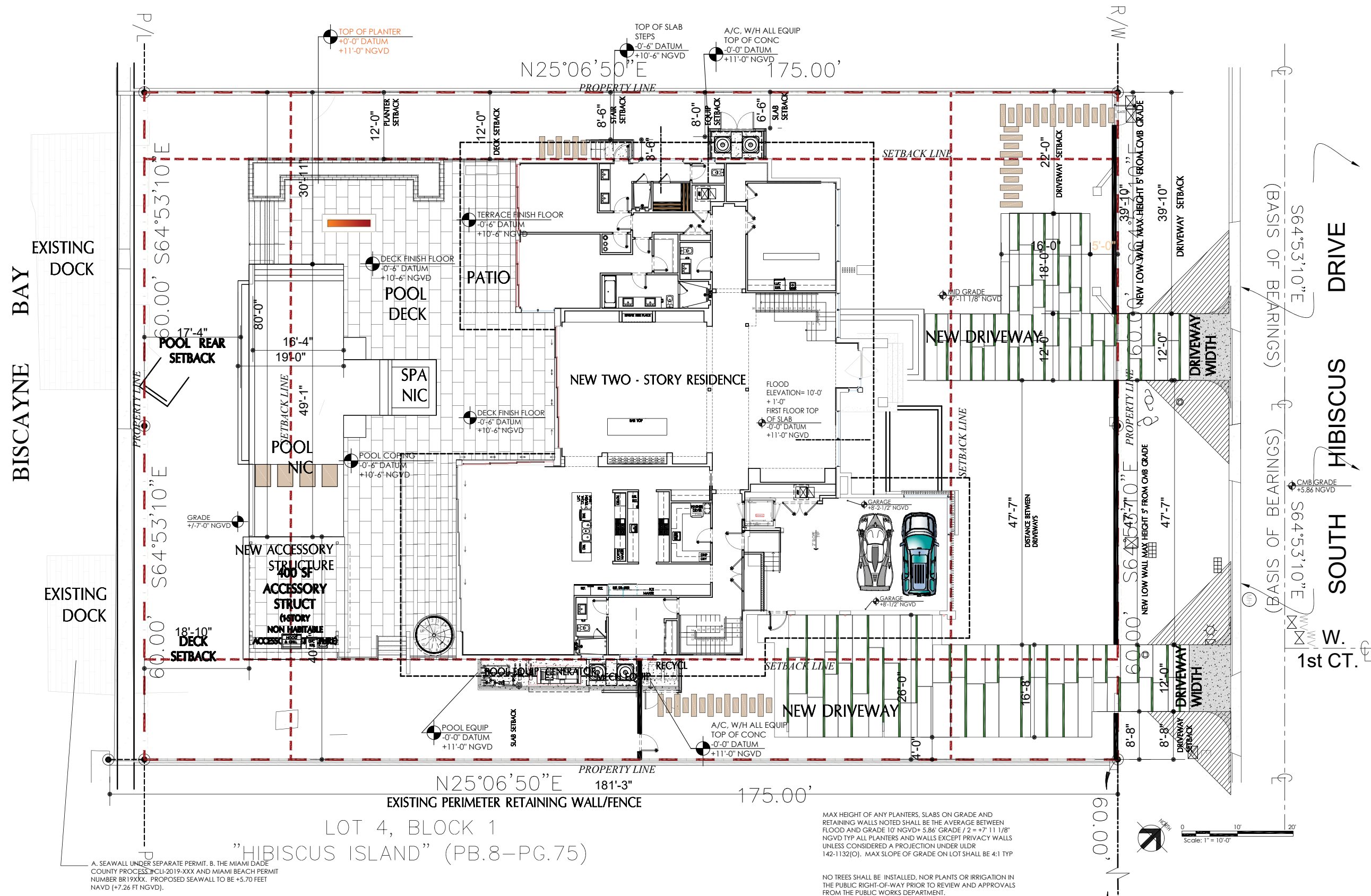
02/04/2019

**ITEM NUMBER:**

10-B

**SHEET NUMBER:**

140

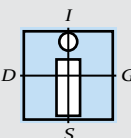




#1910

Spot survey-MZR

Owner MR. & MRS. ROBERT JOSEPHSON		Permit No. 52671	Cost \$18,000.00
Lot 6	Block 1	Subdivision Hibiscus Island	
General Contractor J. Miller Co., Inc		Address 270 So. Hibiscus Drive	
Architect Howard L. Dutkin		Bond No. 6302	3232-06-006
Zoning Regulations:	Use RD	Engineer Ross Associates	
Building Size:	Front 50	Lot Size 60 x 175	
	Depth 54	Height 11	Stories 1
Certificate of Occupancy No. 3308 MAY 14, 1957		Use Residence: 2 Bedrooms, 2 Baths, Carport	
Type of Construction CBSIII	Foundation Concrete Piling	Roof Flat	Date Feb. 15, 1957.
PLUMBING Contractor Service Plumbing #39129		Sewer Connection 1 4"	Date Feb. 20, 1957
		Temporary Water Closet 1	
Water Closets 2	Swimming Pool Traps	Down Spouts	
Lavatories 2	Steam or Hot Water Boilers	Wells	
Bath Tubs 1	ROUGH APPROVAL OK 2/28/57 Rothman		
Showers 1	FINAL APPROVAL OK 5/1/57 Cox		
Urinals			
Sinks 1			
Dish Washing Machine	GAS Contractor	Date	
Laundry Trays	Gas Ranges	Gas Frylators	
Laundry Washing Machines 1	Elec. Gas Water Heaters 1	Gas Pressing Machine	
Drinking Fountains	Gas Space Heaters	Gas Vents for Stove	
Floor Drains	Gas Refrigerators		
Grease Traps	Gas Steam Tables		
Safe Wastes	Gas Broilers		
	GAS Rough APPROVAL OK 3/15/57 Cox		
	GAS FINAL APPROVAL OK 5/1/57 Cox		
AIR CONDITIONING Contractor	MIAMI AIR CONDITIONING CO., #53249, 1 window unit, 1 compressor, \$800.00 OK APLAAG 5/14/57		
SEPTIC TANK Contractor			
OIL BURNER Contractor			
SPRINKLER Contractor			
ELECTRICAL Contractor Hos Electric #49592		Date March 20, 1957	
OUTLETS	Switches 18	Ranges 1	Temporary Service 1 - Feb. 18, 1957-#49453OK Rosser 2/19/5
	Lights 15	Irons 1	Neon Transformers
	Receptacles 19	Refrigerators 1	Sign Outlets
		Fans 1	Meter Change
HEATERS	Water 1	Motors 2 (1HP) 1 (2-5HP)	Centers of Distributions 2
	Space	Appliances 1	Service 1
FIXTURES 15	Electrical Contractor	Violations	
		Date	
		FINAL APPROVAL	
		By Rosser	
		Date 5-6-57	
Alterations or Repairs—Over			



