

MIAMI BEACH CITY COMMISSION

APPEAL OF DESIGN REVIEW BOARD  
ORDER NO. DRB 18-0226

CONTINUUM ON SOUTH BEACH,  
SOUTH TOWER CONDOMINIUM,  
100 SOUTH POINTE DRIVE,  
MIAMI BEACH, FL 33139

CONTINUUM ON SOUTH BEACH,  
THE SOUTH TOWER CONDOMINIUM  
ASSOCIATION, INC.,

Petitioner,

vs.

CITY OF MIAMI BEACH DESIGN REVIEW  
BOARD,

Respondent.

\_\_\_\_\_ /

**APPENDIX TO PETITIONER'S INITIAL BRIEF**

## **CERTIFICATE OF SERVICE**

**I HEREBY CERTIFY** that a true and correct copy of the Appendix to Petitioner's Initial Brief was furnished to the individuals listed below by e-mail generated this 5<sup>th</sup> day of November 2018.

Raul J. Aguila, City Attorney  
Eve A. Boutsis, Chief Deputy City Attorney  
City Attorney's Office  
City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, Florida 33139  
[RaulAguila@miamibeachfl.gov](mailto:RaulAguila@miamibeachfl.gov)  
[EveBoutsis@miamibeachfl.gov](mailto:EveBoutsis@miamibeachfl.gov)

*Counsel for Respondent,  
City of Miami Beach  
Design Review Board*

Rafael E. Granado, City Clerk  
City Clerk's Office  
City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, Florida 33139  
[RafaelGranado@miamibeachfl.gov](mailto:RafaelGranado@miamibeachfl.gov)

By: /s/ Neisen O. Kasdin  
Neisen O. Kasdin

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<sup>1</sup> Petitioner’s application for rehearing (File No. DRB 18-0305) included a complete set of the application materials submitted for the original hearing (File No. DRB 18-0226). To avoid duplication, the resubmitted materials are not included as part of the rehearing record in this Appendix.

<sup>2</sup> Certain enclosures omitted to avoid duplication.

# EXHIBIT A



# MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2<sup>ND</sup> FLOOR  
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV  
305-673-7550

## LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- ☐ BOARD OF ADJUSTMENT
- ☐ VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
  - ☐ APPEAL OF AN ADMINISTRATIVE DECISION
- ☒ DESIGN REVIEW BOARD
- ☒ DESIGN REVIEW APPROVAL
  - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
- ☐ HISTORIC PRESERVATION BOARD
- ☐ CERTIFICATE OF APPROPRIATENESS FOR DESIGN
  - ☐ CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
  - ☐ HISTORIC DISTRICT / SITE DESIGNATION
  - ☐ VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
- ☐ PLANNING BOARD
- ☐ CONDITIONAL USE PERMIT
  - ☐ LOT SPLIT APPROVAL
  - ☐ AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
  - ☐ AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
- ☐ FLOOD PLAIN MANAGEMENT BOARD
- ☐ FLOOD PLAIN WAIVER
- ☐ OTHER \_\_\_\_\_

SUBJECT PROPERTY ADDRESS: 100 South Pointe Drive

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A"

FOLIO NUMBER (S) 02-4203-262-0001  
02-4203-262-0001

1. APPLICANT: ☒ OWNER OF SUBJECT PROPERTY ☐ TENANT ☐ ARCHITECT ☐ LANDSCAPE ARCHITECT  
☐ ENGINEER ☐ CONTRACTOR ☐ OTHER \_\_\_\_\_

NAME The Continuum, South Tower

ADDRESS 100 South Pointe Drive

BUSINESS PHONE 305-938-4240 ext. 1001 CELL PHONE 305-401-0484

E-MAIL ADDRESS manager@continuumsouthtower.com (Erin Fabian, Property Manager)

*Alternate*

~~OWNER IF DIFFERENT THAN APPLICANT:~~ MASTER ASSOCIATION

NAME Continuum on South Beach Master Association, Inc.

ADDRESS 40 South Pointe Drive, Suite 111

BUSINESS PHONE 305-938-4250 ext 232 CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS gm@continuummaster.com (Rishi Idnani, Property Manager)

*Idnani*

2. AUTHORIZED REPRESENTATIVE(S):

☐ ATTORNEY:

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS \_\_\_\_\_

☐ AGENT:

NAME \_\_\_\_\_

ADDRESS \_\_\_\_\_

BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_

E-MAIL ADDRESS \_\_\_\_\_

☒ CONTACT:

NAME Erin Fabian, property manager

ADDRESS 100 South Pointe Drive, Miami Beach, Florida 33139

BUSINESS PHONE 305-938-4240 ext. 1001 CELL PHONE 305-401-0484

E-MAIL ADDRESS manager@continuumsouthtower.com

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

☐ ARCHITECT ☐ LANDSCAPE ARCHITECT ☒ ENGINEER ☐ CONTRACTOR ☐ OTHER: \_\_\_\_\_

NAME B. P. Taurinski Structural Engineers

ADDRESS 730 South Deerfield Avenue, Ste 1 and 2

BUSINESS PHONE 954-418-3100 CELL PHONE 561-239-1720

E-MAIL ADDRESS taurinski@bellsouth.net

FILE NO. \_\_\_\_\_

HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL; (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.

- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☒ OWNER OF THE SUBJECT PROPERTY

☒ AUTHORIZED REPRESENTATIVE

SIGNATURE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

**William M. Osborne III, Board President**

FILE NO. \_\_\_\_\_

## 4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

Emergency Railing Repair -

The removal of delaminated break metal facade on the exterior and interior of the  
existing glass railing system through out the building.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE ☒ YES ☐ NO  
 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION ☒ YES ☐ NO  
 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) Vertical Repair of 45,343 SQ. FT.  
 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL  
 USEABLE FLOOR SPACE). \_\_\_\_\_ SQ. FT.

## 5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ \_\_\_\_\_

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
- ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
- TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).

## PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY'S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.
- IN ACCORDANCE WITH SEC.118-31. – DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD,

FILE NO. \_\_\_\_\_

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL: (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY: ☐ OWNER OF THE SUBJECT PROPERTY  
☒ AUTHORIZED REPRESENTATIVE

SIGNATURE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Keith Marks - Continuum on South Beach Master Association, Inc.

FILE NO. \_\_\_\_\_



OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF  
COUNTY OF

I, \_\_\_\_\_, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

\_\_\_\_\_  
SIGNATURE

Sworn to and subscribed before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. The foregoing instrument was acknowledged before me by \_\_\_\_\_, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

\_\_\_\_\_  
NOTARY PUBLIC

My Commission Expires:

\_\_\_\_\_  
PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR  
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY  
(Circle one)

STATE OF  
COUNTY OF

I, William M Osborne III, being duly sworn, depose and certify as follows: (1) I am the Board President (print title) of The Continuum, South Tower (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

William M Osborne III  
SIGNATURE

Sworn to and subscribed before me this 8th day of March, 2018. The foregoing instrument was acknowledged before me by William M Osborne III, Board President of The Continuum, South Tower, on behalf of such entity, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:



Erin G. Fabian  
NOTARY PUBLIC

My Commission Expires:

9/15/19

\_\_\_\_\_  
PRINT NAME

FILE NO. \_\_\_\_\_

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF \_\_\_\_\_  
 COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_. The foregoing instrument was acknowledged before me by \_\_\_\_\_, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires:

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR  
CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY  
 (Circle one)

STATE OF \_\_\_\_\_  
 COUNTY OF \_\_\_\_\_

I, Keith Marks, being duly sworn, depose and certify as follows: (1) I am the board president (print title) of Continuum on South Beach Master Assoc. (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this 26 day of March, 2016. The foregoing instrument was acknowledged before me by Keith Marks, president of Continuum on South Beach Master Assoc. on behalf of such entity, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

My Commission Expires:

11/8/21

Natalia Vazquez  
 Commission # GG158924  
 Expires: November 8, 2021  
 Bonded thru Aaron Notary

NOTARY PUBLIC

Natalia Vazquez

PRINT NAME

FILE NO. \_\_\_\_\_

POWER OF ATTORNEY AFFIDAVITSTATE OF  
COUNTY OF

I, William M Osborne III, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize B P Taurinski Structural Engineers to be my representative before the Design Review Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

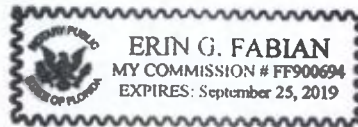
William M Osborne III, Board President

PRINT NAME (and Title, if applicable)

  
SIGNATURE

Sworn to and subscribed before me this 8th day of March, 2018. The foregoing instrument was acknowledged before me by William M Osborne III, President of Continuum in South Beach who has produced as identification and/or is personally known to me and who did/did not take an oath. The State Trust

NOTARY SEAL OR STAMP



NOTARY PUBLIC

My Commission Expires

9/25/19ERIN FABIAN

PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.\*

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

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In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. \_\_\_\_\_



POWER OF ATTORNEY AFFIDAVITSTATE OF  
COUNTY OF

I, Keith Marks, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize B. P. Taurinski Structural Engineers to be my representative before the Design Review Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Keith Marks, Board President

PRINT NAME (and Title, if applicable)

SIGNATURE

Sworn to and subscribed before me this 26 day of March, 20 18. The foregoing instrument was acknowledged before me by Keith Marks, President of Continuum master who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 11/8/21

**Natalia Vazquez**  
Commission # GG158924  
Expires: November 8, 2021  
Bonded thru Aaron Notary

NOTARY PUBLIC

Natalia Vazquez  
PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.\*

NAME

DATE OF CONTRACT

NAME, ADDRESS, AND OFFICE

% OF STOCK

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. \_\_\_\_\_

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

The Continuum, South Tower

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

William M. Osborne II, President - 100 South Pointe Drive

N/A

Alan B. Fishman, Vice President - 100 South Pointe Drive

N/A

David Azran, Treasurer - 100 South Pointe Drive

N/A

Dr. Margot Kurtz, Secretary - 100 South Pointe Drive

N/A

Evan Greenberg, Director - 100 South Pointe Drive

N/A

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

*IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.*

FILE NO. \_\_\_\_\_

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

Continuum on South Beach Master Association, Inc.

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

Keith Marks, president - 40 South Pointe Drive, Ste 111  
Jonathan Nussbaum, vice president - 40 South Pointe Drive, Ste 111  
Clare Brinkley, treasurer - 40 South Pointe Drive, Ste 111  
Jaimini Mehta, Director - 40 South Pointe Drive, Ste 111  
David Azran, secretary - 40 South Pointe Drive, Ste 111

N/A  
N/A  
N/A  
N/A  
N/A

NAME OF CORPORATE ENTITY

NAME AND ADDRESS

% OF OWNERSHIP

IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.

NOTE: Notarized signature required on page 9

FILE NO. \_\_\_\_\_

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION  
DISCLOSURE OF INTEREST

**2. TRUSTEE**

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

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TRUST NAME

NAME AND ADDRESS

% INTEREST

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FILE NO. \_\_\_\_\_



3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____

Additional names can be placed on a separate page attached to this form.

\*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

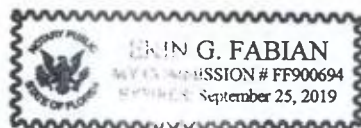
STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, William M. Osborne III, Board President, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

William M. Osborne III  
SIGNATURE

Sworn to and subscribed before me this 8th day of March, 20 18. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



My Commission Expires: 9/25/19

Erin G. Fabian  
NOTARY PUBLIC  
ERIN FABIAN  
PRINT NAME

FILE NO. \_\_\_\_\_

**3. COMPENSATED LOBBYIST:**

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	_____	_____	_____
b.	_____	_____	_____
c.	_____	_____	_____

Additional names can be placed on a separate page attached to this form.

\*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

*Alternate*  
APPLICANT AFFIDAVIT

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, Keith Marks, Board President, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

*[Signature]*  
SIGNATURE

Sworn to and subscribed before me this 26 day of March, 2018. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 11/8/21



Natalia Vazquez  
Commission # GG158924  
Expires: November 8, 2021  
Bonded thru Aaron Notary

*[Signature]*

NOTARY PUBLIC

*Natalia Vazquez*

PRINT NAME

FILE NO. \_\_\_\_\_

Exhibit 'A'

Exhibit "1"

Legal Description

The legal description for Continuum on South Beach Condominium, the South Tower  
is set forth on page 2, 79, 86, 106, and 122 of 133 of Exhibit "2"





# CONTINUUM

## ON SOUTH BEACH

A CONDOMINIUM

STATE OF FLORIDA

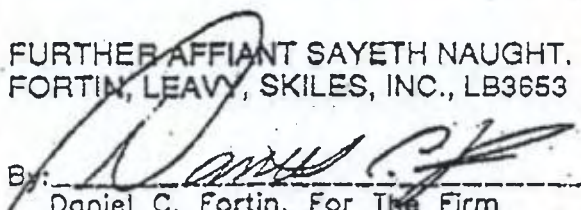
SS

COUNTY OF MIAMI-DADE

BEFORE ME, the undersigned authority duly authorized to administer oaths and take acknowledgements, personally appeared DANIEL C. FORTIN, by me well known and known to me to be the person hereinafter described, who being by me first duly cautioned and sworn, deposes and says on oath as follows, to wit:

1. That he is duly registered and duly licensed land surveyor authorized to practice under the laws of the State of Florida.
2. Affiant hereby certifies that the CONSTRUCTION OF THE IMPROVEMENTS shown within this Exhibit 2, is substantially complete, so that this Exhibit 2, together with the provisions of the Declaration of Condominium describing the Condominium Property, is an accurate representation of the location and dimensions of the improvements and so that the identification, location, and dimensions of the common elements and of each unit can be determined from these materials.
3. And further, that all planned improvements, including, but not limited to landscaping, utility services and access to the units identified herein and common element facilities serving the herein identified units have been substantially completed in accordance with the provisions of Florida Statute 718.104.
- 4a. That the Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on a project datum.
- 4b. Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. 1-937, Elevation + 4.07 located at intersection of Washington Avenue and Horley Avenue.

FURTHER AFFIANT SAYETH NAUGHT.  
FORTIN, LEAVY, SKILES, INC., LB3653

By:   
Daniel C. Fortin, For The Firm  
PROFESSIONAL SURVEYOR AND MAPPER LS2853  
State of Florida



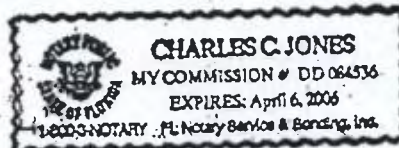
STATE OF FLORIDA

SS

COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this November 19, 2002 by DANIEL C. FORTIN, who is personally known to me and who did not take an oath.

  
NOTARY PUBLIC— State of Florida



**FORTIN, LEAVY, SKILES, INC.**  
**CONSULTING ENGINEERS, SURVEYORS & MAPPERS**

180 Northeast 186th. Street / North Miami Beach, Florida. 33182  
Ph. 305-853-4493 / Fax 305-651-7152 / Email fls@flssurvey.com

Date November 19, 2002

Dwg. No. 6099-033-1

Job. No. 021408  
REF: 000075

**EXHIBIT 2**

**SHEET 1 OF 133**



# CONTINUUM

## ON SOUTH BEACH

### A CONDOMINIUM

#### LEGAL DESCRIPTION, SOUTH TOWER PARCEL:

A portion of "OCEAN PARCEL", as said "OCEAN PARCEL" is described in Official Records Book 18053 at Pages 0580 through 0586 as recorded in the Public Records of Miami-Dade County, Florida; being more particularly described as follows:

Commence at the southeasterly corner of Biscayne Avenue (now known as South Pointe Drive) and Miami Avenue (now known as Washington Avenue) as shown on the Plat of SOUTH BEACH PARK, according to the Plat thereof as recorded in Plat Book 8 of Page 77 in the Public Records of Miami-Dade County, Florida; thence N87°38'57"E along the southerly line of said Biscayne Avenue for 717.266 feet; thence S23°52'14"W for 590.40 feet to the most southwesterly corner of said "OCEAN PARCEL"; thence S65°36'16"E along the southerly line of said SOUTH BEACH PARK for 340.55 feet; thence N24°23'44"E perpendicular to the previously described line for 79.42 feet to the POINT OF BEGINNING of the hereinafter described SOUTH TOWER PARCEL; thence N65°36'16"W along a line 79.42 feet northeasterly and parallel with the southerly line of said SOUTH BEACH PARK for 19.29 feet; thence N28°37'54"W for 93.16 feet; thence N15°41'51"W for 26.81 feet; thence N05°43'15"W for 39.04 feet; thence N62°30'50"E for 29.30 feet; thence N27°30'00"W for 28.24 feet; thence N62°30'00"E for 44.31 feet; thence S27°30'00"E for 28.31 feet; thence N62°30'50"E for 28.62 feet; thence S58°50'25"E for 18.74 feet; thence S35°05'28"E for 75.38 feet; thence N62°30'00"E for 7.12 feet; thence S27°30'00"E for 67.74 feet; thence S16°15'13"W for 34.66 feet; thence S62°30'00"W for 47.00 feet; thence N27°30'00"W for 8.00 feet; thence S66°34'21"W for 64.76 feet to the POINT OF BEGINNING.

#### SURVEYOR'S NOTES:

- This site lies in Section 10, Township 54 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N87°38'57"E for the Southerly line of Biscayne Avenue.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum (N.G.V.D.) of 1929, based on Bench Mark No. 1-937, Elevation +4.07 Located at Intersection of Washington Avenue and Harley Avenue.
- Lands shown hereon are located in Federal Flood Zone AE (EL B) per Community Panel No. 120651-0192-J, dated July 17, 1995.
- Lands shown hereon containing 25,500 square feet, or 0.585 acre, more or less.

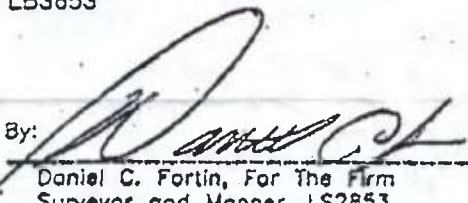
#### SURVEYOR'S CERTIFICATION:

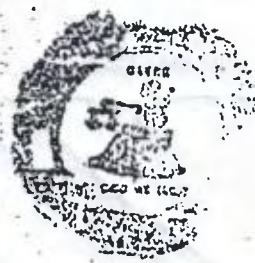
I hereby certify that this "SKETCH OF DESCRIPTION" was made under my responsible charge on November 19, 2002 and meets the Minimum Technical Standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 61G17-6, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

"Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper"

FORTIN, LEAVY, SKILES, INC.,  
LB9653

By:

  
Daniel C. Fortin, For The Firm  
Surveyor and Mapper, LS2853  
State of Florida.



LEGAL DESCRIPTION SURVEYORS NOTES  
AND CERTIFICATION

# **EXHIBIT B**



## South Tower Condominium Association

2/7/18

To the Design and Review Board,

The Continuum South Tower Condominium Association is in the process of removing aesthetic metal panels which were affixed from original construction to all balcony handrail glass. These architectural panels never met the codes for wind load and were installed in such a way to cause a life safety threat to owners, residents, and guests who come to the property. By way of example, during a recent tower remediation project which included concrete and post tension remediation, as well as stucco repair, removal and painting of the building, **164** of these panels had to be re-affixed to the handrail glass, as they had become loose over time. See attached change orders from C.A. Lindman, the contractor hired to perform this work.

The City of Miami Beach Building Official, Ana Salguiero notified the Association on December 21, 2017 of the following,


*"These 12" x 36" long pieces are detaching and falling off of the building. The structural engineer B.P. Taurinski has provided a letter indicating this condition and the life safety concerns. I sent structural and building inspectors to verify the field conditions. The concern is real.*

*They have applied for permit BC1705997 and that there is a planning requirement. "Proposed changes to railing may not be approved administratively and will require Board Approval." The removal of the unsecured panels cannot wait for a board approval. I am recommending emergency work be allowed to begin with a follow-up from our unsafe structures section if a building permit is not obtained by February 2, 2018."*

Since that date, the Association has been working diligently with the contractor, Capital Contracting, to remove all loose panels from the balcony handrail glass. The Association's Board of Directors held a noticed meeting with the membership on January 5<sup>th</sup>, 2018 and has sent many communications to the residents, informing them of the urgent need to remove these panels. Additionally, the Association is dedicated to obtaining the required approvals from the DRB, as evidenced by our compliance with all the requests made of us through our engineer of record, B.P. Taurinski. Please note that no demolition work will be done, as we are only removing the metal panels from the existing glass railings, which are to remain on the entire building.

As a community we wholeheartedly wish to both protect the livelihood of our residents by immediately acting in the face of an imminent threat to life safety, as well as comply with the standards set forth by the City of Miami Beach. We sincerely appreciate the consideration given to us to grant us full approval for the emergency panel removal and balcony handrail glass restoration project.

On Behalf of the Board of Directors,

A handwritten signature in dark ink, appearing to read "William M. Osborne III". The signature is written in a cursive style with a horizontal line underneath the name.

William M. Osborne III, President

Alan B. Fishman, Vice President

David Azran, Treasurer

Dr. Margot Kurtz, Secretary

Evan Greenberg, Director

# **EXHIBIT C**





City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

Re: Land Use Board Hearing Application for DRB Approval  
Applicant: The Continuum, South Tower  
Address: 100 South Pointe Drive  
Permit for the removal of exterior metal panels and glaze restoration project ("Project")

To Whom it May Concern:

The Continuum on South Beach Master Association, Inc. ("Master") is the entity responsible for the maintenance and operation of the Continuum community and the Master's common areas (the "Properties"). The Continuum On South Beach, The South Tower Condominium Association Inc ("South Tower") is a condominium located within the Properties.

Pursuant to the Master's governing documents, no improvements or changes may be made within the Properties until the plans and specifications showing the alterations have been submitted to, and approved in writing by, the Master's Board of Directors. Also, specifically, no condominium association within the Properties shall make any improvement or alteration on or to the property under its jurisdiction without first having secured the approval of the Master's Board of Directors [see Article 9, Section 9.2 and Article 16, Section 16.2(d) of the Master Covenants].

The Master wishes to do whatever is necessary to ensure the Project is completed without delay, but it cannot sign off on the South Tower's Application as the "Property Owner" as it does not own the South Tower property. We believe the South Tower should sign as the Property Owner, but that is between the South Tower and the City. **The Master is hereby providing this letter to the South Tower and the City of Miami Beach evidencing its approval of the Project as depicted on the South Tower's submission, provided that all necessary governmental approvals are secured.**

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Keith Marks", is written over a horizontal line.

Keith Marks, President  
For The Continuum on South Beach Master Association, Inc.

# **EXHIBIT D**

# ISABEL T. QUINTANA

REAL ESTATE DATA RESEARCHER

12872 SW 46 Terrace, Miami, FL 33175-4620

O 305.858.2287 / 305.222.4695 FAX 305.222.4698 Mobile 786-258-4119

E-Mail: [Quintana\\_c@bellsouth.net](mailto:Quintana_c@bellsouth.net), [cmgcorp@bellsouth.net](mailto:cmgcorp@bellsouth.net),

April 11, 2018

CITY OF MIAMI BEACH  
DEVELOPING SERVICE DIVISION  
1700 CONVENTION CENTER DR  
MIAMI BEACH, FL 33139

(REVISED-4/11/18)

RE: PROPERTY OWNERSHIP LIST 375'FT  
FROM:  
100 SOUTH POINTE DRIVE  
CONTINUUM ON SOUTH BEACH – THE SOUTH TOWER  
MIAMI BEACH, FL 33139  
F#02-4203-262-0001  
(STREET ADDRESS)

---

A PORTION OF OCEAN AS DESC IN OR 20817-0656  
CONTINUUM ON SOUTH BEACH CONDO  
THE SOUTH TOWER  
PARCEL BOOK 1805 – PAGES 0580 THRU 0586  
ACREAGE & UNRECORDED PLATS  
(LEGAL DESCRIPTION)

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MIAMI-DADE COUNTY FLORIDA.

---

THIS IS TO CERTIFY THAT THE ATTACHED OWNERSHIP LIST, MAP AND MAILING LABELS IS A COMPLETE AND ACCURATE REPRESENTATION OF THE REAL ESTATE PROPERTY AND PROPERTY OWNERS 375'FT FROM THE SUBJECT PROPERTY LISTED ABOVE. THIS REFLECTS THE MOST CURRENT RECORDS ON FILE IN THE DADE COUNTY TAX ASSESSOR'S™ OFFICE.

SINCERELY,



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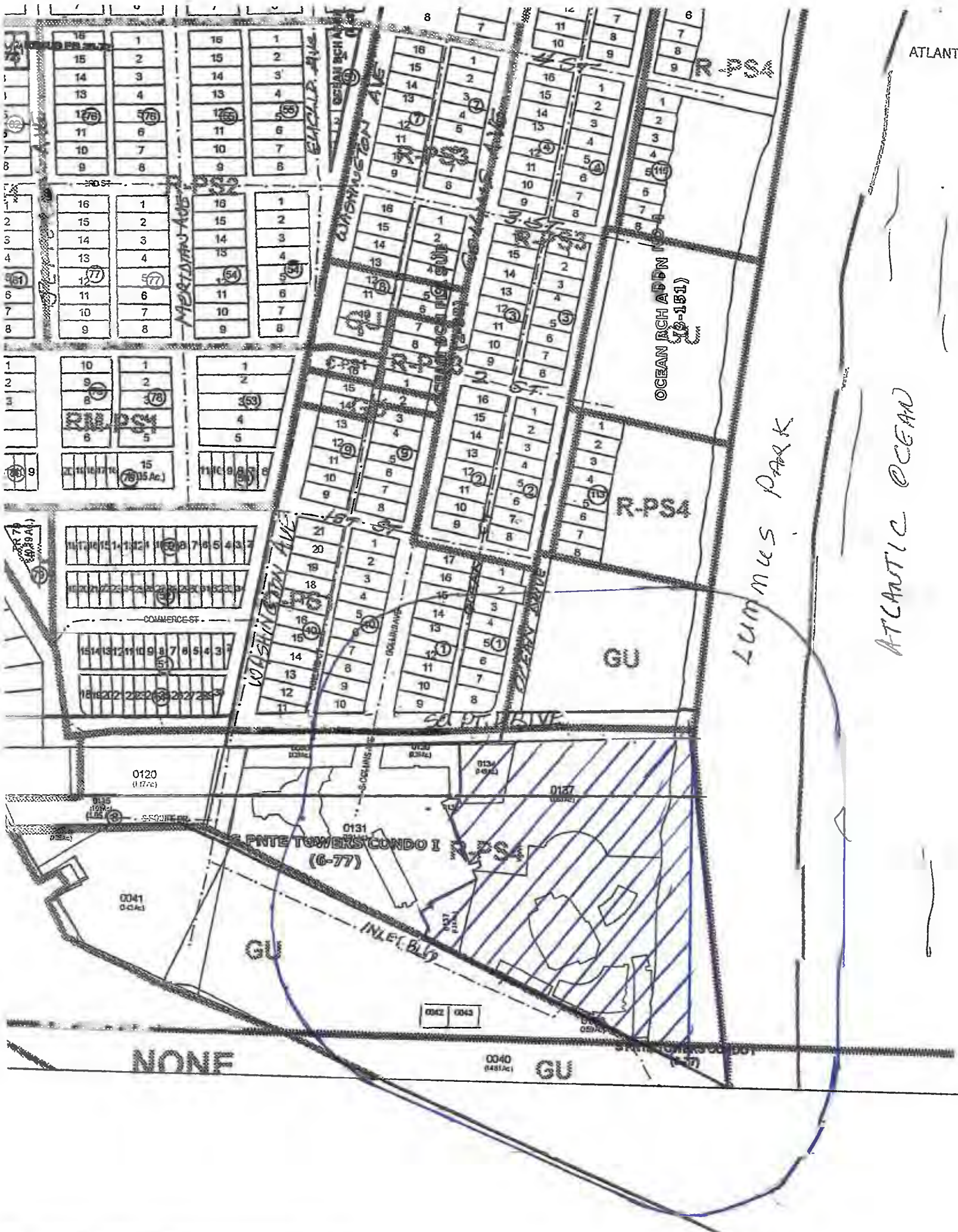
ISABEL T. QUINTANA, Real Estate Data Researcher  
B.S. Professional Mgt. & Human Resources

(1,000 LABELS WITHOUT REPETITION)  
ORIGINALLY 1,048 NAMES

(EXCEL) (CD) (INV-4723) (BLUE LABELS for L-2448L) (MAP) (MB\_02-2018) (L-2448) (TX-04/11/18)  
(C-297/1067/1389/1827/2208)  
AND UPLOAD FOR CMB (9)



ATLANTI



**ISABEL T. QUINTANA**

REAL ESTATE DATA RESEARCHER

12872 SW 46 Terrace, Miami, FL 33175-4620

O 305.858.2287 / 305.222.4695 FAX 305.222.4698 Mobile 786-258-4119

E-Mail: [Quintana\\_c@bellsouth.net](mailto:Quintana_c@bellsouth.net), [cmqcorp@bellsouth.net](mailto:cmqcorp@bellsouth.net),

February 25, 2018

CITY OF MIAMI BEACH  
DEVELOPING SERVICE DIVISION  
1700 CONVENTION CENTER DR  
MIAMI BEACH, FL 33139

RE: PROPERTY OWNERSHIP LIST 375' FT  
FROM:  
100 SOUTH POINTE DRIVE  
CONTINUUM ON SOUTH BEACH – THE SOUTH TOWER  
MIAMI BEACH, FL 33139  
F#02-4203-262-0001  
(STREET ADDRESS)

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A PORTION OF OCEAN AS DESC IN OR 20817-0656  
CONTINUUM ON SOUTH BEACH CONDO  
THE SOUTH TOWER  
PARCEL BOOK 1805 – PAGES 0580 THRU 0586  
ACREAGE & UNRECORDED PLATS  
(LEGAL DESCRIPTION)

---

MIAMI-DADE COUNTY FLORIDA.

---

THIS IS TO CERTIFY THAT THE ATTACHED OWNERSHIP LIST, MAP AND MAILING LABELS IS A COMPLETE AND ACCURATE REPRESENTATION OF THE REAL ESTATE PROPERTY AND PROPERTY OWNERS 375' FT FROM THE SUBJECT PROPERTY LISTED ABOVE. THIS REFLECTS THE MOST CURRENT RECORDS ON FILE IN THE DADE COUNTY TAX ASSESSOR'S™ OFFICE.

SINCERELY,



---

ISABEL T. QUINTANA, Real Estate Data Researcher  
B.S. Professional Mgt. & Human Resources

(943 LABELS WITHOUT REPETITION)  
ORIGINALLY 985 NAMES

(EXCEL) (CD) (INV-4723) (BLUE LABELS for L-2448L) (MAP) (MB\_02-2018) (L-2448) (TX-02/25/18)  
(C-297/1067/1389/1827)  
AND UPLOAD FOR CMB (8)



ATLANTIC OCEAN

Lumines PAXK

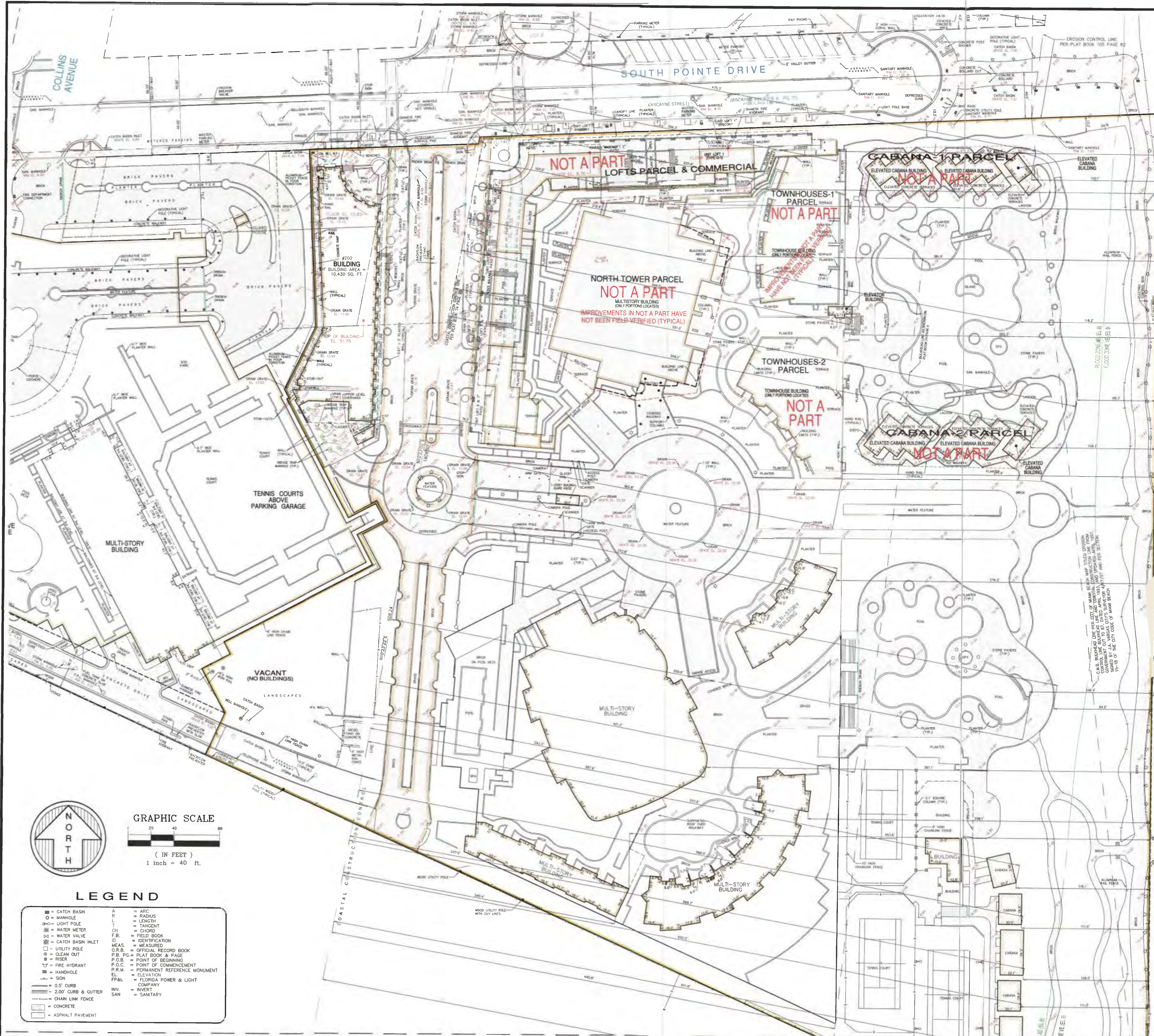
## NONF

GL

100 So. Pointe Dr, Miami Beach FL.  
(The South Tower)

# **EXHIBIT E**





This Drawing is  
the Property of  
Fortin, Leavy, Skiles, Inc.  
and is an Instrument  
of Service not to be  
Reproduced in Whole  
or in Part without  
the Express WRITTEN  
Permission of Same.

[illegible]

**FORTIN, LEAVY, SKILES, INC.**  
CONSULTING ENGINEERS, SURVEYORS & MAPPERS  
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653  
180 Northeast 168th Street / North Miami Beach, Florida 33162  
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@flsurvey.com

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**THE CONTINUUM - MASTER ASSOCIATION & SOUTH TOWER**  
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date  
3/14/18  
scale  
1" = 40'  
Drawn By  
GEM  
AD No.  
980102T  
Plotted  
3/20/18 3:27p  
Ref. Dwg.  
2012-042  
Field Book  
-  
Job No.  
180277  
Dwg. No.  
2018-036  
Sheet  
2 of 2



Legal Description

Parcel 1: The Ocean Parcel

Commence (P.O.C.) at the Southeastly corner of Biscayne Street (Formerly Biscayne Avenue) and Washington Avenue, as said Street and Avenue are shown on the South Beach Park Subdivision, recorded in Plat Book 6, at Page 77 of the Public Records of Dade County, Florida and run North 87 degrees 38 minutes 57 seconds East along the Southerly line of Biscayne Street, as said Street is shown on said SOUTH BEACH PARK SUBDIVISION, a distance of 717.266 feet to the Point of Beginning (P.O.B.) of the referenced Ocean Parcel. The following 17 courses are on the dividing line between the Ocean Parcel and the Master Parcel, both within the South Pointe Parcel; thence run South 10 degrees 47 minutes 35 seconds West, a distance of 165.214 feet; thence run South 87 degrees 38 minutes 57 seconds West, a distance of 143.817 feet; thence run South 62 degrees 18 minutes 04 seconds West, a distance of 24.53 feet; thence run South 27 degrees 41 minutes 56 seconds East, a distance of 18.00 feet; thence run North 62 degrees 18 minutes 04 seconds East, a distance of 2.00 feet; thence run South 27 degrees 41 minutes 56 seconds East, a distance of 38.33 feet; thence run South 62 degrees 18 minutes 04 seconds West, a distance of 2.00 feet; thence run South 27 degrees 41 minutes 56 seconds East, a distance of 116.74 feet; thence run North 62 degrees 18 minutes 04 seconds East, a distance of 27.00 feet; thence run South 27 degrees 41 minutes 56 seconds East, a distance of 16.67 feet; thence run South 62 degrees 18 minutes 04 seconds West, a distance of 27.00 feet; thence run South 27 degrees 41 minutes 56 seconds East, a distance of 29.33 feet; thence run South 62 degrees 18 minutes 04 seconds West, a distance of 145.65 feet; thence run South 27 degrees 41 minutes 56 seconds East, a distance of 12.00 feet; thence run South 62 degrees 18 minutes 04 seconds West, a distance of 27.93 feet; thence run South 27 degrees 41 minutes 56 seconds East, a distance of 43.555 feet; thence run South 24 degrees 23 minutes 44 seconds West, a distance of 40.00 feet to a point on the Southerly line of the above referenced South Beach Park Subdivision, said point being the most Southwesterly corner of the Ocean Parcel, also being the most Southeastly corner of the Master Parcel, both being part of the South Pointe Parcel; thence run South 65 degrees 36 minutes 16 seconds East along the Southerly boundary of the said South Beach Park Subdivision, a distance of 903.356 feet to an intersection with the Erosion Control Line of the Atlantic Ocean, said Line recorded in Plat Book 105, at Page 62 of the Public Records of Miami-Dade County, Florida; thence run North 00 degrees 15 minutes 10.8 seconds East along the Erosion Control Line, a distance of 937.12 feet to an intersection with the Southerly line of Biscayne Street as shown on the South Beach Park Subdivision; thence run South 87 degrees 38 minutes 57 seconds West along the said Southerly line of Biscayne Street, a distance of 588.426 feet to the Point of Beginning (P.O.B.)

LESS AND EXCEPT

Commence (P.O.C.) at the Southeastly corner of Biscayne Street (formerly Biscayne Avenue) and Washington Avenue, as said Street and Avenue are shown on the SOUTH BEACH PARK SUBDIVISION, recorded in Plat Book 6, at Page 77 of the Public Records of Miami-Dade County, Florida, and run South 10°47'35" West, along the Easterly line of Washington Avenue, a distance of 6.16 feet to a point on the Southerly line of a 6.00 foot Roadway Dedication, said Dedication recorded in Official Records Book 12566, Page 2914, of the Public Records of Miami-Dade County, Florida; thence run North 87°38'57" East along the Southerly line of said 6.00 foot Dedication, along the existing Southerly line of Biscayne Street, as expanded by said 6 foot Dedication, a distance of 638.266 feet; thence run South 10°47'35" West, along the Westerly line of Access Easement Parcel per Official Records Book 15370, at Page 380, of the Public Records of Miami-Dade County, Florida, a distance of 159.05 feet; thence run South 87°38'57" West, along the Southerly line of Master Parcel Infrastructure for a distance of 35.82 feet to the Point of Beginning (P.O.B.) of the hereinafter described parcel of land, the following 5 courses being along the exterior boundary of PHASE 1 REMAINDER per Official Records Book 15947, at Page 2575, of the Public Records of Miami-Dade County, Florida, (1) thence continue South 87°38'57" West, for a distance of 29.00 feet; (2) thence run South 62°18'04" West for a distance of 24.53 feet; (3) thence run South 27°41'56" East for a distance of 18.00 feet; (4) thence run North 62°18'04" East for a distance of 2.00 feet; (5) thence run South 27°41'56" East for a distance of 30.00 feet; thence run North 26°10'10" East for a distance of 60.35 feet to the Point of Beginning (P.O.B.)

PARCEL 2: The Easement Property

Commence (P.O.C.) at the Southeastly corner of Biscayne Street (formerly Biscayne Avenue) and Washington Avenue, as said Street and Avenue are shown on the South Beach Park Subdivision, recorded in Plat Book 6, at Page 77 of the Public Records of Miami-Dade County, Florida; and run South 10 degrees 47 minutes 35 seconds West along the Easterly line of Washington Avenue, a distance of 6.16 feet to a point on the Southerly line of a 6.00 foot Roadway Dedication, said Dedication recorded in Official Records Book 12566, at Page 2914, of the Public Records of Miami-Dade County, Florida; thence run North 87 degrees 38 minutes 57 seconds East along the Southerly line of said 6.00 foot dedication, along the existing Southerly line of Biscayne Street, as said Street is shown on said SOUTH BEACH PARK SUBDIVISION, a distance of 717.266 feet to the Point of Beginning (P.O.B.) of the hereinafter described parcel of land; thence run South 10 degrees 47 minutes 35 seconds West, a distance of 159.05 feet; thence run North 87 degrees 38 minutes 57 seconds East, a distance of 79.00 feet; thence run North 10 degrees 47 minutes 35 seconds East, a distance of 165.214 feet to the original Southerly line of Biscayne Street (Formerly Biscayne Avenue); thence run South 87 degrees 38 minutes 57 seconds West, along the original Southerly line of Biscayne Street a distance of 3.556 feet; thence run South 10 degrees 47 minutes 35 seconds West along the Easterly line of the said 6.00 foot Dedication, said Dedication recorded in Official Records Book 12566, at Page 2914, of the Public Records of Dade County, Florida, a distance of 6.16 feet to the Southeastly corner of said Dedication; thence run South 87 degrees 38 minutes 57 seconds West along the Southerly line of said Dedication, a distance of 75.444 feet to the Point of Beginning (P.O.B.)

PARCEL 3: PARCEL 3 BEING A PORTION OF COMMERCIAL PARCEL NO. 2

Commence (P.O.C.) at the Southeastly corner of Biscayne Street (formerly Biscayne Avenue) and Washington Avenue, as said Street and Avenue are shown on the SOUTH BEACH PARK SUBDIVISION, recorded in Plat Book 6, Page 77 of the Public Records of Miami-Dade County, Florida, and run South 10°47'35" West, along the Easterly line of Washington Avenue, a distance of 6.16 feet to a point on the Southerly line of a 6.00 foot Roadway Dedication, said Dedication recorded in Official Records Book 12566, Page 2914, of the Public Records of Miami-Dade County, Florida; thence run North 87°38'57" East along the Southerly line of said 6.00 foot Dedication, along the existing Southerly line of Biscayne Street, as expanded by said 6 foot Dedication, a distance of 638.266 feet to the Point of Beginning (P.O.B.) of the hereinafter described parcel of land; thence run South 10°47'35" West, along the Westerly line of Access Parcel per Official Records Book 15370, at Page 380, of the Public Records of Miami-Dade County, Florida, a distance of 70.93 feet; thence run South 87°38'57" West, along the Southerly line of Commercial Parcel No. 2 per Official Records Book 15947, at Page 2575, of the Public Records of Miami-Dade County, Florida, a distance of 55.86 feet; thence run North 02°21'03" West, a distance of 69.07 feet to a point on the Southerly line of the 6.00 foot Roadway Dedication; thence run North 87°38'57" East, along the existing Southerly line of Biscayne Street, a distance of 71.99 feet to the Point of Beginning (P.O.B.)

PARCEL 4: PARCEL 4 BEING A PORTION OF MASTER PARCEL INFRASTRUCTURE

Commence (P.O.C.) at the Southeastly corner of Biscayne Street (formerly Biscayne Avenue) and Washington Avenue, as said Street and Avenue are shown on the SOUTH BEACH PARK SUBDIVISION, recorded in Plat Book 6, Page 77 of the Public Records of Miami-Dade County, Florida, and run South 10°47'35" West, along the Easterly line of Washington Avenue, a distance of 6.16 feet to a point on the Southerly line of a 6.00 foot Roadway Dedication, said Dedication recorded in Official Records Book 12566, Page 2914, of the Public Records of Miami-Dade County, Florida; thence run North 87°38'57" East along the Southerly line of said 6.00 foot Dedication, along the existing Southerly line of Biscayne Street, as expanded by said 6 foot Dedication, a distance of 638.266 feet; thence run South 10°47'35" West, along the Westerly line of Access Parcel per Official Records Book 15370, at Page 380, of the Public Records of Miami-Dade County, Florida, a distance of 70.93 feet to the Point of Beginning (P.O.B.) of the hereinafter described parcel of land; thence continue South 10°47'35" West for a distance of 88.12 feet, thence run South 87°38'57" West, along the Southerly line of Master Parcel Infrastructure for a distance of 35.82 feet; thence run North 02°21'03" West, a distance of 85.82 feet; thence run North 87°38'57" East, a distance of 55.86 feet to the Point of Beginning (P.O.B.)

PARCEL 5

Non-Exclusive right, privilege and easement to the use and benefit of the following described property for pedestrian and vehicular ingress and egress as defined in, and subject to, that Declaration of Easements filed August 5, 1987, in Official Records Book 13368, at Page 2779, of the Public Records of Miami-Dade County, Florida.

The South Road Easement Area is legally described as follows: A part of Blocks 3 and 4, Harley Avenue, Collins Avenue and Inlet Boulevard, all as shown on the SOUTH BEACH PARK SUBDIVISION recorded in Plat Book 6, Page 77, of the Public Records of Miami-Dade County, Florida, more particularly described as follows:

PARCEL A

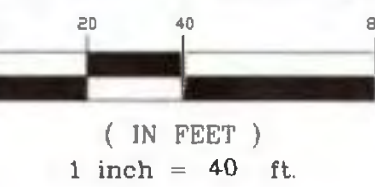
Commence at the intersection of the Southerly line of SOUTH BEACH PARK SUBDIVISION, recorded in Plat Book 6, Page 77, of the Public Records of Miami-Dade County, Florida, and the Easterly right-of-way line of Washington Avenue (formerly shown on said Record Plat as Miami Avenue) and run South 65°35'12" East, along the Southerly line of SOUTH BEACH PARK SUBDIVISION, a distance of 16.00 feet; thence continue along said Southerly line South 65°36'16" East, a distance of 203.12 feet to the Point of Beginning (P.O.B.); thence run South 65°36'16" East, a distance of 352.64 feet; thence run North 24°23'44" East, a distance of 40.00 feet to the Point of Beginning (P.O.B.); thence run North 65°36'16" West, a distance of 352.64 feet; thence run South 24°23'44" West, a distance of 40.00 feet to the Point of Beginning (P.O.B.)

PARCEL B

Begin at the intersection of the Southerly line of SOUTH BEACH PARK SUBDIVISION and the Easterly right-of-way line of Washington Avenue (formerly shown on said Record Plat as Miami Avenue) and run South 65°35'12" East, along the Southerly line of SOUTH BEACH PARK SUBDIVISION, a distance of 16.00 feet; thence continue along said Southerly line South 65°36'16" East, a distance of 203.12 feet; thence run North 24°23'44" East, a distance of 40.00 feet; thence run North 27°41'56" West, a distance of 29.35 feet; thence run South 62°19'04" West, a distance of 22.85 feet; thence run North 65°36'16" West, a distance of 165.92 feet; thence run North 65°35'12" West, a distance of 35.11 feet to a point on the Easterly right-of-way line of Washington Avenue; thence run South 10°47'35" West, along said Easterly right-of-way line, a distance of 4.12 feet; thence continue along said Easterly right-of-way line South 22°10'3" East, a distance of 40.31 feet to the Point of Beginning (P.O.B.)



GRAPHIC SCALE



SEE SHEET 2 OF 3 TOPOGRAPHIC SURVEY



LEGEND

	CATCH BASIN	A	ARC
	MANHOLE	R	RADIUS
	LIGHT POLE	L	LENGTH
	WATER METER	CH	CHORD
	CATCH BASIN INLET	ID	IDENTIFICATION
	UTILITY POLE	MEAS	MEASURED
	CLEAN OUT	O.R.B.	OPTIONAL RECORD BOOK
	RISER	P.B. PG.	PLAT BOOK & PAGE
	FIRE HYDRANT	P.O.C.	POINT OF COMMENCEMENT
	HANDHOLE	P.R.M.	PERMANENT REFERENCE MONUMENT
	SON	EL	ELEVATION
	0.5' CURB	FP&L	FLORIDA POWER & LIGHT COMPANY
	2.0' CURB & GUTTER	INV.	INVERT
	CHAIN LINK FENCE	SW.	SANITARY
	CONCRETE		
	ASPHALT PAVEMENT		

SURVEYOR'S NOTES:

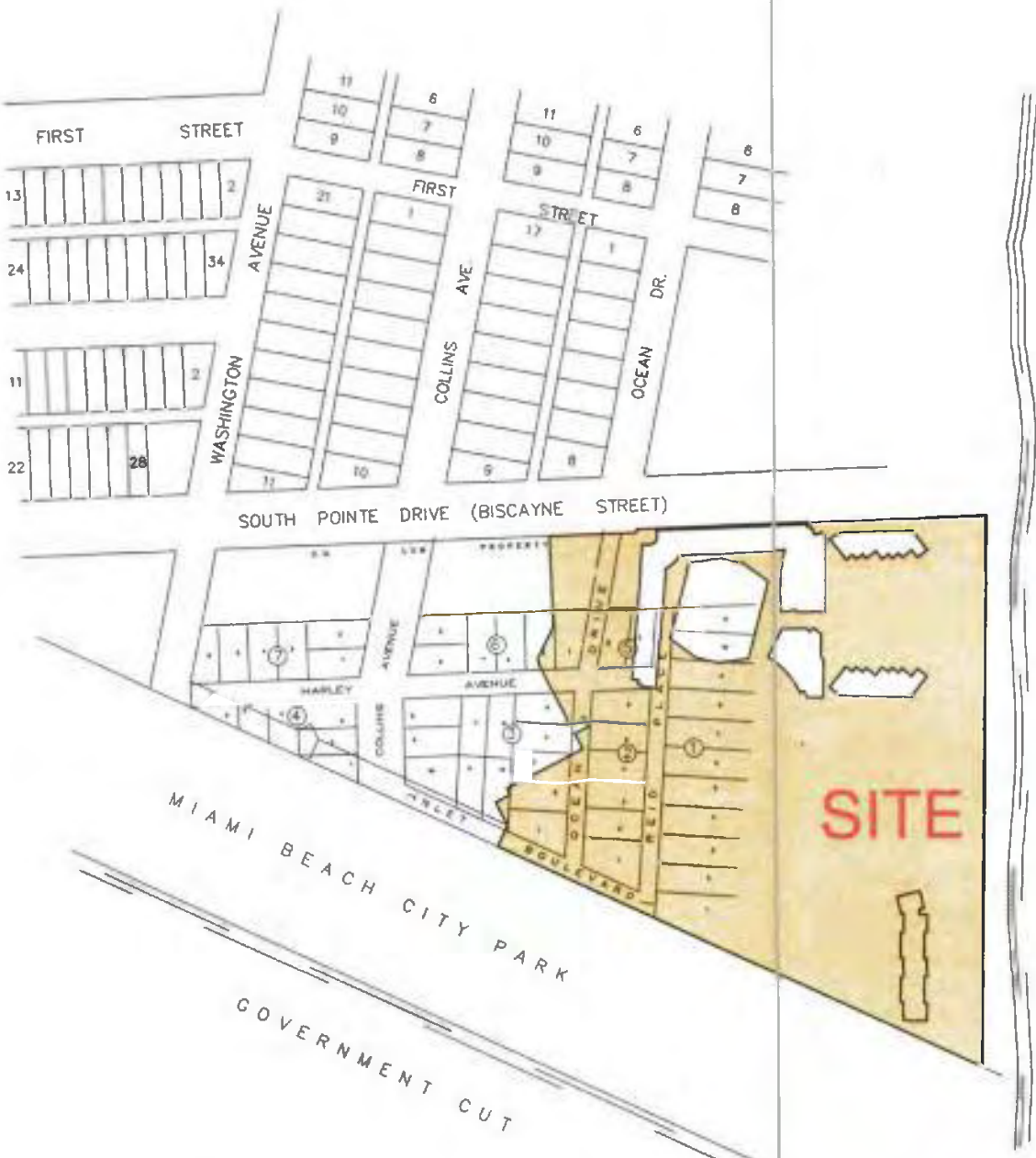
- This site lies in Section 10, Township 54 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were NOT abstracted for restrictions, easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N 87°38'57" E for the South Right-of-Way line of Biscayne Street, and evidenced by (2) set pipe & caps.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Bench Mark No. I-937, Elevation +4.07'. Located at intersection of Washington Avenue and Harley Avenue.
- Lands shown hereon are located within an area having a Zone Designation AE (EL 8) & Zone Designation VE (EL 9) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0319L, for Community No. 120651, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Overall Parcel shown hereon containing 562,808 square feet or 12.920 acres more or less. Note: This square footage area includes the Condominium Parcels (less & except areas), as shown within the Overall Parcel.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not shown unless otherwise noted.
- Improvements shown beyond the limits of this "Boundary and Topographic Survey" may not be current or located.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Legal description shown hereon furnished by client and no claims as to ownership are made or implied.
- This "Boundary Survey" was made of the Overall Parcel as shown with a yellow boundary, and the condominium parcels within, had no corners set or bearings and distances shown.

SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary and Topographic Survey" was made under my responsible charge on March 14, 2018, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

"Not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper."  
FORTIN, LEAVY, SKILES, INC. LB3653

By:   
Daniel C. Fortin, For The Firm  
Surveyor and Mapper LS2853  
State of Florida



LOCATION SKETCH

NOT TO SCALE



This Drawing is the Property of Fortin, Leavy, Skiles, Inc. and is an Instrument of Service not to be Reproduced in Whole or in Part without the Express WRITTEN Permission of Same.

Revision Description

G.N.

No.

**FORTIN, LEAVY, SKILES, INC.**  
CONSULTING ENGINEERS, SURVEYORS & MAPPERS  
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653  
180 Northeast 168th Street / North Miami Beach, Florida 33162  
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@lsurvey.com

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**THE CONTINUUM - MASTER ASSOCIATION & SOUTH TOWER**  
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date  
3/14/18

Scale  
1" = 40'

Drawn By  
GEM

CAD No.  
980102T

Plotted  
3/20/18 3:27p

Ref. Dwg.  
2012-042

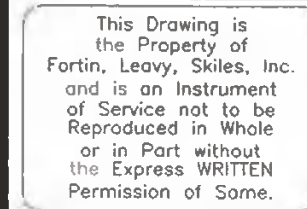
Field Book  
-

Job No.  
180277

Dwg. No.  
2018-036

Sheet  
1 of 3





**FORTIN, LEAVY, SKILES, INC.**  
CONSULTING ENGINEERS, SURVEYORS & MAPPERS  
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653  
180 Northeast 168th Street / North Miami Beach, Florida 33162  
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@fssurvey.com

Original Date	3/14/18
Scale	1" = 50'
Drawn By	GEM
CAD No.	980102T
Plotted	3/20/18 3:27p
Ref. Dwg.	2012-042
Field Book	-
Job No.	180277
Dwg. No.	2018-036
Sheet	3 of 3



# **EXHIBIT F**





LOCATION MAP

BUILDING CONSTRUCTION TYPE: I  
OCCUPANCY TYPE: A-1  
BUILDING HEIGHT: 42 STORY  
BUILDING DOES HAVE A FIRE SPRINKLER SYSTEM

DATA  
CODES:  
FLORIDA BUILDING CODE 5TH EDITION (2014, w/ ALL AMENDMENTS FOR ALL NEW WORK AND THE CODE WHEN THE BUILDING WAS BUILT.  
BASIC WIND SPEED (3 SECOND GUST) 190 MPH  
WIND IMPORTANCE FACTOR 1.0  
CATEGORY 2  
WIND EXPOSURE D  
BUILDING DESIGN ENCLOSED  
TOTAL METAL TO BE REMOVED FROM GLASS DUE TO DANGEROUS FLYING DEBRIS, 8,200 PIECES  
GASKET REPLACEMENT 27,328 LIN. FT.

**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**



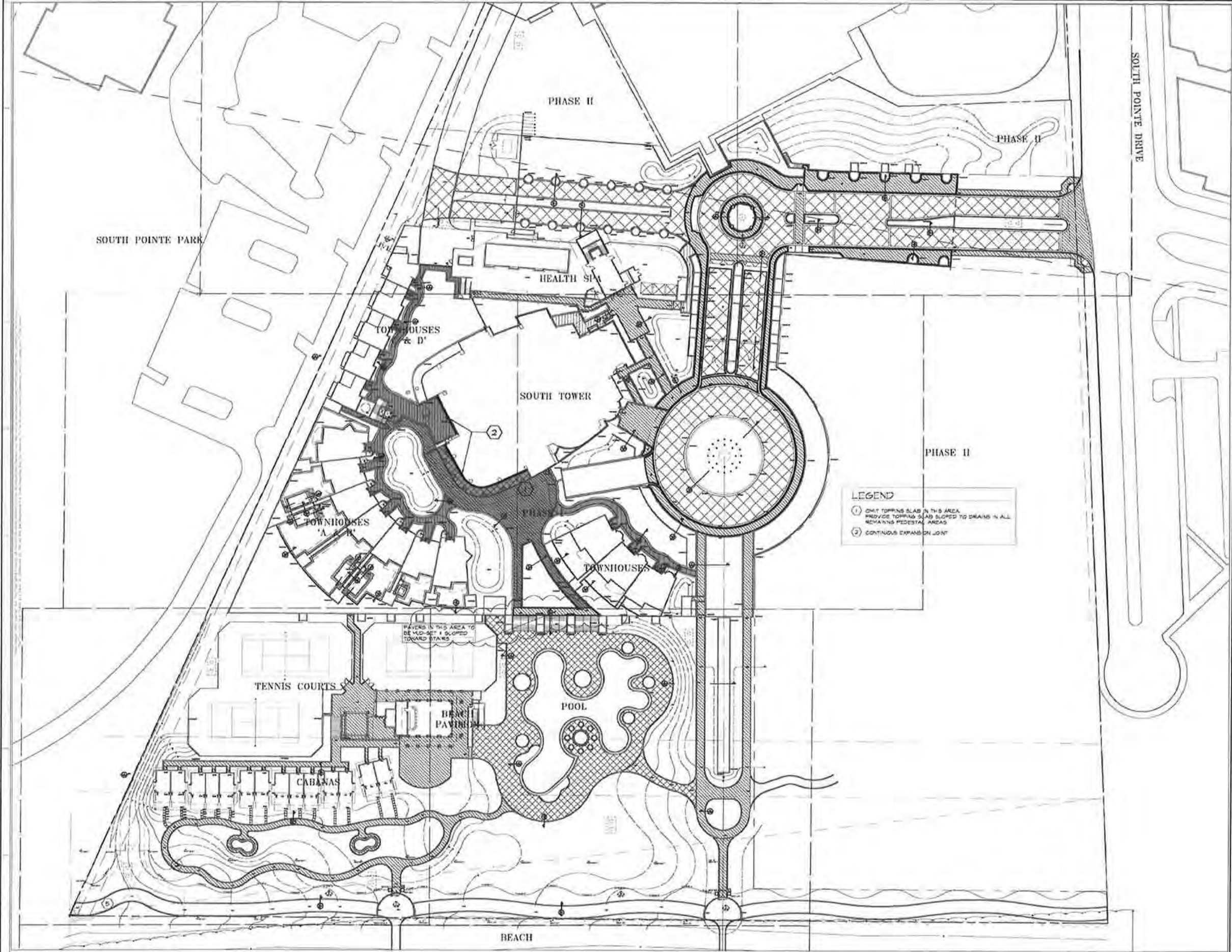
**B. P. Taurinski, P.E., P.A.**  
**Structural Engineers**  
730 SOUTH DEERFIELD AVE, STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 488-5100  
FAX: (954) 488-5101

DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: IAM  
SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



SITE PLAN

B. P. Taurinski, P.E., P.A.  
Structural Engineers  
730 SOUTH DEERFIELD AVE., 6TH FLOOR  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-2100  
CA# 27186

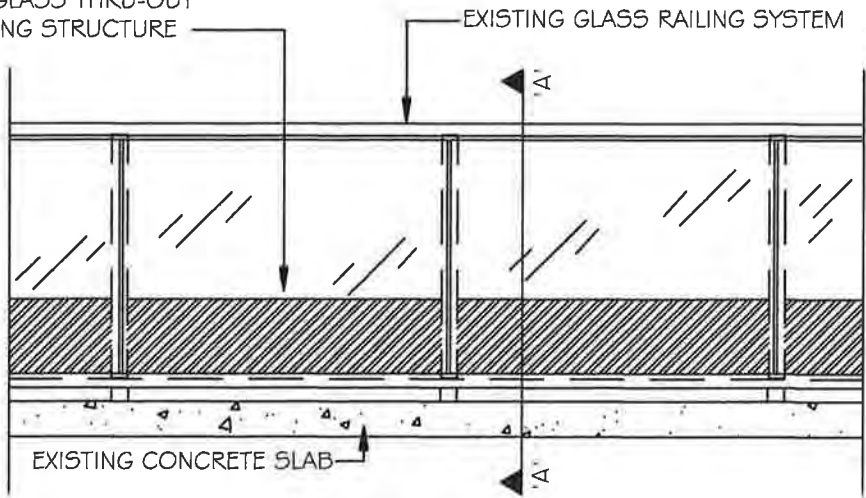
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PROJECT #: CST0117  
DRAWN BY: IAM  
SCALE: AS NOTED



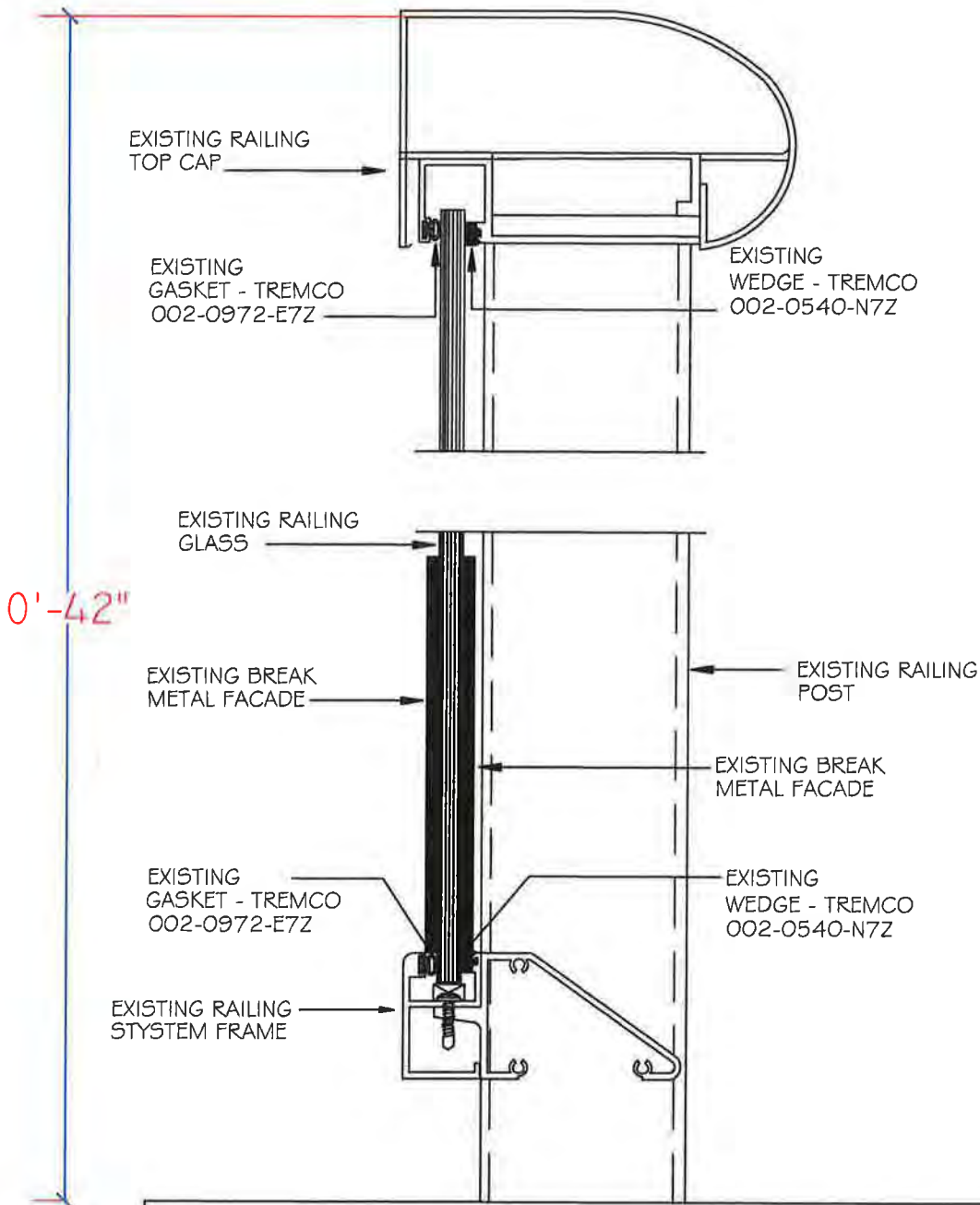
EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS

EXISTING BREAK METAL  
FASTENED WITH NON-COMMERCIAL  
GRADE DOUBLE SIDED TAPE  
LOCATED INBOARD AND OUTBOARD  
OF EXISTING GLASS THRU-OUT  
ENTIRE BUILDING STRUCTURE



EXISTING RAILING SYSTEM ELEVATION

Scale: NTS



EXISTING CONCRETE SLAB

SECTION 'A' - 'A' - EXISTING CONDITION

Scale: NTS

B. P. Taurinski, P.E., P.A.  
Structural Engineers

730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-3100  
FAX: 271864

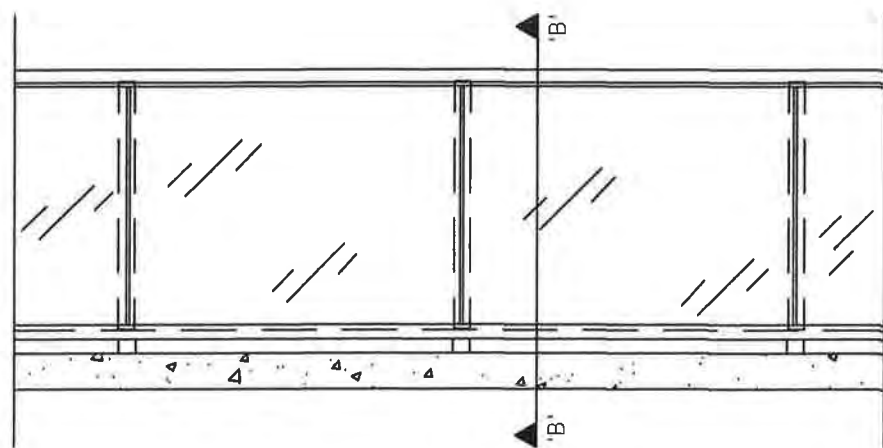
DATE: 03/28/2018

PE#33255

PROJECT #: CST0117

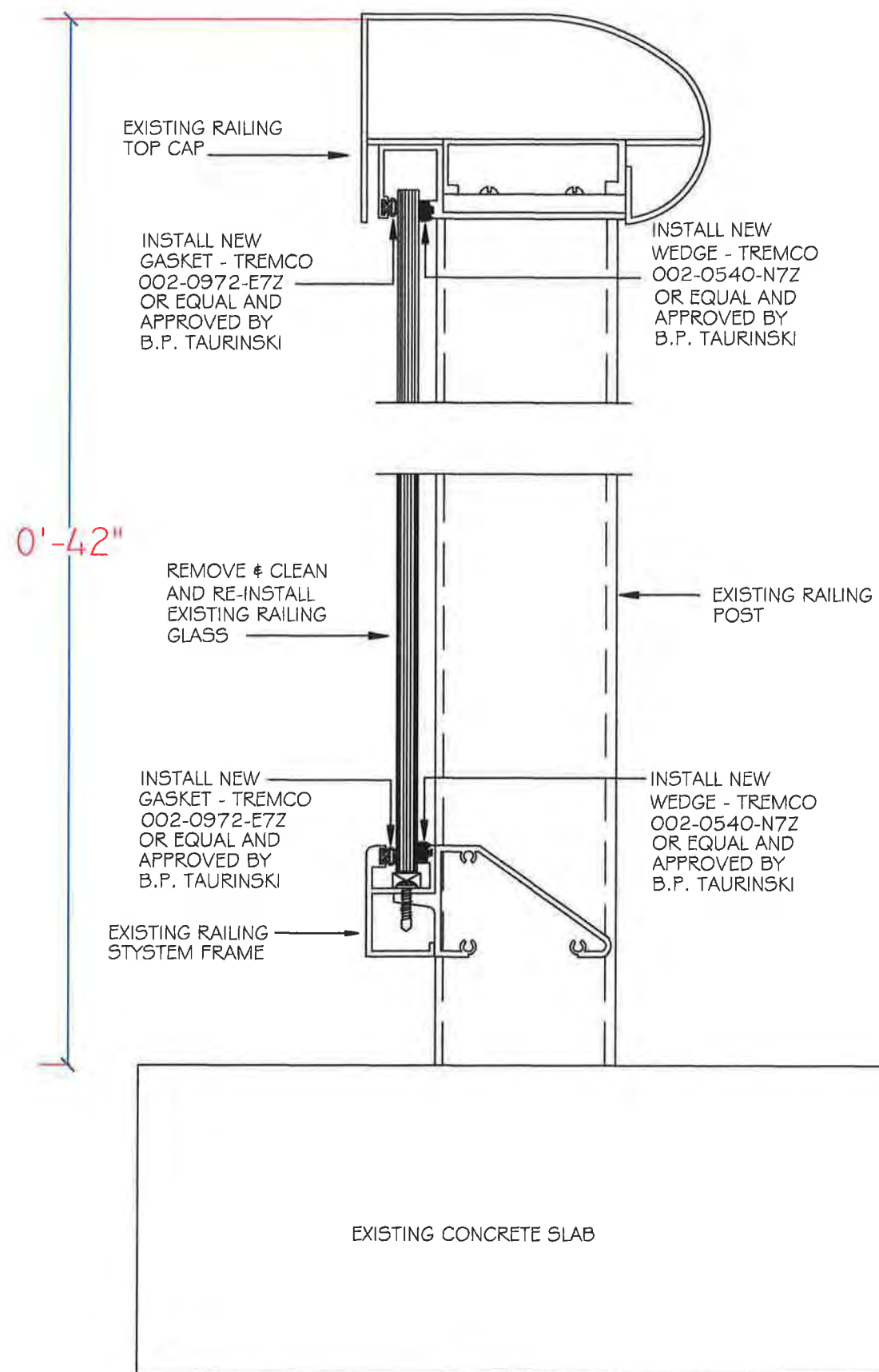
DRAWN BY: LAM

SCALE: AS NOTED



PROPOSED RAILING SYSTEM ELEVATION

Scale: NTS



SECTION 'B' - 'B' - PROPOSED REPAIRS

Scale: NTS

**Continuum on South Beach  
South Tower Condominium**

100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

**B. P. Taurinski, P.E., P.A.**  
**Structural Engineers**

730 SOUTH DEERFIELD AVE., STE. 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-3100  
CA# 27184

DATE: 03/28/2018 PE#33255

PROJECT #: CST0117

DRAWN BY: IAM

SCALE: AS NOTED

**4 of 41**



1. Contractor shall remove existing glass with aluminum break metal at all locations through out the building structure.
2. Contractor shall remove from each pane of glass the delaminated aluminum break metal inboard and outboard.
3. Contractor shall remove existing deteriorated gaskets and wedges and install new of equal quality as noted on detail 'B' - 'B'.
4. Contractor shall clean existing railing glass and reinstall existing railing glass at all locations.
5. At all locations which exhibit heavy deterioration fasteners shall be replaced in kind. These areas shall be noted by engineer and replaced by the contractor.
6. At all track locations which exhibit heavy deterioration, the track and fasteners shall be replaced in kind. These areas shall be noted by engineer and replaced by the contractor.
7. Contractor to have each location inspected by B. P. Taurinski Structural Engineers for Certification of Compliance with the drawings.
8. Contractor shall use silicone caulk or neoprene washer at stainless steel fasteners and aluminum connection locations for isolation of dissimilar metals.

**PROJECT FOREMAN AND SUPERVISORS MUST BE ENGLISH SPEAKING**

A. General: Submit each item in this article according to the Conditions of The Contract.

B. Product data for each product specified.

C. The Contractor shall deliver the required submittals to the Owner. Submittals shall be made promptly and in such a sequence as to cause no delay in the work.

Engineer: **B. P. Taurinski Structural Engineers**  
730 South Deerfield Avenue, Suite 1  
Deerfield Beach, Florida 33441  
Brownie P. Taurinski, P.E., P.A.

1. Documentation that he/she meets the qualifications as specified.
2. A letter from the Manufacturer and a sample warranty as specified.
3. Certifications of Insurance as specified.
4. Hold Harmless Agreement as specified.
5. Schedule of work, including commencement and completion dates

A. Manufacturer: Company specializing in type of material specified, with not less than five (5) years of documented experience.

1. The Contractor shall be a "Pre-qualified Contractor" of the Manufacturer for the material used. The Contractor shall submit a letter from the Manufacturer stating such approval, including a letter of intent to warranty said project.
2. The Contractor shall have a minimum of five (5) years of experience in performing repair work similar to that specified herein.
3. The contractor shall be a State-Certified General Contractor,
4. The Contractor shall submit a list of three (3) projects in which the repair work is similar to that specified herein was successfully completed. The list shall contain the following information for each project: *project name and location, owner of project, contact person and telephone number, brief description and date of completion.*

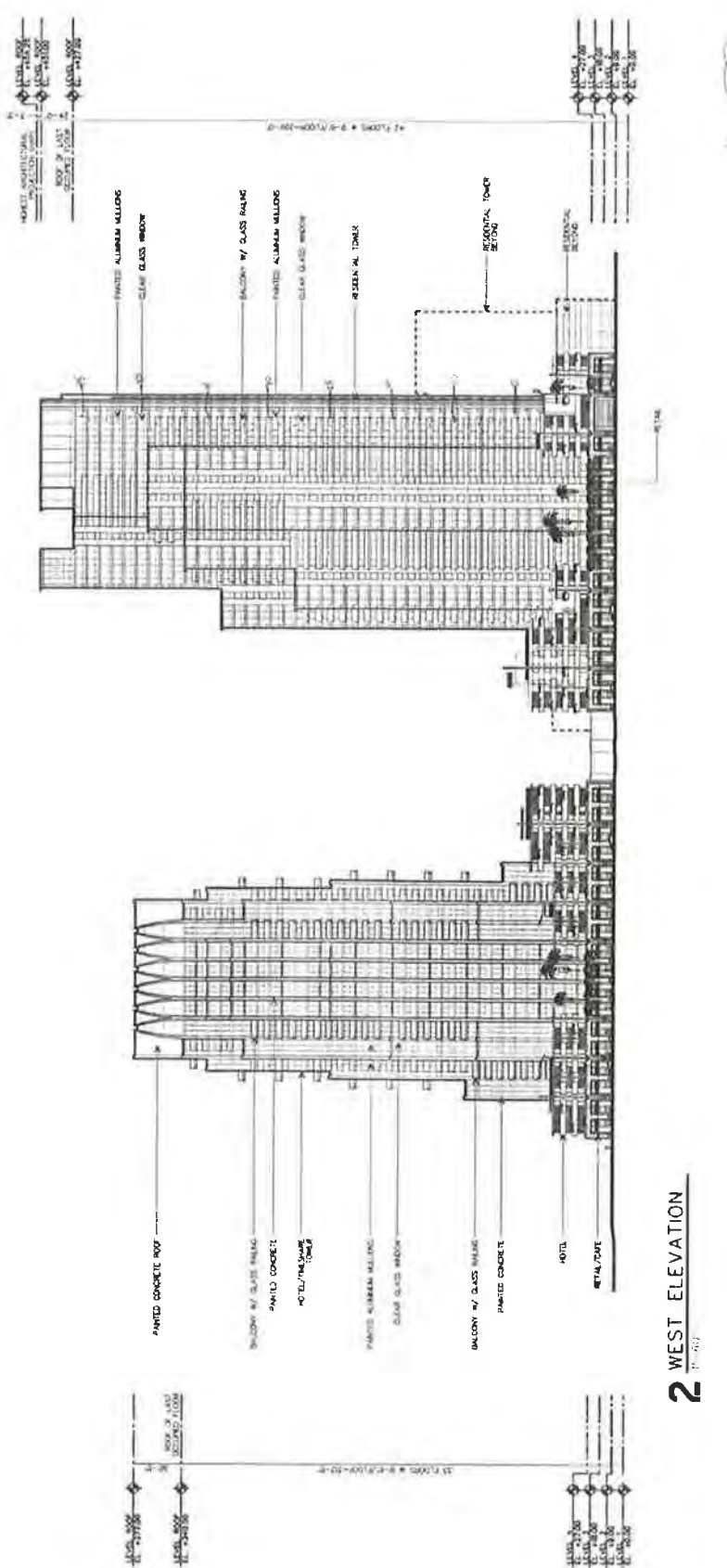
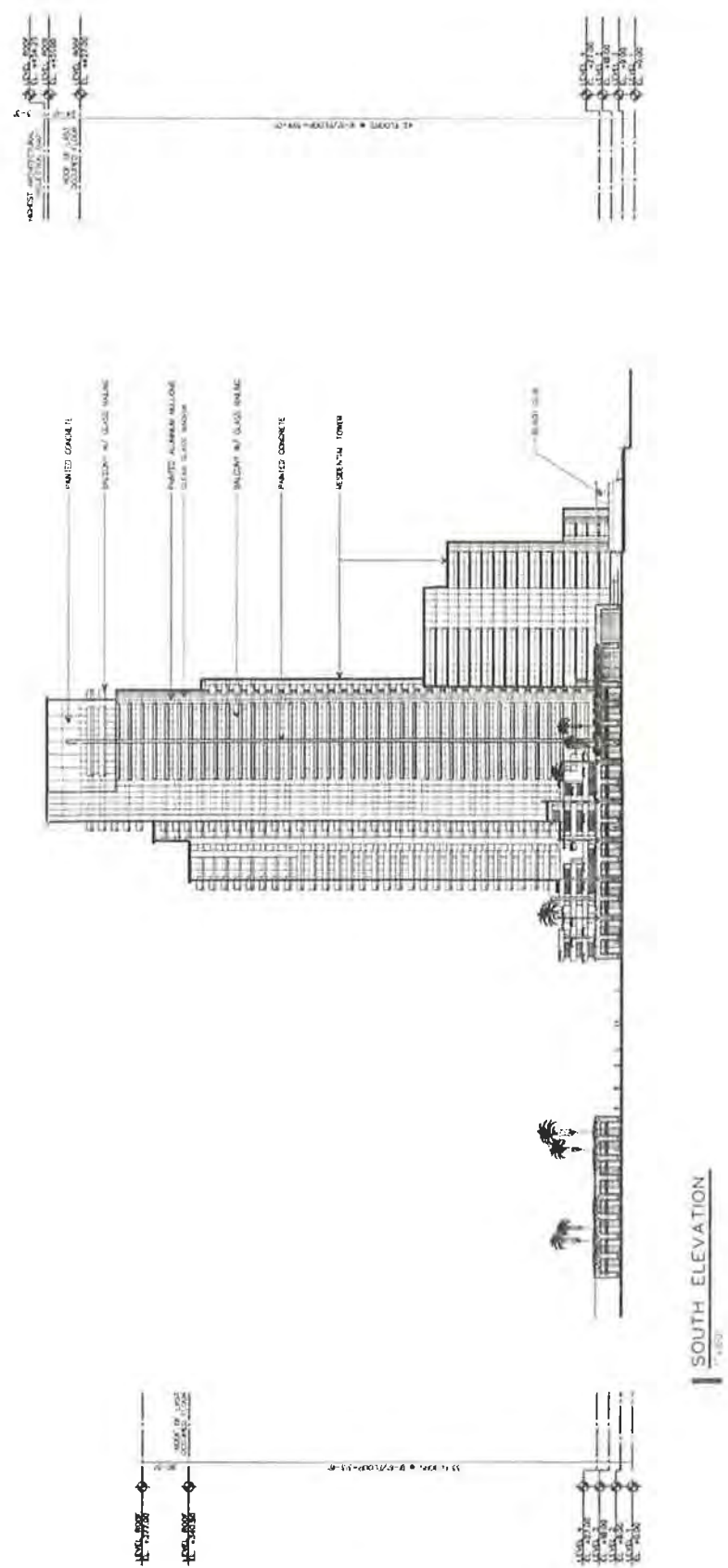
- A. Deliver cementitious materials to Project site in original packages, Containers, or bundles, labeled with manufacturer's name, product name and lot number.
- B. Store materials inside, under cover, and dry, protected from weather, direct sunlight, surface contamination, aging, corrosion, and damage from construction traffic and other causes.

- A. The Contractor shall visit the site and examine the condition of the surfaces, which are to be repaired. The Contractor shall follow the Manufacturer's recommendations with regard to the various moisture and temperature limitations of the materials.
- B. The Contractor shall arrange with the Owner to have all automobiles moved from the immediate work area and/or adequately protect such property from damage during the work.
- C. The Contractor shall arrange with the Owner to have all work areas closed off to prevent pedestrian traffic during the work.
- D. The Contractor shall arrange with the Owner for the times of day and days of the week during which the work can take place.
- E. The Contractor shall remove debris daily from site.
- F. The Contractor shall provide a full-time, on-site supervisor for the duration of the work.

A.Environmental requirements, General: Comply with requirements of referenced plaster application standards and recommendations of plaster manufacturer for environmental conditions before, during, and after plaster application.