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COPY OF  
ORIGINAL  
BUILDING  
PERMIT CARD

DATE:

02/04/2019

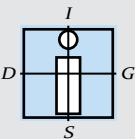
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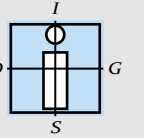
**VACANT/  
UNOCCUPIED  
EVIDENCE**

**DATE:**  
02/04/2019

**ITEM NUMBER:**  
  
14

**SHEET NUMBER:**  
  
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**NEIGHBORHOOD  
CONTEXT STUDY**

**DATE:**

02/04/2019

**ITEM NUMBER:**

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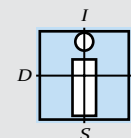
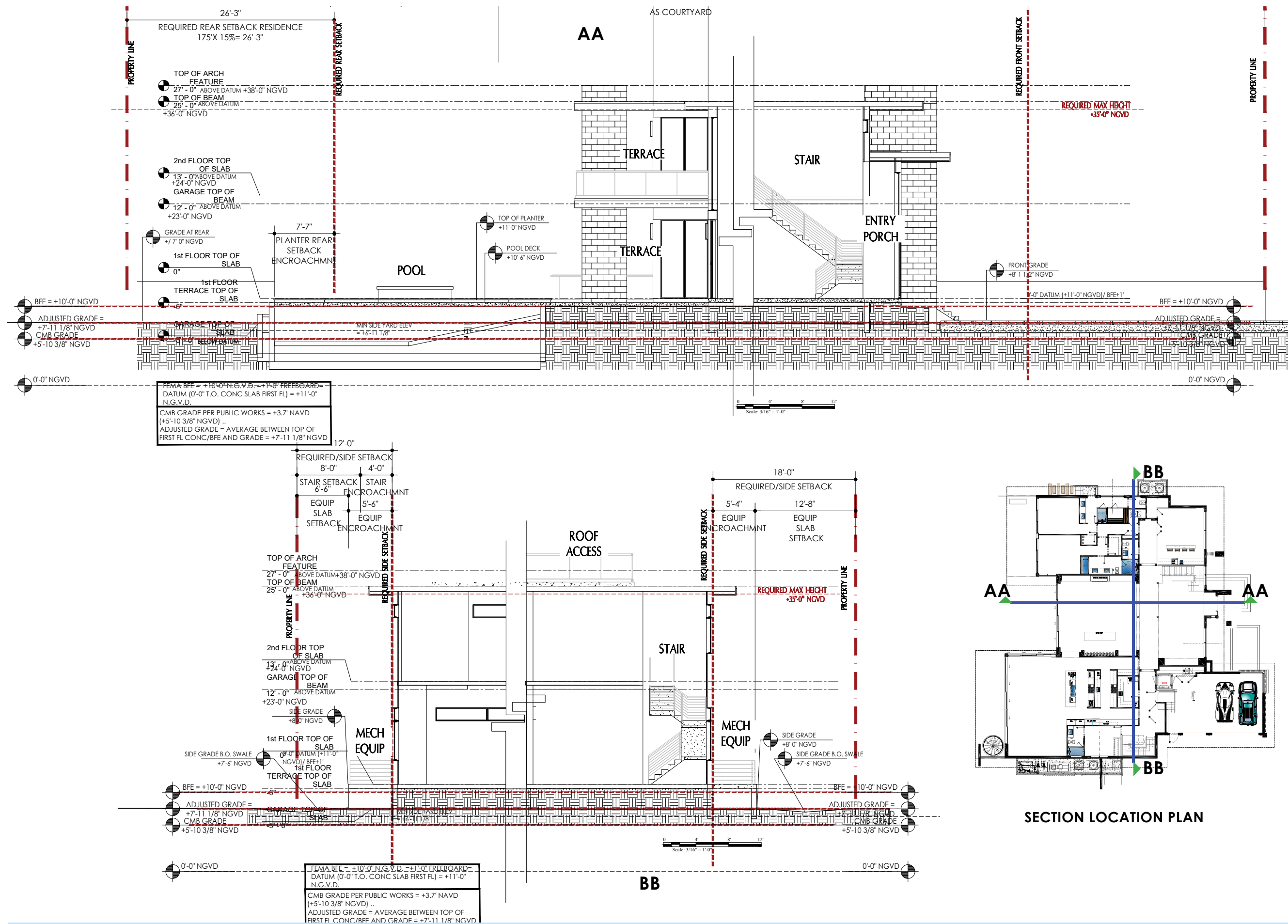
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**REQUIRED YARDS  
SECTION  
DRAWINGS**