## EMERGENCY GLASS RAILING SYSTEM REPAIRS

PROJECT #:	CST0117
DRAWN BY:	LAM
SCALE:	AS NOTED



A-8

SOUTH & WEST  
ELEVATIONS

South Pointe East  
Ocean Parcel South Pointe  
Miami Beach, Florida



The Continuum Emergency 2018

Continuum on South Beach  
South Tower Condominium  
100 South Pointe Drive  
Miami Beach, Florida 33139

EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS

B. P. Taurinski, P.E., P.A.  
Structural Engineers  
730 SOUTH DEERFIELD AVE., STE. 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-3100  
CA# 27184  
DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: IAM  
SCALE: AS NOTED



100 South Pointe Drive  
Miami Beach, Florida 33139

## EMERGENCY GLASS RAILING SYSTEM REPAIRS

**B. P. Taurinski, P.E., P.A.**  
**Structural Engineers**  
50 SOUTH DEERFIELD AVE. STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-3100

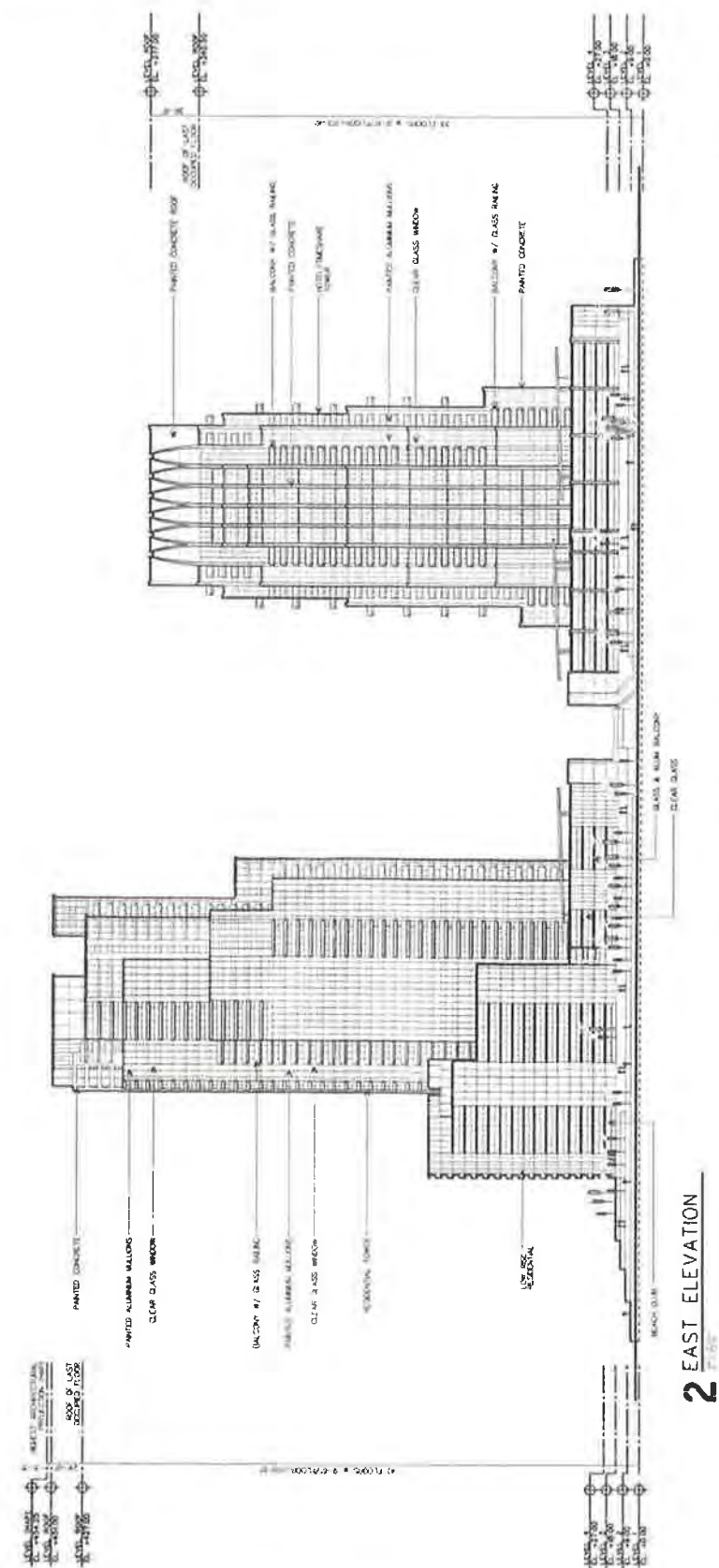
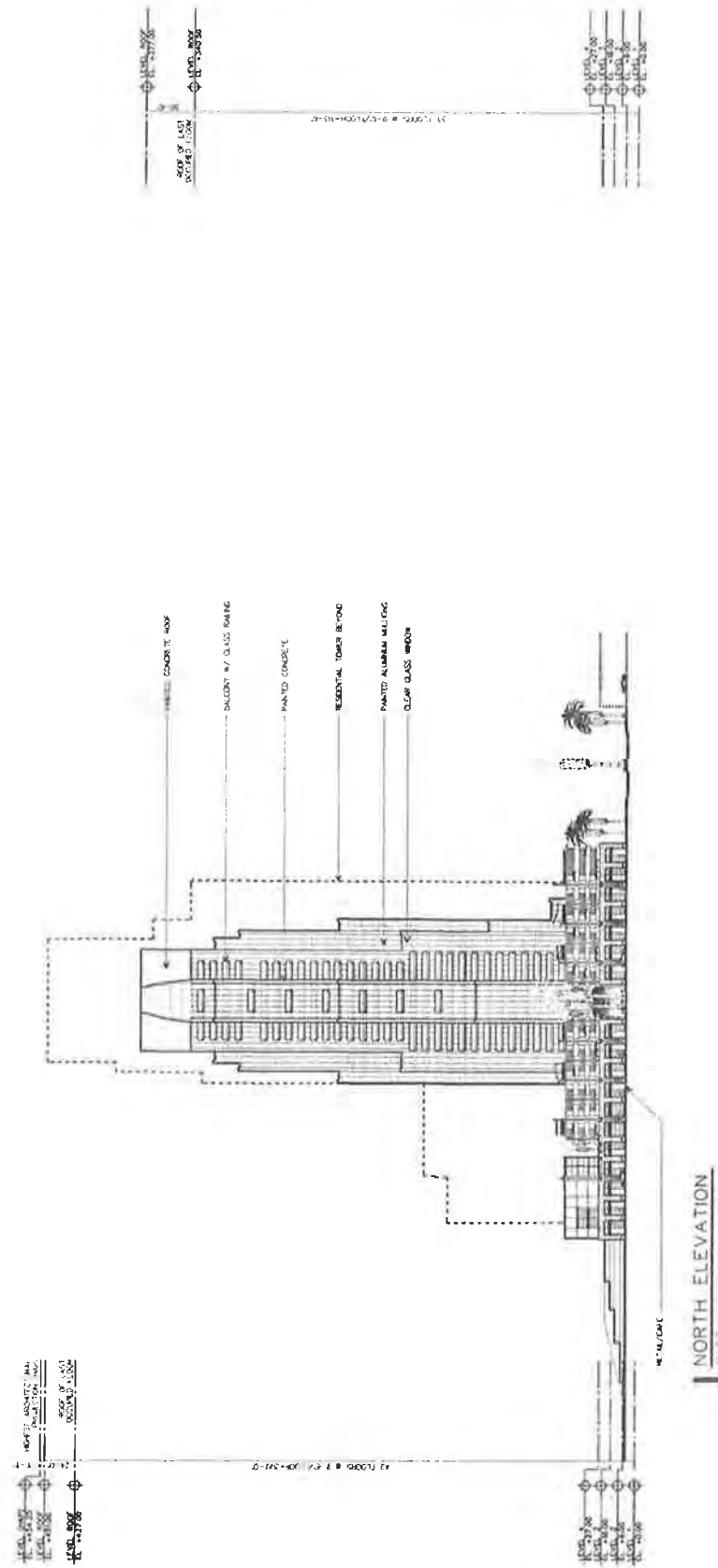
DATE: 03/28/2018 PE#33255

PROJECT #: CST0117

DRAWN BY: LAM

SCALE: AS NOTED

7 of 41



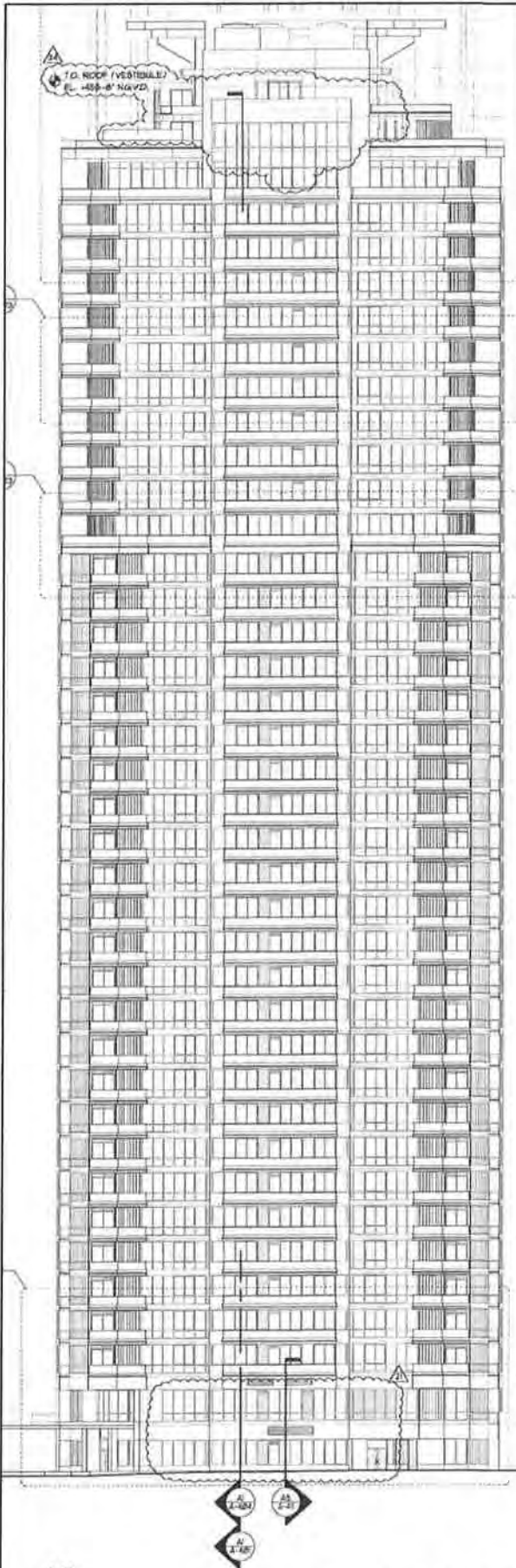
# South Pointe East

Ocean Parcel South Pointe  
Miami Beach, Florida

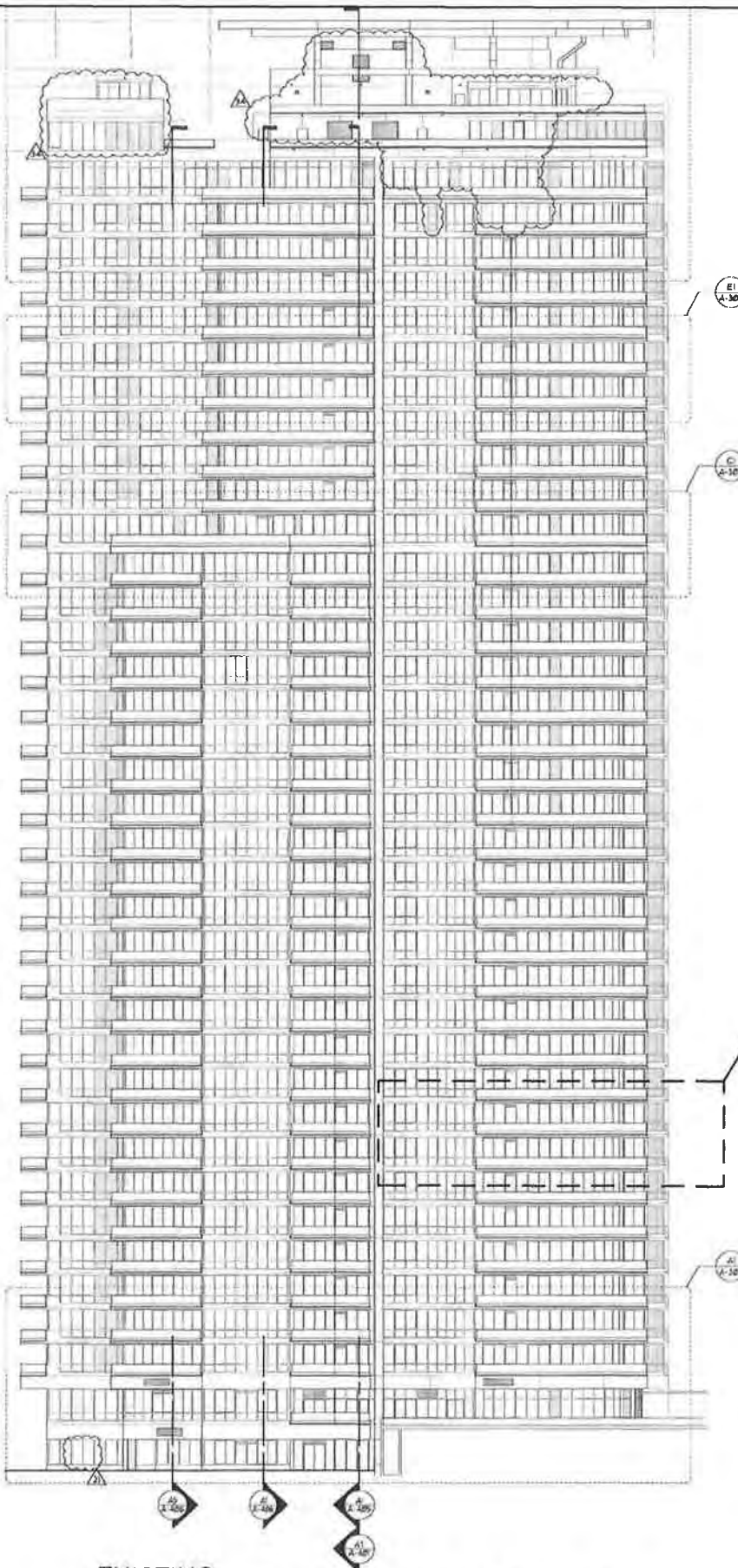
**SOM**  
SOUTHERN  
OIL & GAS



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



HIGHEST AREA PROJECTION	TOP OF ROOF RAMP EL. 474'-0" NGVD.	(474'-0" ALLOWED)
TOP OF CANOPY	EL. 466'-0" NGVD.	
43rd FLOOR (42nd LEVEL)	EL. 455'-0" NGVD. + FIN. 01	
42nd FLOOR (41st LEVEL)	EL. 444'-0" NGVD. + FIN. 01	
4th FLOOR (40th LEVEL-ROOF TERRACE)	EL. 433'-4" NGVD.	(436'-0" ALLOWED)
40th FLOOR (39th LEVEL)	EL. 422'-0" NGVD.	
39th FLOOR (38th LEVEL)	EL. 411'-0" NGVD.	
38th FLOOR (37th LEVEL)	EL. 400'-0" NGVD.	
37th FLOOR (36th LEVEL)	EL. 389'-0" NGVD.	
36th FLOOR (35th LEVEL)	EL. 378'-0" NGVD.	
35th FLOOR (34th LEVEL)	EL. 367'-0" NGVD.	
34th FLOOR (33rd LEVEL)	EL. 356'-0" NGVD.	
33rd FLOOR (32nd LEVEL)	EL. 345'-0" NGVD.	
32nd FLOOR (31st LEVEL)	EL. 334'-0" NGVD.	
31st FLOOR (30th LEVEL)	EL. 323'-0" NGVD.	
30th FLOOR (29th LEVEL)	EL. 312'-0" NGVD.	
29th FLOOR (28th LEVEL)	EL. 301'-0" NGVD.	
28th FLOOR (27th LEVEL)	EL. 290'-0" NGVD.	
27th FLOOR (26th LEVEL)	EL. 279'-0" NGVD.	
26th FLOOR (25th LEVEL)	EL. 268'-0" NGVD.	
25th FLOOR (24th LEVEL)	EL. 257'-0" NGVD.	
24th FLOOR (23rd LEVEL)	EL. 246'-0" NGVD.	
23rd FLOOR (22nd LEVEL)	EL. 235'-0" NGVD.	
22nd FLOOR (21st LEVEL)	EL. 224'-0" NGVD.	
21st FLOOR (20th LEVEL)	EL. 213'-0" NGVD.	
20th FLOOR (19th LEVEL)	EL. 202'-0" NGVD.	
19th FLOOR (18th LEVEL)	EL. 191'-0" NGVD.	
18th FLOOR (17th LEVEL)	EL. 180'-0" NGVD.	
17th FLOOR (16th LEVEL)	EL. 169'-0" NGVD.	
16th FLOOR (15th LEVEL)	EL. 158'-0" NGVD.	
15th FLOOR (14th LEVEL)	EL. 147'-0" NGVD.	
14th FLOOR (13th LEVEL)	EL. 136'-0" NGVD.	
13th FLOOR (12th LEVEL)	EL. 125'-0" NGVD.	
12th FLOOR (11th LEVEL)	EL. 114'-0" NGVD.	
11th FLOOR (10th LEVEL)	EL. 103'-0" NGVD.	
10th FLOOR (9th LEVEL)	EL. 92'-0" NGVD.	
9th FLOOR (8th LEVEL)	EL. 81'-0" NGVD.	
8th FLOOR (7th LEVEL)	EL. 70'-0" NGVD.	
7th FLOOR (6th LEVEL)	EL. 59'-0" NGVD.	
6th FLOOR (5th LEVEL)	EL. 48'-0" NGVD.	
5th FLOOR (4th LEVEL)	EL. 37'-0" NGVD.	
4th FLOOR (3rd LEVEL)	EL. 26'-0" NGVD.	
3rd FLOOR (2nd LEVEL)	EL. 15'-0" NGVD.	



SEE DETAIL  
PG 36A

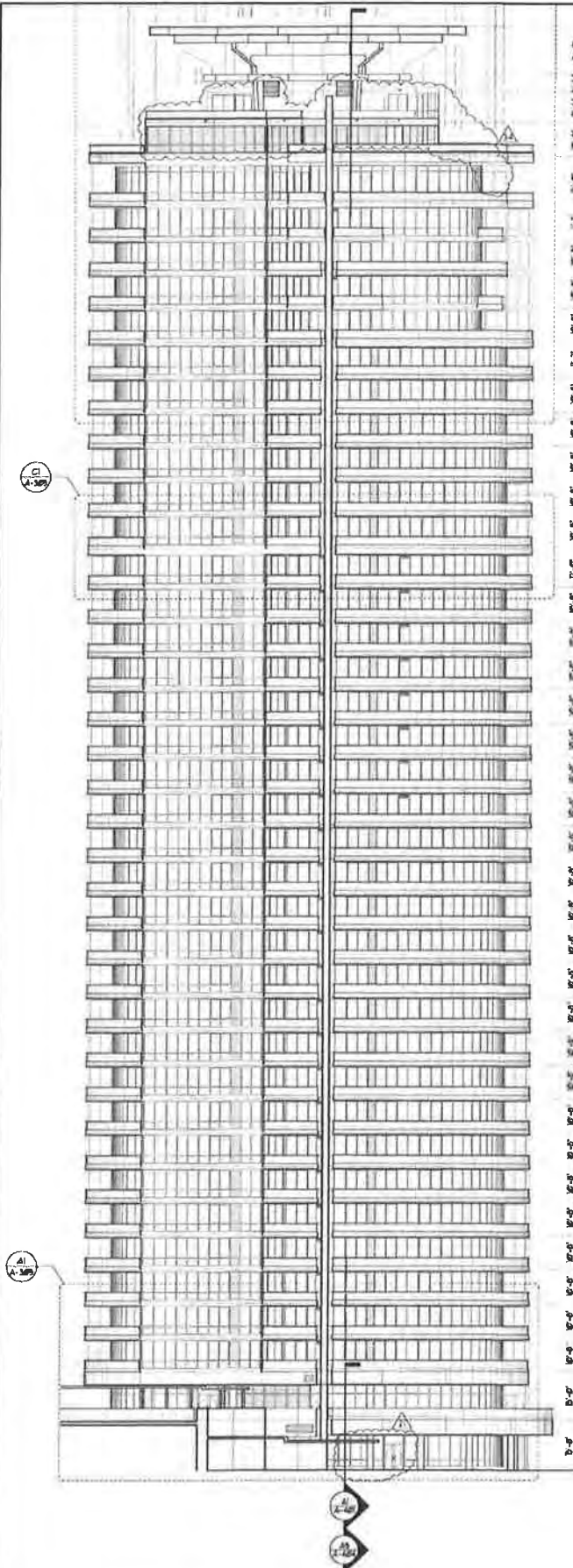


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PROJECT #: CST0117  
DRAWN BY: IAM  
SCALE: AS NOTED

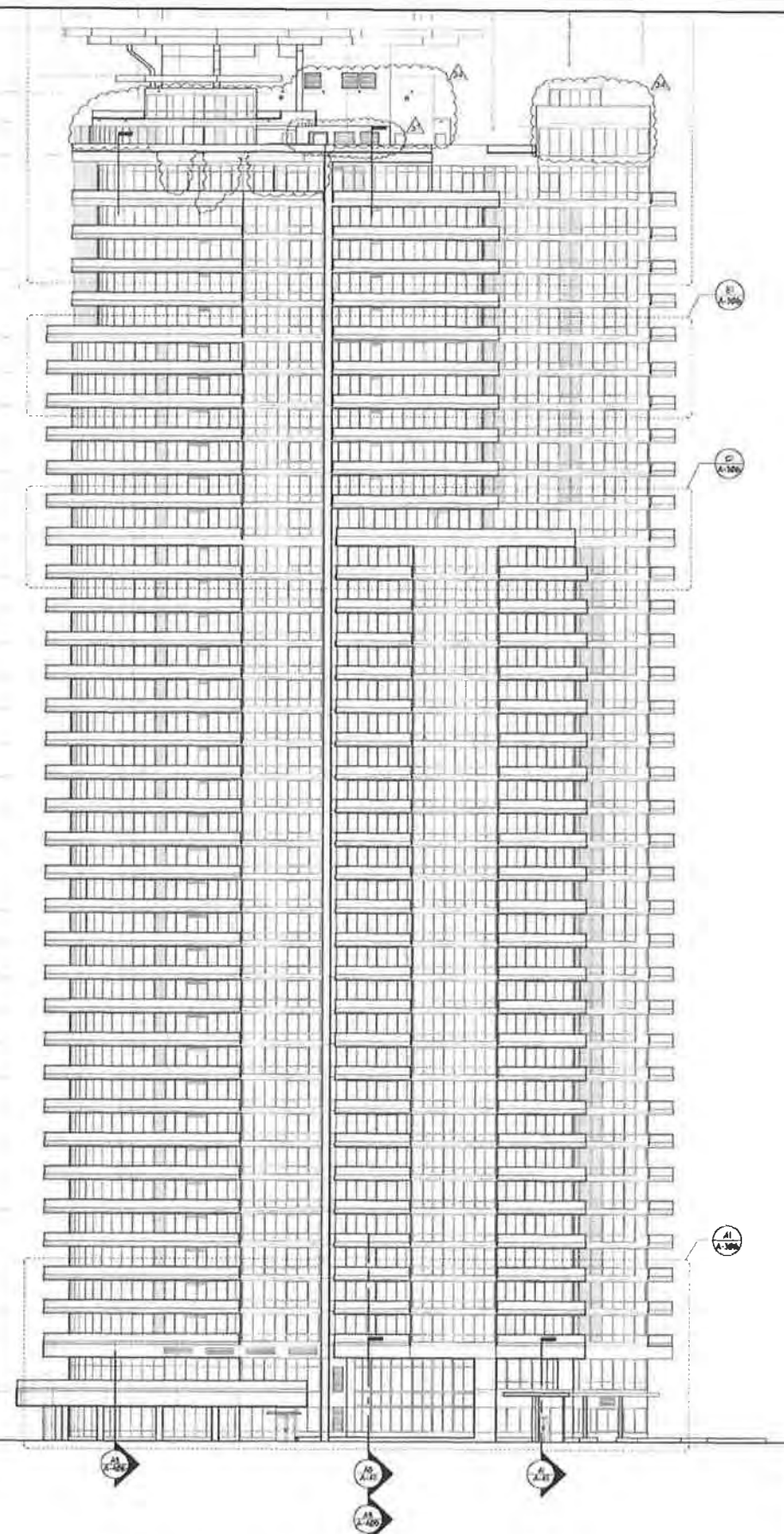


**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**



EXISTING  
A1 SOUTH TOWER-SOUTH ELEVATION  
SCALE: 1"=20'

HIGHEST ARCH PROJECTION	TOP OF BOOMERANG EL. 444'-0" NGVD	(+44'-0" ALLOWED)
TOP OF CANOPY	EL. 435'-0" NGVD	
43rd FLOOR (42nd LEVEL)	EL. 425'-0" NGVD (EL. 425'-0" NGVD + 0'-0")	
42nd FLOOR (41st LEVEL)	EL. 415'-0" NGVD (EL. 415'-0" NGVD + 0'-0")	
41st FLOOR (40th LEVEL-ROOF TERRACE)	EL. 405'-4" NGVD	(+40'-0" ALLOWED)
40th FLOOR (39th LEVEL)	EL. 395'-4" NGVD	
39th FLOOR (38th LEVEL)	EL. 385'-2" NGVD	
38th FLOOR (37th LEVEL)	EL. 375'-6" NGVD	
37th FLOOR (36th LEVEL)	EL. 365'-10" NGVD	
36th FLOOR (35th LEVEL)	EL. 355'-2" NGVD	
35th FLOOR (34th LEVEL)	EL. 344'-0" NGVD	
34th FLOOR (33rd LEVEL)	EL. 333'-4" NGVD	
33rd FLOOR (32nd LEVEL)	EL. 322'-8" NGVD	
32nd FLOOR (31st LEVEL)	EL. 312'-0" NGVD	
31st FLOOR (30th LEVEL)	EL. 301'-4" NGVD	
30th FLOOR (29th LEVEL)	EL. 290'-8" NGVD	
29th FLOOR (28th LEVEL)	EL. 280'-0" NGVD	
28th FLOOR (27th LEVEL)	EL. 269'-4" NGVD	
27th FLOOR (26th LEVEL)	EL. 258'-8" NGVD	
26th FLOOR (25th LEVEL)	EL. 248'-0" NGVD	
25th FLOOR (24th LEVEL)	EL. 237'-4" NGVD	
24th FLOOR (23rd LEVEL)	EL. 226'-8" NGVD	
23rd FLOOR (22nd LEVEL)	EL. 216'-0" NGVD	
22nd FLOOR (21st LEVEL)	EL. 205'-4" NGVD	
21st FLOOR (20th LEVEL)	EL. 194'-8" NGVD	
20th FLOOR (19th LEVEL)	EL. 184'-0" NGVD	
19th FLOOR (18th LEVEL)	EL. 173'-4" NGVD	
18th FLOOR (17th LEVEL)	EL. 162'-8" NGVD	
17th FLOOR (16th LEVEL)	EL. 152'-0" NGVD	
16th FLOOR (15th LEVEL)	EL. 141'-4" NGVD	
15th FLOOR (14th LEVEL)	EL. 130'-8" NGVD	
14th FLOOR (13th LEVEL)	EL. 120'-0" NGVD	
13th FLOOR (12th LEVEL)	EL. 109'-4" NGVD	
12th FLOOR (11th LEVEL)	EL. 98'-8" NGVD	
11th FLOOR (10th LEVEL)	EL. 88'-0" NGVD	
10th FLOOR (9th LEVEL)	EL. 77'-4" NGVD	
9th FLOOR (8th LEVEL)	EL. 66'-8" NGVD	
8th FLOOR (7th LEVEL)	EL. 56'-0" NGVD	
7th FLOOR (6th LEVEL)	EL. 45'-4" NGVD	
6th FLOOR (5th LEVEL)	EL. 34'-8" NGVD	
5th FLOOR (4th LEVEL)	EL. 24'-0" NGVD	
4th FLOOR (3rd LEVEL)	EL. 13'-4" NGVD	
3rd FLOOR (2nd LEVEL)	EL. 2'-8" NGVD	



EXISTING  
A7 SOUTH TOWER-EAST ELEVATION  
SCALE: 1"=20'



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EXISTING SOUTHEAST ELEVATION



EXISTING EAST ELEVATION

**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

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PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED





EXISTING NORTHWEST ELEVATION



EXISTING SOUTH ELEVATION

**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

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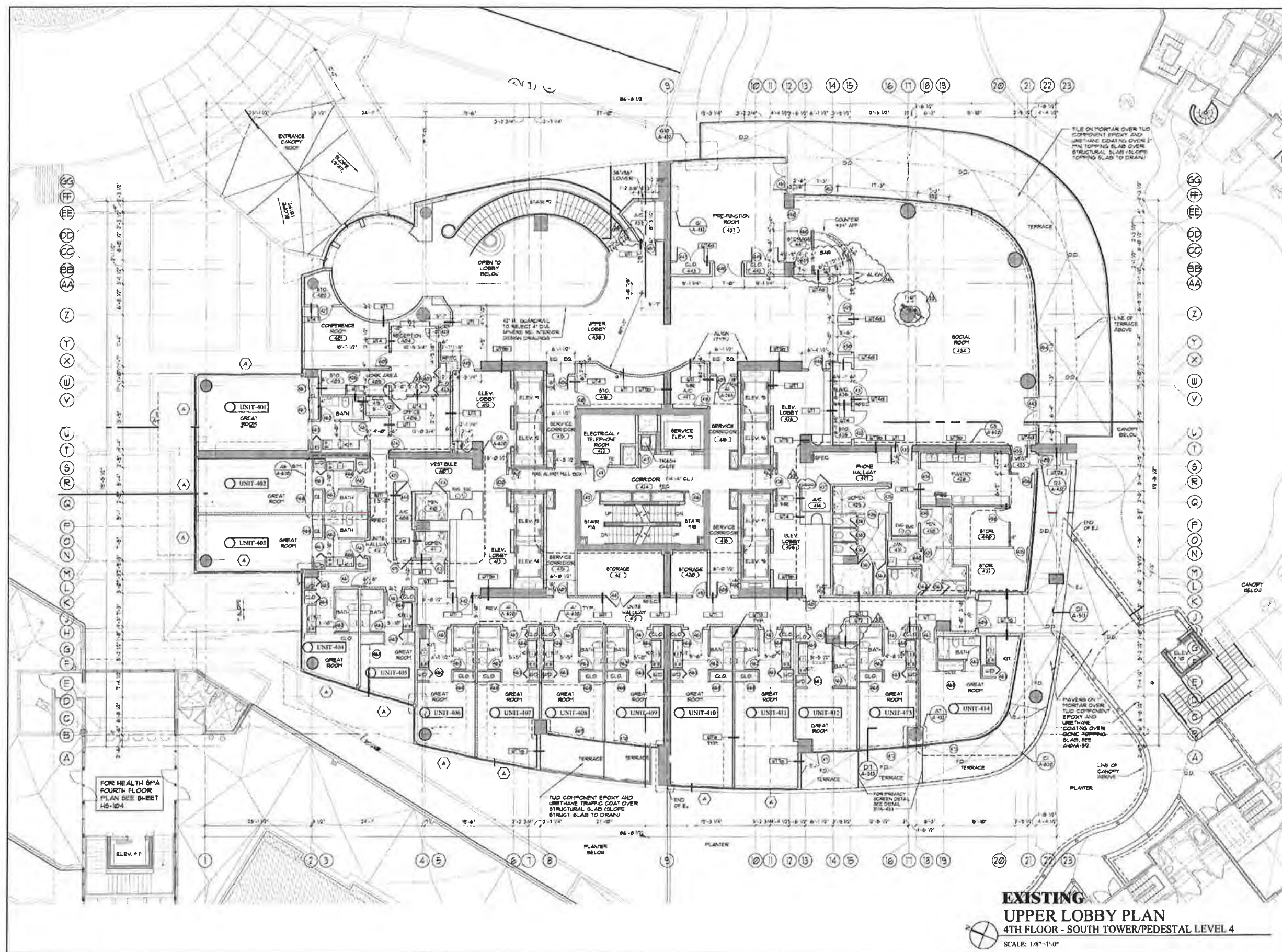
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DRAWN BY: LAM  
SCALE: AS NOTED



# Continuum on South Beach South Tower Condominium

100 South Pointe Drive  
Miami Beach, Florida 33139

## EMERGENCY GLASS RAILING SYSTEM REPAIRS



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DATE: 03/28/2018 PE#33255

PROJECT #: CST0117

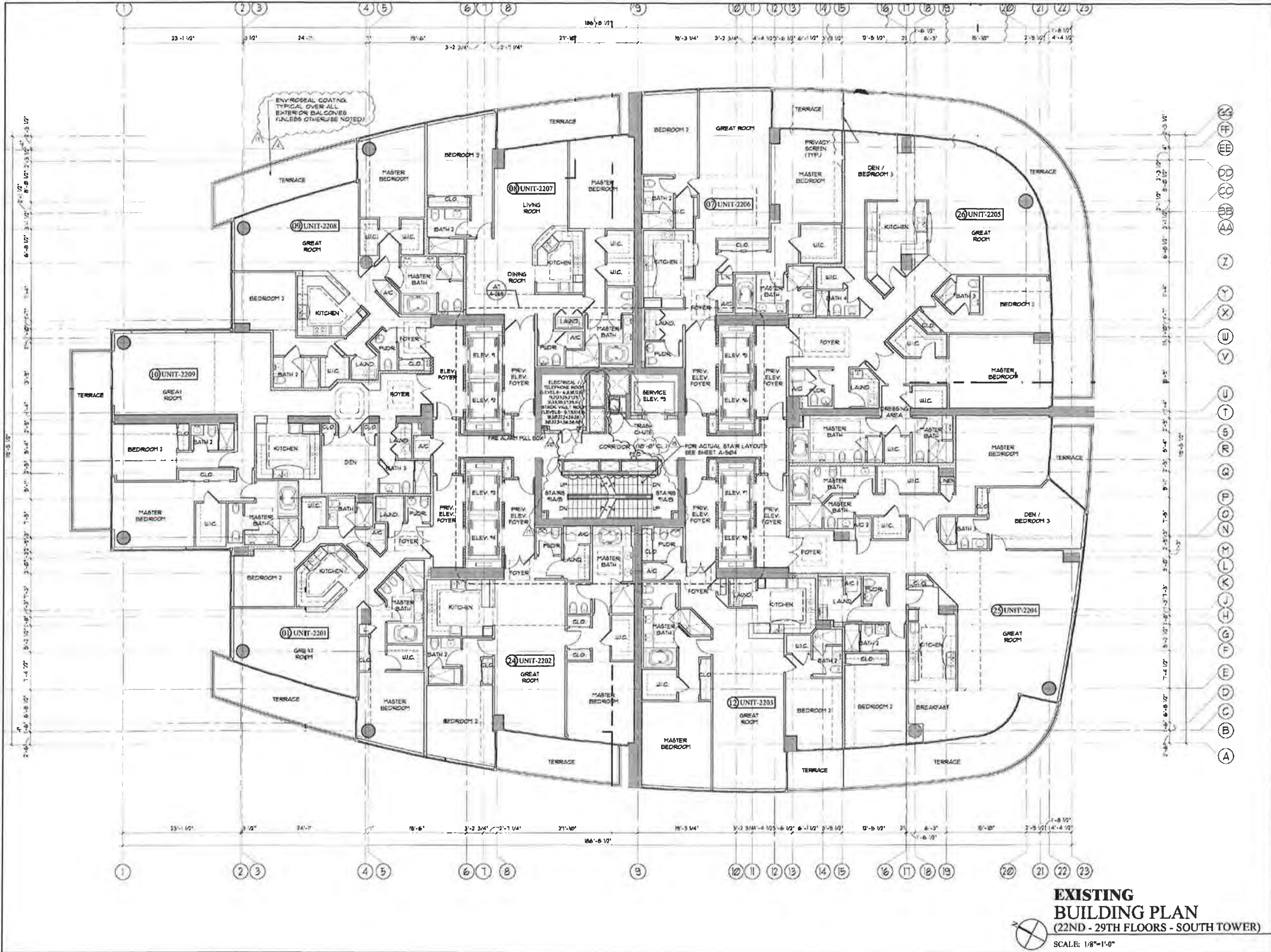
DRAWN BY: LAM

SCALE: AS NOTED

12 of 41



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



EXISTING  
BUILDING PLAN  
(22ND - 29TH FLOORS - SOUTH TOWER)  
SCALE: 1/8"=1'-0"

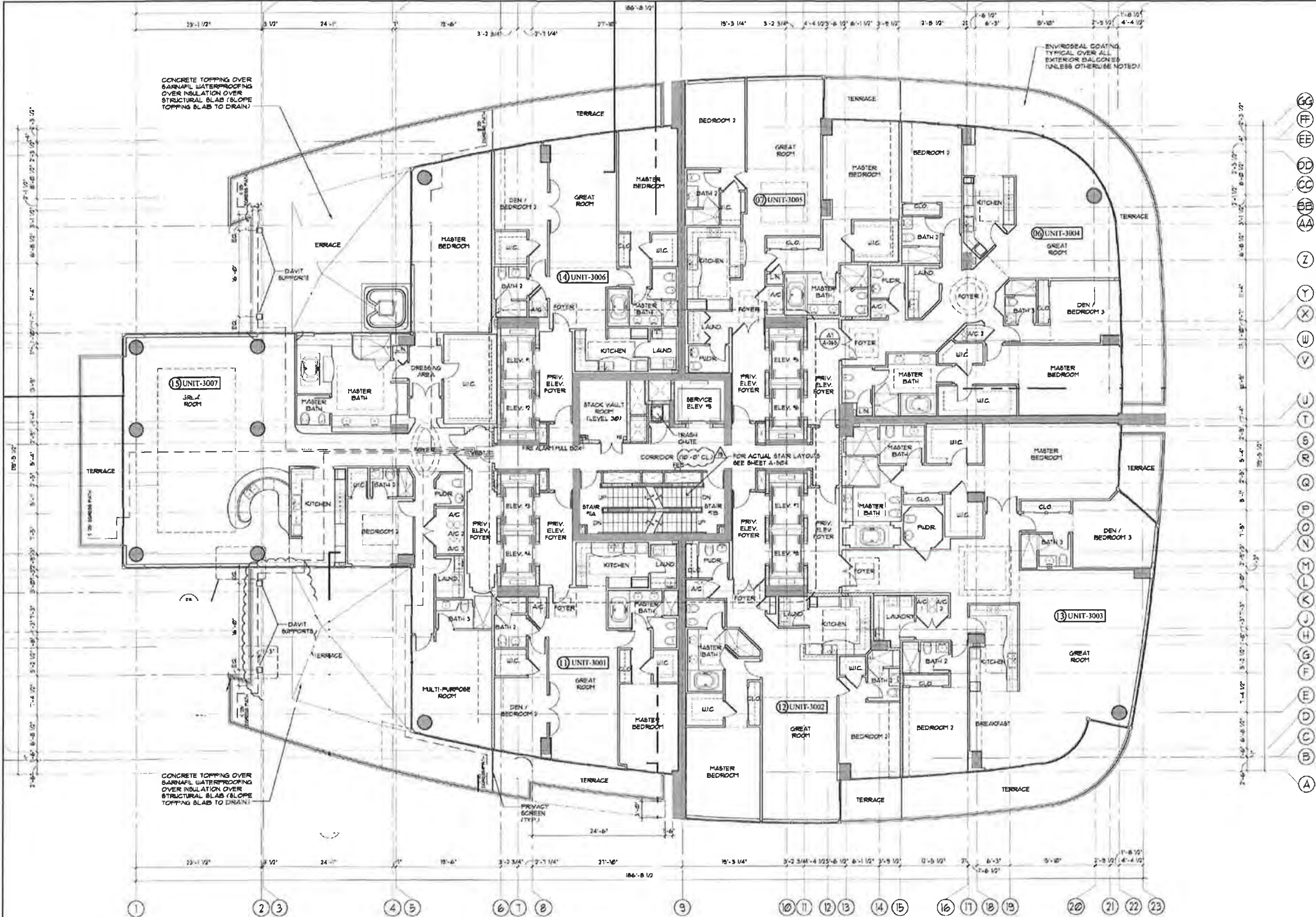
BRONISLAUS P. TAURINSKI  
LICENSE  
No. 33255  
B. P. Taurinski, P.E., P.A.  
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DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



EXISTING  
BUILDING PLAN  
(30TH FLOOR - SOUTH TOWER)  
SCALE: 1/8"=1'-0"

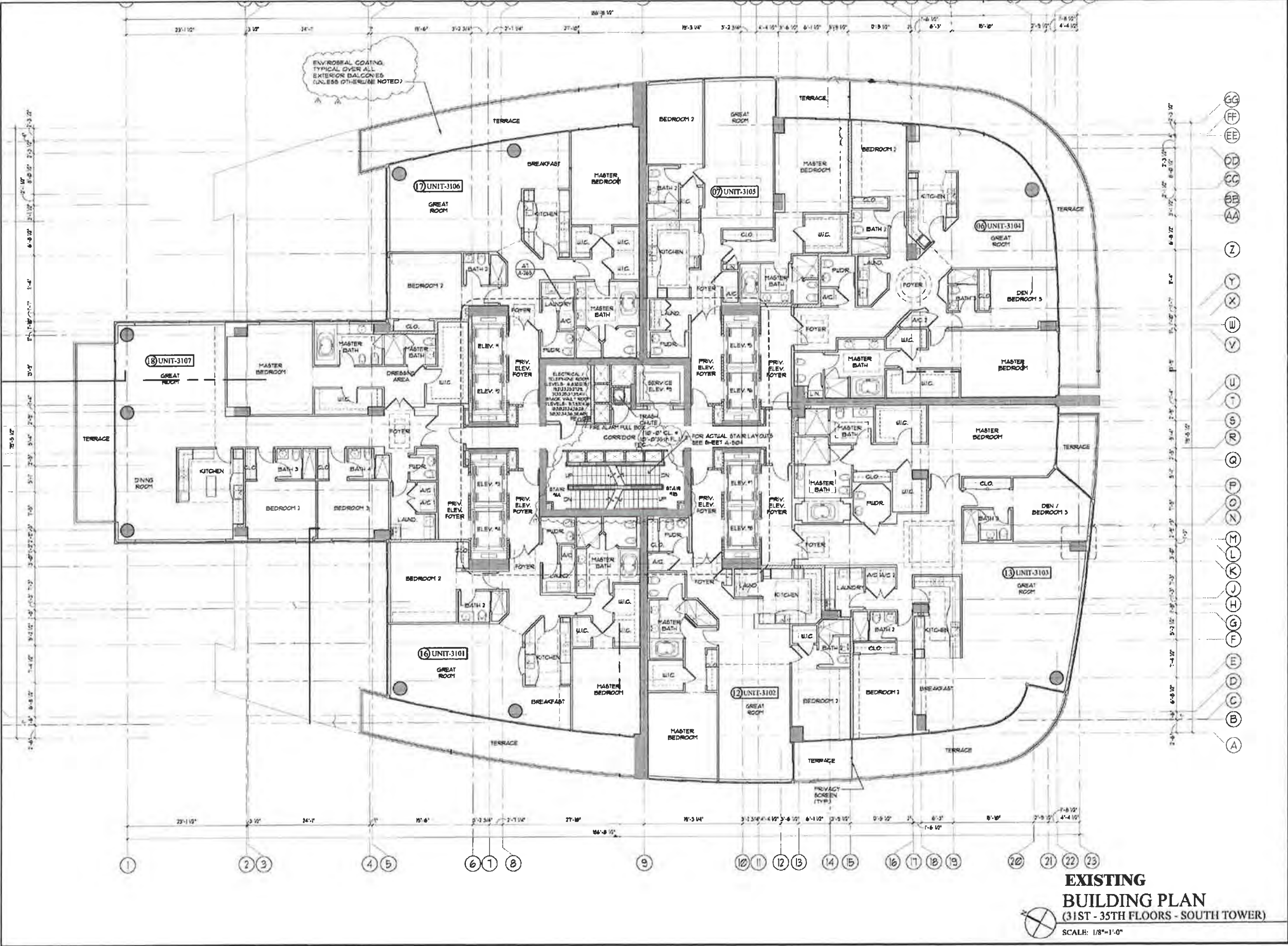
B. P. Taurinski, P.E., P.A.  
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DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



EXISTING  
BUILDING PLAN  
(31ST - 35TH FLOORS - SOUTH TOWER)  
SCALE: 1/8"=1'-0"

BRONISLAUS P. TAURINSKI  
LICENSE  
No. 33255  
B. P. Taurinski, P.E., P.A.  
Structural Engineers  
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P.E. ENGINEER

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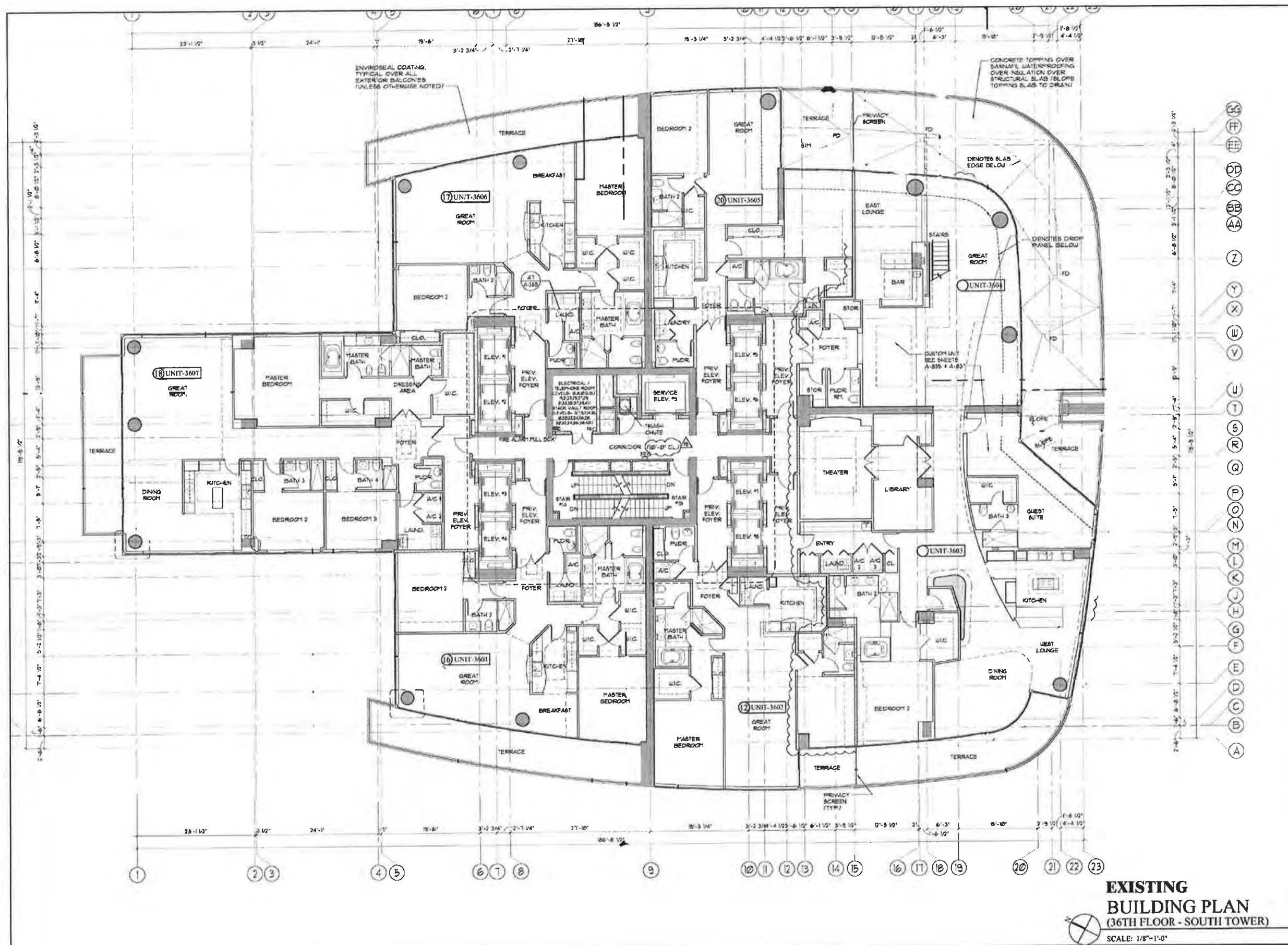
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SCALE: AS NOTED



**Continuum on South Beach  
South Tower Condominium**

100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**



**EXISTING  
BUILDING PLAN  
(36TH FLOOR - SOUTH TOWER)**

SCALE: 1/8"=1'-0"

**B. P. Taurinske, P.E., P.A.  
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CA# 27184

DATE: 03/28/2018 PE#33255

PROJECT #: CST0117

DRAWN BY: LAM

SCALE: AS NOTED

**16 of 41**



**EXISTING  
BUILDING PLAN**  
(37TH FLOOR - SOUTH TOWER)

SCALE: 1/8"=1'-0"

DATE: 03/28/2018 PE#33255

PROJECT #: CST0117

DRAWN BY: LAM

SCALE: AS NOTED

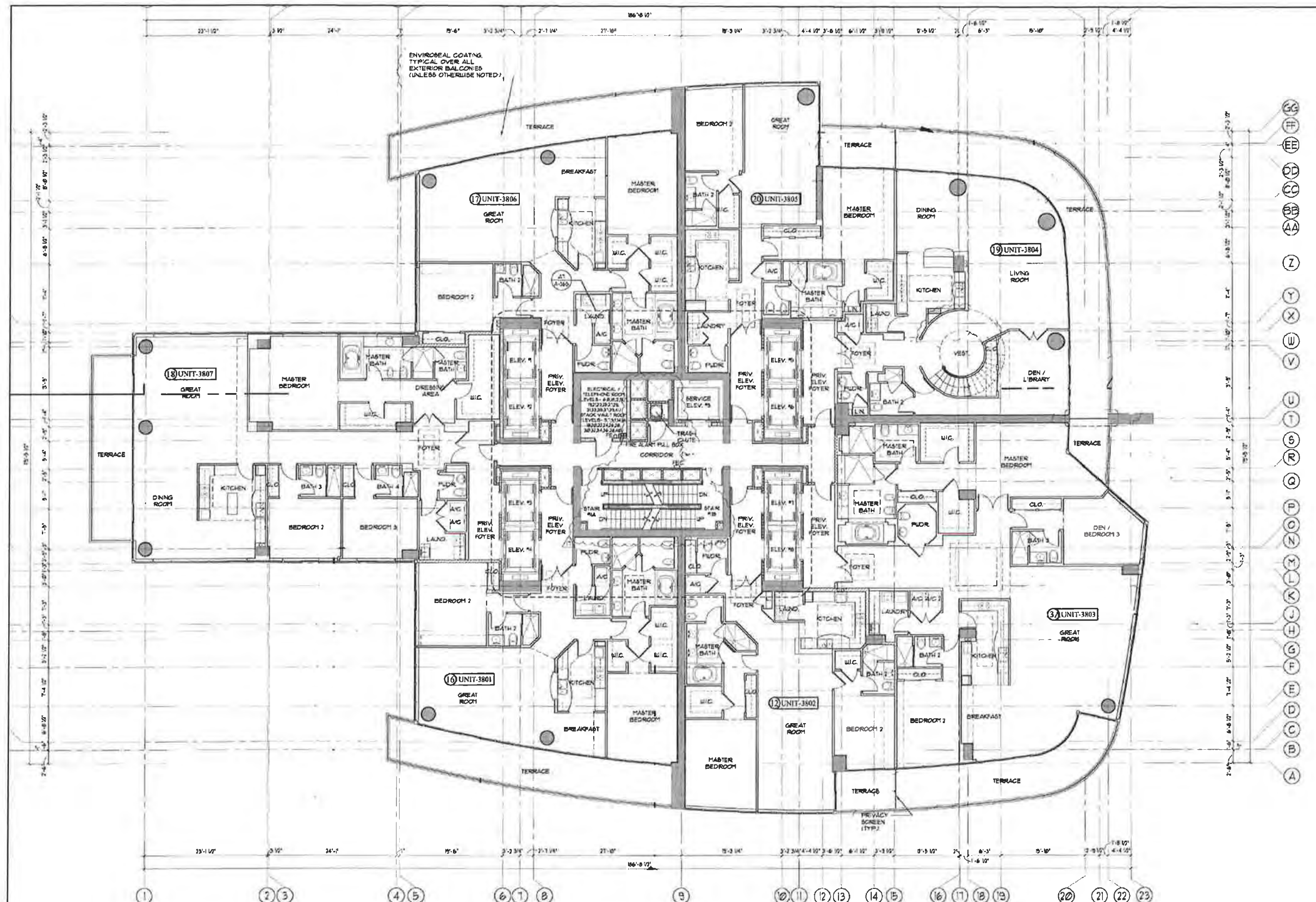
**17 of 41**



# Continuum on South Beach South Tower Condominium

100 South Pointe Drive  
Miami Beach, Florida 33139

## EMERGENCY GLASS RAILING SYSTEM REPAIRS



**EXISTING  
BUILDING PLAN  
(38TH FLOOR - SOUTH TOWER)**

SCALE: 1/8"=1'-0"

**B. P. Taurinski, P.E., P.A.**

**Structural Engineers**

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OFFICE: (954) 418-8100

CA# 27184

DATE: 03/28/2018

PE#33255

PROJECT #: CST0117

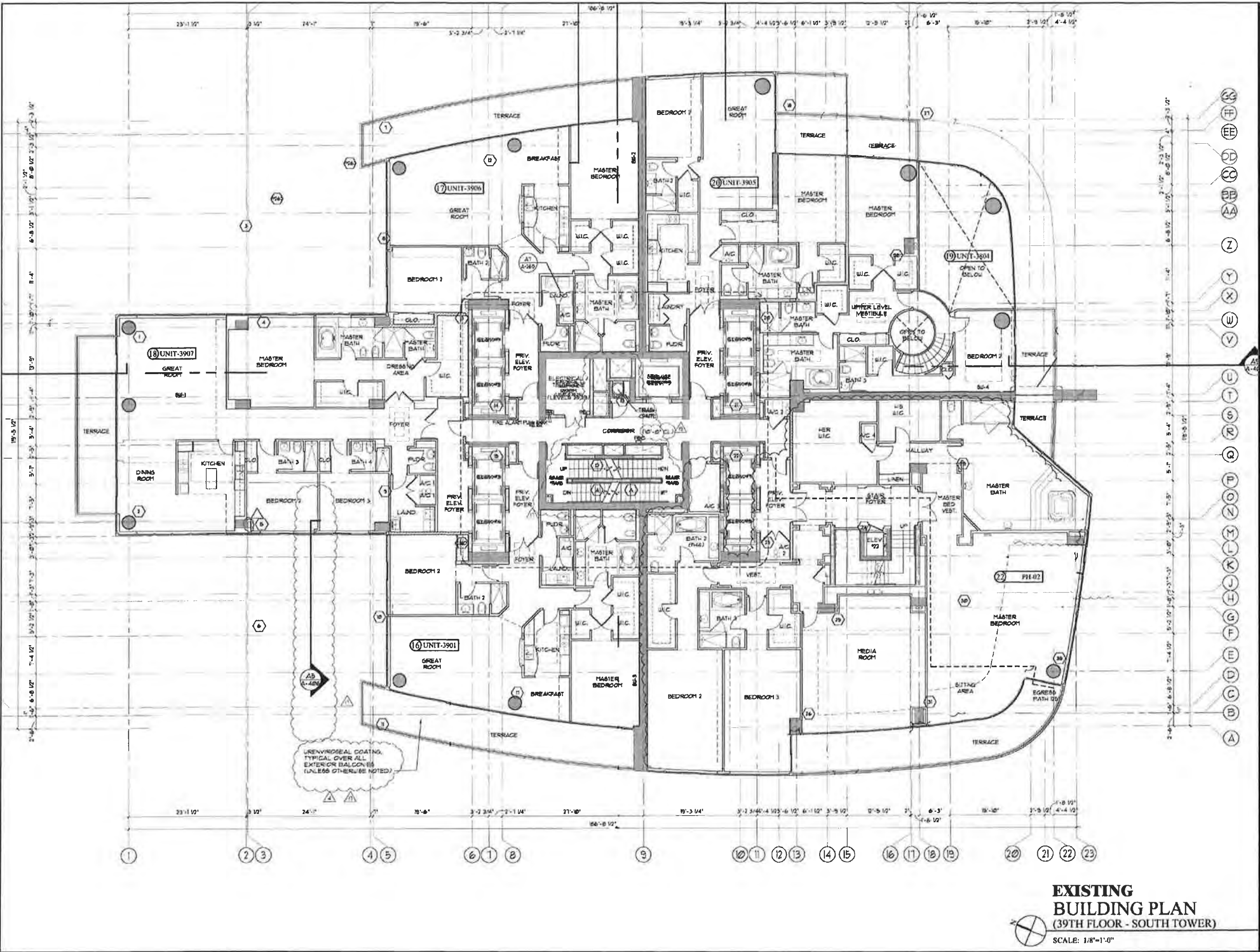
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SCALE: AS NOTED

**18 of 41**



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



EXISTING  
BUILDING PLAN  
(39TH FLOOR - SOUTH TOWER)

SCALE: 1/8"=1'-0"

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DATE: 03/28/2018 PE#55255

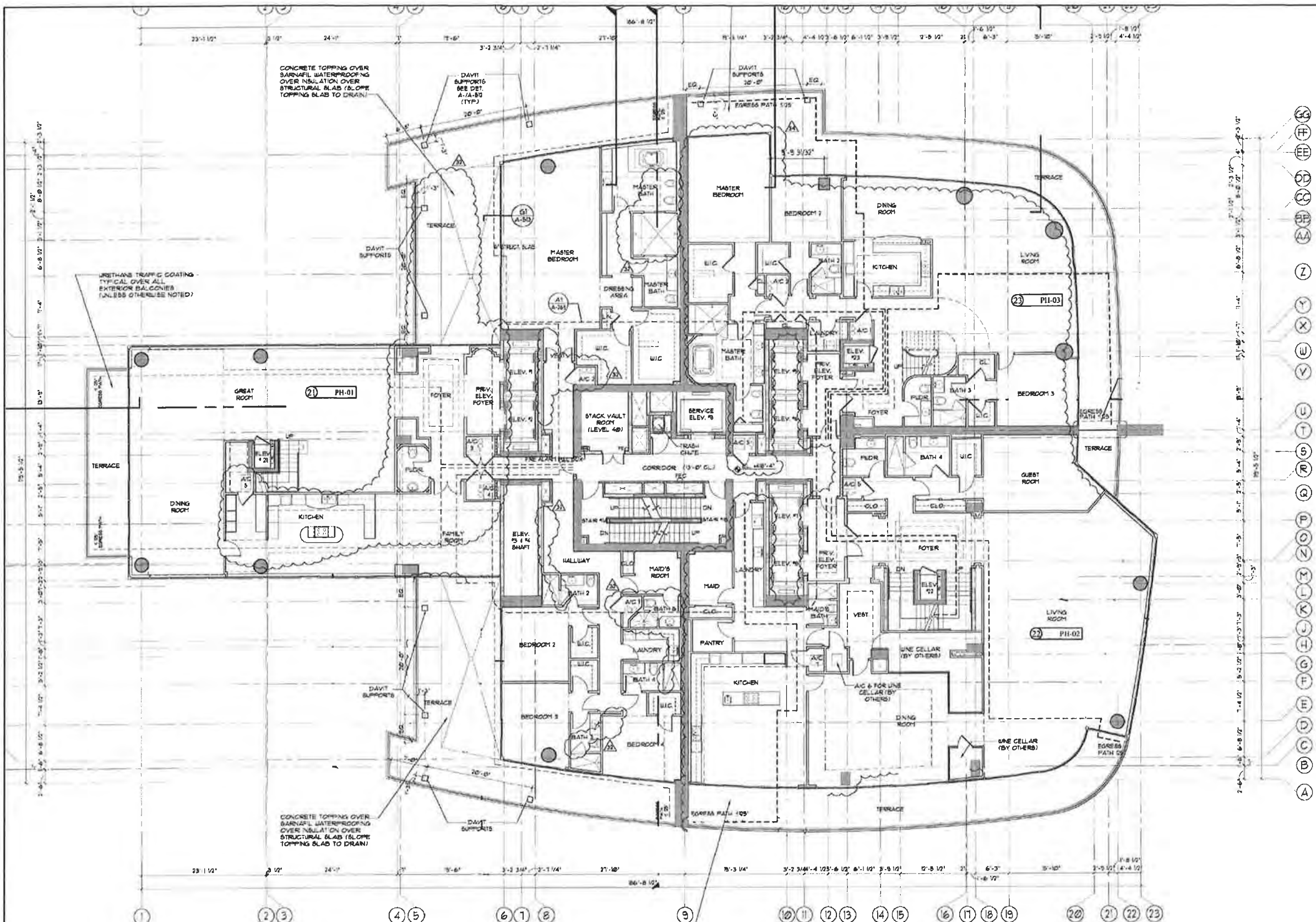
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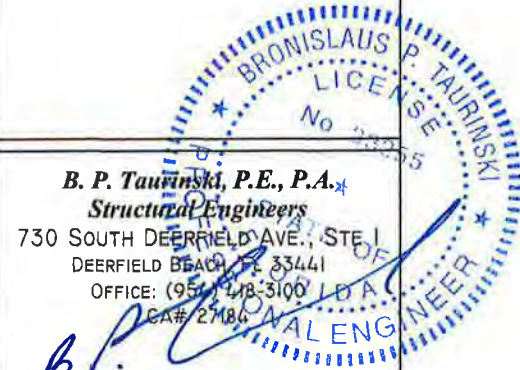
Continuum on South Beach  
South Tower Condominium

100 South Pointe Drive  
Miami Beach, Florida 33139

EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



EXISTING  
BUILDING PLAN  
(40TH FLOOR - SOUTH TOWER)  
SCALE: 1/8"=1'-0"



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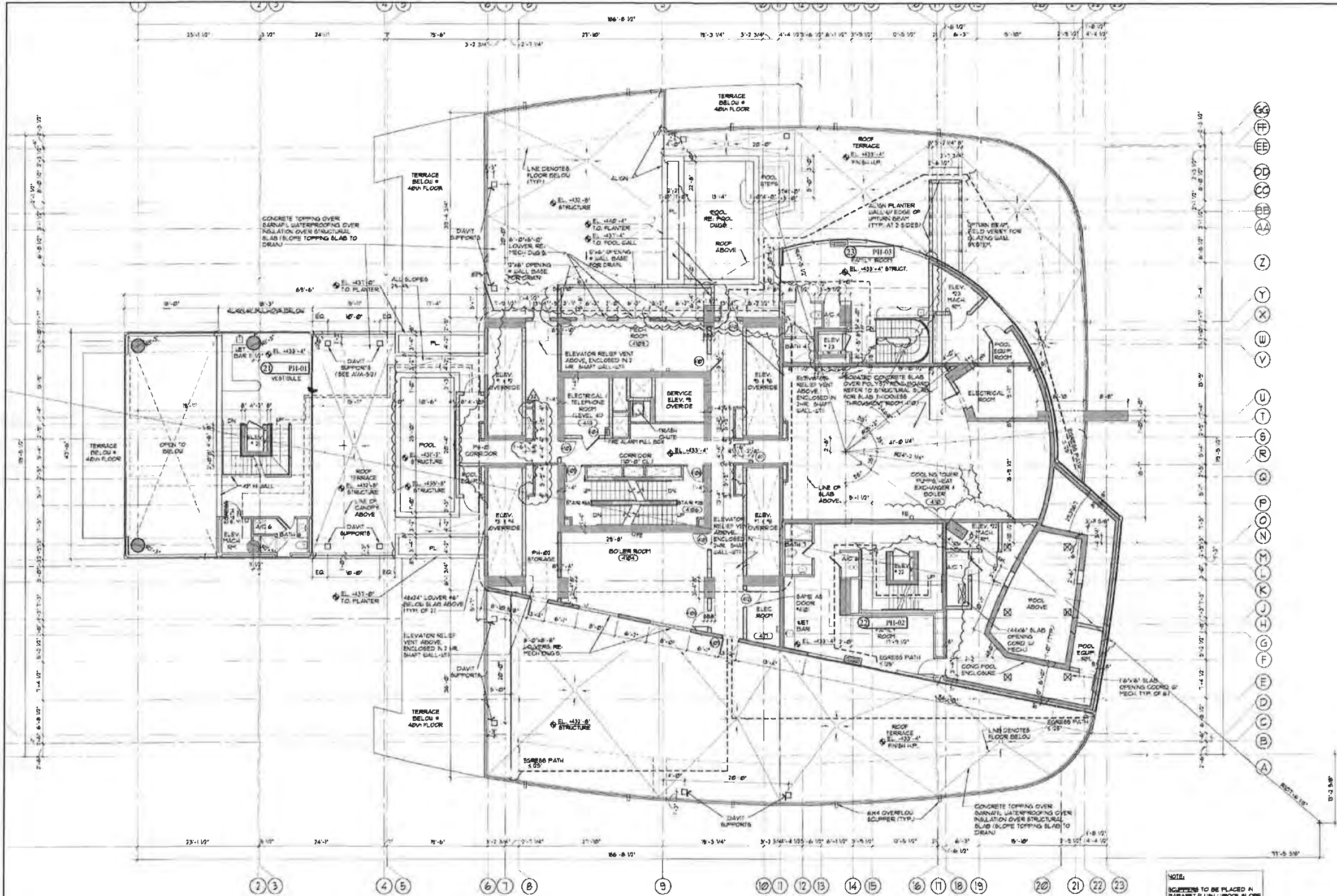
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SCALE: AS NOTED



Continuum on South Beach  
South Tower Condominium

100 South Pointe Drive  
Miami Beach, Florida 33139

EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



NOTE:  
SCAFFOLDING TO BE PLACED IN  
PARAMET PLUMB WINDOW ROOF  
TOWARDS SCUPPER.  
OVERFLOW SCOFFERS TO BE  
PLACED IN PARAMET TO NOT  
ALLOW 9" OF STANDING WATER  
ON ANY PORTION OF THE DECK  
ALL EQUIPMENT ON ROOF,  
COOLING TOWER & PUMP ROOM  
SHALL BE MOUNTED ON  
ISOLATOR PADS.

EXISTING BUILDING PLAN  
(41ST FLOOR - SOUTH TOWER)

SCALE: 1/8"=1'-0"

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CA# 22184

DATE: 03/28/2018

PE#33255

PROJECT #: CST0117

DRAWN BY: LAM

SCALE: AS NOTED



**DEMOLISH EXISTING METAL PANELS FROM  
INTERIOR AND EXTERIOR & PERFORM  
REQUIRED REPAIRS**



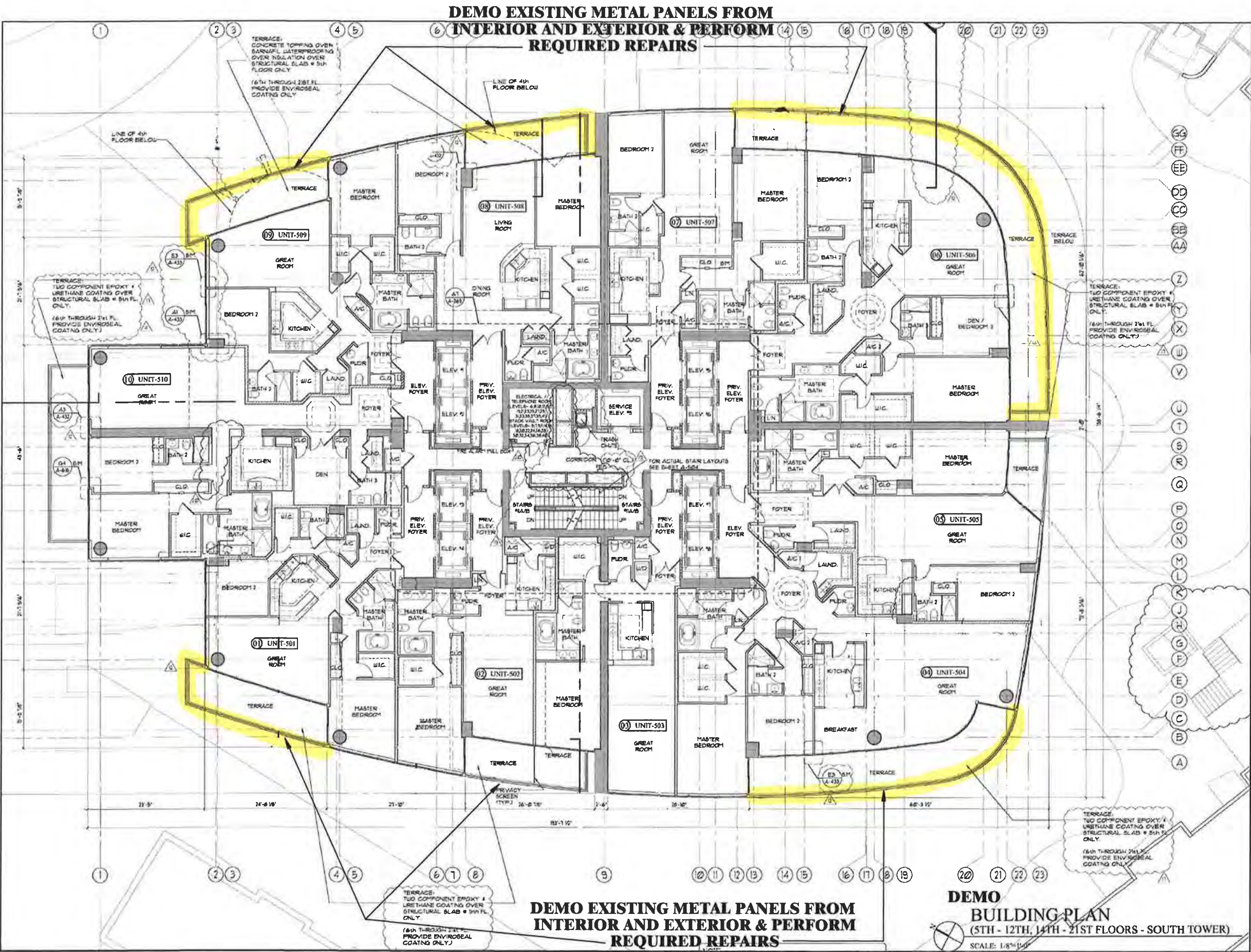
**B. P. Taurinski, P.E., P.A.**  
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DATE: 03/29/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS

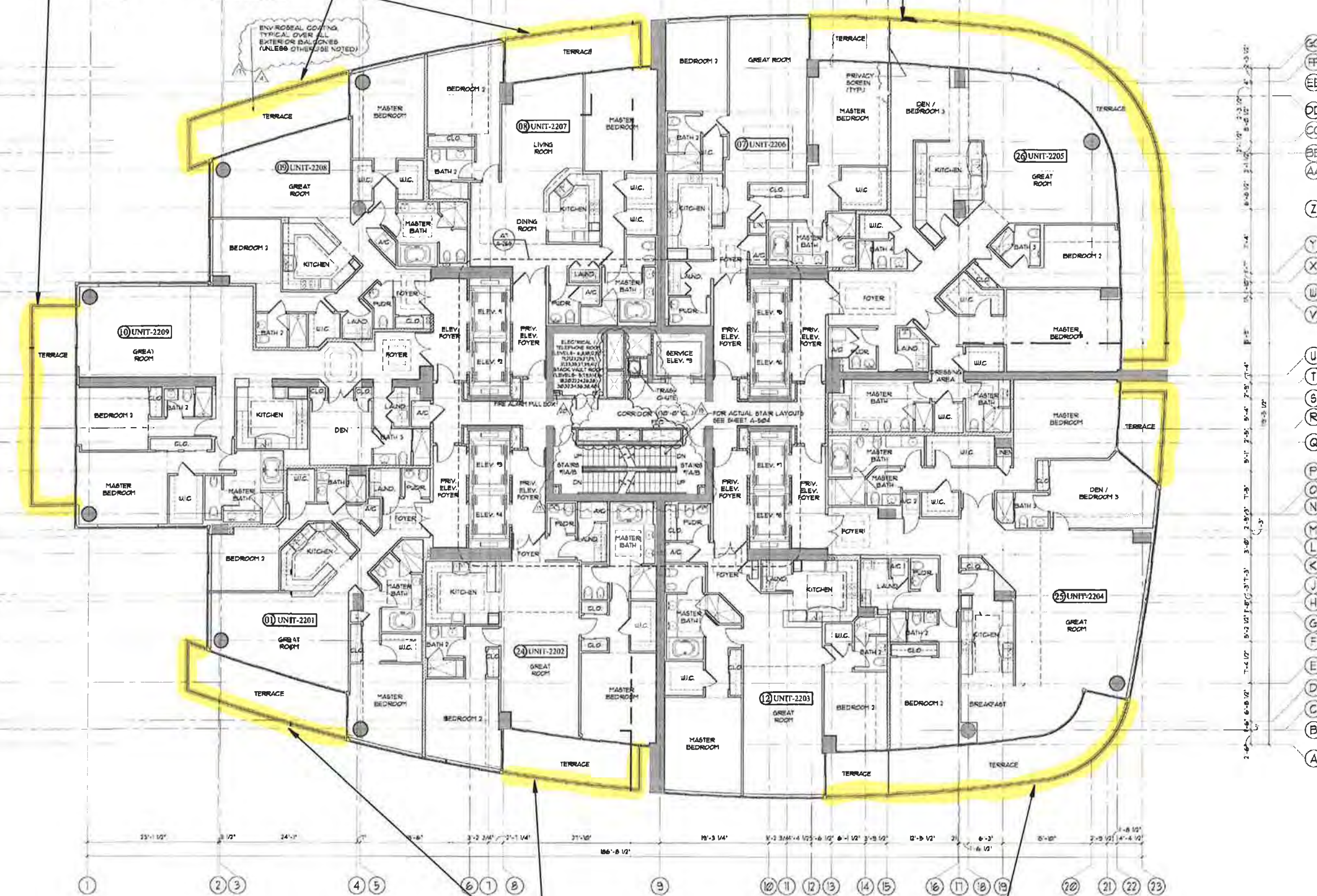


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PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED



**DEMO EXISTING METAL PANELS FROM  
INTERIOR AND EXTERIOR & PERFORM  
REQUIRED REPAIRS**



**DEMO EXISTING METAL PANELS FROM  
INTERIOR AND EXTERIOR & PERFORM  
REQUIRED REPAIRS**

**DEMO  
BUILDING PLAN  
(22ND - 29TH FLOORS - SOUTH TOWER)**  
SCALE: 1/8"=1'-0"

**Continuum on South Beach  
South Tower Condominium**

100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

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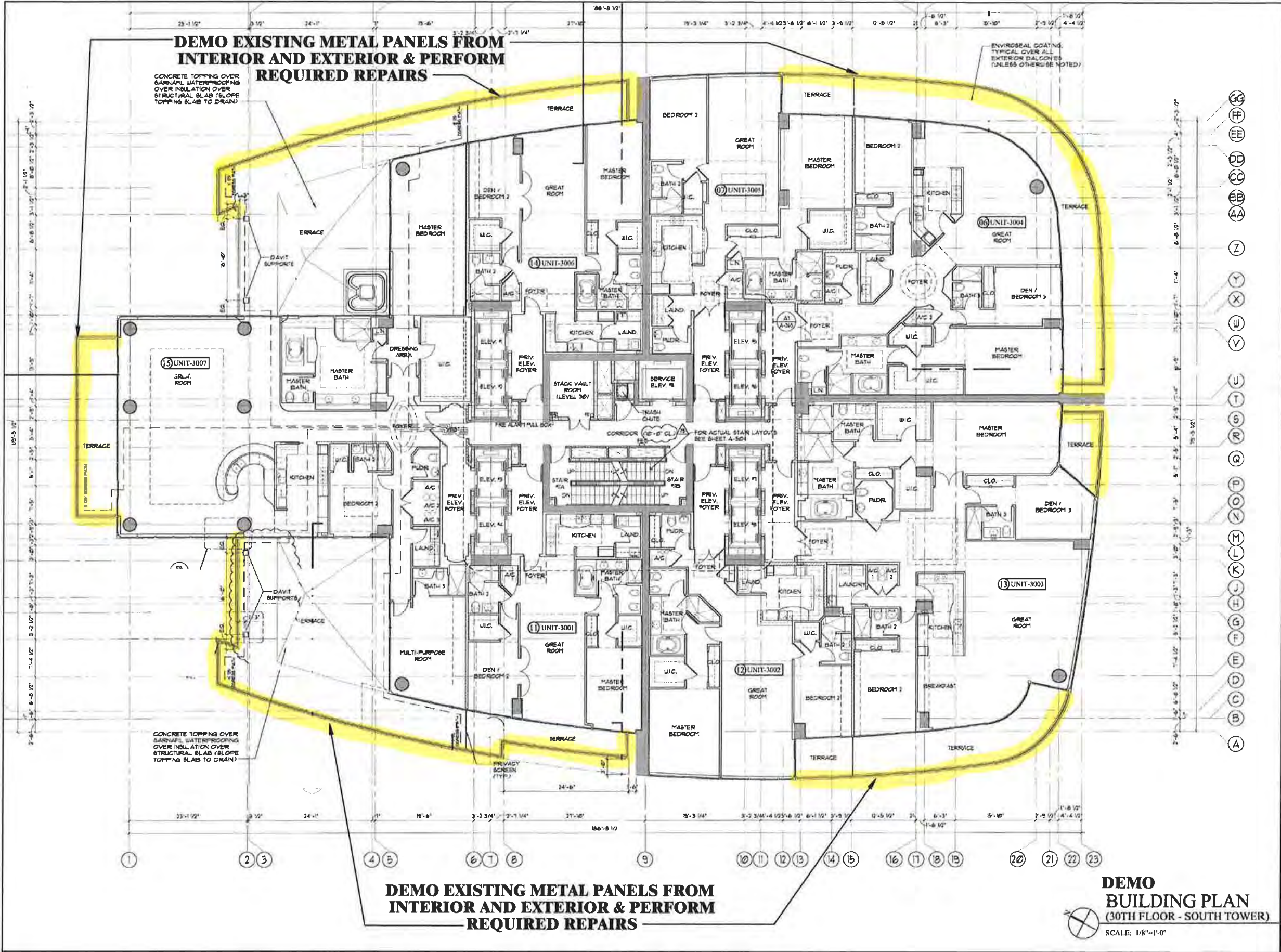
PROJECT #: CST0117

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SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS

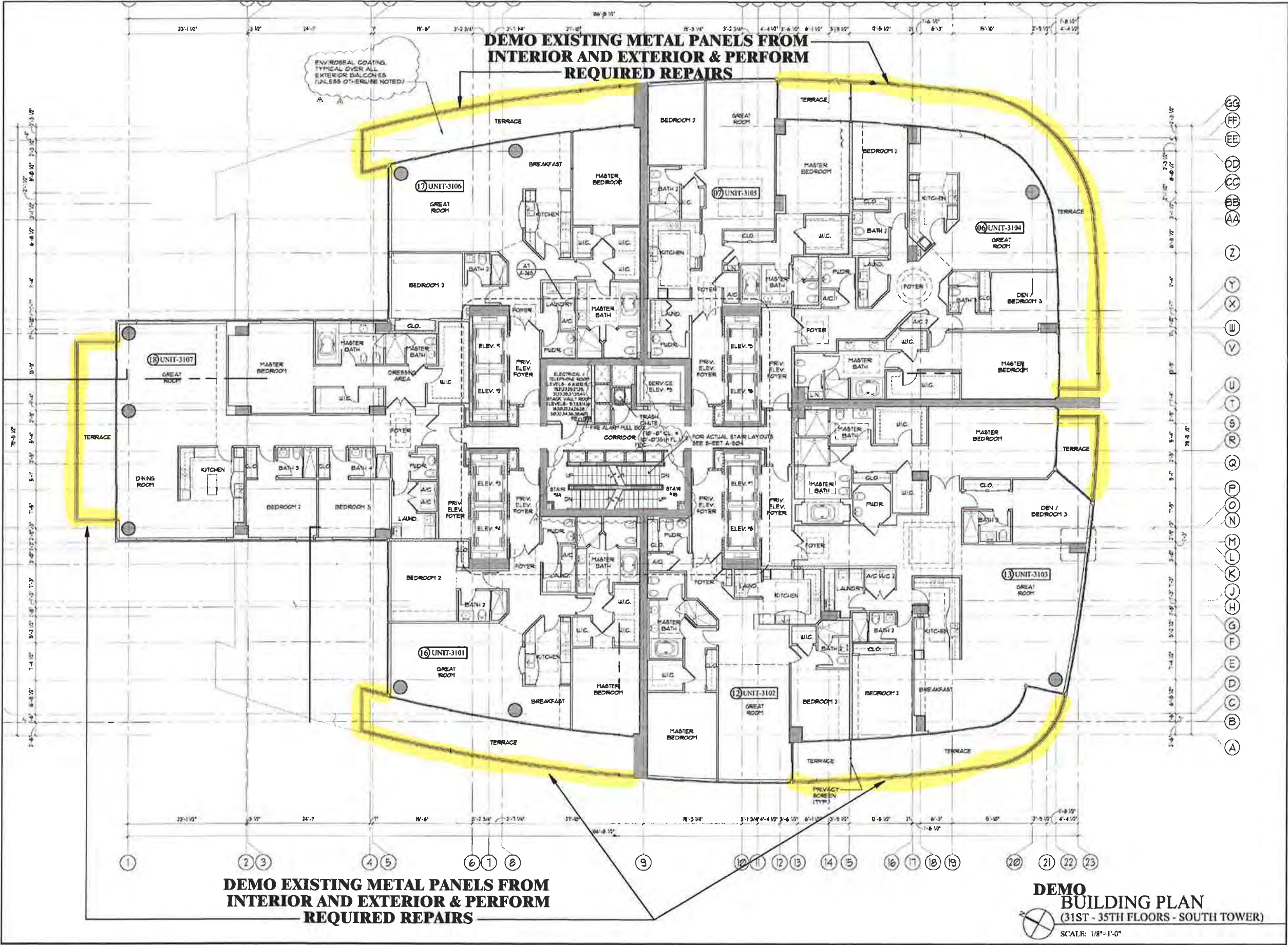


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PE# 03255

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



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DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
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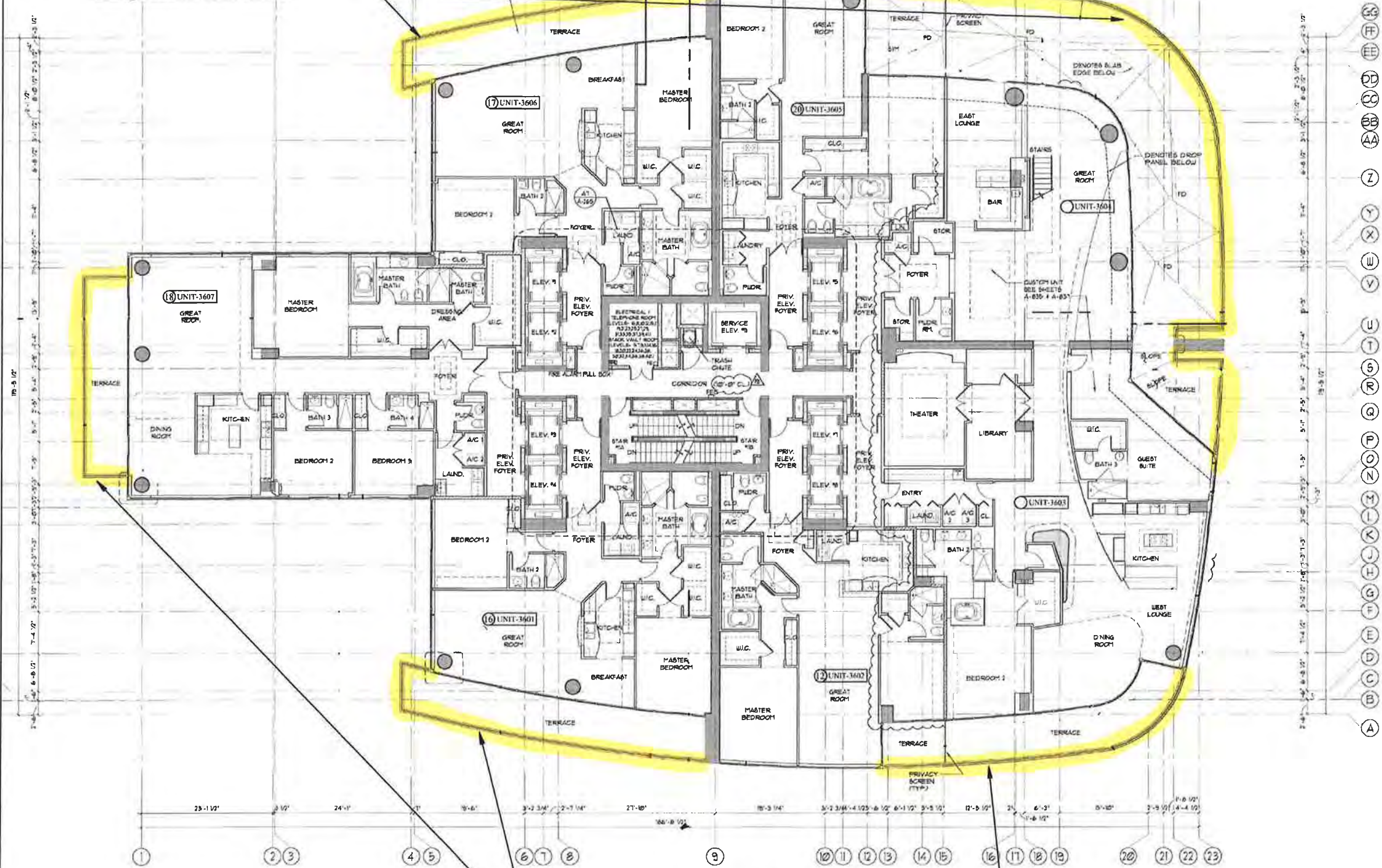