**DATE:**

02/04/2019

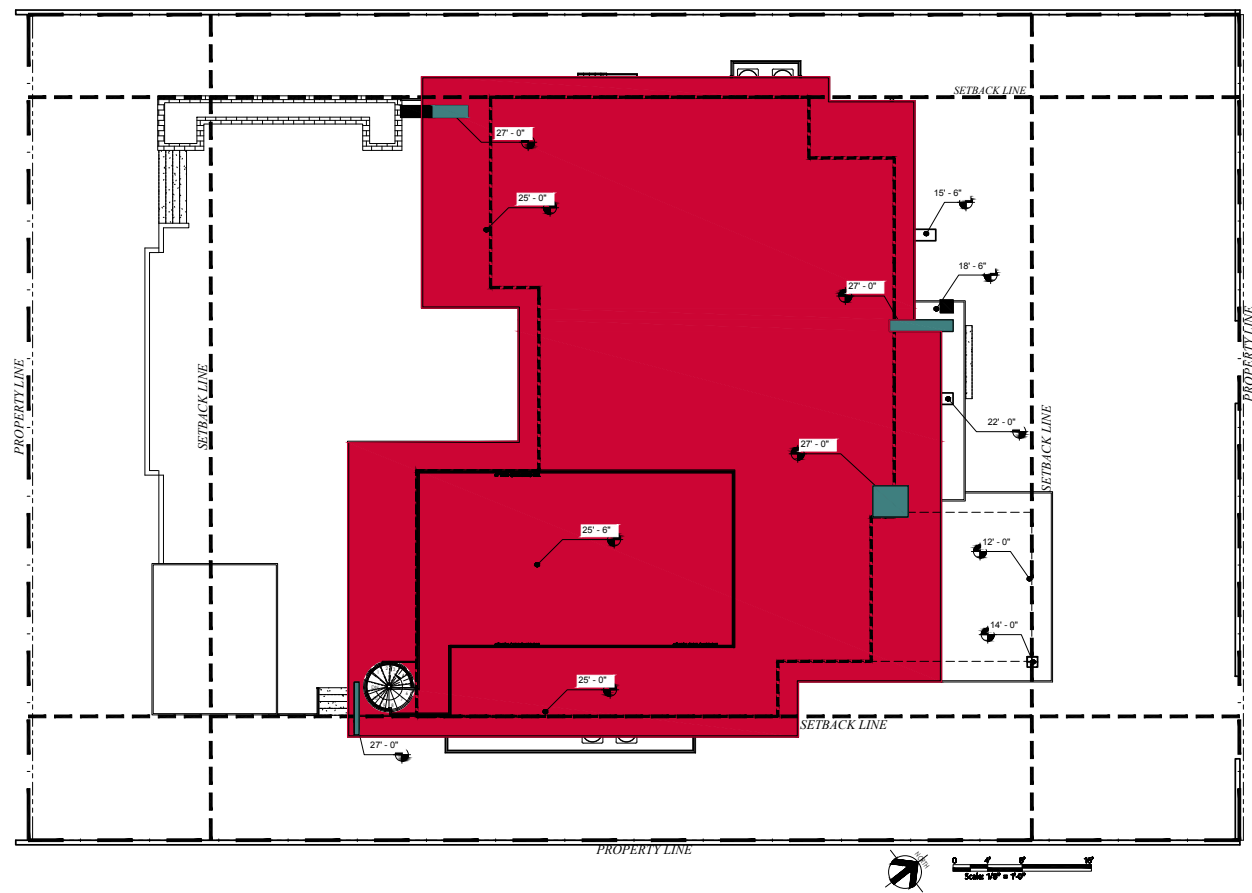
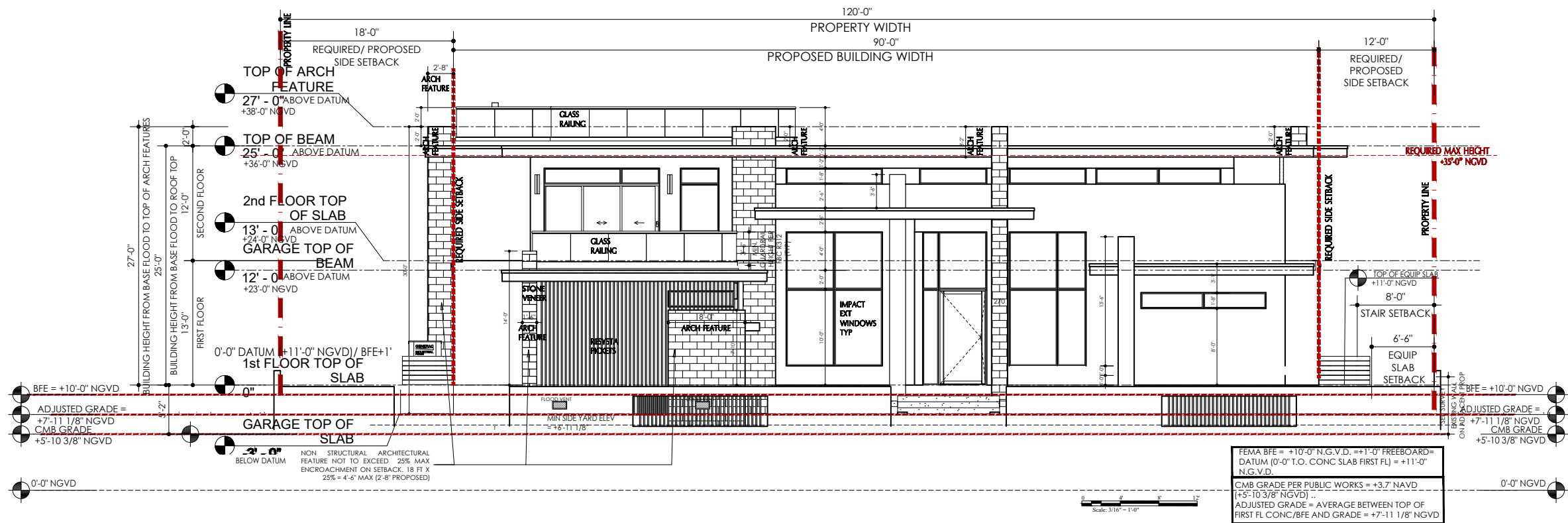
**ITEM NUMBER:**