**Continuum on South Beach  
South Tower Condominium**

100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

**DEMO EXISTING METAL PANELS FROM  
INTERIOR AND EXTERIOR & PERFORM  
REQUIRED REPAIRS**



**DEMO EXISTING METAL PANELS FROM  
INTERIOR AND EXTERIOR & PERFORM  
REQUIRED REPAIRS**

**DEMO  
BUILDING PLAN  
(36TH FLOOR - SOUTH TOWER)**  
SCALE: 1/8"=1'-0"

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DATE: 03/28/2018

PE# 53255

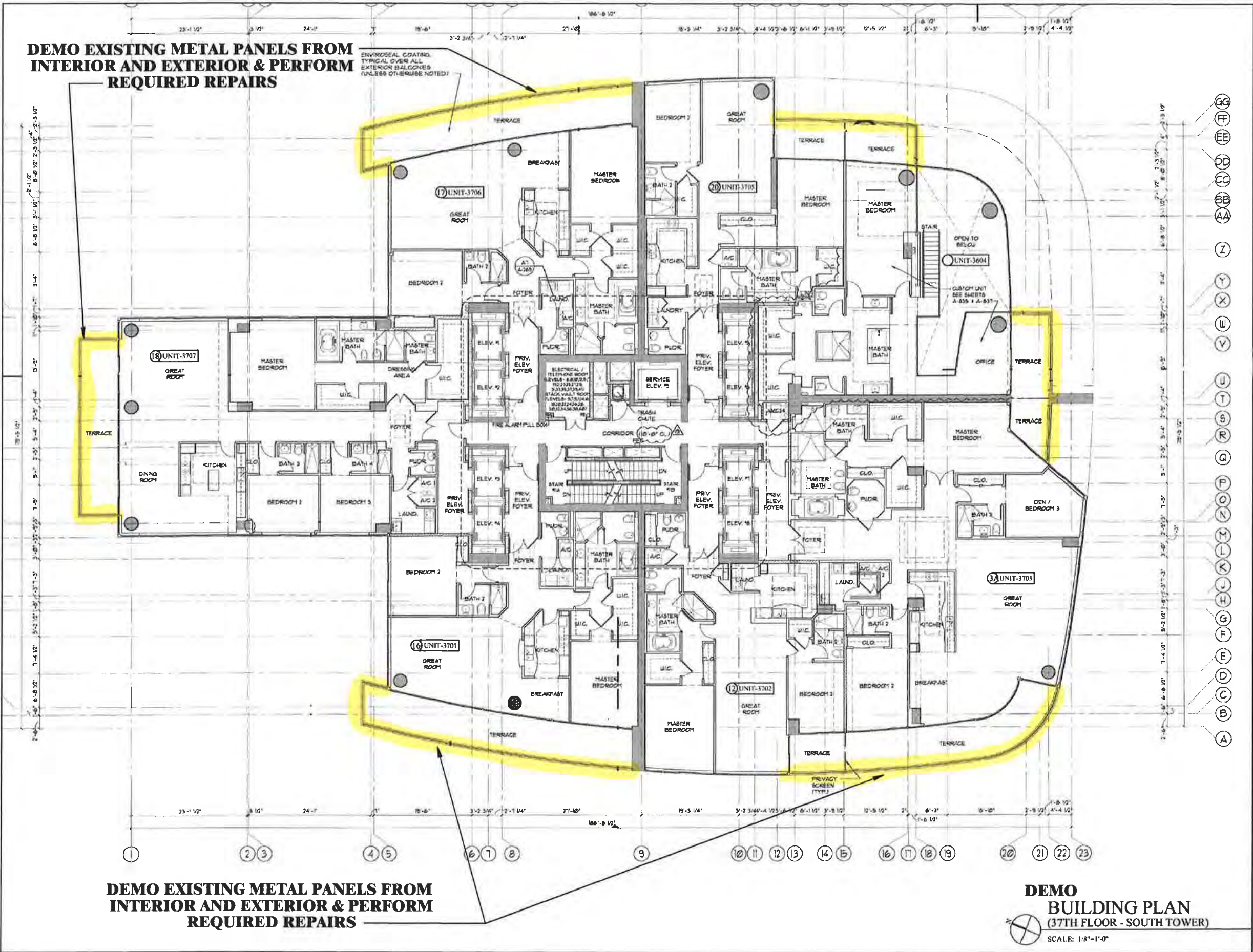
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DRAWN BY: IAM

SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



B. P. Taurinski, P.E., P.A. No. 33255  
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DATE: 03/28/2018 PE#53255C

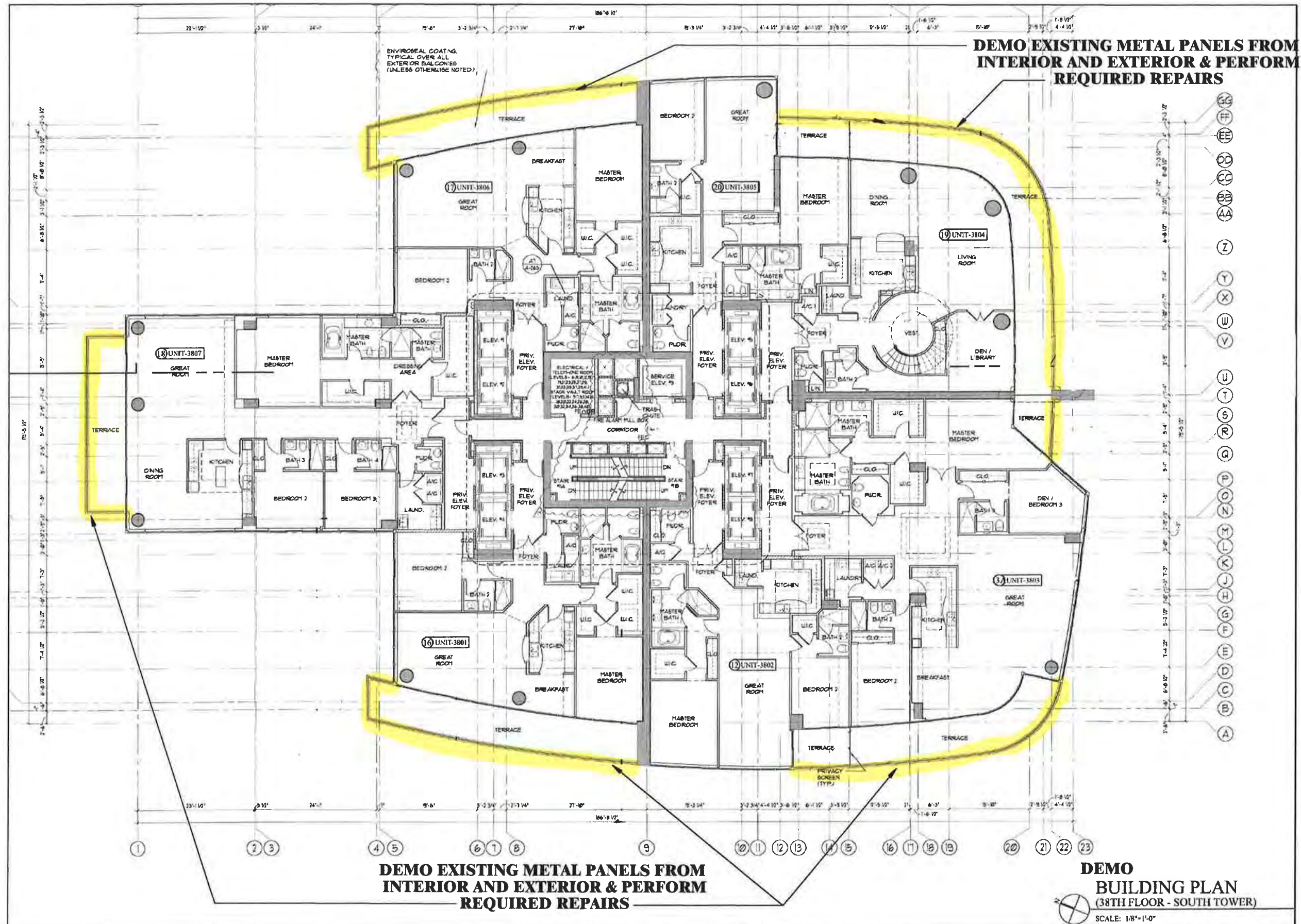
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DRAWN BY: IAM  
SCALE: AS NOTED



# Continuum on South Beach South Tower Condominium

100 South Pointe Drive  
Miami Beach, Florida 33139

## EMERGENCY GLASS RAILING SYSTEM REPAIRS



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CA# 18441

DATE: 03/28/2018

PE#33255

PROJECT #: CST0117

DRAWN BY: LAM

SCALE: AS NOTED



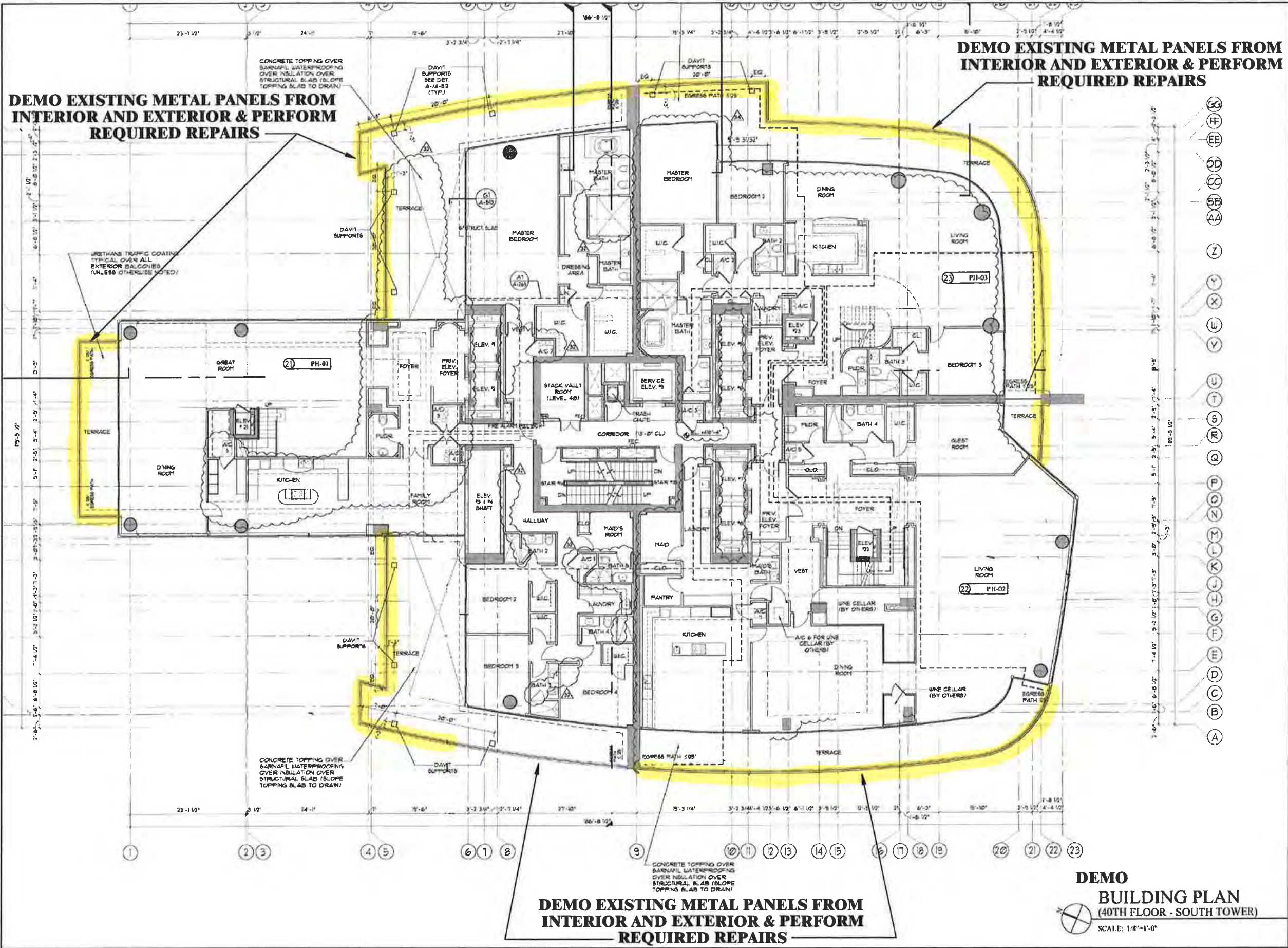
**DEMO EXISTING METAL PANELS FROM  
INTERIOR AND EXTERIOR & PERFORM  
REQUIRED REPAIRS**



**DEMO**  
**BUILDING PLAN**  
(39TH FLOOR - SOUTH TOWER)  
SCALE: 1/8"=1'-0"



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS



**B. P. Taurinski, P.E., P.A.**  
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DATE: 03/28/2018  
PE# 53258

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED



EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS

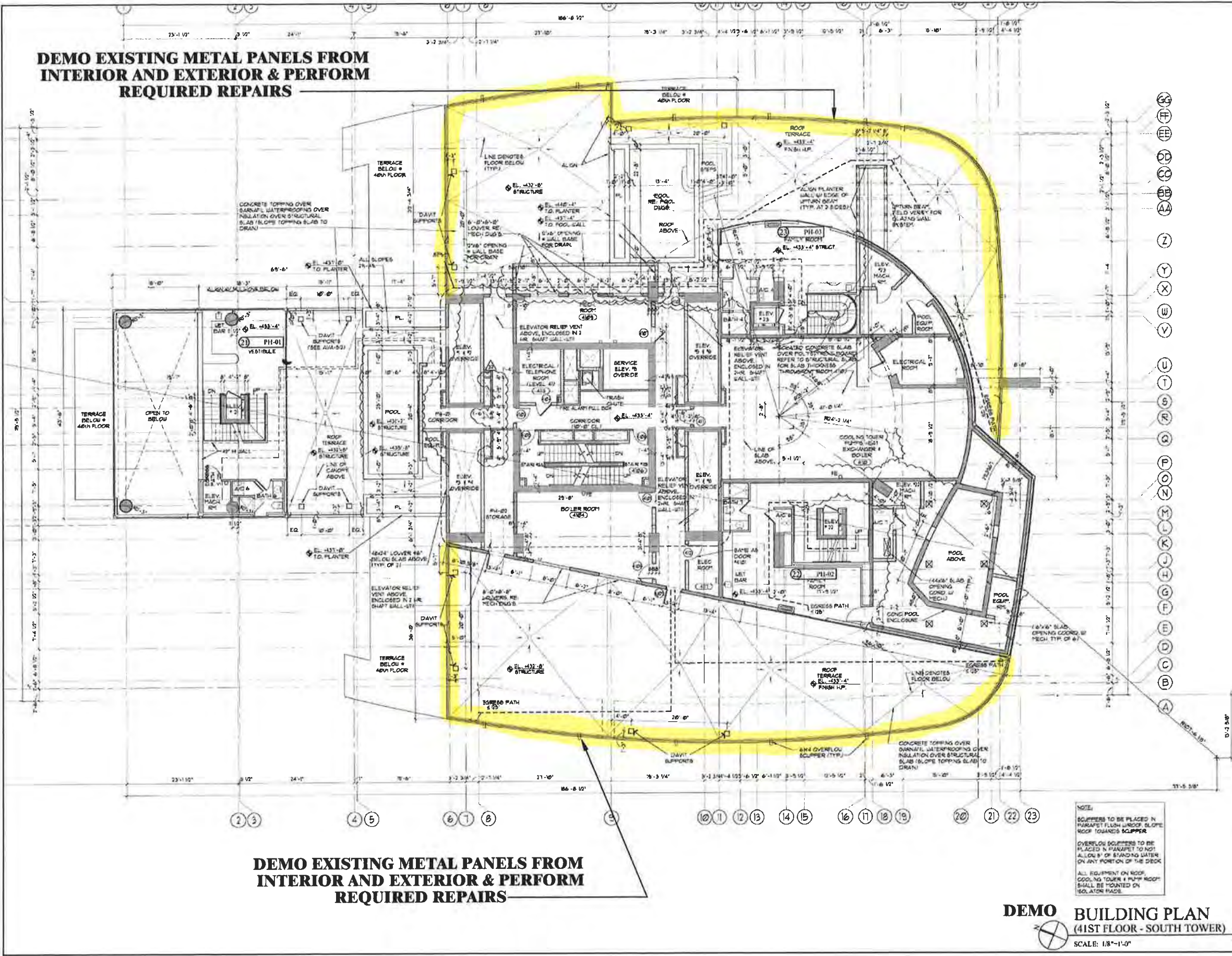
  
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DATE: 03/28/2018 PE#33255

PROJECT #: CST0117

DRAWN BY: IAM

SCALE: AS NOTED





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DATE: 03/28/2018 PE#33255

DRAWN BY: LAM

SCALE: AS NOTED

**33 of 41**





100 South Pointe Drive  
Miami Beach, Florida 33139

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**Structural Engineers**  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33444  
OFFICE: (954) 416-3100  
CA# 27184

PROJECT #: CST0117

DRAWN BY: LAM

SCALE: AS NOTED

34 of 41



SEE DETAIL  
PG 36A





PROPOSED NORTHWEST ELEVATION



PROPOSED SOUTH ELEVATION

**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

**B. P. Taurinski, P.E., P.A.**  
*Structural Engineers*  
730 SOUTH DEERFIELD AVE, STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 118-3100  
FLA# 27184  
DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: IAM  
SCALE: AS NOTED





PROPOSED SOUTHEAST ELEVATION



PROPOSED EAST ELEVATION

**Continuum on South Beach  
South Tower Condominium**

100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

BRONISLAUS P. TAURINSKI  
LICENSE  
No. 33255  
**B. P. Taurinski, P.E., P.A.**  
**Structural Engineers**  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 718-3100  
CELL: 288-2884  
DATE: 03/28/2018 PE#33255

PROJECT #: CST0117

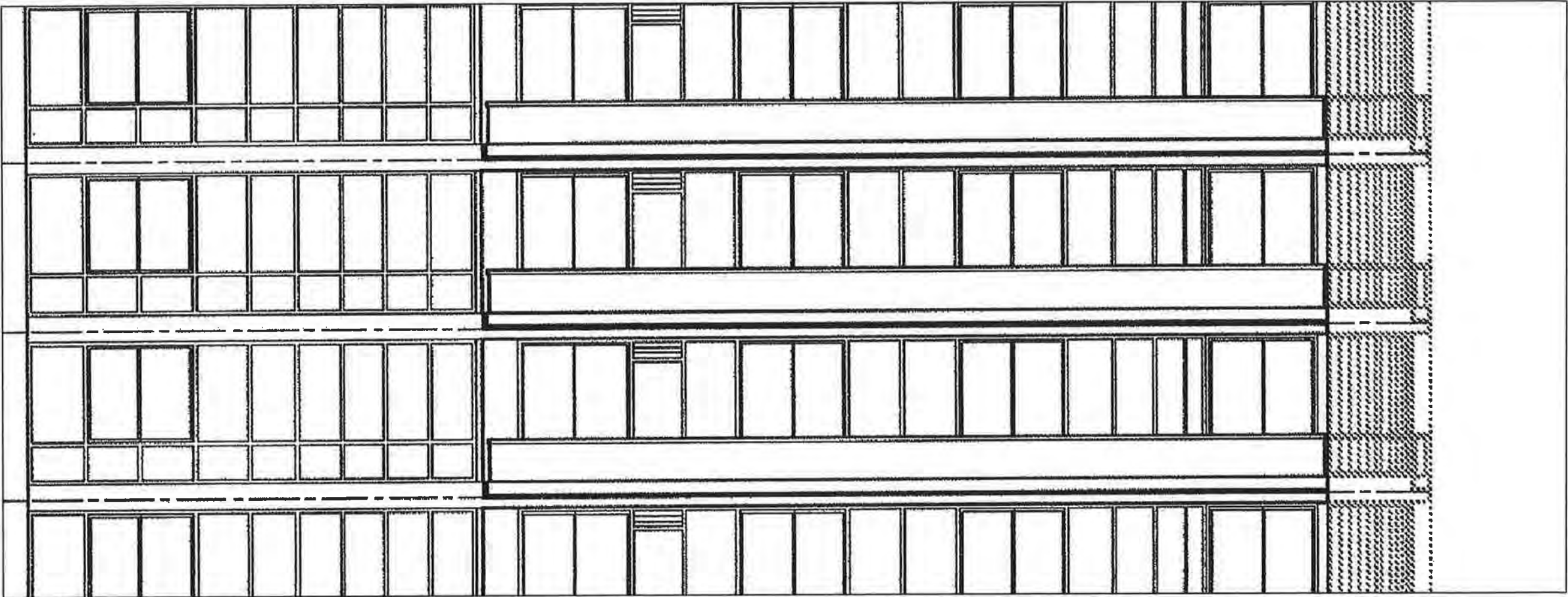
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SCALE: AS NOTED

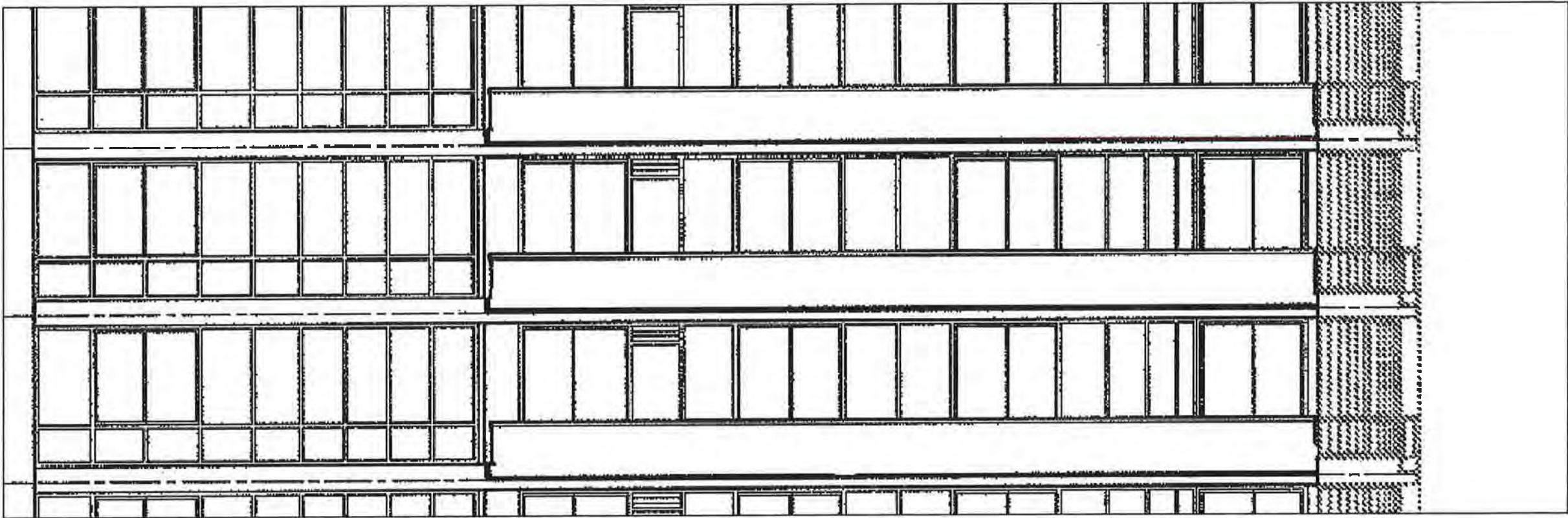


**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**



EXISTING CONDITION CLOSE UP



PROPOSED CONDITION CLOSE UP

**BRONISLAUS P. TAURINSKY**  
LICENSE  
No. 33255  
**B. P. Taurinski, P.E., P.A.**  
*Structural Engineers*  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (561) 418-3100  
CELL: (561) 271-8414  
DATE: 03/28/2018 PE#53255

PROJECT #: CST0117  
DRAWN BY: IAM  
SCALE: AS NOTED





**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

EXISTING CONDITION CLOSE UP



PROPOSED CONDITION CLOSE UP

**B. P. Taurinski, P.E., P.A.**  
*Structural Engineers*  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-3100  
CELL: 371867

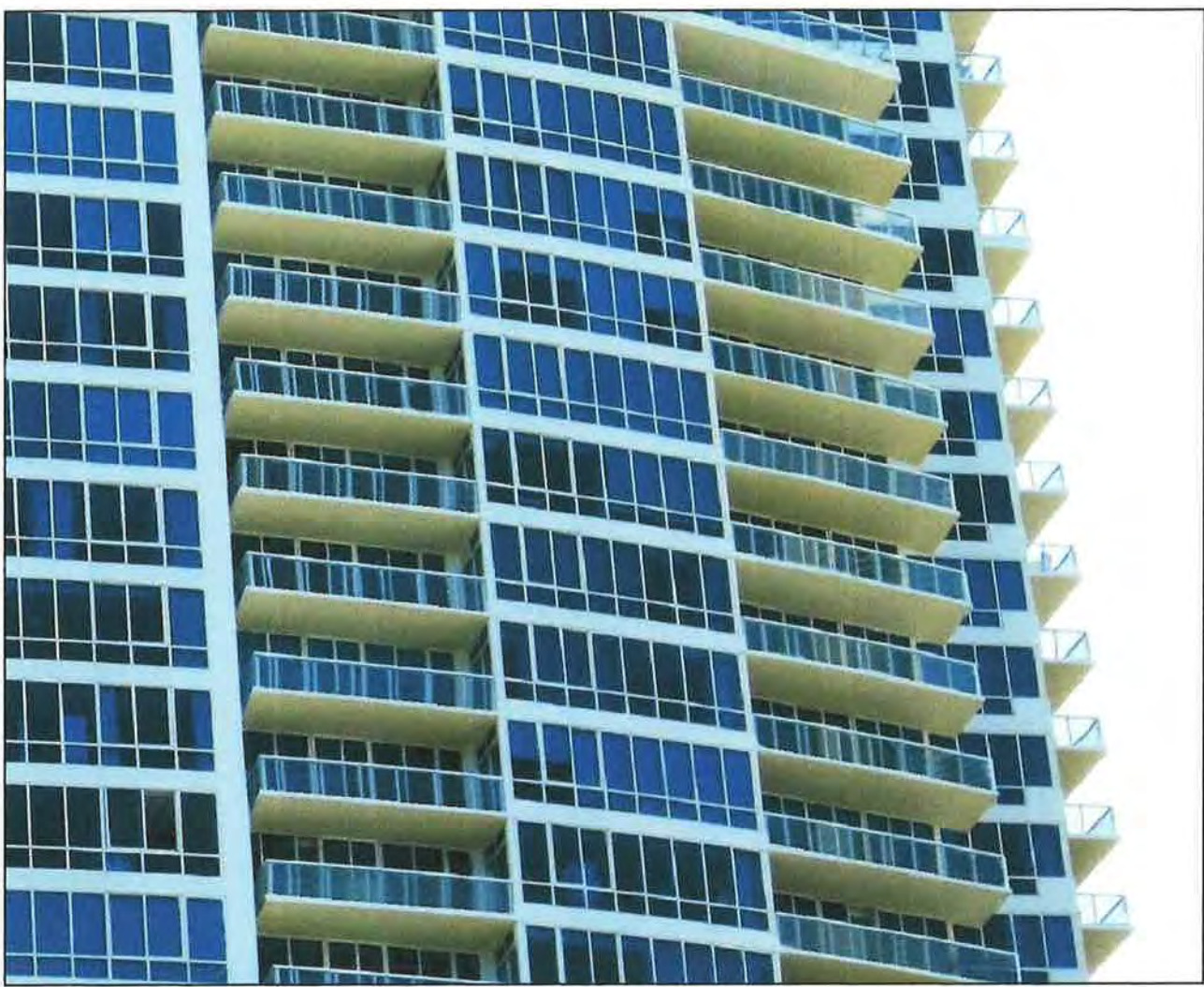
*B.P.*  
DATE: 03/28/2018      PE#33255

PROJECT #: CST0117  
DRAWN BY: JAM  
SCALE: AS NOTED





EXISTING CONDITION CLOSE UP



PROPOSED CONDITION CLOSE UP

**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

**B. P. Taurinski, P.E., P.A.**  
*Structural Engineers*  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-3100  
CELL: 27184  
DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED





**Continuum on South Beach  
South Tower Condominium**

100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

**B. P. Taurinski, P.E., P.A.**  
**Structural Engineers**  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (561) 418-3100  
CA# 27184  
DATE: 03/28/2018  
PE # 55255

BRONISLAUS P. TAURINSKI  
LICENSE  
FLORIDA  
PROFESSIONAL ENGINEER

PROJECT #: CST0117

DRAWN BY: IAM

SCALE: AS NOTED

CONTINUUM, THE NORTH TOWER

**39 of 41**





SOUTH POINTE DRIVE

**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

**B. P. Taurinski, P.E., P.A.**  
*Structural Engineers*  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 278-3100  
CELL: 278-3100

DATE: 03/28/2018 PE#33255

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED





WEST END OF SOUTH POINTE DRIVE



NORTH AND SOUTH TOWER

**Continuum on South Beach  
South Tower Condominium**  
100 South Pointe Drive  
Miami Beach, Florida 33139

**EMERGENCY GLASS  
RAILING SYSTEM  
REPAIRS**

**B. P. Taurinski, P.E., P.A.**  
*Structural Engineers*  
730 SOUTH DEERFIELD AVE., STE 1  
DEERFIELD BEACH, FL 33441  
OFFICE: (954) 418-3100  
CELL: 27184  
DATE: 03/28/2018  
PE# 55255

PROJECT #: CST0117  
DRAWN BY: LAM  
SCALE: AS NOTED



# **EXHIBIT G**



# MIAMI BEACH

## PLANNING DEPARTMENT

### Staff Report & Recommendation

### Design Review Board

TO: DRB Chairperson and Members

DATE: June 05, 2018

FROM: Thomas R. Mooney, AICP  
Planning Director



SUBJECT: DRB18-0226  
**100 South Pointe Drive – Continuum on South Beach, South Tower Condominium**

The applicant, the Continuum Condominium Association, is requesting Design Review Board approval for exterior design modifications to façades of an existing 41-story building to remove existing metal panels along the glass balcony railings on all elevations of the building and retain all clear glass railings. Additionally, the applicant is requesting the deletion of a condition of the Final Order. This item was originally approved in 1998, pursuant to DRB File No. 9611.

#### **Recommendation:**

**Denial of the Application**

#### **LEGAL DESCRIPTION:**

Continuum on South Beach Condo, the South Tower, a portion of "OCEAN PARCEL", as said "OCEAN PARCEL" is described in Official Records Book 18053 at Pages 0580 through 0586, as recorded in the Public Records of Miami-Dade County, Florida.

#### **HISTORY:**

On September 15, 1998, the Design Review Board approved an application for the construction of two condominium towers, a beach club, and retail, restaurant and parking facilities, pursuant to DRB File No. 9611. On December 08, 1998, the Design Review Board reviewed and approved modifications to the application that consisted of changes to the design and massing of the north and west walls of the south tower portion of the project.

#### **SITE DATA:**

Zoning: RPS-4  
Future Land Use: RPS-4

#### **NEIGHBORING PROPERTIES:**

East: Atlantic Ocean  
North: The Continuum, the North Tower  
South: South Pointe Park  
West: South Pointe Towers

#### **EXISTING STRUCTURE:**

41-story multifamily building (2000 SOM Skidmore Owens and Merrill)

#### **THE PROJECT:**

The applicant has submitted plans and renderings entitled "Emergency Glass Railing System Repairs" as prepared by B. P. Taurinski, P.E., P.A Structural Engineers, signed, sealed and dated March 28, 2018.

The applicant is seeking to remove decorative kick-plate metal panels from all of the glass panels of the balcony railing system.



**COMPLIANCE WITH ZONING CODE:**

A preliminary review of the project indicates that the application, as proposed, appears to be consistent with the City Code. The above noted comments shall not be considered final zoning review or approval. These and all zoning matters shall require final review and verification by the Zoning Administrator prior to the issuance of a Building Permit.

**COMPLIANCE WITH DESIGN REVIEW CRITERIA:**

Design Review encompasses the examination of architectural drawings for consistency with the criteria stated below with regard to the aesthetics, appearances, safety, and function of the structure or proposed structures in relation to the site, adjacent structures and surrounding community. Staff recommends that the following criteria are found to be satisfied, not satisfied or not applicable, as hereto indicated:

1. The existing and proposed conditions of the lot, including but not necessarily limited to topography, vegetation, trees, drainage, and waterways.  
**Not Applicable**
2. The location of all existing and proposed buildings, drives, parking spaces, walkways, means of ingress and egress, drainage facilities, utility services, landscaping structures, signs, and lighting and screening devices.  
**Not Applicable**
3. The dimensions of all buildings, structures, setbacks, parking spaces, floor area ratio, height, lot coverage and any other information that may be reasonably necessary to determine compliance with the requirements of the underlying zoning district, and any applicable overlays, for a particular application or project.  
**Not Applicable**
4. The color, design, selection of landscape materials and architectural elements of Exterior Building surfaces and primary public interior areas for Developments requiring a Building Permit in areas of the City identified in section 118-252.  
**Not Satisfied; See Staff Analysis**  
**The existing metal panels affixed to the balconies are an integral part of the exterior design of the building.**
5. The proposed site plan, and the location, appearance and design of new and existing Buildings and Structures are in conformity with the standards of this Ordinance and other applicable ordinances, architectural and design guidelines as adopted and amended periodically by the Design Review Board and Historic Preservation Boards, and all pertinent master plans.  
**Not Satisfied; See Staff Analysis**  
**The existing metal panels affixed to the balconies are an integral part of the exterior design of the building.**
6. The proposed Structure, and/or additions or modifications to an existing structure, indicates a sensitivity to and is compatible with the environment and adjacent Structures, and enhances the appearance of the surrounding properties.  
**Not Satisfied; See Staff Analysis**  
**The existing metal panels affixed to the balconies are an integral part of the exterior design of the building.**



7. The design and layout of the proposed site plan, as well as all new and existing buildings shall be reviewed so as to provide an efficient arrangement of land uses. Particular attention shall be given to safety, crime prevention and fire protection, relationship to the surrounding neighborhood, impact on contiguous and adjacent Buildings and lands, pedestrian sight lines and view corridors.  
**Not Applicable**
8. Pedestrian and vehicular traffic movement within and adjacent to the site shall be reviewed to ensure that clearly defined, segregated pedestrian access to the site and all buildings is provided for and that all parking spaces are usable and are safely and conveniently arranged; pedestrian furniture and bike racks shall be considered. Access to the Site from adjacent roads shall be designed so as to interfere as little as possible with traffic flow on these roads and to permit vehicles a rapid and safe ingress and egress to the Site.  
**Not Applicable**
9. Lighting shall be reviewed to ensure safe movement of persons and vehicles and reflection on public property for security purposes and to minimize glare and reflection on adjacent properties. Lighting shall be reviewed to assure that it enhances the appearance of structures at night.  
**Not Applicable**
10. Landscape and paving materials shall be reviewed to ensure an adequate relationship with and enhancement of the overall Site Plan design.  
**Not Applicable**
11. Buffering materials shall be reviewed to ensure that headlights of vehicles, noise, and light from structures are adequately shielded from public view, adjacent properties and pedestrian areas.  
**Not Applicable**
12. The proposed structure has an orientation and massing which is sensitive to and compatible with the building site and surrounding area and which creates or maintains important view corridor(s).  
**Not Applicable**
13. The building has, where feasible, space in that part of the ground floor fronting a street or streets which is to be occupied for residential or commercial uses; likewise, the upper floors of the pedestal portion of the proposed building fronting a street, or streets shall have residential or commercial spaces, shall have the appearance of being a residential or commercial space or shall have an architectural treatment which shall buffer the appearance of the parking structure from the surrounding area and is integrated with the overall appearance of the project.  
**Not Applicable**
14. The building shall have an appropriate and fully integrated rooftop architectural treatment which substantially screens all mechanical equipment, stairs and elevator towers.  
**Not Applicable**



15. An addition on a building site shall be designed, sited and massed in a manner which is sensitive to and compatible with the existing improvement(s).  
**Not Applicable**
16. All portions of a project fronting a street or sidewalk shall incorporate an architecturally appropriate amount of transparency at the first level in order to achieve pedestrian compatibility and adequate visual interest.  
**Not Applicable**
17. The location, design, screening and buffering of all required service bays, delivery bays, trash and refuse receptacles, as well as trash rooms shall be arranged so as to have a minimal impact on adjacent properties.  
**Not Applicable**
18. In addition to the foregoing criteria, subsection [118-]104(6)(t) of the city Code shall apply to the design review board's review of any proposal to place, construct, modify or maintain a wireless communications facility or other over the air radio transmission or radio reception facility in the public rights-of-way.  
**Not Applicable**
19. The structure and site complies with the sea level rise and resiliency review criteria in Chapter 133, Article II, as applicable.  
**Not Satisfied; see below**

**COMPLIANCE WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA**

Section 133-50(a) of the Land Development establishes review criteria for sea level rise and resiliency that must be considered as part of the review process for board orders. The following is an analysis of the request based upon these criteria:

- (1) A recycling or salvage plan for partial or total demolition shall be provided.  
**Not Satisfied**  
**A recycling plan shall be provided as part of the submittal for a demolition/building permit to the building department.**
- (2) Windows that are proposed to be replaced shall be hurricane proof impact windows.  
**Not Applicable**
- (3) Where feasible and appropriate, passive cooling systems, such as operable windows, shall be provided.  
**Not Applicable**
- (4) Whether resilient landscaping (salt tolerant, highly water-absorbent, native or Florida friendly plants) will be provided.  
**Not Applicable**
- (5) Whether adopted sea level rise projections in the Southeast Florida Regional Climate Action Plan, as may be revised from time-to-time by the Southeast Florida Regional Climate Change Compact, including a study of land elevation and elevation of surrounding properties were considered.



**Not Applicable**

- (6) The ground floor, driveways, and garage ramping for new construction shall be adaptable to the raising of public rights-of-ways and adjacent land.

**Not Applicable**

**While the site is currently built-out, the applicant is proposing to remodel the existing balconies.**

- (7) Where feasible and appropriate, all critical mechanical and electrical systems shall be located above base flood elevation.

**Not Applicable**

**While the site is currently built-out, the applicant is proposing to remodel the existing balconies.**

- (8) Existing buildings shall be, where reasonably feasible and appropriate, elevated to the base flood elevation.

**Not Applicable**

**While the site is currently built-out, the applicant is proposing to remodel the existing balconies.**

- (9) When habitable space is located below the base flood elevation plus City of Miami Beach Freeboard, wet or dry flood proofing systems will be provided in accordance with Chapter of 54 of the City Code.

**Not Applicable**

**The proposal does not include any habitable space located below the base flood elevation.**

- (10) Where feasible and appropriate, water retention systems shall be provided.

**Not Applicable**

**While the site is currently built-out, the applicant is proposing to remodel the existing balconies.**

**STAFF ANALYSIS:**

Staff must preface this analysis by underscoring the critical role the Continuum South Tower plays in the evolution of the overall hi-rise aesthetic at the southern tip of Miami Beach. When the first hi-rise tower was constructed in 1987 (South Pointe Towers) a very unique, and nautically influenced structure was introduced within an area that, at the time, was still searching for an identity. Portofino Tower, with its unique cruciform structure, followed in 1994 and by the time the original developer of the Continuum site made their first proposal in late 1997, the South Pointe area had already reached luxury real estate status.

Various design concepts for a unique and cutting edge residential tower grouping were proposed for the Continuum site. Ultimately, the DRB approved the existing combination of buildings by the world-renowned Skidmore, Owings and Merrill (SOM). The existing Continuum south tower was immediately recognizable by its carefully executed massing and design detail. The towers that followed Continuum (Murano and Apogee) are also uniquely designed, scaled and massed.

Collectively, all of the towers that form the visual termination of the southern tip of Miami Beach are highly unique to the City, as well as fully distinguished from one another. Unlike



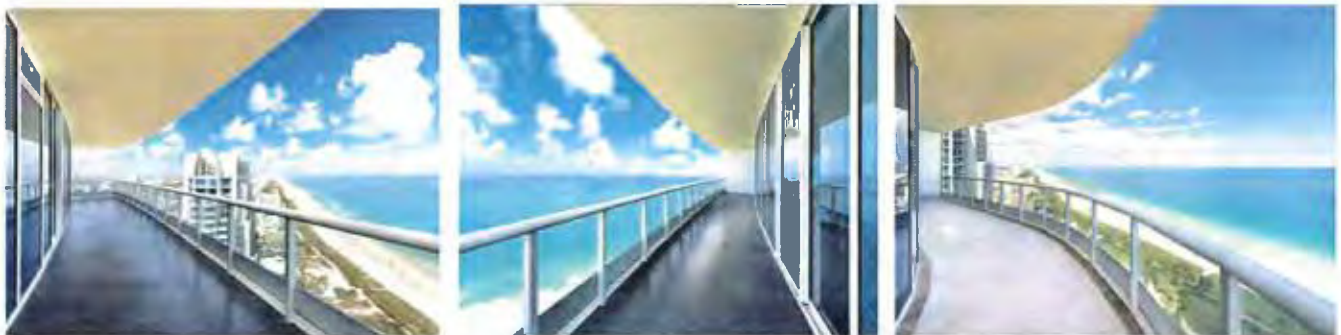
other coastal Cities that have embraced an 'any waterway USA' approach to residential tower design, based solely on views from the interior, since South Pointe Towers was built in 1987, the DRB has insisted upon a unique individuality for the residential structures that define the southern tip of the City. This unique, and iconic approach to residential buildings has always focused on the outside design of the tower, not the inside looking out.

The applicant is proposing exterior façade modifications to existing balconies of the 41-story South Tower of the Continuum. Specifically, the applicant is proposing to remove the lower metal panels affixed to the 42" high glass railing systems found throughout the exterior balconies on all elevations. Once the "kick plate" break panels are removed and the gaskets replaced, the glass panels will be removed, cleaned, prepared, and reinstalled within the balcony framing systems, with the existing cap top railing to remain. The applicant is currently in the process of systematically removing the aesthetic panels that are affixed to all the balcony handrail glass. The applicant has concerns with the architectural panels as they have been delaminating from the handrail glass and as originally constructed. No new balcony elements, demolitions, or enlargements therein, are proposed as part of this application.

The applicant maintains that the removal of the metal panels is a life safety concern and that the panels were "falling off the building." A permit for emergency railing repair has been applied for under BC1705997. The applicant does not propose to reinstall new panels to the existing glass panel railings. Had the applicant reinstalled the lower metal panels, DRB review would not be necessary.

The subject residential tower has become an iconic signature building at the southern tip of Miami Beach. The SOM design includes balconies that continue the horizontal architectural banding that is dominated by the white stucco wall below the fixed window glazing, matching and continuing the strong horizontal element of the floor slab along each of the 41 floors. The architectural metal panels, coupled with the white stucco balcony slab, are a critical component of the architectural design, as they facilitate the movement of the banding that runs along each façade of the building.

As stated in the 1998 staff recommendation for the project, *"the elevations have been simplified...a more straightforward array of painted concrete and glass balcony rails has been combined with elegantly stepped exterior walls"*. The emphasized horizontality offers a visual relief for the eye and breaks up the vertical scale of the tower.