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**SHEET NUMBER:**

146

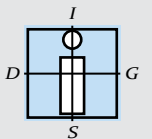




ROOF AREAS PROPOSED AT +25'-0" NGVD ABOVE TOP OF FIRST FL CONC SLAB (BFE PLUS FREEBOARD) = 7,047 SF

ROOF AREAS PROPOSED AT +27'-0" NGVD ABOVE TOP OF FIRST FL CONC SLAB (BFE PLUS FREEBOARD) TOTAL AREA 51.57 SF

HEIGHT WAIVER REQUEST



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**VARIANCE AND/  
OR  
WAIVER  
DIAGRAM  
(HEIGHT)**

**DATE:**

02/04/2019

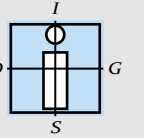
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**70% SECOND  
FLOOR WAIVER  
REQUEST**

**DATE:**

02/04/2019





**ITEM NUMBER:**

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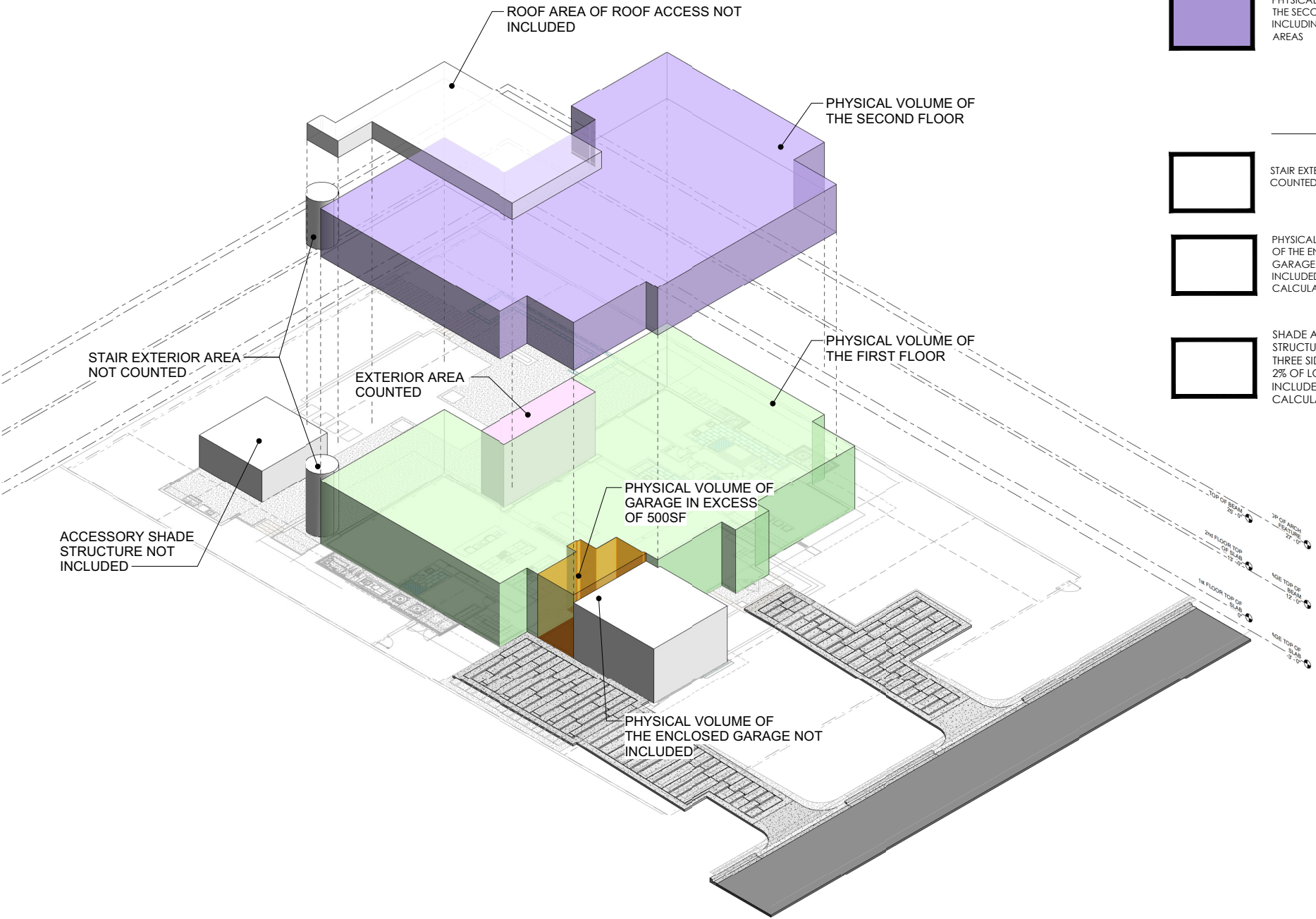
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SECOND FL 70% CALCULATIONS

	PHYSICAL VOLUME OF THE FIRST FLOOR = 5,035.57 SF	FIRST FLOOR CALCULATIONS
	PHYSICAL VOLUME OF GARAGE IN EXCESS OF 500SF = 26.70 SF	
	EXTERIOR AREA COURTYARD COUNTED = 226.96 SF	
SUBTOTAL 5,289.23 SF		
	PHYSICAL VOLUME OF THE SECOND FLOOR INCLUDING OPEN TO BELOW AREAS = 5,134.9 SF	SECOND FLOOR CALCULATIONS

FIRST TO SECOND FL  
CALCULATION  
5,134.9 SF SECOND FL  
5,289.23 SF FIRST FL  
= 97%

	STAIR EXTERIOR AREA NOT COUNTED IN VOLUME	
	PHYSICAL VOLUME OF THE ENCLOSED GARAGE NOT INCLUDED IN CALCULATION	500 SF OF GARAGE AREA (NOT INCLUDED IN CALCULATION)
	SHADE ACCESSORY STRUCTURE / OPEN ON THREE SIDES, LESS THAN 2% OF LOT- NOT INCLUDED IN CALCULATION	400 SF OF ACCESSORY AREA





January 28, 2019

City of Miami Beach  
Planning Department  
1700 Convention Center Drive  
Miami Beach, Florida 33139

Re: 266 and 270 South Hibiscus Drive Miami Beach  
DRB number 18-0360

**LETTER OF INTENT/REQUEST FOR WAIVERS**

This firm represents Maicar Realy LLC (the “Applicant”), the owner of the above-reference parcels, with Miami-Dade County Folio No. 02-3232-006-0050 and 02-3232-006-0050-0060 (hereinafter referred to as “Property”). Please consider this letter the Applicant’s letter of intent in support of a design review approval from the Design Review Board (“DRB”) for a single-family home on the Property.