The applicant is requesting to remove these architectural metal panels without replacing



them. As proposed, the balcony panels would be full glass, thus eliminating the continuity of the horizontal banding. Although the original developer and contractor failed to secure the metal panels in a method that meets code for windload, such panels can and should be reintroduced with a code compliant method of installation, such as an epoxy adhesive. The metal panels are an integral design detail of the building's façade and is a driving feature of the architectural anchor of the south end of the peninsula of Miami Beach.



Additionally, as specifically noted in the 1998 DRB report, *"Given the size of the tower and its massing, the key component for this project to be truly successful will be the color chosen for the structures, as well as the color and variety of fenestration and balcony rails."* The architecture features floor to ceiling windows within the units throughout all façades. If the architect intended the balconies to have full transparency, like the floor to ceiling windows, they would have designed the balcony railing without the low metal component. Instead, due to the overwhelming verticality of the tower on the acreage, a horizontal repetition is necessary to scale down the enormity of the building. The permanent removal of the 12" x 36" panels will disrupt the horizontal harmony of the building since the banding is a key architectural feature.

Indeed, the exhibits submitted by the applicant clearly show the impact of removing the panels on the iconic, continuity of the architecture. The balconies, as proposed by the applicant, are more akin to coastal Cities that do not place a strong emphasis on architecture and urban design.

Staff **STRONGLY** recommends that the applicant be required to reintroduce the architectural metal panels into the balcony system, in a manner that meets all structural and wind load codes. There is no doubt that this can be accomplished in a code compliant manner.

Staff has met with the applicant's engineer on numerous occasions and has stressed the importance of reintroducing the low metal panels. Accordingly, staff recommends denial of the application as presented.

**RECOMMENDATION:**

In view of the foregoing analysis, staff recommends the application be **denied**.

TRM/JGM/FSC



**DESIGN REVIEW BOARD**  
**City of Miami Beach, Florida**

MEETING DATE: June 05, 2018

FILE NO: DRB18-0226

PROPERTY: **100 South Pointe Drive—Continuum South Tower**

APPLICANT: Continuum Condominium Association

LEGAL: Continuum on South Beach Condo, the South Tower, a portion of "OCEAN PARCEL", as said "OCEAN PARCEL" is described in Official Records Book 18053 at Pages 0580 through 0586, as recorded in the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Board approval for exterior design modifications to façades of an existing 41-story building to remove existing metal panels along the glass balcony railings on all elevations of the building and retain all clear glass railings. Additionally, the applicant is requesting the deletion of a condition of the Final Order. This item was originally approved in 1998, pursuant to DRB File No. 9611.

**ORDER**

The City of Miami Beach Design Review Board makes the following FINDING OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with Design Review Criteria 4 and 6 in Section 118-251 of the Miami Beach Code and the reasons set forth at the June 05, 2018 Design Review Board meeting.

IT IS HEREBY ORDERED, based upon the foregoing finding of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendation, that the Application is **DENIED WITHOUT PREJUDICE** for the above-referenced project.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

DESIGN REVIEW BOARD  
THE CITY OF MIAMI BEACH, FLORIDA



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# EXHIBIT H



**DESIGN REVIEW BOARD**  
**City of Miami Beach, Florida**

**MEETING DATE:** September 15, 1998

**IN RE:** The Application for Design Review Approval for the construction of two (2) condominium-hotel towers (36 stories/341' to the top of the roof & 45 stories/427' to the top of the roof) with a combined 1,130 units; a beach club, retail, restaurant and parking facilities are also proposed.

**PROPERTY:** Ocean and Easement Parcels located at the southeast corner of South Pointe Drive and Ocean Drive - Ocean Parcel

**FILE NO:** 9611

O R D E R

The applicant, Portofino Real Estate Fund, Ltd., filed an application with the City of Miami Beach's Planning, Design & Historic Preservation Division for Design Review approval.

The City of Miami Beach's Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which is part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning, Design and Historic Preservation Division Staff Report, the project as submitted is not consistent with the Design Review Criteria Nos. 4, 5, 10, 11 & 14 in Section 118-251 of the Miami Beach Code.
- B. The project would be consistent with the afore-stated criteria and requirements if the following conditions are met:
  - 1. Revised elevation and corresponding floor plan drawings, in accordance with Exhibit "A" submitted at the hearing, shall be submitted to and approved by staff; at a minimum, said drawings shall incorporate the following:

S/K 5



- a. The detached, eighteen (18) story semi-circular residential structure on the southeast corner of the site shall be reduced to a maximum height of eight (8) stories above grade; the floor area from this reduction shall either be eliminated, or relocated elsewhere on the site, at the complete discretion and the review and approval of staff. If staff and the applicant cannot agree on an appropriate relocation of this excess floor area, the matter shall be brought back to the Board at a later date, as a revision to the previously approved plans.
- b. A substantial portion (minimum of four [4] floors) of the curvilinear residential pedestal structure on the east side of the site shall be removed to allow for a substantially expanded ocean overlook and to allow the towers to have a more slender appearance on the east side. The floor area from this reduction shall either be eliminated, or relocated elsewhere on the site, at the complete discretion and the review and approval of staff. If staff and the applicant cannot agree on an appropriate relocation of this excess floor area, the matter shall be brought back to the Board at a later date, as a revision to the previously approved plans.
- c. The elevation design of the entire pedestal portion of the project shall be fully detailed and subject to the review and approval of staff.
- d. In the event the existing temporary driveway entrance to Portofino and South Pointe Towers on the north side of the property is relocated or modified to incorporate an office, commercial or retail structure(s), the floor area required for said structure(s), as well as the proposed retail structure on the northwest corner of the site, shall be taken from the floor area of the proposed residential structures.
- e. The top portion of the south tower shall be



modified and simplified in a manner commensurate with the north and northwest sides of said tower.

- f. The existing north and northwest portions of the elevations of the south tower is not approved and shall not be permitted; said elevations shall be simplified and modified so as to become slightly more slender, smooth, curved and less faceted and the applicant shall resubmit the modified elevations for consideration by the Board no later than it's December 8, 1998 meeting. The submission deadline for the December 8, 1998 meeting is October 26, 1998.

- 2. A revised site plan and corresponding landscape plan, as well as floor plans, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff; at a minimum, said plan shall incorporate the following:

- a. The landscaped pedestrian plaza/pedestrian pathway, which runs the entire length of the west side of the subject property, shall remain open at all times, even if this necessitates that the applicant provide a security monitoring point at this location.
- b. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain.
- c. The proposed service drive on the south side of the site shall remain at grade; a dockmaster shall be present at all times the service drive is open and the hours of operation of the proposed service drive will be Monday - Saturday, from 8:00 a.m. - 6:00 p.m.
- d. The depth of the retail/cafe areas on the north side of level-two, and fronting the sidewalk along South Pointe Drive, shall be substantially



increased, in a manner to be approved by staff; this may necessitate the relocation or elimination of some parking spaces.

- e. The proposed curb-cut on the north side of the property shall be eliminated.
  - f. The proposed grade level service parking area on the west side of the site shall be eliminated and replaced with landscaping.
- 3. All building signage shall be consistent in type, composed of flush mounted, non-plastic, individual letters.
  - 4. The exterior surface color scheme, including color samples, shall be subject to the review and approval of staff. A lighter color palette shall be required for the majority of all structures, in order to preserve the nautical uniqueness of the site and location.
  - 5. A traffic mitigation plan, which addresses all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of Section 22 of the Zoning Ordinance, shall be required and the final building plans shall meet all other Zoning Ordinance requirements. Said traffic mitigation plan shall be prepared by the applicant, submitted to and approved by the Planning and Zoning Director, reported to the City Commission and shall be executed by the parties referenced therein, prior to the issuance of a Building Permit. Said traffic mitigation plan shall be fully implemented prior to (and shall be a precondition for issuance of) a final Certificate of Occupancy (C.O.) for the project.
  - 6. Manufacturers drawings and Dade County product approval numbers for all windows, doors and glass shall be required.
  - 7. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view.



8. The project shall comply with any landscaping or other sidewalk/street improvement standards as may be prescribed by a relevant Urban Design Master Plan approved prior to the completion of the project and the issuance of a Certificate of Occupancy.
9. A revised schedule of Design Bonuses shall be submitted.
10. The applicant shall create, design and construct a "Sunrise Plaza" at the eastern terminus of Biscayne Street, inclusive of an appropriate pedestrian connection of South Pointe Drive with the beach, in a manner to be approved by staff.
11. A park transition area plan, inclusive of the proposed pedestrian extension of Ocean Drive south of South Pointe Drive, shall be fully created, designed and submitted by the applicant which provides a compatible park interface and transition area along the entire south side of the subject site, as well as within South Pointe Park, to a depth of at least 100', in a manner to be approved by staff.
12. The applicant shall create, design and construct an appropriate beach front/beachwalk treatment for the entire east side of the subject site, in a manner to be approved by staff.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which is part of the record for this matter and the staff report and analysis, which is adopted herein, including the staff recommendations which were amended by the Board, that the Application for Design Review approval is granted for the above-referenced project subject to those certain conditions specified in paragraph B of the Findings of Fact hereof (conditions #1-12, inclusive), to which the applicant has agreed.

No building permit may be issued unless and until all conditions of approval as set forth herein have been met. The issuance of Design Review approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including zoning approval. If adequate handicapped access is not

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provided, this approval does not mean that such handicapped access is not required or that the Board supports an applicant's effort to seek waivers relating to handicapped accessibility requirements.

When requesting a building permit, three (3) sets of plans approved by the Board, modified in accordance with the above conditions, as well as annotated floor plans which clearly delineate the Floor Area Ratio (FAR) calculations for the project, shall be submitted to the Planning, Design and Historic Preservation Division. If all of the above-specified conditions are satisfactorily addressed, the plans will be reviewed for building permit approval. Two (2) sets will be returned to you for submission for a building permit and one (1) set will be retained for the Design Review Board's file. If the Full Building Permit is not issued within one (1) year of the meeting date and construction does not commence within two (2) years of the meeting date, and continue diligently through completion, the Design Review approval will expire and become null and void.

Dated this 2nd day of October, 1998.

DESIGN REVIEW BOARD  
City of Miami Beach, Florida

By: Saul K. Grob, Chair  
Chairperson

Approved as to Form:

EG 9/29/98  
Office of the City Attorney  
(Initials/Date)

Final Order filed and in possession of the Clerk of the Board:

TH 10-6-98

Clerk of the Design Review Board  
(Initials/Date)

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**DESIGN REVIEW BOARD**  
**City of Miami Beach, Florida**

**MEETING DATE:** December 8, 1998

**IN RE:** The Application requesting revisions to a previously issued Design Review approval for the construction of two (2) 41 story (424' to the top of the roof and 449' to the highest architectural projection) condominium towers, with a total of 725 units, and a 134 unit, sixteen (16) story (166'-6" to the top of the roof) hotel; a beach club, retail, restaurant and parking facilities are also proposed. The Final Order for this project required that these revisions, which consist of changes to the design and massing of the north and west walls of the south tower portion of the project, be brought back before the Board for final approval; this project was approved on September 15, 1998.

**PROPERTY:** Ocean and Easement Parcels located at the southeast corner of South Pointe Drive and Ocean Drive - Ocean Parcel

**FILE NO:** 9611

CONSOLIDATED O R D E R

The applicant, Portofino Real Estate Fund, Ltd., filed an application with the City of Miami Beach's Planning Department; the September 15, 1998 Final Order issued by the Design Review Board for this project required that revisions to the approved plans, which consist of changes to the design and massing of the north and west walls of the south tower portion of the project, were required to be brought back before the Board for final approval.

The City of Miami Beach's Design Review Board makes the following FINDINGS OF FACT:

- A. The revised drawings submitted by the applicant for the December 8, 1998 meeting of the Design Review Board will satisfy condition 1.f of the September 15, 1998 Final Order of the Board pertaining to this matter and the project, provided the following condition is met:
  - 1. The north and west elevations, as well as the roof-top element, of the south tower shall be further fine tuned and enhanced, in a manner to be approved by staff.
- B. Based on the original Order issued September 15, 1998, and the conditions stated therein (which Order is incorporated

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herein), and the finding contained in paragraph A above, relating to condition No. 1.f as required to be brought back before the Board pursuant to the Final Order issued for the September 15, 1998 meeting, the project would be consistent with the Design Review Criteria and requirements in Section 118-251 of the Miami Beach Code if the following consolidated conditions are met (which conditions are a consolidation of the conditions of the September 15, 1998 Order and the conditions contained herein):

1. Revised elevation and corresponding floor plan drawings, in accordance with Exhibit "A" submitted at the September 15, 1998 hearing, shall be submitted to and approved by staff; at a minimum, said drawings shall incorporate the following:
  - a. The detached, eighteen (18) story semi-circular residential structure on the southeast corner of the site shall be reduced to a maximum height of eight (8) stories above grade; the floor area from this reduction shall either be eliminated, or relocated elsewhere on the site, at the complete discretion and the review and approval of staff. If staff and the applicant cannot agree on an appropriate relocation of this excess floor area, the matter shall be brought back to the Board at a later date, as a revision to the previously approved plans.
  - b. A substantial portion (minimum of four [4] floors) of the curvilinear residential pedestal structure on the east side of the site shall be removed to allow for a substantially expanded ocean overlook and to allow the towers to have a more slender appearance on the east side. The floor area from this reduction shall either be eliminated, or relocated elsewhere on the site, at the complete discretion and the review and approval of staff. If staff and the applicant cannot agree on an appropriate relocation of this excess floor area, the matter shall be brought back to the Board at a later date, as a revision to the previously approved plans.
  - c. The elevation design of the entire pedestal portion of the project shall be fully detailed and subject to the review and approval of staff.
  - d. In the event the existing temporary driveway entrance to Portofino and South Pointe Towers on the north side of the property is relocated or modified to incorporate an office, commercial or



retail structure(s), the floor area required for said structure(s), as well as the proposed retail structure on the northwest corner of the site, shall be taken from the floor area of the proposed residential structures.

- e. The top portion of the south tower shall be modified and simplified in a manner commensurate with the north and northwest sides of said tower.
  - f. The north and west elevations, as well as the rooftop element, of the south tower shall be further fine tuned and enhanced, consistent with the plans submitted at the December 8, 1998 meeting and in a manner to be approved by staff.
2. A revised site plan and corresponding landscape plan, as well as floor plans, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff; at a minimum, said plan shall incorporate the following:
- a. The landscaped pedestrian plaza/pedestrian pathway, which runs the entire length of the west side of the subject property, shall remain open at all times, even if this necessitates that the applicant provide a security monitoring point at this location.
  - b. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain.
  - c. The proposed service drive on the south side of the site shall remain at grade; a dockmaster shall be present at all times the service drive is open and the hours of operation of the proposed service drive will be Monday - Saturday, from 8:00 a.m. - 6:00 p.m.
  - d. The depth of the retail/cafe areas on the north side of level-two, and fronting the sidewalk along South Pointe Drive, shall be substantially increased, in a manner to be approved by staff; this may necessitate the relocation or elimination of some parking spaces.
  - e. The proposed curb-cut on the north side of the property shall be eliminated.



- f. The proposed grade level service parking area on the west side of the site shall be eliminated and replaced with landscaping.
3. All building signage shall be consistent in type, composed of flush mounted, non-plastic, individual letters.
  4. The exterior surface color scheme, including color samples, shall be subject to the review and approval of staff. A lighter color palette shall be required for the majority of all structures, in order to preserve the nautical uniqueness of the site and location.
  5. A traffic mitigation plan, which addresses all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of Section 22 of the Zoning Ordinance, shall be required and the final building plans shall meet all other Zoning Ordinance requirements. Said traffic mitigation plan shall be prepared by the applicant, submitted to and approved by the Planning and Zoning Director, reported to the City Commission and shall be executed by the parties referenced therein, prior to the issuance of a Building Permit. Said traffic mitigation plan shall be fully implemented prior to (and shall be a precondition for issuance of) a final Certificate of Occupancy (C.O.) for the project.
  6. Manufacturers drawings and Dade County product approval numbers for all windows, doors and glass shall be required.
  7. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view.
  8. The project shall comply with any landscaping or other sidewalk/street improvement standards as may be prescribed by a relevant Urban Design Master Plan approved prior to the completion of the project and the issuance of a Certificate of Occupancy.
  9. A revised schedule of Design Bonuses shall be submitted.
  10. The applicant shall create, design and construct a "Sunrise Plaza" at the eastern terminus of Biscayne Street, inclusive of an appropriate pedestrian connection of South Pointe Drive with the beach, in a manner to be approved by staff.
  11. A park transition area plan, inclusive of the proposed pedestrian extension of Ocean Drive south of South Pointe



Drive, shall be fully created, designed and submitted by the applicant which provides a compatible park interface and transition area along the entire south side of the subject site, as well as within South Pointe Park, to a depth of at least 100', in a manner to be approved by staff.

12. The applicant shall create, design and construct an appropriate beach front/beachwalk treatment for the entire east side of the subject site, in a manner to be approved by staff.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the September 15, 1998 and December 8, 1998 meetings, which is part of the record for this matter and the staff reports and analysis from the September 15, 1998 and December 8, 1998 meetings, which are adopted herein, including the staff recommendations which were amended by the Board, that the Application for Design Review approval is granted for the above-referenced project subject to those certain consolidated conditions specified in paragraph B of the Findings of Fact hereof (conditions #1-12, inclusive), to which the applicant has agreed.

This Final Order consolidates all conditions and requirements for Design Review approval as same are contained herein and in the original Order of September 15, 1998. Accordingly, this Order shall serve as the Final Order for the project and, in the event of conflict between the provisions hereof and those of the September 15, 1998 Order, the provisions hereof shall control. In the event a Full Building Permit is not obtained within one (1) year of the September 15, 1998 approval, the construction does not commence within two (2) years of the September 15, 1998 approval and continue diligently through completion, or any other condition of this Order is violated or remains unsatisfied, then the Design Review approval for the subject project shall become null and void.

No building permit may be issued unless and until all conditions of approval as set forth herein have been met. The issuance of Design Review approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including zoning approval. If adequate handicapped access is not provided, this approval does not mean that such handicapped access is not required or that the Board supports an applicant's effort to seek waivers relating to handicapped accessibility requirements.

When requesting a building permit, three (3) sets of plans approved by the Board, modified in accordance with the above conditions, as well as annotated floor plans which clearly delineate the Floor Area Ratio (FAR) calculations for the project, shall be submitted



to the Planning Department. If all of the above-specified conditions are satisfactorily addressed, the plans will be reviewed for building permit approval. Two (2) sets will be returned to you for submission for a building permit and one (1) set will be retained for the Design Review Board's file. If the Full Building Permit is not issued within one (1) year of the September 15, 1998 meeting date and construction does not commence within two (2) years of the September 15, 1998 meeting date, and continue diligently through completion, the Design Review approval will expire and become null and void.

Dated this 8th day of January, 1999.

DESIGN REVIEW BOARD  
City of Miami Beach, Florida

By: Saul K. Gross, Chair  
Chairperson

Approved as to Form: dgj 12/24/98  
Office of the City Attorney  
(Initials/Date)

Final Order filed and in possession of the Clerk of the Board:

War R. Mooney 1-11-99  
Clerk of the Design Review Board  
(Initials/Date)

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# **EXHIBIT I**



# Continuum South Tower

EMERGENCY GLASS RAILING SYSTEM REPAIR – DRB18-0226

June 5, 2018 DRB Board Hearing





## Supporting Document Index

PAGE	SUBJECT
1-9	Continuum South Tower Condominium Association Owners Petition <ul style="list-style-type: none"><li>• Exhibit A – Before and after photos</li><li>• Exhibit B – Petition results</li></ul>
10	Close Up of Original SOM West Elevation of the North and South Tower DRB Approved Elevation <ul style="list-style-type: none"><li>• Glass railing design for both North and South tower <b>Without</b> metal panel</li></ul>
11	City of Miami Beach Micro Film of North and West Elevation from Construction Sheet A-301 For Reference
12	City of Miami Beach Micro Film of Railing Details Sheet A-431 <ul style="list-style-type: none"><li>• Reference of the typical terrace detail showing the section through the terrace and metal and glass railing system</li></ul>
13	Close Up of Detail F7 from Previous Sheet A-431 <ul style="list-style-type: none"><li>• This detail clearly shows the design intension for this railing system was a metal channel at the bottom of the railing system to receive the glass segment with a metal rail cap to hold the glass in place.</li><li>• This is not what is installed currently on the building. Therefore, the design intension was not executed.</li></ul>
14	Balcony with a Missing Panel in the Series <ul style="list-style-type: none"><li>• Take note that this is an aluminum (<i>sheet metal</i>) panel taped to the existing tempered glass panel.</li></ul>
15	Same Balcony from Pg 5 – Adjacent Aluminum, sheet metal, Panel at the Beginning of Delamination <ul style="list-style-type: none"><li>• The arrow is pointing to a location adjacent to the missing panel which is delaminating. What is to be seriously considered is that this location is showing delamination of an adhesive. This adhesive is not part of the original installation during construction. This is an attempt during the years to fix this issue which has been prevalent through-out the building since the turn over from the developer.</li></ul>
16	Photo of the Existing Metal Panel Which Has Delaminated from the Glass Panel



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15-18	Close-up of Photo of the Delaminated Metal Panel <ul style="list-style-type: none"><li>• This photo is a close up showing both the 3M construction tape delaminated. In addition, this photo also shows the paint which the panel is painted with has delaminated behind the 3M construction tape.</li></ul>
19	Close-up Photo of Existing South Tower Section and the Metal Panels in Place
20	Close-up Photo of Existing South Tower Section Without the Metal Panels in Place
21	Photo Taken from Portofino Tower for Perspective and Comparison of the North and South Tower Railing Systems <ul style="list-style-type: none"><li>• Note that in this photo, panels have been removed for life and safety as several have delaminated from the glass and fallen to the public space below.</li></ul>
22-27	Spread Sheet of Emergency Metal Panel Removal <ul style="list-style-type: none"><li>• Currently this is a list of the units which had loose/delaminated metal panels. The general contractor was directed by our office and the building department to remove these panels for life safety.</li></ul>
28-30	Past Change Order for a General Contractor to Secure/Replace Delaminated Panels on the Building in December of 2015 and 2016 <ul style="list-style-type: none"><li>• As you can read the attempt at that time was for the panels to be secured and or replaced as they had fallen off the building. However, we know that even many of these panels have been removed as they are delaminating again.</li><li>• In total at that time there were 130 panels with issues.</li></ul>
31-39	Resume of Glass Expert Stephen Edwin Howes <ul style="list-style-type: none"><li>• Mr. Howes is present to speak to the reason that affixing something to the existing tempered glass installed at the railing system is dangerous and a life and safety issue.</li><li>• Mr. Howes written professional opinion.</li></ul>
40-47	Resume of Engineer of Record Bronislaus P. Taurinski, PE <ul style="list-style-type: none"><li>• Mr. Taurinski is to be available to speak to the life and safety aspect of the issue.</li><li>• Mr. Taurinski's letter to the City of Miami Beach Building Department notifying them of the life and safety issue at hand.</li></ul>
48	SOFNA Passes Resolution on DRB18-0226

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*South Tower Condominium Association*

**DRB PETITION**

**May 31, 2018**

**To: DRB Chairperson and Members**

**1700 Convention Center Drive, 3<sup>rd</sup> Floor, Miami Beach, FL 33139**

**Re: DRB18-0226**

**100 South Pointe Drive – The Continuum on South Beach, The South Tower**

Dear Design Review Board Chairperson and Members,

The Continuum on South Beach, the South Tower is petitioning the suggested denial of our application by the Planning Department. There are several reasons why this project should be approved listed below:

1. 92% of the residents voted in favor of this project indicating that the building sentiment does not agree these architectural panels enhance the look of the building in any way (exhibit B).
2. Those living in the area would most likely not notice the panels being removed as they have no direct impact on their daily lives.
3. The North Tower of the Continuum does not have these panels.
4. No other building in the South of Fifth neighborhood has the panels.
5. The panels have become de-bonded and fallen off the building and have the potential to continue falling and injuring or killing a resident or pedestrian.
6. The panels affixed to the glass reduce or completely eliminate the ability for the tempered glass to properly shatter and fall if broken, causing a major projectile to become a falling hazard.
7. The view without the white metal panels from the balcony is unobstructed.



We invite you to view Exhibit A below which illustrates the balcony glass before and after panel removal as well as the voting results of the community. The Continuum on South Beach, the South Tower strongly urges the members of the Design Review Board to reconsider the proposed denial of our application for the removal of the white metal panels.

For the Board of Directors,

Alan Fishman, President  
Evan Greenberg, Vice President  
David Azran, Treasurer  
Margot Kurtz, Secretary  
William M. Osborne III, Director

CONTINUUM ON SOUTH BEACH, THE SOUTH TOWER  
CONDOMINIUM ASSOCIATION, INC.

By:  \_\_\_\_\_



**Exhibit A**





## Exhibit B

92% of the residents voted in favor of this project indicating that the building sentiment does not agree these architectural panels enhance the look of the building in any way.

### Whether to Remove the White Metal Panels on the Glass of the Balconies of the Condominium

8.87%	Vote AGAINST the removal of the white metal panels on the glass of the balconies of the Condominium and resulting work.
91.13%	Vote IN FAVOR of the removal of the white metal panels on the glass of the balconies of the Condominium and resulting work.

<u>Unit Owner Name</u>	<u>Unit Number</u>	<u>Ballot Status</u>
Carol Egan	1209	Voted in Favor
James Hays	1509	Voted in Favor
James Hays	2605	Voted in Favor
James Hays	2606	Voted in Favor
James Hays	2908	Voted in Favor
Adam Weis	2104	Voted in Favor
Jason Wolf	2708	Voted in Favor
Leticia Ateca	2109	Voted in Favor
David Azran	2010	Voted in Favor
Barry Brown	3801	Voted in Favor
Larry Colin	3605	Voted in Favor
Jean-Charles Dibbs	607	Voted in Favor
Georgia Hardy	2809	Voted in Favor
Margot Kurtz	1702	Voted in Favor
Nancy Ortiz	2702	Voted in Favor
Roland Ortiz	2102	Voted in Favor
Sheila Michelle Rojas	3307	Voted in Favor
Arthur Rosen	1707	Voted in Favor
Shelley Rubin	704	Voted in Favor
Shelley Rubin	2903	Voted in Favor
Shelley Rubin	2904	Voted in Favor
Ivan Selin	505	Voted in Favor
Joseph Shain	702	Voted in Favor
Robert Sturm	1409	Voted in Favor
Michael Tator	605	Voted in Favor



Eliot Tubis	804	Voted in Favor
Daisy Afrooz	2303	Voted in Favor
Daisy Afrooz	2304	Voted in Favor
Seyed Robert Bassam	2202	Voted in Favor
Joel Bowers	803	Voted in Favor
Paul Carter	TH05	Voted in Favor
Julian Garcia	3002	Voted in Favor
Elsa Haddad	610	Voted in Favor
Sandra Hoffen	3007	Voted in Favor
Bruce Horten	904	Voted in Favor
John Hufsky	1006	Voted in Favor
Mary Japour	3401	Voted in Favor
Carlos Lisboa	TH07	Voted in Favor
Steve Massey	1108	Voted in Favor
Jennifer Nasser	507	Voted in Favor
Mariano Pastor	810	Voted in Favor
Mariano Pastor	1101	Voted in Favor
Michael Pulwer	3601	Voted in Favor
Denisa Wagner	603	Voted in Favor
Denisa Wagner	604	Voted in Favor
Lloyd Warman	506	Voted in Favor
Raul Barbosa	2602	Voted in Favor
Antonio Cardoso	3405	Voted in Favor
Bradley Carlson	3506	Voted in Favor
Omar Cassola	3906	Voted in Favor
Alan Fishman	2208	Voted in Favor
Marika Hartman	2901	Voted in Favor
Sham Kamlani	1705	Voted in Favor
Verena Karalla	3404	Voted in Favor
Susan Karkomi	2307	Voted in Favor
Justin Korsant	2607	Voted in Favor
Adrienne Krieger	3103	Voted in Favor
Adrienne Krieger	3104	Voted in Favor
Lisa Lachman	2701	Voted in Favor
Jan Mershon	3107	Voted in Favor
Ian Sanders	1708	Voted in Favor
Thomas Sandner	1208	Voted in Favor
Peter Steiner	3403	Voted in Favor
James Arrigoni	3507	Voted in Favor
Alan Atkinson	2709	Voted in Favor



Hal Folander	3202	Voted in Favor
Domingo Gonzalez	3607	Voted in Favor
Mark Keffeler	1504	Voted in Favor
Philip Kelleher	1809	Voted in Favor
Tania Kerouach	1901	Voted in Favor
Hala Mnaymneh	2004	Voted in Favor
Hala Mnaymneh	2005	Voted in Favor
Hala Mnaymneh	2006	Voted in Favor
Hala Mnaymneh	2007	Voted in Favor
Felipe Restrepo	1201	Voted in Favor
Daniel Schwartz	1606	Voted in Favor
Daniel Schwartz	1607	Voted in Favor
Theodore Sedlmayr	3406	Voted in Favor
Martin Steinweg	2201	Voted in Favor
Joan Bongiorno	1407	Voted in Favor
Flavia Cipovicci	905	Voted in Favor
Stephen Goldstein	2501	Voted in Favor
Evan Greenberg	2407	Voted in Favor
David Levenfeld	909	Voted in Favor
Gotardo A Rodrigues	1909	Voted in Favor
Robert Rosenberg	3907	Voted in Favor
Joanne Silverman	608	Voted in Favor
Pamela and Stuart Rothenberg	710	Voted in Favor
Pamela and Stuart Rothenberg	2101	Voted in Favor
Leonardo Scatturice	1603	Voted in Favor
Diana de Travieso	3305	Voted in Favor
William M. Osborne III	3603	Voted in Favor
William M. Osborne III	3604	Voted in Favor
William M. Osborne III	3602	Voted in Favor
Francine Misch-Dietsh	709	Voted in Favor
Friedrich H Von Hanau Schaumburg	3901	Voted in Favor
Vyvette Chang	2308	Voted in Favor
Michael Cioffi	807	Voted in Favor
Jaimini Mehta	806	Voted in Favor
Jeff Boldia	1605	Voted in Favor
GDCE LLC	1401	Voted in Favor
GDCE LLC	1402	Voted in Favor
Carlene Tiedemann	PH03	Voted in Favor
Hadley Fisher	1106	Voted in Favor
Hadley Fisher	1107	Voted in Favor



Adam Kruszelnicki	1904	Voted in Favor
David Saltz	3905	Voted in Favor
Benny Shabtai	2805	Voted in Favor
Michele Merlo	1609	Voted in Favor
Dana Jacober	2001	Voted in Favor
Dana Jacober	2002	Voted in Favor
Michael Bradly Calobrace	2110	Voted in Favor
Lowrence Inserra	1710	Voted in Favor
Mark Greenberg	1104	Voted in Favor
Helio Gusmao	1202	Voted in Favor
Borzena Baranowska	1404	Voted in Favor
Violeta Kruszelnicki	1808	Voted in Favor



**Continuum on South Beach, the South Tower Condominium Association, Inc.  
Minutes of Board of Directors Meeting**

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**THE SPECIAL MEMBERS MEETING AND SPECIAL MEETING OF THE BOARD OF  
DIRECTORS OF CONTINUUM ON SOUTH BEACH, THE SOUTH TOWER CONDOMINIUM  
ASSOCIATION, INC. was held at the date, time and location listed below.**

**DATE: TUESDAY, MAY 1, 2018**  
**TIME: 5:00 PM**  
**PLACE: SOUTH TOWER, 3<sup>RD</sup> FLOOR REAR LOBBY**

**Board Members Present**

Alan Fishman, Vice President  
David Azran, Treasurer  
Margot Kurtz, Secretary  
Evan Greenberg, Director

**Association Management Present**

Erin Fabian, GM, FSR  
Nicole Rodriguez, ACAM, FSR

**Unit Owners Present**

As per the sign-in sheet

**Others Present**

Jeff Cooperman, ALG

**Special Members Meeting:**

1. **Call to Order** – Meeting was called to order at 5:01 pm by Alan Fishman, VP.
2. **Establishment of Quorum** – Alan Fishman was appointed the Chair of the Meeting.
3. **Proof of Due Notice of Board Meeting** – Management provided proof of notice for the Board of Directors Meeting mailed and posted conspicuously on April 16, 2018.
4. **Vote on whether to approve the removal of the white metal panels on the glass of the balconies of the Condominium and resulting work;** – There were 113 in favor and 11 against the removal of the white metal panels. This vote met the quorum of 105 and the majority far exceeded 50% of those who voted.
5. **Adjournment:** Alan Fishman adjourned the meeting at 5:02 pm.

**Special Board Meeting:**

1. **Proof of Notice of Meeting:** Management provided proof of notice for the Board of Directors Meeting mailed and posted conspicuously on April 16, 2018.
2. **Adoption of the removal of the white metal panels on the glass of the balconies of the Condominium and resulting work:**

**Motion:** Evan Greenberg made a motion to adopt the removal of the white metal panels, Margot Kurtz seconded the motion. Motion carried 4-0.

3. **Adjournment** – Alan Fishman adjourned the meeting at 5:04 pm.



SECRETARY  
CONTINUUM ON SOUTH BEACH  
THE SOUTH TOWER CONDOMINIUM ASSOCIATION INC.

Approved this 7 day of May 2018



LEVEL ROOF  
EL. +377.00

LEVEL ROOF  
EL. +340.50

ROOF OF LAST  
OCCUPIED FLOOR

33 FLOORS @ 9'-6" / FLOOR = 315'-6"

PAINTED CONCRETE ROOF

BALCONY W/ GLASS RAILING

PAINTED CONCRETE

HOTEL/TIMESHARE  
TOWER

PAINTED ALUMINUM MULLIONS

CLEAR GLASS WINDOW

BALCONY W/ GLASS RAILING

PAINTED CONCRETE

HOTEL

RETAIL/CAFE

LEVEL 4  
EL. +27.00

LEVEL 3  
EL. +18.00

LEVEL 2  
EL. +9.00

LEVEL 1  
EL. +0.00

## 2 WEST ELEVATION

1"=60'

HIGHEST ARCHITECTURAL  
PROJECTION (HAP)

LEVEL ROOF  
EL. +454.25

LEVEL ROOF  
EL. +451.00

ROOF OF LAST  
OCCUPIED FLOOR

LEVEL ROOF  
EL. +427.00

PAINTED ALUMINUM MULLIONS

CLEAR GLASS WINDOW

BALCONY W/ GLASS RAILING

PAINTED ALUMINUM MULLIONS

CLEAR GLASS WINDOW

RESIDENTIAL TOWER

42 FLOORS @ 9'-6" / FLOOR = 398'-0"

RESIDENTIAL TOWER  
BEYOND

RESIDENTIAL  
BEYOND

LEVEL 4  
EL. +27.00

LEVEL 3  
EL. +18.00

LEVEL 2  
EL. +9.00

LEVEL 1  
EL. +0.00

RETAIL

*Adrian Smith*

A-8

DRAWING NUMBER

NO.	ISSUE DESCRIPTION	DATE
1	SOUTH & WEST ELEVATIONS	07/26/14
2	SOUTH & WEST ELEVATIONS	07/26/14
3	SOUTH & WEST ELEVATIONS	07/26/14
4	SOUTH & WEST ELEVATIONS	07/26/14
5	SOUTH & WEST ELEVATIONS	07/26/14
6	SOUTH & WEST ELEVATIONS	07/26/14
7	SOUTH & WEST ELEVATIONS	07/26/14
8	SOUTH & WEST ELEVATIONS	07/26/14
9	SOUTH & WEST ELEVATIONS	07/26/14
10	SOUTH & WEST ELEVATIONS	07/26/14
11	SOUTH & WEST ELEVATIONS	07/26/14
12	SOUTH & WEST ELEVATIONS	07/26/14
13	SOUTH & WEST ELEVATIONS	07/26/14
14	SOUTH & WEST ELEVATIONS	07/26/14
15	SOUTH & WEST ELEVATIONS	07/26/14
16	SOUTH & WEST ELEVATIONS	07/26/14
17	SOUTH & WEST ELEVATIONS	07/26/14
18	SOUTH & WEST ELEVATIONS	07/26/14
19	SOUTH & WEST ELEVATIONS	07/26/14
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21	SOUTH & WEST ELEVATIONS	07/26/14
22	SOUTH & WEST ELEVATIONS	07/26/14
23	SOUTH & WEST ELEVATIONS	07/26/14
24	SOUTH & WEST ELEVATIONS	07/26/14
25	SOUTH & WEST ELEVATIONS	07/26/14
26	SOUTH & WEST ELEVATIONS	07/26/14
27	SOUTH & WEST ELEVATIONS	07/26/14
28	SOUTH & WEST ELEVATIONS	07/26/14
29	SOUTH & WEST ELEVATIONS	07/26/14
30	SOUTH & WEST ELEVATIONS	07/26/14
31	SOUTH & WEST ELEVATIONS	07/26/14
32	SOUTH & WEST ELEVATIONS	07/26/14
33	SOUTH & WEST ELEVATIONS	07/26/14
34	SOUTH & WEST ELEVATIONS	07/26/14
35	SOUTH & WEST ELEVATIONS	07/26/14
36	SOUTH & WEST ELEVATIONS	07/26/14
37	SOUTH & WEST ELEVATIONS	07/26/14
38	SOUTH & WEST ELEVATIONS	07/26/14
39	SOUTH & WEST ELEVATIONS	07/26/14
40	SOUTH & WEST ELEVATIONS	07/26/14
41	SOUTH & WEST ELEVATIONS	07/26/14
42	SOUTH & WEST ELEVATIONS	07/26/14

SOUTH & WEST  
ELEVATIONS

South Pointe East  
Ocean Parcel South Pointe  
Miami Beach, Florida



The Continuum Company LLC

STATE OF FLORIDA

REGISTRATION NO. 9317



*The Continuum on South Beach,  
South Tower, a Condominium*

100 SOUTH POINTE DRIVE, MIAMI BEACH, FLORIDA

Scale: \_\_\_\_\_ 17-28  
Date: \_\_\_\_\_ 10-01-28  
Peanut Design: \_\_\_\_\_ 17A  
Tree Sp. \_\_\_\_\_ 17B  
Chumby Sp. \_\_\_\_\_ 17C  
Job Number: \_\_\_\_\_ 100  
Signature \_\_\_\_\_  
File \_\_\_\_\_ North America 20

Revisions		
Rev.	Description	Date
00	BUILD. PERMIT	2-21-75
01	BUILD. DEPT.	03-12-75
02	END SET	05-28-75
03	COLLECTING	06-25-75
04	CONSTRUCT. SET	08-02-75
05	MR / CORP. REV.	10-28-75
06	REVISIONAL REV'S	01-15-76
07	REVISIONAL REV'S	04-29-76


Exhibit 10-10

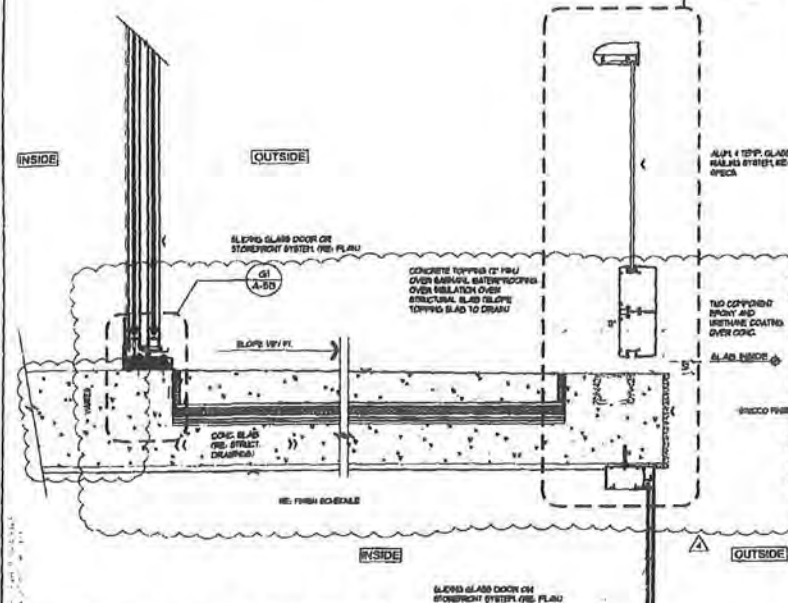
A-301



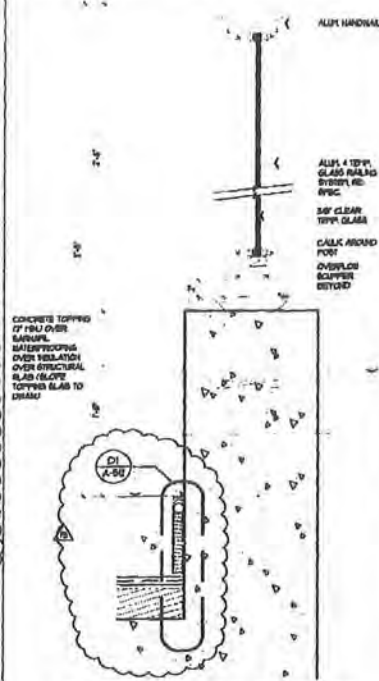
SCALE: 1"=20'

SCALE: 1/2" = 1'