**The properties:**

The Properties are located at 266 and 270 South Hibiscus Drive in Single Family Residential District 3 (RS-3). Currently, the property consists of two existing lots with one existing single family residence on each lot. These lots shall be unified into one lot. Each lot is 10,500 square feet 60’ x 175’ in depth. The total of both lots is 21,000 square feet in size. The existing property at 266 South hibiscus drive is 2,819 square feet according to the tax roll and was built in 1940. The property at 270 South Hibiscus drive is 4,050 square feet according to the tax roll and was constructed in 1952. The homes do not maintain their original architectural design integrity due to numerous alterations and major additions, as evidenced by the building card and microfilms.

**Applicant’s Proposal:**

The Applicant is proposing to demolish both the existing structures and replace it with a new two-story family home with a roof top accessible area. The new residence has been designed in Miami Tropical Modern Style. The façade presents shifting horizontal and vertical panes using natural materials and indigenous stone walls. In the rear, the long horizontal planes of roofline and terrace are sliced vertically by a stone wall. Each main area has ten foot high glass doors to provide vast openness from the back yard, through the main living area, to the pool deck. The interior and exterior flow seamlessly into one unified space.

The proposed new home complies with the Miami Beach Code (the “Code”) requirements for unit size, lot coverage and setbacks. The total unit size is 9,602.9 square feet (45.72%), which is below the allowable 50% unit size limit. The lot coverage proposed is 25.93%, which is significantly below the 30% allowed as of right. In addition, all setbacks comply with and exceed the Code requirements. At this time, however, the Applicant is requesting a DRB approval for increase in height, a waiver of the 70% second floor volume requirement and a waiver of the two-story side elevation length limitation.

**Height Increase Request.**

The new single family development regulations allow for 24 foot height, for flat roofs, from the required flood elevation, for homes located in the RS-3 zoning district. However, the DRB may grant increases in height of to 28 feet. The applicant requests a maximum height of 27 feet, in order to accommodate the architectural elements on the roof of the building and one additional height on the structure to the top of roof. The actual building height is proposed to be at 25 feet, only 1 foot above 24 feet allowed as of right. The two story mass is located far back on the property just shy of 50 feet from the front property line plus the swale at the front. The additional foot would be useful to the internal systems on the first level. The remainder of the height is to the minimal architectural features that are no longer exempt from the height requirements and make this home more attractive and unique. It totals 51.57 square feet only. This includes the extension of architectural walls that are veneered, cutting through the overhangs and creating interest as opposed to a flat roof with long extensions of spans. This lot is located on a double lot as is twice as wide as both adjacent homes. The additional height is in relation to its width and does not impede on the overall scale. This request is a practical difficulty based on the double lot scale, the desire to add architectural features to break up the extent and the practical complexity of engineering systems that require additional height. CMB grade 5.86' NGVD and the grades and finished floor shall comply with all city and state regulations.

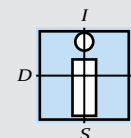
**Waiver of 70% Second Story Requirement.**

The DRB is allowed to waive the requirement that the second story of the home comprise not more than 70% of the first story. It is important to note that this requirement is only applicable to homes with 25% or higher lot coverage. The proposed home's lot coverage is 25.93%. However, it is important to note that the only reason it exceeds the 25% first floor lot coverages is due to a projection in the rear of the bedrooms on the south west side that create a “courtyard” effect as it is defined in the code. It is not a volume but an open area in the rear between where two volumes of the structure overlap. The lot coverage including the “courtyard area is 25.93%. It is not a courtyard as the projection is only 7 feet from the living room exterior wall to the end of bedroom 6. This area adds up to 184.73 feet. It is not enclosed nor habitable space, simply space that must be counted as defined by the code. It is completely open to all levels above. In addition, the volume of the second floor includes a two story open to below area. This is a large area in the living room which has not been counted as FAR but is counted in the 70% regulation. The second floor would be allowed to exceed 70% if the first floor were less than 25%. As such the second floor is proposed at 97% of the first floor which includes the two story areas. Should it not include the two story areas the percentage of first to second proposed would be 76%. Therefore in summary, the excess is due in part to the manner in which the areas are counted. As proposed, The Applicant respectfully requests the DRB to waive the 70% limitation, and allow for the home to be built according to its unique design, with second floor comprising 97% of the first floor ratio as enclosed over enclosed ratio. The enclosed second floor physical volume is 5,134.9 sf and the first floor physical volume is 5,289.23 sf = 5,134.9 sf / 5,289.23 which is 97%. This percentage does include the open to below areas on the second floor as noted in plan. This request is a practical difficulty request due to simply the way that the city calculates lot coverage which is not actual lot coverage/FAR. It is based on areas noted as “courtyards” which are not courtyards but simply a small part of the building projecting forward as well as the inclusion of two story areas.

The proposed home is beautifully designed and tastefully landscaped to seamlessly fit within the neighborhood. In addition, it is neither practical nor feasible to retain the existing home, due to its age, structural condition and its positioning below the minimum floor elevation.

Conclusion. As will be shown further at the hearing on this application, the demolition of Applicant's existing home, which is structurally deficient, is justified and appropriate. The Applicant's proposed new home is consistent with character of the neighborhood, as well as with all aspects of the Miami Beach building code and DRB design considerations. We believe that the approval of this new well-designed home will be a great improvement to the area. On behalf of the Applicant, we look forward to your favorable review.