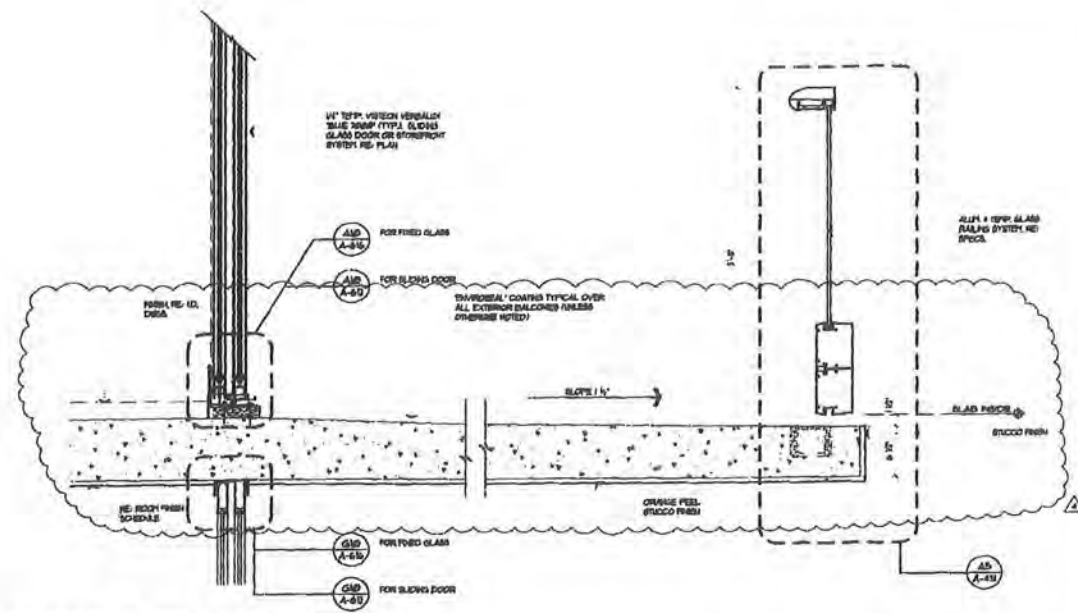




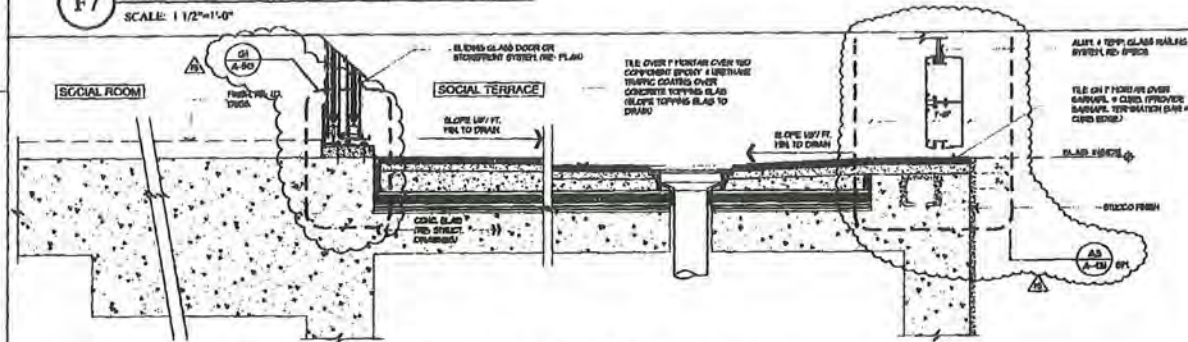
**F1 TERRACE OVER CONDITIONED SPACE**  
SCALE: 1/2"=1'-0"



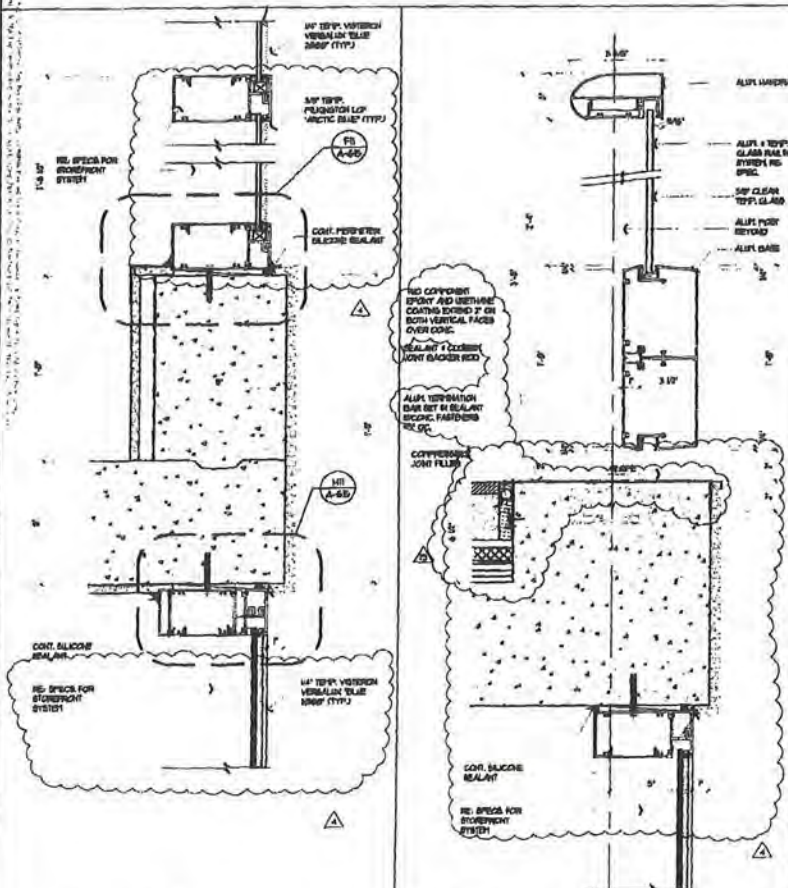
**F5 RAILING DETAIL**  
SCALE: 3"=1'-0"



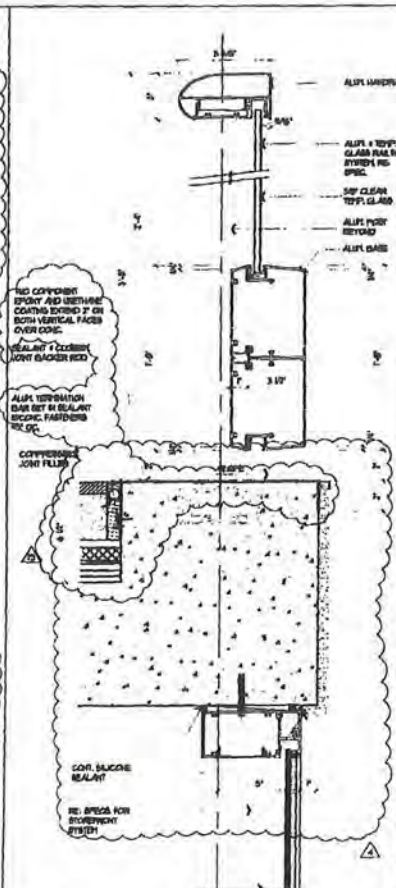
**F7 TYPICAL TERRACE DETAIL**  
SCALE: 1/2"=1'-0"



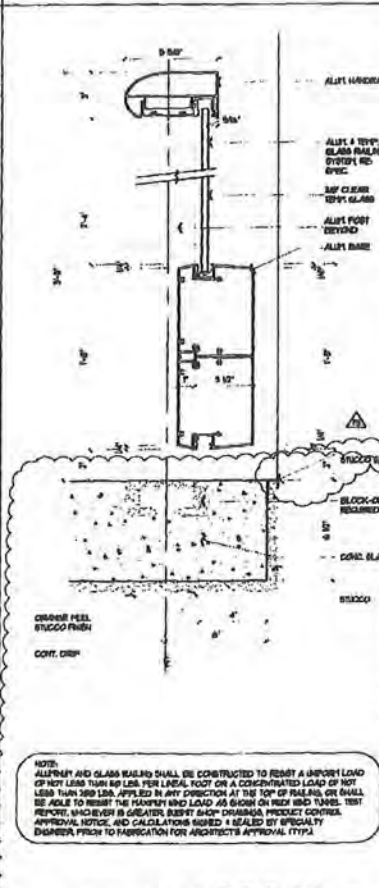
**D7 TERRACE OUTSIDE 4TH FLOOR SOCIAL ROOM**  
SCALE: 1/2"=1'-0"



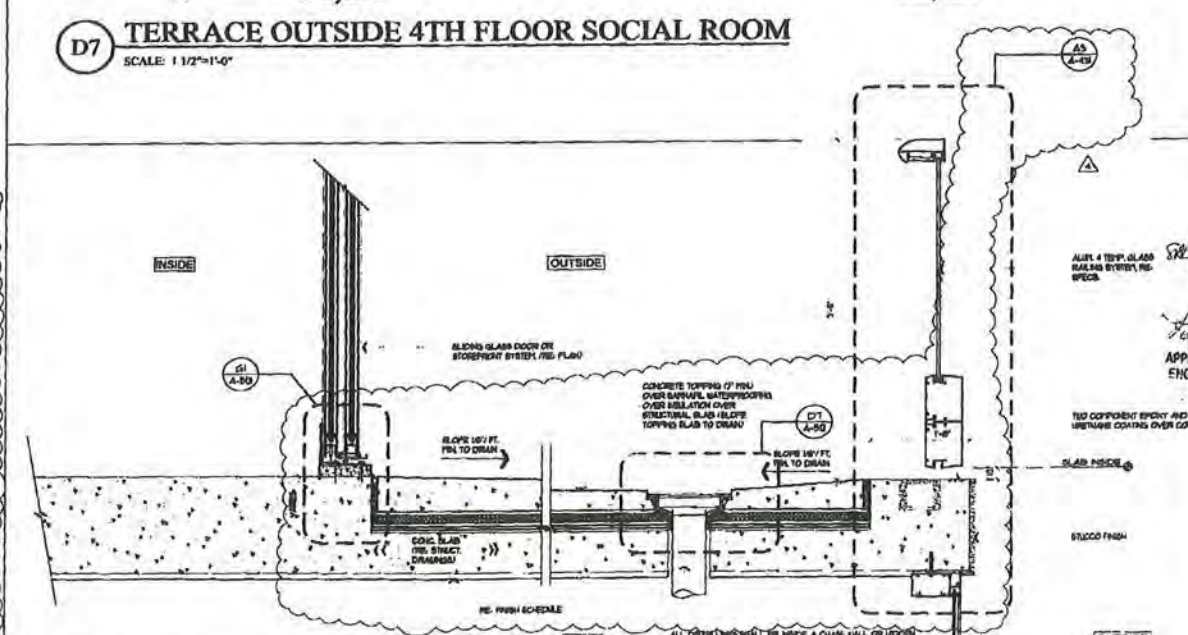
**A1 DETAIL**  
SCALE: 3"=1'-0"



**A3 CURB RAILING DETAIL**  
SCALE: 3"=1'-0"



**A5 TYP. RAILING DETAIL**  
SCALE: 3"=1'-0"



**A7 TERRACE OVER CONDISEDIONED SPACE (WITH DRAIN)**  
SCALE: 1/2"=1'-0"

**FULLERTON DIAZ ARCHITECTS INC.**  
Architecture  
Interior Design  
Planning

*The Condominium on South Beach,  
South Tower, a Condominium*  
100 SOUTH POINTS DRIVE, MIAMI BEACH, FLORIDA

**A-431**

No.	Description	Date
1	BLDG PERM	1-21-98
2	BLDG PERM	1-21-98
3	BLDG PERM	1-21-98
4	BLDG PERM	1-21-98
5	BLDG PERM	1-21-98
6	BLDG PERM	1-21-98
7	BLDG PERM	1-21-98
8	BLDG PERM	1-21-98
9	BLDG PERM	1-21-98
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31	BLDG PERM	1-21-98
32	BLDG PERM	1-21-98
33	BLDG PERM	1-21-98
34	BLDG PERM	1-21-98
35	BLDG PERM	1-21-98
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92	BLDG PERM	1-21-98
93	BLDG PERM	1-21-98
94	BLDG PERM	1-21-98
95	BLDG PERM	1-21-98
96	BLDG PERM	1-21-98
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98	BLDG PERM	1-21-98
99	BLDG PERM	1-21-98
100	BLDG PERM	1-21-98



7

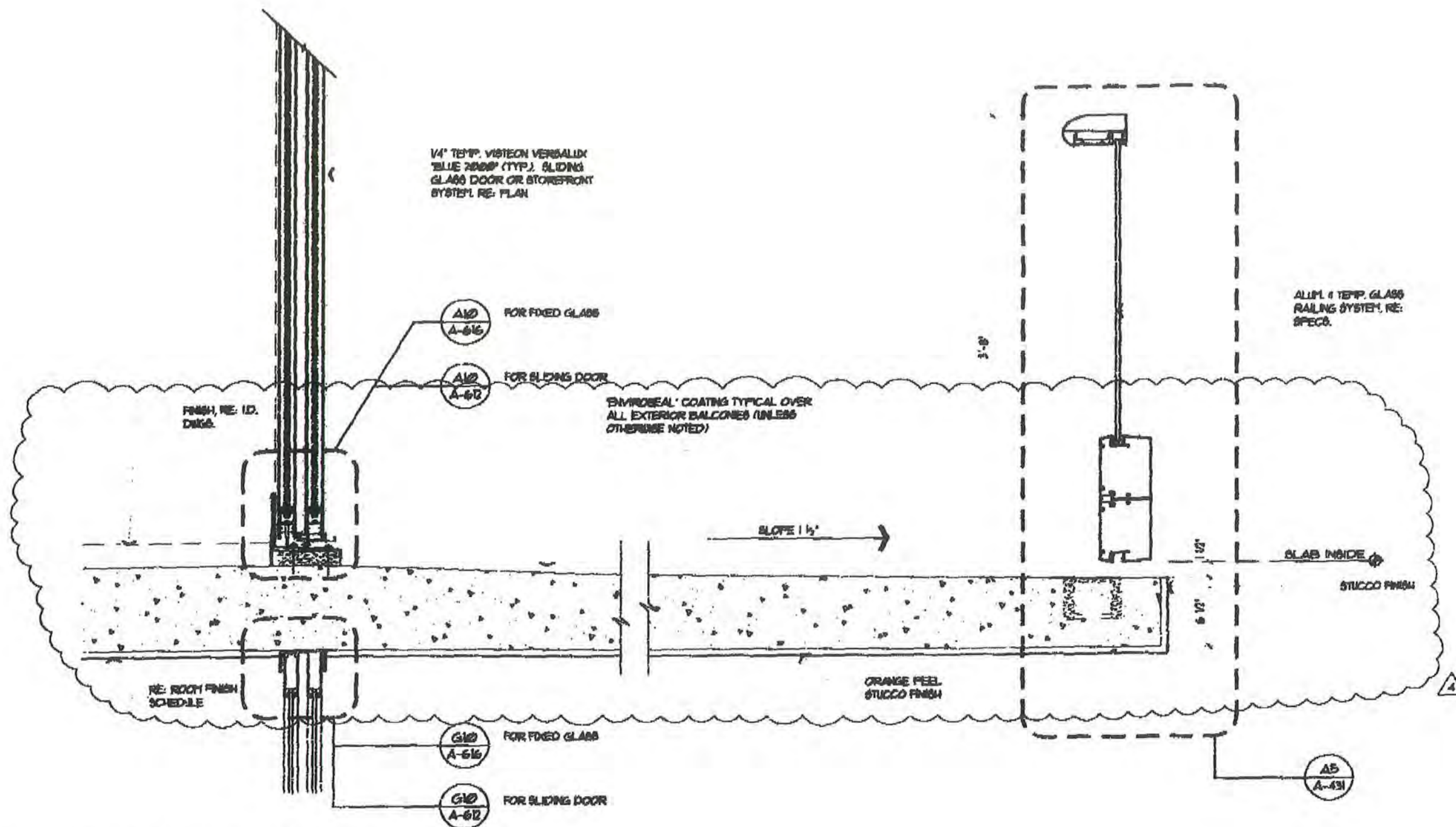
8

9

10

11

12



F7

## TYPICAL TERRACE DETAIL

SCALE: 1 1/2"=1'-0"

FULLERTON  
DIAZ  
ARCHITECTS INC.  
Architecture  
Interior Design  
Planning



C H I T E C T S I N C.

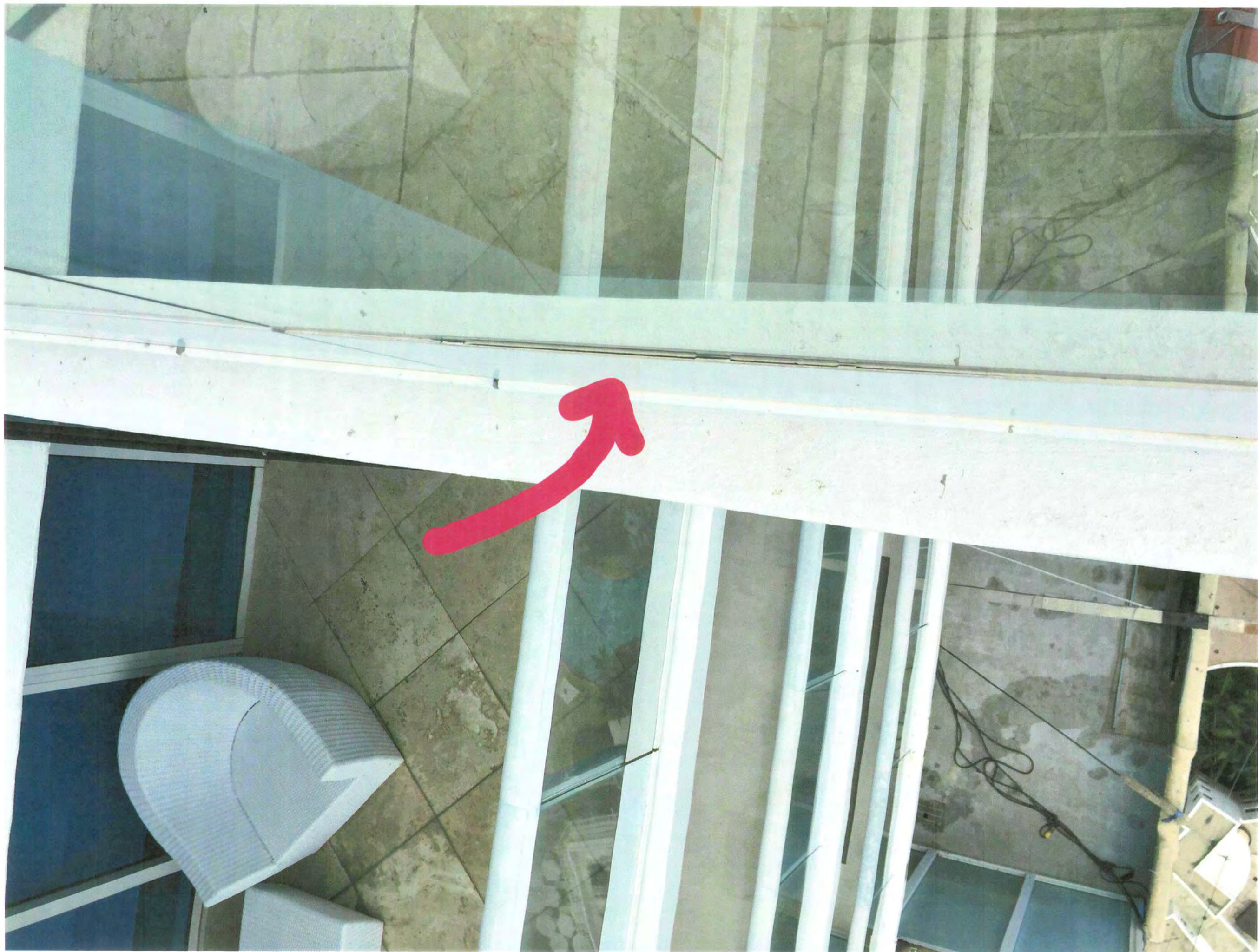
*with Beach,  
dominium*

H. FLORIDA

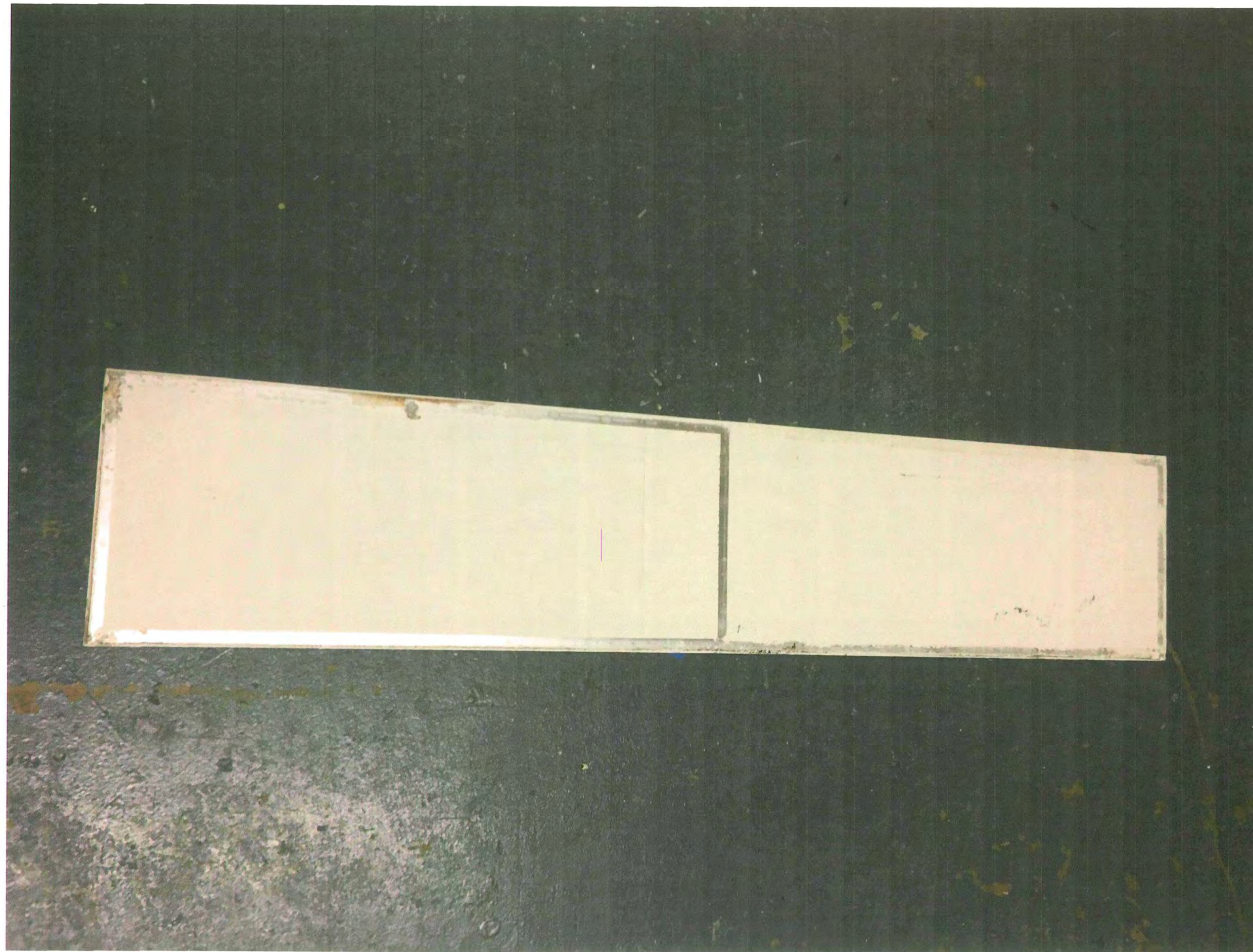




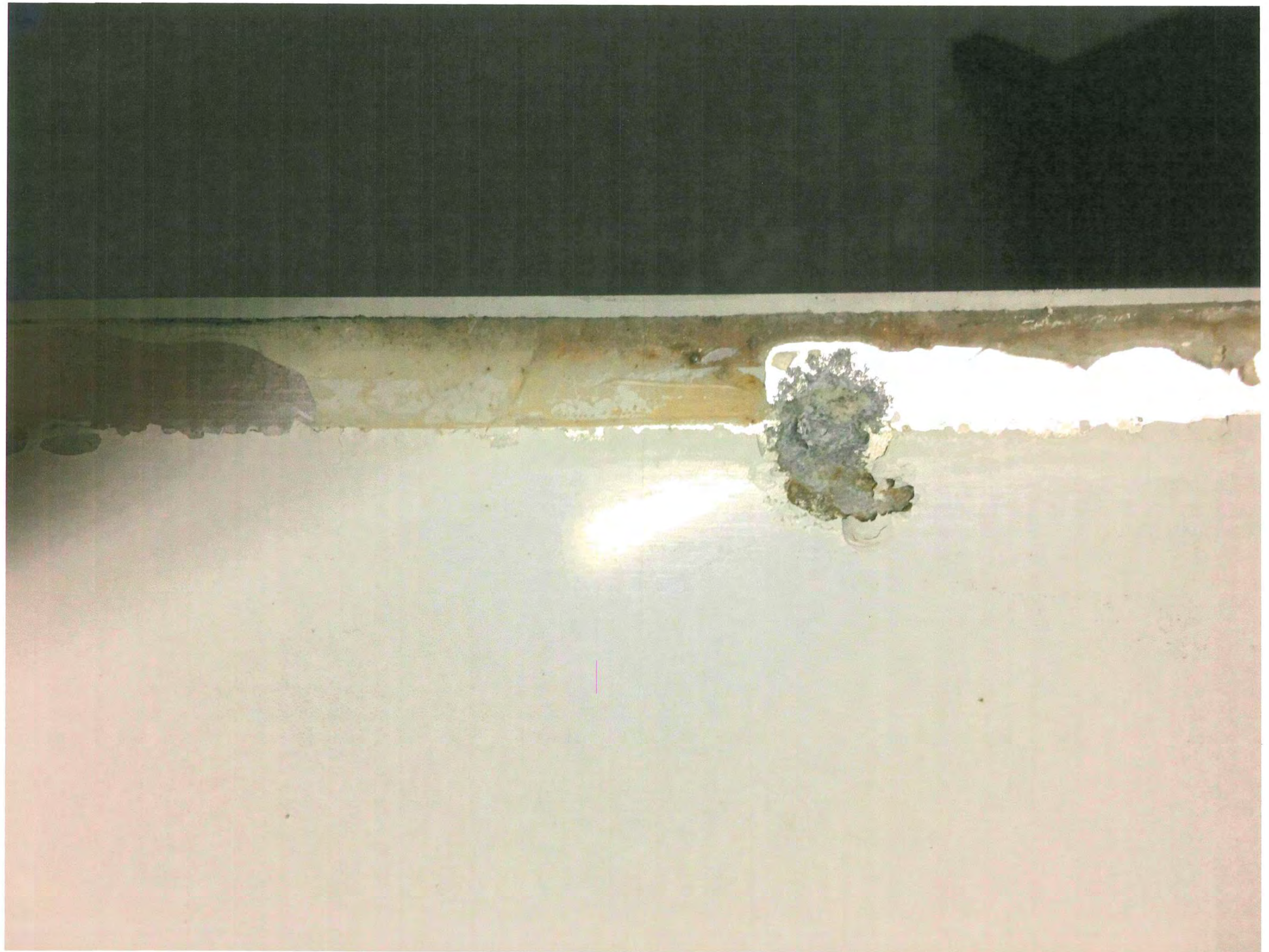




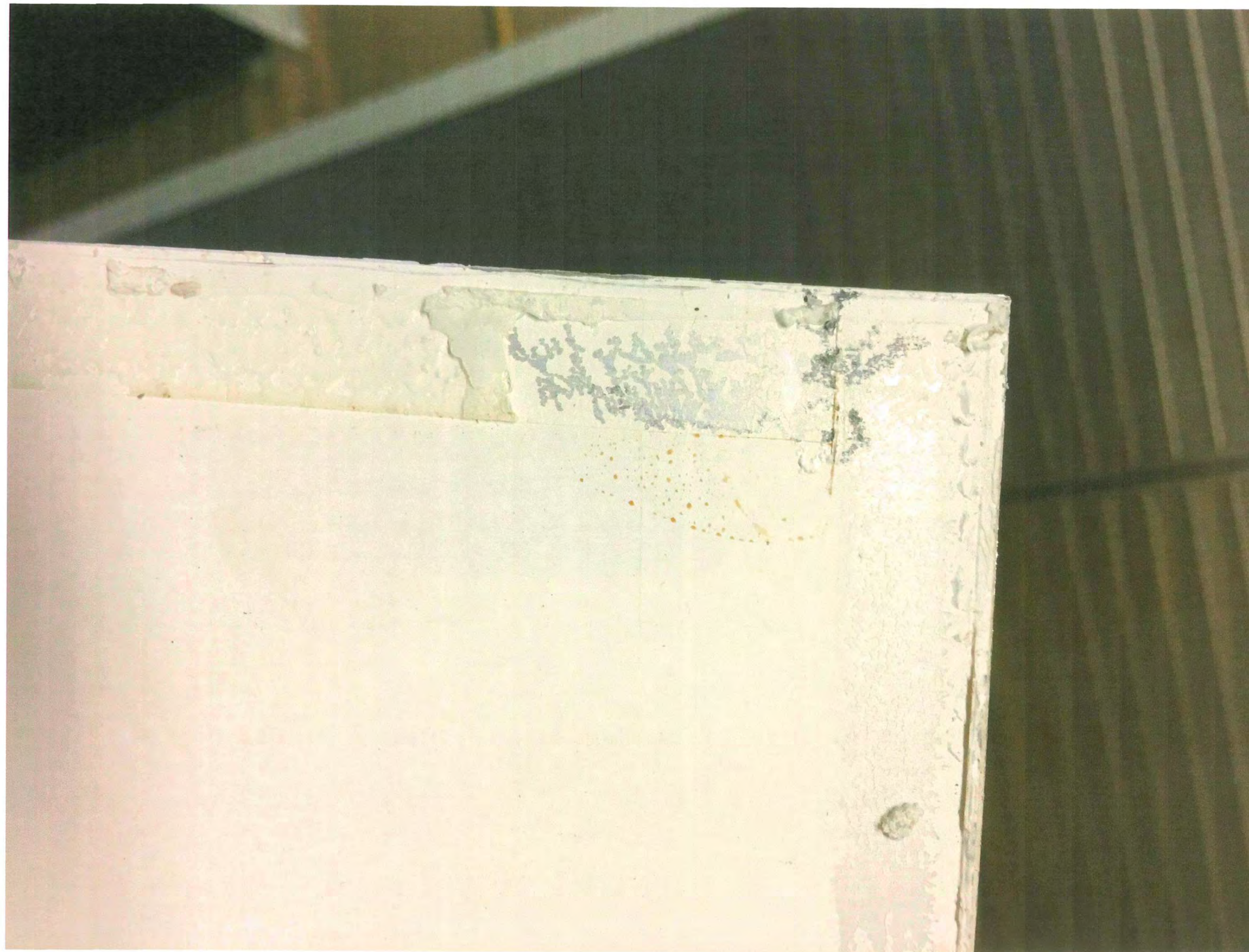








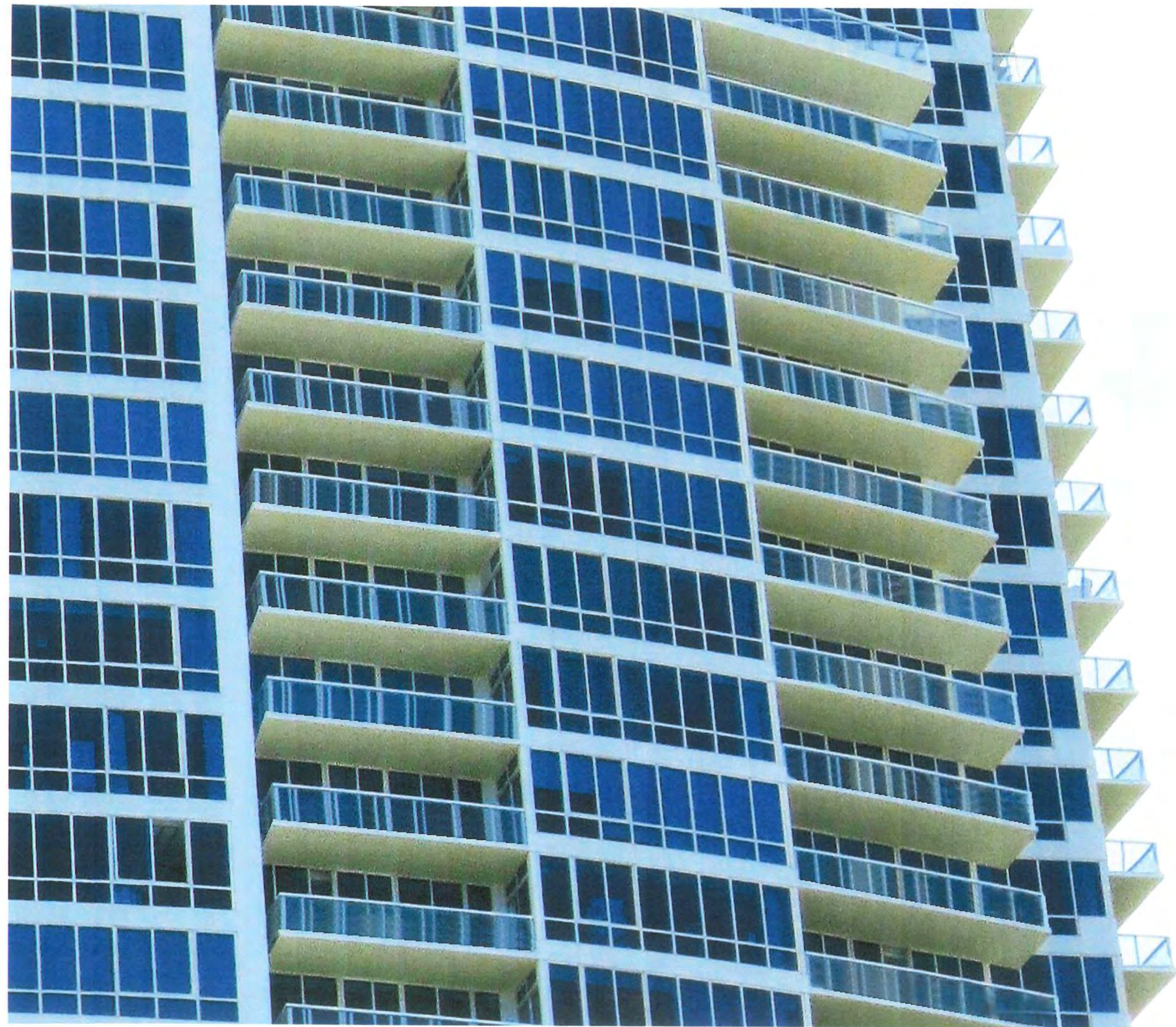




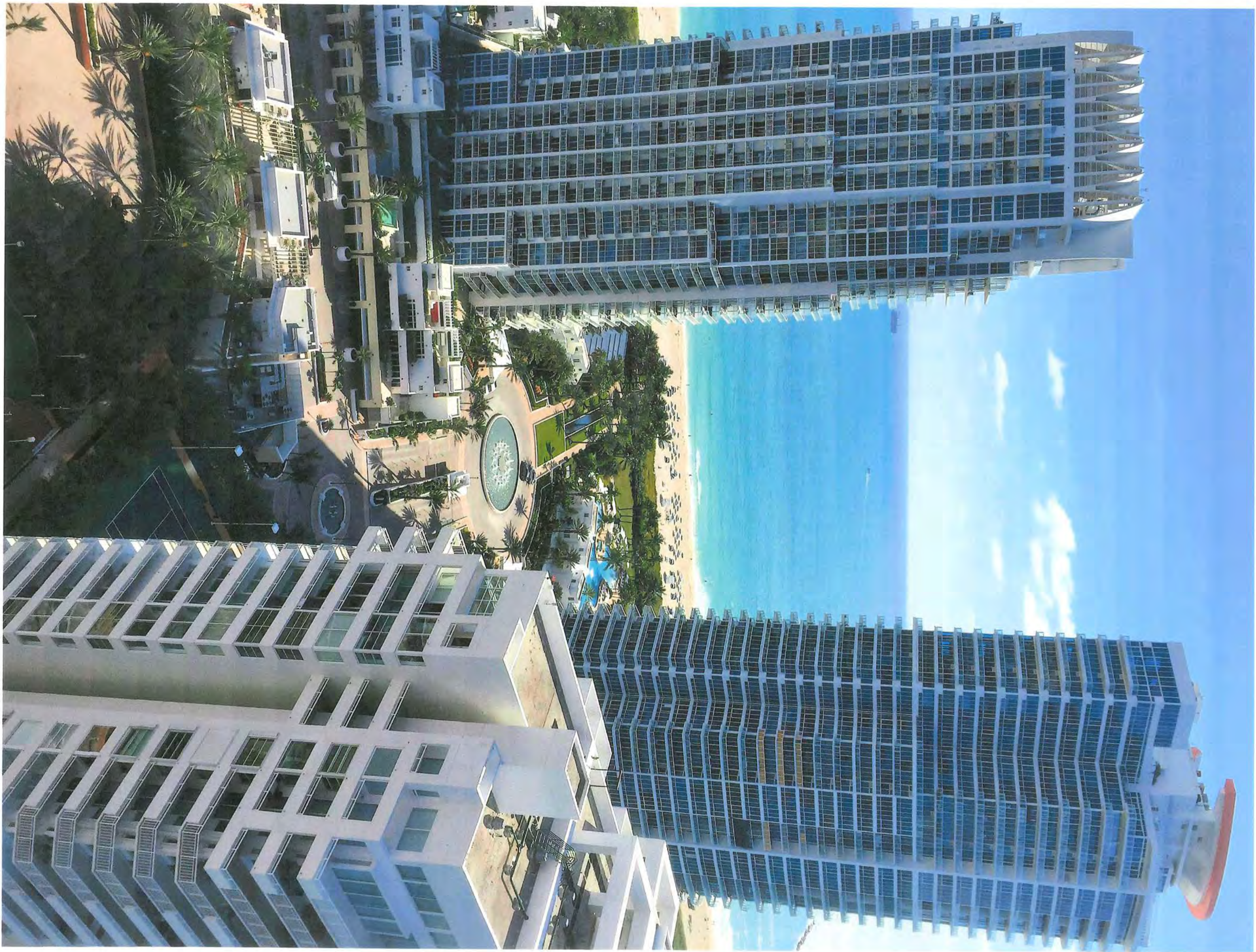














**Continuum on South Beach**  
**South Tower Condominium Association Inc.**  
**Emergency Exterior Panel Removal**

<b>Units</b>	<b>Date of Inspection</b>	<b>Inspection Status</b>
TH01	8-Jan-18	Completed
3202	8-Jan-18	Completed
1804/05	8-Jan-18	Completed
506	8-Jan-18	Completed
3104/03	8-Jan-18	Completed
4th Floor	8-Jan-18	Completed
3601	9-Jan-18	Completed
2704	9-Jan-18	Completed
606	9-Jan-18	Completed
3801	9-Jan-18	Completed
703	9-Jan-18	Completed
TH13	9-Jan-18	Completed
TH15	9-Jan-18	Completed
PH02	9-Jan-18	Completed
2909	9-Jan-18	Completed
3204	9-Jan-18	Completed
2/3/3604	9-Jan-18	Completed
501	11-Jan-18	Completed
502	11-Jan-18	Completed
503	11-Jan-18	Completed
504	11-Jan-18	Completed
505	11-Jan-18	Completed
507	12-Jan-18	Completed
508	12-Jan-18	Completed
509	12-Jan-18	Completed
806	12-Jan-18	Completed
510	12-Jan-18	Completed
TH05	12-Jan-18	Completed
601	15-Jan-18	Completed
602	15-Jan-18	Completed
603	15-Jan-18	Completed
607	15-Jan-18	Completed
608	15-Jan-18	Completed
609	15-Jan-18	Completed
610	15-Jan-18	Completed
605	16-Jan-18	Completed
701	16-Jan-18	Completed
702	16-Jan-18	Completed
704	16-Jan-18	Completed
705	16-Jan-18	Completed



**Continuum on South Beach**  
**South Tower Condominium Association Inc.**  
**Emergency Exterior Panel Removal**

<b>Units</b>	<b>Date of Inspection</b>	<b>Inspection Status</b>
706	16-Jan-18	Completed
707	16-Jan-18	Completed
708	16-Jan-18	Completed
709	16-Jan-18	Completed
710	16-Jan-18	Completed
801	17-Jan-18	Completed
802	17-Jan-18	Completed
803	17-Jan-18	Completed
804	17-Jan-18	Completed
805	17-Jan-18	Completed
807	17-Jan-18	Completed
808	17-Jan-18	Completed
809	17-Jan-18	Completed
810	17-Jan-18	Completed
901	18-Jan-18	Completed
902	18-Jan-18	Completed
903	18-Jan-18	Completed
904	18-Jan-18	Completed
905	18-Jan-18	Completed
604	18-Jan-18	Completed
1908	18-Jan-18	Completed
907	18-Jan-18	Completed
908	18-Jan-18	Completed
909	18-Jan-18	Completed
910	18-Jan-18	Completed
1001	19-Jan-18	Completed
1002	19-Jan-18	Completed
1003	19-Jan-18	Completed
1004	19-Jan-18	Completed
1005	19-Jan-18	Completed
1006	19-Jan-18	Completed
1007	19-Jan-18	Completed
1008	19-Jan-18	Completed
1009	19-Jan-18	Completed
1010	19-Jan-18	Completed
2101	2-Feb-18	Completed
2003	2-Feb-18	Completed
2001	2-Feb-18	Completed
1903	2-Feb-18	Completed
1901	2-Feb-18	Completed



**Continuum on South Beach**  
**South Tower Condominium Association Inc.**  
**Emergency Exterior Panel Removal**

<b>Units</b>	<b>Date of Inspection</b>	<b>Inspection Status</b>
1803	2-Feb-18	Completed
1802	5-Feb-18	Completed
1801	5-Feb-18	Completed
1703	5-Feb-18	Completed
1702	5-Feb-18	Completed
1701	5-Feb-18	Completed
1603	5-Feb-18	Completed
1602	5-Feb-18	Completed
1601	5-Feb-18	Completed
1502/03	6-Feb-18	Completed
1501	6-Feb-18	Completed
1403	6-Feb-18	Completed
1402/01	6-Feb-18	Completed
1203	6-Feb-18	Completed
1202	6-Feb-18	Completed
1201	7-Feb-18	Completed
1203	7-Feb-18	Completed
1103/02	7-Feb-18	Completed
1101	7-Feb-18	Completed
1003	7-Feb-18	Completed
1002	7-Feb-18	Completed
3802/03	12-Feb-18	Completed
3703	12-Feb-18	Completed
3702	12-Feb-18	Completed
3503	13-Feb-18	Completed
3502	13-Feb-18	Completed
3403	13-Feb-18	Completed
3402	13-Feb-18	Completed
3302	14-Feb-18	Completed
3203	14-Feb-18	Completed
3102	14-Feb-18	Completed
3003	15-Feb-18	Completed
3002	15-Feb-18	Completed
2904	15-Feb-18	Completed
2903	15-Feb-18	Completed
2803/04	15-Feb-18	Completed
2703	16-Feb-18	Completed
2604	16-Feb-18	Completed
2603	16-Feb-18	Completed
2503/04	16-Feb-18	Completed



**Continuum on South Beach**  
**South Tower Condominium Association Inc.**  
**Emergency Exterior Panel Removal**

<b>Units</b>	<b>Date of Inspection</b>	<b>Inspection Status</b>
2104	20-Feb-18	Completed
2005	20-Feb-18	Completed
2004	20-Feb-18	Completed
1905	20-Feb-18	Completed
1904	20-Feb-18	Completed
1705	21-Feb-18	Completed
1704	21-Feb-18	Completed
1605	21-Feb-18	Completed
1604	21-Feb-18	Completed
1505	21-Feb-18	Completed
1504	21-Feb-18	Completed
1405	22-Feb-18	Completed
1404	22-Feb-18	Completed
1205	22-Feb-18	Completed
1204	22-Feb-18	Completed
1105	22-Feb-18	Completed
1104	22-Feb-18	Completed
604	23-Feb-18	Completed
2404	26-Feb-18	Completed
2403	26-Feb-18	Completed
2203	26-Feb-18	Completed
2105	26-Feb-18	Completed
PH03	28-Feb-18	Completed
3804/05	28-Feb-18	Completed
3605	1-Mar-18	Completed
3604	1-Mar-18	Completed
3505	1-Mar-18	Completed
3504	2-Mar-18	Completed
3405	2-Mar-18	Completed
3404	2-Mar-18	Completed
3305	2-Mar-18	Completed
3304	2-Mar-18	Completed
3205	2-Mar-18	Completed
3204	2-Mar-18	Completed
3105	5-Mar-18	Completed
3005	5-Mar-18	Completed
3004	5-Mar-18	Completed
2905/06	5-Mar-18	Completed
2806	6-Mar-18	Completed
2706	6-Mar-18	Completed



**Continuum on South Beach**  
**South Tower Condominium Association Inc.**  
**Emergency Exterior Panel Removal**

<b>Units</b>	<b>Date of Inspection</b>	<b>Inspection Status</b>
2606	6-Mar-18	Completed
2605	6-Mar-18	Completed
3906	7-Mar-18	Completed
3806	7-Mar-18	Completed
3706	7-Mar-18	Completed
3606*	8-Mar-18	Completed
3506	8-Mar-18	Completed
3406	8-Mar-18	Completed
3306	8-Mar-18	Completed
3106*	9-Mar-18	Completed
3006	9-Mar-18	Completed
3007	9-Mar-18	Completed
2908	9-Mar-18	Completed
2808	9-Mar-18	Completed
2907	9-Mar-18	Completed
2807	9-Mar-18	Completed
2708	9-Mar-18	Completed
2608*	10-Mar-18	Completed
2508	10-Mar-18	Completed
2408	10-Mar-18	Completed
2308	10-Mar-18	Completed
2208	10-Mar-18	Completed
2108*	10-Mar-18	Completed
2707*	11-Mar-18	Completed
2607	11-Mar-18	Completed
2507	11-Mar-18	Completed
2407	11-Mar-18	Completed
2307	11-Mar-18	Completed
2109*	14-Mar-18	Completed
2009	14-Mar-18	Completed
1809	14-Mar-18	Completed
1609	14-Mar-18	Completed
2008	15-Mar-18	Completed
1808	15-Mar-18	Completed
1708	15-Mar-18	Completed
1608	15-Mar-18	Completed
1508	15-Mar-18	Completed
1408	15-Mar-18	Completed
1509*	16-Mar-18	Completed
1409	16-Mar-18	Completed



**Continuum on South Beach  
South Tower Condominium Association Inc.  
Emergency Exterior Panel Removal**

<b>Units</b>	<b>Date of Inspection</b>	<b>Inspection Status</b>
<b>1209</b>	16-Mar-18	Completed
<b>1108</b>	16-Mar-18	Completed
<b>2506</b>	17-Mar-18	Completed
<b>2406</b>	17-Mar-18	Completed
<b>2306</b>	17-Mar-18	Completed
<b>2107</b>	18-Mar-18	Completed
<b>2106</b>	18-Mar-18	Completed
<b>2006/07</b>	18-Mar-18	Completed
<b>1906/07</b>	18-Mar-18	Completed
<b>Total</b>		<b>223</b>





# Document G701™ – 2001

## Change Order

<b>PROJECT (Name and address):</b> Continuum South Tower - 80494 100 South Pointe Drive Miami Beach FL	<b>CHANGE ORDER NUMBER:</b> 14 <b>DATE:</b> 11 July 2016	<b>OWNER:</b> <input type="checkbox"/> <b>ARCHITECT:</b> <input type="checkbox"/> <b>CONTRACTOR:</b> <input type="checkbox"/> <b>FIELD:</b> <input type="checkbox"/> <b>OTHER:</b> <input type="checkbox"/>
<b>TO CONTRACTOR (Name and address):</b> C.A. Lindman of South Florida, LLC 2100 N Andrews Ave. Pompano Beach, FL 33069	<b>ARCHITECT'S PROJECT NUMBER:</b> <b>CONTRACT DATE:</b> Dec 14, 2015 <b>CONTRACT FOR:</b> Building Envelope Repairs	

### THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)  
Cost to replace and reinstall white aluminum decorative panels on balcony glass where missing. Price is \$124.00 Per Panel

Time added to schedule will be based on number of panels and panel locations.