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ARCHITECT AR-97156

**DRB # 18-0360**

**PROJECT:**

HIBISCUS RESIDENCE  
266 & 270 South Hibiscus  
Drive, Miami Beach,  
FL 33139

**PROPOSED  
MATERIALS &  
COLORS**

**DATE:**

02/04/2019

**ITEM NUMBER:**

**SHEET NUMBER:**

149



STUCCO: SW 7570 EGRET WHITE

ES WINDOWS ALUMN IN BRONZE  
COLOR

MARBLE OF THE WORLD SHELLS  
REEF CORAL STONE - COR810

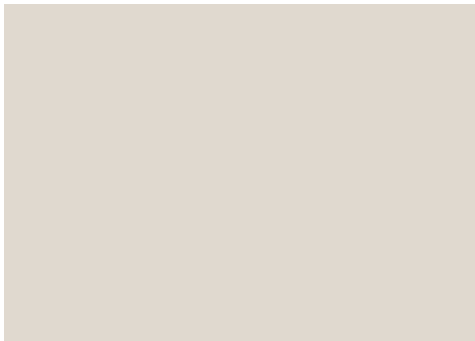
RESYSTA TRUGRAIN POLYMER  
COMPOST - STAINED C-29

**STUCCO**

**EXT. WINDOWS & DOORS**

**EXT. VENEER**

**EXT. VENEER**



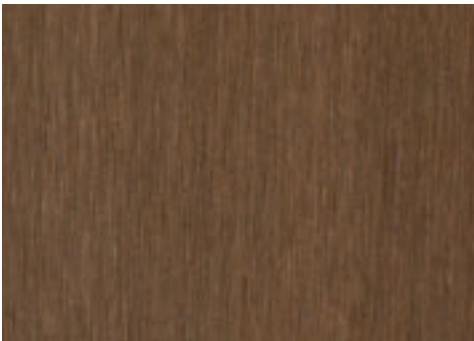
STUCCO: SW 7570 EGRET WHITE



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COLOR



MARBLE OF THE WORLD SHELLS  
REEF CORAL STONE - COR810



RESYSTA TRUGRAIN POLYMER  
COMPOSIT - STAINED C-29



Deutsche Bank Tr Co Americas Tr  
Residential Accredti Loans Inc  
1001 Semmes Ave  
RICHMOND, VA 23224

224 Holdings Llc  
1200 Ponce De Leon Blvd Fl2  
CORAL GABLES, FL 33134

Additimo House Llc  
1691 Michigan Ave Ste 320  
MIAMI BEACH, FL 33139

Anatoly Petukhow  
50 S Pointe Dr Apt 2902  
MIAMI BEACH, FL 33139

Mark E Williamson & Maria A  
290 S Hibiscus Dr  
MIAMI BEACH, FL 33139

306 Hibiscus Llc  
306 S Hibiscus Dr  
MIAMI BEACH, FL 33139

Matthew S Balch  
290 N Hibiscus Dr  
MIAMI BEACH, FL 33139

Charles Scott Feldmayer  
Eva Yoseph  
295 S Hibiscus Dr  
MIAMI BEACH, FL 33139

Maicar Realty Llc C/O Eric J Grabojs Pl  
1666 79th St Cswy Ste 500  
NORTH BAY VILLAGE, FL 33141

Lourdes Rodriguez  
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DANIA BEACH, FL 33004

Frank Marrero & Rosa  
Po Box 371002  
MIAMI, FL 33137

Maicar Realty Llc  
407 Lincoln Rd Ste 9d  
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Mariana Fernandes Vieira  
320 N Hibiscus Dr  
MIAMI BEACH, FL 33139

Jason C Goldstein  
333 S Hibiscus Dr  
MIAMI BEACH, FL 33139

Herbert Kern  
320 S Hibiscus Dr  
MIAMI BEACH, FL 33139

Jason P Wiesenfeld & Carrie B  
235 S Hibiscus Dr  
MIAMI BEACH, FL 33139

Thierre Tastiel  
285 s Hibiscus Dr  
MIAMI BEACH, FL 33139

250 Hibiscus Llc  
3850 Bird Rd Ph One  
CORAL GABLES, FL 33146

Randy J Slager & Sybill K Baird Jtrs  
Po Box 190479  
MIAMI BEACH, FL 33199

Rachel Rochstein  
115 W 2Ct Hibiscus Isle  
MIAMI BEACH, FL 33139

Gratitude Capital Llc  
1100 West Ave # 820  
MIAMI BEACH, FL 33139

Mary Ann Mcilraith Revo Living Tr  
294 S Hibiscus Dr  
MIAMI BEACH, FL 33139

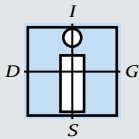
Guy H Meurrens & Edit  
340 S Hibiscus Dr  
MIAMI BEACH, FL 33139

Beatrice Brodie & Harry Kaiser  
160 N Hibiscus Dr  
MIAMI BEACH, FL 33139

Pierluigi Gazzolo Jtrs & Alexander  
Moggio  
275 S Hibiscus Dr  
MIAMI BEACH, FL 33139

Nicholas Namias & Beth  
1075 W 46th St  
MIAMI BEACH, FL 33140

Treuko 109th Terr Llc  
12550 Pine Needle Ln  
PINECREST, FL 33156



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**DRB # 18-0360**

**PROJECT:**

HIBISCUS RESIDENCE  
266 & 270 South Hibiscus  
Drive, Miami Beach,  
FL 33139

**MAILING LABELS**

**DATE:**

02/04/2019

**ITEM NUMBER:**

52

**SHEET NUMBER:**

150





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## PROJECT:

HIBISCUS RESIDENCE  
266 & 270 South Hibiscus  
Drive, Miami Beach,  
FL 33139

## GRADING PLAN

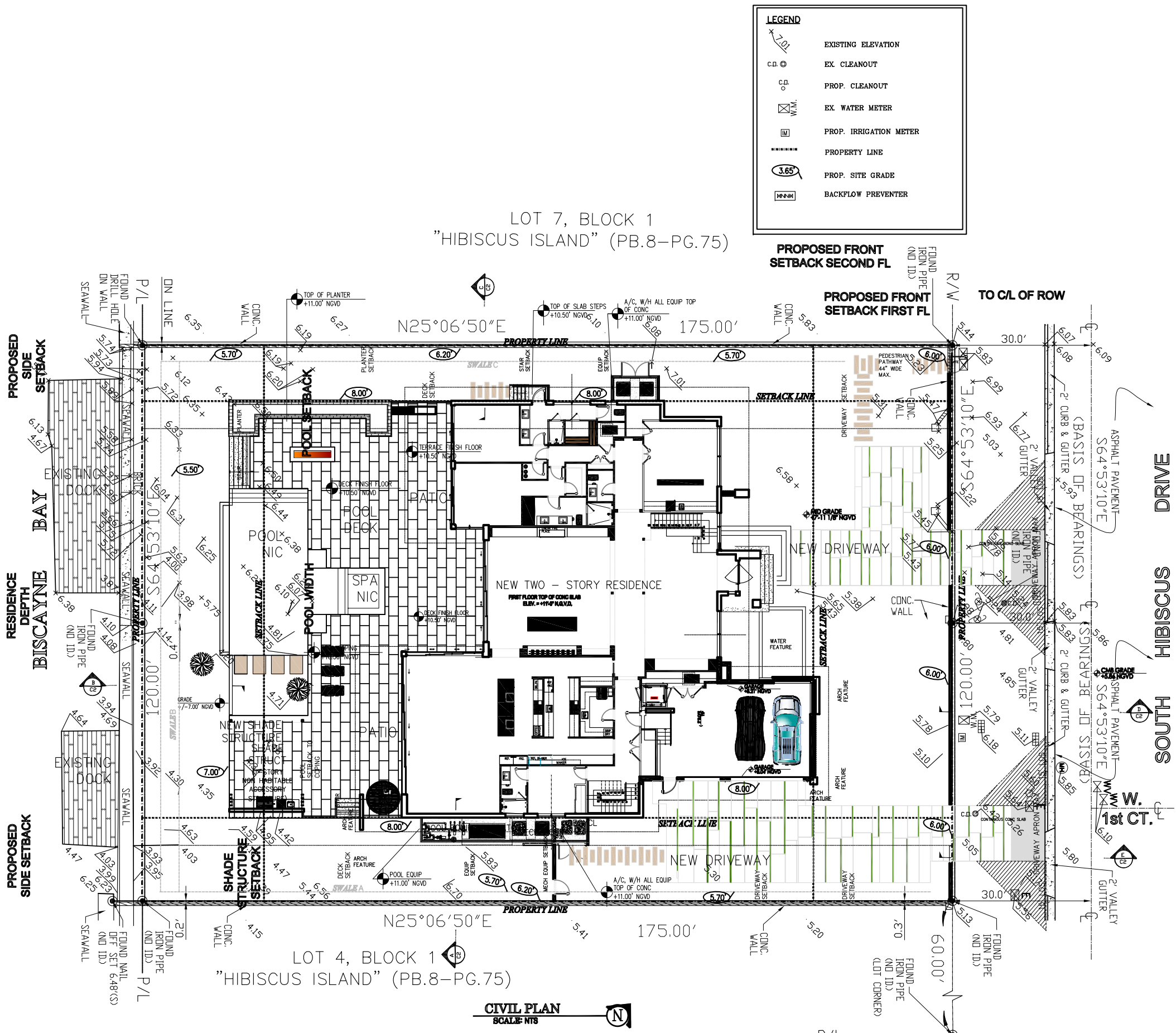
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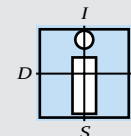
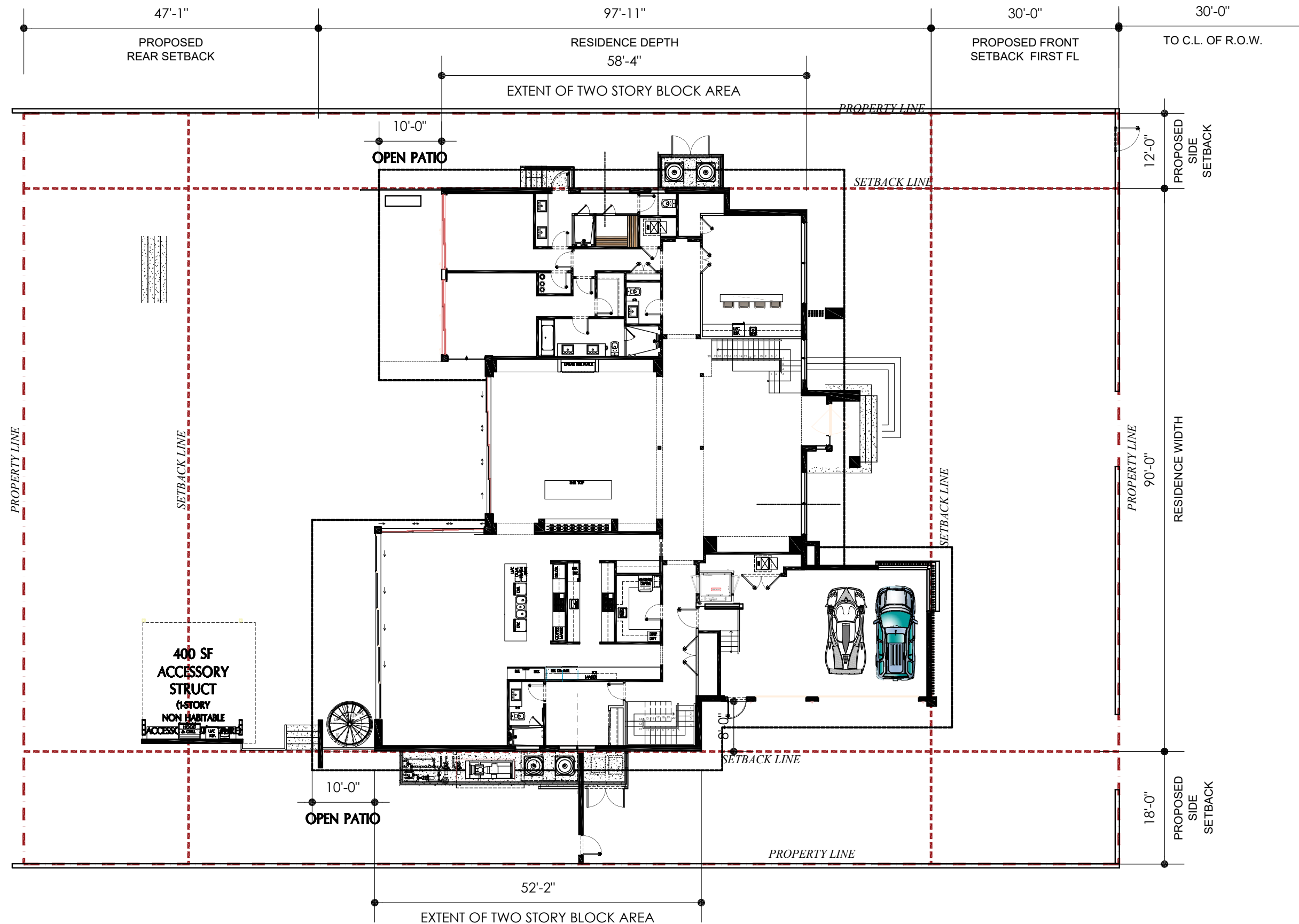
**ITEM NUMBER:**

**SHEET NUMBER:**

151







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**DRB # 18-0360**

**PROJECT:**

HIBISCUS RESIDENCE  
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Drive, Miami Beach,  
FL 33139

**2- STORY VOLUME  
1ST FLOOR**

**DATE:**

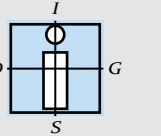
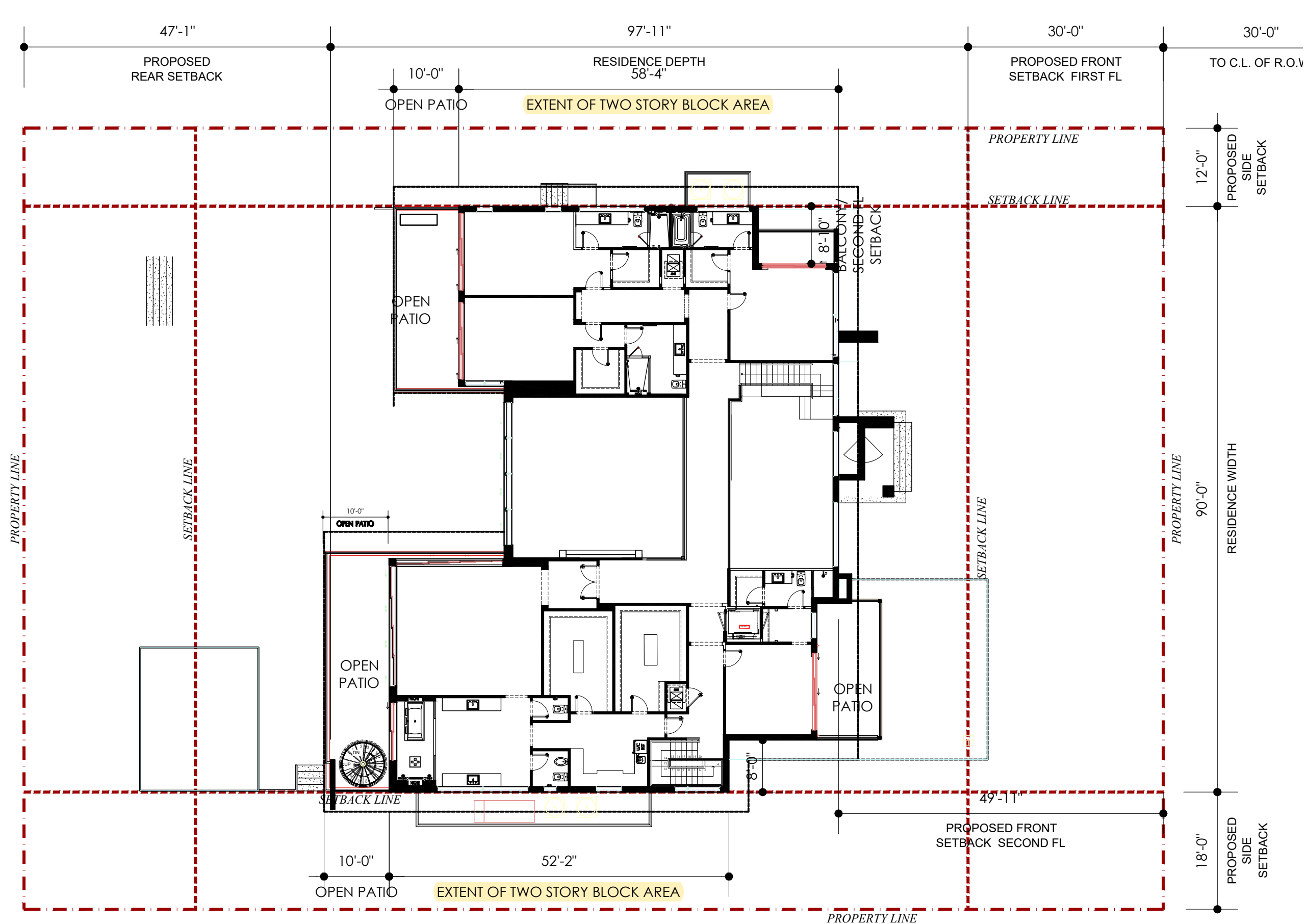
02/04/2019

**ITEM NUMBER:**

**SHEET NUMBER:**

152





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**DRB # 18-0360**

**PROJECT:**

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**2- STORY VOLUME  
2ND FLOOR**

**DATE:**

02/04/2019

**ITEM NUMBER:**

**SHEET NUMBER:**

152.2