West side elevation missing pannels: 86 each.

Ordered in multiples of 9. 90 each @ 124.00 panel \$11,160.00

Drop 20: 6 panels/ 1 day

Drop 25: 26 Panels/ 3 Days

Drop 22: 9 Panels/1 day

Drop 26: 2 Panels/ 1 Day

Drop 32: 4 Panels/ 1 Day

Drop 23: 34 Panels/ 6 Days

Drop 31: 5 Panels/ 1 Day

included

Total Price

\$11,372.00 W/ bond cost

The original Contract Sum was	\$	8,598,566.38
The net change by previously authorized Change Orders	\$	123,951.72
The Contract Sum prior to this Change Order was	\$	8,722,518.10
The Contract Sum will be increased by this Change Order in the amount of	\$	11,372.00
The new Contract Sum including this Change Order will be	\$	8,733,890.10

The Contract Time will be increased by 6 (six) days.

The date of Substantial Completion as of the date of this Change Order therefore is December 21, 2017

(670 days from 15 days after contractor's receipt of permit for project. Permit was approved Jan 13, 2016)

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.



NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

Thornton Tomasetti ARCHITECT (Firm name)	C.A. Lindman of South Florida, LLC CONTRACTOR (Firm name)	Continuum South Tower OWNER (Firm name)
101 NE 3 <sup>rd</sup> Ave Suite 1170 Fort Lauderdale FL 33301	1911 NW 18 <sup>th</sup> Street, Unit 1 & 2 Pompano Beach, FL 33069	100 South Point Dr Miami Beach, FL 33139
ADDRESS	ADDRESS	ADDRESS
BY (Signature)	BY (Signature)	BY (Signature)
Vanessa Da Rocha (Typed name)	Tom H. Ray, Jr. (Typed name)	Jeany-Luke William H. Osborne III (Typed name)
DATE	8/12/16 DATE	DATE



126 total w/ 2  
exit phases

# AIA® Document G701™ – 2001

## Change Order

<b>PROJECT (Name and address):</b> Continuum South Tower - 80494 100 South Pointe Drive Miami Beach FL	<b>CHANGE ORDER NUMBER:</b> 45 <b>DATE:</b> 30 April 2017	<b>OWNER:</b> <input type="checkbox"/> <b>ARCHITECT:</b> <input type="checkbox"/> <b>CONTRACTOR:</b> <input type="checkbox"/> <b>FIELD:</b> <input type="checkbox"/> <b>OTHER:</b> <input type="checkbox"/>
<b>TO CONTRACTOR (Name and address):</b> C.A. Lindman of South Florida, LLC 2100 N Andrews Ave. Pompano Beach, FL 33069	<b>ARCHITECT'S PROJECT NUMBER:</b> <b>CONTRACT DATE:</b> Dec 14, 2015 <b>CONTRACT FOR:</b> Building Envelope Repairs	

### THE CONTRACT IS CHANGED AS FOLLOWS:

(Include, where applicable, any undisputed amount attributable to previously executed Construction Change Directives)

Replace Missing White Panels on Railing Glass for the East Side.

Drop # Needed

Drop 1 2

Drop 12 0

Drop 13 6

Drop 6 4

Drop 10 2

Drop 16 9

Drop 17 9

Drop 18 8

**TOTAL COST:** \$4,960.00

} 40 panels total

**Total:** \$5,054.24 (With Bond Cost)

The original Contract Sum was	\$	8,598,566.38
The net change by previously authorized Change Orders	\$	1,806,665.90
The Contract Sum prior to this Change Order was	\$	10,405,232.28
The Contract Sum will be increased by this Change Order in the amount of	\$	5,054.24
The new Contract Sum including this Change Order will be	\$	10,410,286.52

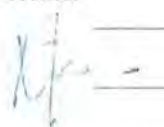
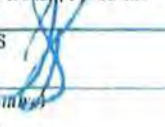
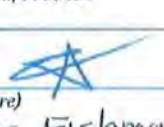
The Contract Time will be increased by 1 (One) days.

The date of Substantial Completion as of the date of this Change Order therefore is June 18, 2018

(670 days from 15 days after contractor's receipt of permit for project. Permit was approved Jan 13, 2016)

NOTE: This Change Order does not include changes in the Contract Sum, Contract Time or Guaranteed Maximum Price which have been authorized by Construction Change Directive until the cost and time have been agreed upon by both the Owner and Contractor, in which case a Change Order is executed to supersede the Construction Change Directive.

NOT VALID UNTIL SIGNED BY THE ARCHITECT, CONTRACTOR AND OWNER.

<b>Thornton Tomasetti</b> <b>ARCHITECT (Firm name)</b>  101 NE 3 <sup>rd</sup> Ave Suite 1170 Fort Lauderdale FL 33301  <b>ADDRESS</b>  <b>BY (Signature)</b>  <b>Rita Kao</b> <b>(Typed name)</b>  <b>DATE</b>	<b>C.A. Lindman of South Florida, LLC</b> <b>CONTRACTOR (Firm name)</b>  1911 NW 18 <sup>th</sup> Street, Unit 1 & 2 Pompano Beach, FL 33069  <b>ADDRESS</b>  <b>Tom H. Ray, Jr.</b> <b>(Typed name)</b>  5/15/17 <b>DATE</b>	<b>Continuum South Tower</b> <b>OWNER (Firm name)</b>  100 South Pointe Dr Miami Beach, FL 33139  <b>ADDRESS</b>  <b>Alan Fishman</b> <b>(Typed name)</b>  11/21/17 <b>DATE</b>
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## **Stephen Edwin Howes**

### *Window and Glass Consulting and Expert Witness Testimony*

2430 SW 130<sup>th</sup> Ave  
Davie, FL 33325

954-621-8868  
SteveEHowes@aol.com

### *Curriculum Vitae*

#### *Expertise*

Mr. Howes has over forty-five years of experience at the highest levels of window and glass design in the fenestration industry and holds over fifteen window and glass related patents. He is considered an unmatched expert on the design, manufacture and glazing of glass products, as well as the components, procedures, installation, testing and performance of glass, windows and doors.

#### *Summary of Qualifications*

- Inventor of the patented (2017) WorldSpacer™, worlds only polyurethane based warm edge foam spacer for insulating glass units.
- Inventor of the five-part round window system
- Inventor of the pour and de-bridge thermal window
- Inventor of the first robotic window-manufacturing concept
- Founder of Glasslam Inc.
- Founder and owner of Polymer Extrusion Technology, Inc.
- Inventor of Bevelpane™ - resin bevel reproduction for doors
- Inventor of the first hurricane impact laminated glass
- Inventor of the polymer system for hurricane impact glass
- Inventor of the polymer system for one-way ballistic glass
- Inventor of the highest design rated impact resistant glass
- Co-inventor of automated production line for insulated glass foam spacer
- Presenter at Glassex trade shows in Birmingham, England
- Presenter at Hong Kong Architectural seminars on glass and glazing features such as typhoon protection, safety and security glazing and insulating glass
- Presenter to architects, engineers, building code officials and industry peers at many Glass Association meetings and trade shows
- Combined over twenty-five year's membership in Glass Association of North America (GANA) and National Glass Association
- Author of numerous published articles on the subjects of glass, glazing and windows, in such trade magazines as Glassex, Glass and Glazing, and US Glass
- Voted, multiple times, as one of the 50 most influential people in the glazing industry by *US GLASS* magazine



- Inventor of patented UdderOne™, the world's first transparent (clear) udder liner and shell casing used in milking dairy cows

## *Experience*

1970 – 1974      Station Road Joinery Ltd, Chatham, England

Apprentice, carpenter and joiner. Specialized in wood windows, doors and staircases, and performed manner of woodworking to become a fully skilled carpenter and joiner.

1974 – 1976      Target Windows Ltd, Norwich, England

Installed aluminum windows, entrance doors and sliding patio doors, and also trained in the factory in the manufacture of the products to enable me to perform site maintenance and service work.

1976 – 1978      Stirling Windows Ltd, Maidstone, England

General manager of an aluminum window company. Responsibilities included site survey, manufacture, and installation of the company's products.

1978 – 1984      Medway Windows Ltd, Chatham, England

Founder and owner of Medway Windows, a company that Mr. Howes grew into one of the largest manufacturers and installers of windows and doors in the United Kingdom. The company employed over four hundred people, and Mr. Howes was responsible for sales, design, manufacturing, and installation of all the company's products. The company was sold to Servowarm Ltd, a subsidiary of Society General of Belgium. Mr. Howes remained with the company after the sale as Managing Director of Operations until the end of 1984 when he relocated to the United States.

1985 - 2012      Glasslam, Pompano Beach, Florida

Founder and CEO of Glasslam. Glasslam is a company specializing in research and development in the window and door industry, with its primary focus on laminated glass processes and components for the window and door industry. Glasslam sells resins and pigments for the glass industry. Mr. Howes presently offers consultation to the company.

2012 – date      Polymer Extrusion Technology, Inc., Pompano Beach, Florida and Cambridge, Ohio

Co-founder and CEO of P.E.T, a company specializing in the research and development of polymer resin systems and products. The company actively compounds silicones and sealants used in various industries. P.E.T. has developed the worlds first automated foam spacer manufacturing line. It also has developed both a new polymer and manufacturing concept for liners used in the dairy industry. P.E.T also specializes in licensing the aforementioned concepts. Mr. Howes is actively involved in the research, testing, design and management for this company.

1980 - date      Window and glass consultant and expert witness

In his window and glass consultant business, Mr. Howes specializes in field-testing, forensic investigations, insurance claims and expert witness work. He has performed hundreds of site investigations and provided opinions and reports to building owners, insurance companies, window manufacturers, window distributors, installers, contractors and component suppliers. Mr. Howes has also provided expert consultation and testimony for lawyers and their clients in litigated matters. He has been accepted as an expert in four trials regarding fenestration claims, and has provided expert services in over twenty other contested cases that settled before trial. A list of the cases and matters in which Mr. Howes has provided expert services will be provided separately.

## *Education*

1965–1970      Chatham Technical School, Chatham, Kent, England

Academy of academic excellence in higher learning concentrating on careers in development engineering.



## **STEPHEN HOWES**

***Past and present cases involving consultation,  
reports and/or testimony as Expert Witness and Consultant  
concerning aspects of Fenestration***

### **USA, UK\* & CANADA to 2018**

**Beazer Homes Corp. (Calusa Creek) v Paramount Stucco LLC., et al.** Charlotte County Civil action- number 2015- CA- 295 Zurich Claims number 9260144133 MPD File # 1106060

Lindsay G. McCormick, Attorney at Law  
201 E. Kennedy Blvd. Suite 1100 Tampa FL. 33602  
813-898-1837  
Ongoing case.

**Armour v MQ Windows 2015-2017.** Michael DeCandio –attorney  
mjdecandio@mdwgc.com  
JAMES A. ARMOUR, 4449 HOLDINGS, LLC,  
A Florida Limited Liability Company, Plaintiff vs.  
DAVID G. KARINS, an individual  
KARINS ENGINEERING GROUP, INC., A Florida Corporation; et al.,  
Trial Proceedings before the HONORABLE PETER A. DUBENSKY  
March 9, 2017 Manatee County Judicial Center 1051 Manatee Avenue West  
Bradenton, Florida. Court Testimony. Ruling in favor of our client, AIG Insurance.

**Moquin Residence 2016-2017.** James Cummings- attorney. Smith, Cambrell & Russell, LLP, Consulted, faulty windows.  
904.598.6127 phone  
904.598.6227 fax  
[www.sgrlaw.com](http://www.sgrlaw.com)  
[JCUMMINGS@sgrlaw.com](mailto:JCUMMINGS@sgrlaw.com)  
50 North Laura Street  
Suite 2600  
Jacksonville, Florida 32202  
Ongoing case.

**Weber v Alvarez. 2015-2016** Brett Henson –attorney. Case turned over to Attorney's David Preston & Sara Mapes at DGLawyers.com (Dickson & Gibbons, PA) – CASE NO.: 12-012063-F BARRY J. WEBER and TAMMY BUCK WEBER Plaintiffs,  
v.  
ALVAREZ HOMES, INC.,



a Florida Corporation, and  
ALEJANDRO SOCIAS,  
Defendants/Third-Party Plaintiff

v.

LAKESIDE PLUMBING, INC., a Florida  
Corporation, SILCOX, KIDWELL &  
ASSOCIATES, INC., a Florida Corporation,  
ALDRICH CONSTRUCTION AND  
DEVELOPMENT, INC., a Florida Corporation,  
SENICA AIR CONDITIONING, a Florida  
Corporation, QUALITY BRICK PAVERS, INC.,  
a Florida Corporation, GARCIA'S STUCCO AND

LATH, INC., a Florida Corporation, STOCK BUILDING  
SUPPLY, a Foreign Corporation, MORALES PAINTING,  
INC., a Florida Corporation, NU-AIR, a Florida Corporation,  
MURRAY FOX, INC, a Florida Corporation, OAKLEAF  
HARDWOOD FLOORING, INC., a Florida Corporation,  
CIRCLE L. ROOFING, INC., a Florida Corporation, PINNACLE  
SERVICES OF PINELLAS, INC., a Florida Corporation, PRAGMATIC  
HYDROSCIENCE, LLC., a Florida limited liability company,  
DAVE'S ALUMINIUM PRODUCTS, INC., a Florida  
corporation, GREENO CONSTRUCTION, a Florida  
Corporation, JC CONSTRUCTION, INC., a Florida Corporation.  
Ongoing case.

**Community School Fort Meyers. 2016-2017.** Kevin Coleman- attorney. Partner;  
Coleman, Yovanovich, Koester. Naples, Florida. 239-435-3535. Consulted on new  
window construction. Conducted preemptive analysis and repair guidance prior to  
issuance of certificate of occupancy.

**Levine vs. Twin Windows Naples. 2015-2017.** George Gift -attorney-  
CYKLAWFIRM.com Knott, Ebelini, Hart Law firm. CASE NO.: 14-CA-991

RONALD LEVINE, an individual,  
Plaintiff,

vs.

HEMMER CONSTRUCTION, INC., a Florida  
corporation; DANIEL HEMMER, an individual;  
MUDSLINGERS INC., a Florida corporation;  
NEW ERA BUILDING, INC., a Florida  
Corporation; and RICARDO REINALDO a.k.a  
REINALDO RICARDO, an individual,  
Defendants. Settled 2017.



**Beazer Homes Corp. (SHERWOOD) v. United Subcontractors, Inc. AND Calusa Creek V. United Subcontractors (Leigh Acres & Punta Gorda) 11/2016 to present.** Lindsay McCormick- Attorney– firm: Marshall, Dennehey, Warner, Coleman and Gog. Ongoing case.

**Alta Mar vs. TM Windows** Robert G. Terrell, Esq. Attorney.  
Quintairos, Prieto, Wood & Boyer, P.A.  
13350 Metro Parkway, Suite 304  
Fort Myers, Florida 33966  
Telephone: (239) 690-5065  
Facsimile: (239) 690-5066  
Email: [rterrell@gpwblaw.com](mailto:rterrell@gpwblaw.com)  
Case settled in April 2017.

**Hoffecker V. Keefer.** Alex Cvercko attorney- Cvercko & Associates, P.A. 2015-2017  
[Alex@Cverckolaw.com](mailto:Alex@Cverckolaw.com) St. Johns County Case #2014-CA-0437  
Case # CA14-0437 Division: 55 Circuit court of the seventh Judicial Circuit in and for St. Johns County, Florida St. Augustine court house. Bench trial, awaiting verdict.

**MQ Windows v. Pugliese** April 2015 - August 2015 Gulfstream, FL. On behalf of MQ Windows retained by Michael DeCandio, Esq., Marshall, Dennehey, Warner, Coleman & Coggin, P.C., 200 W. Forsyth Street, Suite 1400, Jacksonville, FL 32202;  
[midecandio@mdwcg.com](mailto:midecandio@mdwcg.com). Case #2009 CA 028422 XXXMB Al. Court testimony & Deposition (May 11, 2015). Case settled after deposition of expert witness.

**Levine Residence** November 2014 to present. Retained by Matthew M. Jackson, Esq. Coleman, Yovanovich & Koester, PA 4001 Tamiami Trail North, Suite 300 Naples, Florida 34103 on behalf of homeowner Levine. Consulting and reports on defective fenestration continue as case is ongoing.

**Oak Hammock v Elite Aluminum** Sept 2013 to present. Hired by Mark Crouch, Praxeis, LLC. Sr. Construction Representative, 4250 Lakeside Dr. Suite 214, Jacksonville, FL 32210. 904-861-0015. Consulting and analysis of faulty windows.

**Lumivisions Architectural Elements v. TSI Architectural Metals** September 18, 2014 v. June 2015. Retained by Aaron Knights, Kalbian, Hagerty. 888 17th St NW, Suite 1000, Washington, DC 20006 Case #2014 CA 001869B Judge John Mott. Case settled after expert witness negotiations. (Attorney Knights can be now reached at 1-202-457-5159 as principal at Squire Patton Boggs, LLP. 2550 M Street, NW Washington, DC 20037) [Aaron.knights@squirepb.com](mailto:Aaron.knights@squirepb.com) TSI withdrew the case.



**Cover Industries v. Guardian Industries** September-October 2014 Expert Witness for Guardian Industries. Insulating Glass Failures of Industries Cover, Inc. Gestion J&N Boudreault Inc. v. Guardian Industries Canada Corp. et al. Miller Thompson LLP 1000 De La Gauchetiere St West Suite 3700 Montreal, QC H3B 4W5 Canada File No. 192194.0001 Court testimony in Canadian Court.

**Cocoa Beach Hilton v. H & B Glass** April-May 2014. Expert witness for claims against H&B Glass. Ronald L. Harrop of Wilson, Elser, Moskowitz, Edelman & Dicker LLP Attorney at Law. 111 North Orange Avenue Suite 1200 Orlando, FL 32801 Settled out of court.

**Thompsons I.G. v Edegetech I.G.** September 2012- 2013 Rita M. Lauer, Esq. Winegarden, Haley, Lindholm & Robertson, P.L.C. G-9460 S. Saginaw Street, Suite A Grand Blanc, MI 48439 Expert Witness for Thompson IG LLC v. Edgetech IG Inc. – Failed Insulating Glass Units with Super Spacer product. Court testimony.

**John Hogwood, Wigmore Road, Rainham, Kent U.K.** Expert Witness for John Hogwood in insulating glass and sliding doors. Home Inspection, expert reports High Court testimony in London.

**Clearview Industries V. Householder** Lake County, Florida. Case # 2002-CA-3239 Attorney: Gray Harris Attorney at Law. Contact: Michael K. Wilson Clearview Industries, 603 Central Florida Parkway, Suite 101 Orlando, Florida 32824 Carried out home inspection, reports on the following: Laminated Glass, Vinyl Windows, Doors and Hardware. Court testimony.

**Lougheed Resource Group, INC.** Allan Lougheed, Architectural & Construction Consulting 17608 Deer Isle Circle Winter Garden, Florida 34787 Called upon on many occasions as window consultant dealing with such matters as, construction of windows, problems with windows, site visits and test reports, many of which were/are in litigation.

[Allan@lrgconstruction.com](mailto:Allan@lrgconstruction.com)

**Moye, O'Brian, O'Rourke, Pickert & Martin, LLP** Contact: Stephen W. Pickert, ZOM Kensington Ltd. V. Summit Contractors, Inc., RE: OAKMONTE APARTMENTS, 1311 Villa Prima Way, Lake Mary, Florida Site Inspections, water testing, reports & deposition.

**Moye, O'Brian, O'Rourke, Pickert & Martin, LLP** Contact: Anthony R. Kovalcik RE: LAKEPOINT APTS., V. Roger Kennedy Construction Site inspection, reports, on site water testing, second inspection and further reports.



**Daniel Webster, P.A.** 149 S. Ridgewood Ave., Suite 500 Daytona Beach, Florida 32114 RE: CAMDEN LEE VISTA Review all test reports, site visit, and write expert opinion.

**Winsteadechrest & Minick, P.C.** 2400 Bank One Center, 910 Travis Street Houston, TX 77002 RE: BEESON V. BISON BUILDING MATERIAL Inspection, read deposition reports, and supplied expert opinion reports.

**Law Office of Douglas Polk Jr.** Contact: Christopher Fay 1001 Heathrow Park Lane, Suite 1019 Lake Mary, Florida 32746 RE: ALEXANDRA ARMSTRONG V. SMITH Reading affidavit of George A. Pecorara, George W. Zimmerman & Monique Jackson. Give reports and deposition regarding safety glazing codes.

**Andrew Smith, Centex Homes** 10210 Highland Manor Drive, Suite 100 Tampa, Florida 33610 RE: HARBOURSIDE Meetings with contractor to discuss problems with windows and gave reports on same.

**Randy Jones, Centex Homes** 385 Douglas Avenue, Suite 2000 Altamonte Springs, Florida 32714 RE: SKYRIDGE VALLEY Inspection and attended water testing. Gave reports on the same.

**Wellbaum, Guernsey, Hingston, Greenleaf, Gregory, Black, Rune & Thomas, L.L.P.** 901 Ponce de Leon Blvd., Penthouse Suite Coral Gable, Miami, Florida 33134 RE: ALLIANCE CONSTRUCTION, INC. V. ATRIUM COMPANIES, INC. Case # 02-21856 CA 01 Inspection on windows and gave expert reports. Case settled out of court.

**Safeco Insurance Co.** P.O. Box 100027 Deluth, GA 30096 RE: Hansen Residence, 6560 S.E. South Marina way Stuart, Florida 34996 Inspect hurricane damaged windows and gave a report to the insurance company.

**Weiss, Serota, Helfman, Cole & Bierman, P.L** 200 E. Broward Blvd., Suite 1900, Fort Lauderdale, FL 33301 Case: FOX Windows, Westlake Apartments. 100 Cardinal Cove Circle Sanford, Florida 32771 Contact: Gary L. Brown, Partner. Board Certified in Construction Law. Now with Saul, Ewing, Arnestein & Lehr, LLP. 200 East Las Olas Blvd., Suite 1000, Fort Lauderdale, FL 33301. Case settled after mediation.

\*partial list of UK cases.



## Steve Howes

June 1, 2018

Window/Fenestration Consultant  
2430 SW 130<sup>th</sup> Ave  
Davie, FL 33325  
954-621-8868



### SUBJECT:

Balconies 100 South Point Drive.  
Continuum on South Beach South Tower Condominium, Miami Beach, Florida.

Continuum Condominium Association requested I visit the building and inspect the glass balcony railings and give my opinions, in particular to the metal panels used as a decorative kick plate adhered by pressure sensitive foam tape to the bottom of the fully tempered glass railings.

The balconies are an aluminum and tempered glass system captured top and bottom. I inspected several balconies that had the kick plates removed and some which the kick plate was still attached. I also inspected the panels and foam tape itself. There is evidence of the acrylic tape losing its bond to the painted panels and also the paint coming off the metal. In addition, there are metal panels removed showing the foam tape that had delaminated from the tempered glass.

It was reported to me that over 20 metal panels of this 41-story building had come off the glass balcony railings. I believe this problem, as described to me, will be an on-going problem as this railing system was not designed to have metal kick panels held with pressure sensitive foam tape. Acrylic foam tape is not intended to hold heavy metal kick plates in a high wind, high ultra-violet, high salt environment.

It is my opinion there is no way of structurally fixing the decorative kick plates permanently to the glass without creating a much larger potential danger to people and property around the vicinity of this building, i.e. panels falling off the building to the ground below. That in itself is extremely dangerous, but to then structurally adhere the panels as recommended by staff (page 7 of 7) would create a massive problem, which I will explain.



Fully tempered glass, while being four times the structural (wind) load comparing it to annealed (float) glass, can break easily. It can have spontaneous breakage. Also, breakage can be caused by uneven tempering, small missile breakage- such as stones or birds flying in high winds- and even a small impact to the edge of the glass can cause breakage.

Tempered glass gets its "Safety Glass" label because of its break-pattern, which is to break into very small pieces which then disintegrates and stays in place or falls out of the frame into small pieces, therefore giving much less likelihood of injury or death in the event of a falling glass incident.



An example of tempered glass in its correct break pattern

If metal panels are structurally adhered to the tempered glass and the glass breaks, it would be possible for large size pieces of glass, attached to the panels, to fall from the building, therefore, the railing system would not meet any code or safety glass certification.

In reference to the letter from the Design Review Board which reads:  
*"Staff STRONGLY recommends (page 7 of 7) that the applicant be required to reintroduce the architectural metal panels into the balcony system in a manner that meets all structural wind-load codes. There is no doubt that this can accomplished in a code compliant manner"*.

It is my opinion, regarding the above statement, that the only way to do as "staff recommends", is to totally replace the current railing system with a newly designed, code compliant, impact resistant railing system.

Stephen E. Howes  
Consultant in Fenestration



# Bronislaus P. Taurinski, P.E., P.A

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## Education

Hartford State College  
Hartford, Connecticut

### **Associates Degree in Structural Engineering**

- Graduated – 1966

## Florida Licenses

Professional Engineer - #33255                      C.A.# 27184

Special Inspector - #269

## Professional Experience

1966 to 1972                      Combustion Engineering  
Windsor Locks, Connecticut

- The structural design of steel frames for power plants.

1972 to 1984                      N. G. Dracos & Associates  
Boca Raton, Florida

- The structural design of public and commercial projects. The design of residential pile foundations, pile logging services, Florida Threshold inspections, swimming pool design, and Architectural mark-ups.

1984 to Present                      B. P. Taurinski Structural Engineers  
Boca Raton, Florida

- Structural design engineer with over 43 years experience in the State of Florida in multistoried buildings and industrial facilities with a complete knowledge of the Florida code requirements. The structural design of public and commercial projects. The design of residential pile foundations, pile logging services, threshold inspections, swimming pool design, concrete restoration, concrete restoration with the application of cathodic protection systems and Architectural mark-ups and design.

## Professional memberships

- Southern Building Code Congress International, Inc.
- American Concrete Institute
- Concrete Reinforcing Steel Institute
- National Society of Engineers
- International Concrete Repair Institute

730 S. Deerfield Ave., Suite 1 • Deerfield Beach, Florida 33441

Office: 954-418-3100      Fax: 954-418-3986      E-mail: [taurinski@bellsouth.net](mailto:taurinski@bellsouth.net)



**Partial List Of  
Completed  
Engineered  
Structures**

*(Not Restoration)*

**Boca Bank Building**  
Powerline & Palmetto  
Boca Raton, Florida  
8 Story Concrete Bld'g

**Office Depot**  
Glades Road  
Boca Raton, Florida  
4 Story Steel Bld'g

**Carl's Furniture**  
North Federal Highway  
Boca Raton, Florida  
2 Story Steel Bld'g

**Compson Office Building**  
North Federal Highway  
Boca Raton, Florida  
4 Story Concrete Bld'g

**Cloisters Beach Tower**  
1200 South Ocean Blvd.  
Boca Raton, Florida  
20 Story Concrete Bldg.

**Country Isles Plaza (Phase II)**  
Arvida's Weston  
Fort Lauderdale, Florida  
1 Story Steel Shopping Center

**Cypress Centre Office Bldg.**  
Cypress Creek & I-95  
Fort Lauderdale, Florida  
6 Story Concrete Bld'g &  
Parking Structure

**Barry Plaza Office**  
Southeast 5<sup>th</sup> Street  
Boca Raton, Florida  
5 Story Concrete Bld'g &  
Parking Structure

**The Shore Club Condo.**  
1901 North Ocean Blvd.  
Ft. Lauderdale, Florida  
15 Story Concrete Bldg. &  
Parking Structure

**Cornish Condominium**  
A1A  
Boca Raton, Florida  
8 Story Concrete Bldg. &  
Parking Garage

*Please feel free to contact my office to obtain a lengthier list.*



730 South Deerfield Avenue, Suite 1 & Bay 2  
Deerfield Beach, Florida 33441  
E-Mail: [taurinski@bellsouth.net](mailto:taurinski@bellsouth.net)  
Fax: (561) 997-7785  
(561) 997-6141  
C.A. No. 27184

### Partial List of In Progress Projects

1. **Eric Wheeler, Property Manager**      **305-216-2692**  
Portofino Towers Condominium  
300 South Pointe Drive  
Miami Beach, Florida 33139  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Window Frames and Railings.  
General Contractor:    Capital Contractor Services, Inc.
  
2. **Gigi Tajabini**      **786-488-5001**      **Has Financing**  
**Eliseo Guerra**      **305-773-4838**  
Carriage Club North Condominium  
5005 Collins Avenue  
Miami Beach, Florida 33140  
Parking Garage, Building Structure Concrete Restoration, painting and Waterproofing Project  
Installation of new coating, Installation of new glass railings, Installation of hurricane impact windows and doors  
General Contractor:    Contracting Specialist, Inc. (CSI)
  
3. **Eric Wheeler, Property Manager**      **305-534-4422**  
Portofino South Pointe Master Association  
300 South Pointe Drive  
Miami Beach, Florida 33139  
Two levels of parking garage, two pool decks, tennis courts, dog park, porte-cochere, common area concrete restoration, waterproofing and painting.  
General Contractor:    Capital Contractor Services, Inc.
  
4. **Mary McFadden, Property Manager**      **954-781-0350**      **Has Financing**  
Sea Monarch Condominium  
111 Pompano Beach Blvd.  
Pompano Beach, Florida 33062  
Parking Garage, Building Structure Concrete Restoration, painting and Waterproofing Project  
Installation of new coating, Installation of new glass railings,  
General Contractor:    Contracting Specialist, Inc. (CSI)



730 South Deerfield Avenue, Suite 1 & Bay 2

Deerfield Beach, Florida 33441

E-Mail: [taurinski@bellsouth.net](mailto:taurinski@bellsouth.net)

Fax: (561) 997-7785

(561) 997-6141

C.A. No. 27184

### Partial List of Current Projects - Recently Completed

1. **Rick Silverman, Vice President**      **978-764-3180**  
Trafalgar One Condominium  
1400 South Ocean Drive  
Hollywood, Florida 33019  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Catwalks and Exterior of Building - Concrete and Steel Structure
  
2. **Chris Serena, Property Manager**      **561-601-7446**      **Has Financing**  
Dune Deck Condominium  
3610 South Ocean Blvd  
South Palm Beach, Florida 33480  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Exterior of Building, Parking Garages, Pool Deck and Recreation Deck- Concrete, Steel and Post-Tension Structure
  
3. **Mark Hubscher, President**      **210-912-4661**      **Has Financing**  
Avant Garde Condominium Association, Inc.  
2017 South Ocean Drive  
Hallandale, Florida 33009-6627  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Catwalks and Exterior of Building /  
Installation of New Metal Railing System at Select Locations - Concrete and Steel Structure  
General Contractor:      Carey Construction
  
4. **Michele Fox**      **561-843-3898**      **Repeat Client**  
**Penthouse Towers Condominium**  
3101 South Ocean Blvd.  
Highland Beach, Florida 33487  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Catwalks and Exterior of Building /  
Installation of New Metal Railing System - Concrete and Steel Structure  
General Contractor:      Restore Construction Group
  
5. **Joe Strizack, Property Manager**      **321-217-4752**      **Repeat Client**  
The Brighton Condominium  
2000 South Ocean Blvd.  
Highland Beach, Florida 33482  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies and Exterior of Building



### Partial List of Completed Projects

1. **Joe Tocci**            **954-445-0227**            **Repeat Client**  
**The Hemispheres Condominium**  
1980 South Ocean Drive  
Hallandale Beach, Florida 33009-5949  
Four (4) High-Rise Concrete Restoration/Painting/Waterproofing Balconies and Exterior of Building / Installation of New Metal Railing System - Concrete and Steel Structure  
General Contractor:    National Preservation Systems
2. **Bob Hinckley**            **305-205-8259**            **Repeat Client**  
**Brickell Biscayne Condominium**  
150 Southeast 25<sup>th</sup> Road  
Miami, Florida 33129  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies and Exterior of Building  
General Contractor:    Restore Construction Group
3. **Sandy Portugal**            **954-454-4311**            **Has Financing**  
**Clifton Condominium Association, Inc.**  
3161 South Ocean Drive  
Hallandale, Florida 33009  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Catwalks and Exterior of Building / Installation of New Metal Railing System at Select Locations - Concrete and Steel Structure  
General Contractor:    Maxim Construction
4. **Pia Dugger, Property Manager**  
**Highland Beach Club**  
3600 South Ocean Blvd.  
Highland Beach, Florida 33487  
Two (2) High-Rise Structures, Four (4) Townhomes, Clubhouse, Three (3) Garage Structures: Painting/Waterproofing/Concrete Restoration, Balconies, Exterior of the Structures
5. **Victor Sala**            **305-682-0091**            **Repeat Client**  
**Aventura Beach Club**  
19201 Collins Ave  
Sunny Isles, Florida 33160  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies and Exterior of Building  
General Contractor:    Contracting Specialists, Inc. (CSI)



# B. P. Taurinski

## Structural Engineers

730 South Deerfield Avenue, Suite 1 & Bay 2  
Deerfield Beach, Florida 33441  
E-Mail: [taurinski@bellsouth.net](mailto:taurinski@bellsouth.net)  
Fax: (561) 997-7785  
(561) 997-6141  
C.A. No. 27184

7. **Ron Stroia**                      **305-532-5057**  
**Lincoln Bay Towers**  
1450 Lincoln Road  
Miami Beach, Florida 33139  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Catwalks and Exterior of Building /  
Installation of New Metal Railing System - Concrete and Steel Structure  
General Contractor:    Florida's Choice Contracting
  
8. **Barbara Alvarez**              **954-600-5209**              **Has Financing**  
**Parker Tower Condominium**  
3140 S Ocean Drive  
Hallandale Beach, FL 33009  
High-Rise Concrete Restoration/Painting/Waterproofing Balconies, Catwalks and Exterior of Building /  
Installation of New Metal Railing System at Select Locations - Concrete and Steel Structure  
General Contractor:    American Construction
  
9. **Jerry Chambers**              **954-812-5669**  
**Marbella Condominium**  
250 South Ocean Blvd.  
Boca Raton, Florida 33432  
High-Rise Concrete Restoration/Painting/Installation of Cathodic Protection System at the Balconies, Catwalks  
and Exterior of Building / **Installation of New Hurricane Impact Windows and Doors** / Installation of New Glass  
Railing System - Concrete and Steel Structure  
General Contractors:    Phoenix Concrete Restoration - Concrete, Cathodic & Painting/Waterproofing  
                                 POMA Construction - New Glass Railing Installation



### Completed Restoration Project Partial List of References

#### **GROVE ISLE CONDOMINIUM**

One Grove Isle Drive

Coconut Grove, Florida 33133

Contact: Saul Bezares, Manager

305-858-1207

#### **SAILBOAT CAY CONDOMINIUM**

13499 Biscayne Blvd.

North Miami, Florida 33181-2043

Contact: Alan Goldberg

305-372-1100 ext. 13

#### **PENTHOUSE TOWERS CONDO.**

3101 South Ocean Blvd.

Highland Beach, Florida 33487

Contact: Michelle Fox, Manager

561-278-8092

#### **POINT OF AMERICA II**

2200 South Ocean Lane

Fort Lauderdale, Florida 33316

Contact: Mercedes Pimental, Manager

954-522-5446

#### **MCZ DEVELOPMENT**

1555 North Sheffield Avenue

Chicago, IL 60622

Contact: Michael DePoy, Owner

312-925-0520

#### **AVENTURA BEACH CLUB**

19201 Collins Ave

Sunny Isles Beach, FL 33160-2202

Contact: Victor Sala, Manager

305-682-0091

#### **BRICKELL BISCAYNE CONDOMINIUM**

150 Southeast 25<sup>th</sup> Road

Miami, Florida 33129

Contact: Bob Hinckley, Manager

305-854-1525

#### **SILVER THATCH INTERCOASTAL**

521 North Riverside Drive

Pompano Beach, Florida 33062

Contact: George D'Amore, President

954-781-3600

#### **RONEY PALACE HOTEL\*\***

2301 Collins Avenue, Suite M117

Miami Beach, Florida 33139

Contact: Keith Simpson - SCI

305-216-9994

#### **THE HEMISPHERES CONDO.**

1980 South Ocean Drive

Hallandale, Florida 33009

Contact: Diego Leon, Manager

954-457-9732

#### **LEISURE SHORES CONDO.\*\***

3201 N E 14th Street

Pompano Beach, Florida 33062

Contact: Ray Kathmeyer

954-798-1614

#### **ATLANTIC OCEAN CLUB\*\***

4020 Galt Ocean Drive

Ft. Lauderdale, Florida 33308

Contact: Rose Guttman, President

954-946-2060

#### **THE RELATED GROUP**

10275 Collins Ave

Bal Harbour, FL 33154

Contact: Michael Aouad

305-321-1127

#### **GARDEN AIRE CONDOMINIUM**

2731 Northeast 14<sup>th</sup> Street

Pompano Beach, Florida 33062

Contact: Franny Foy, President

610-322-7627

**\*\*Cathodic Protection Project**



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(561) 997-6141  
C.A. No. 27184

### Completed Window/Door Replacement Project Partial List of References

#### **SILVER THATCH CONDO.**

521 North Riverside Drive  
Pompano Beach, Florida 33062  
Contact: George D'Amore, Pres.  
954-781-3600

#### **RESIDENCES CONDOMINIUM**

3000 & 3001 South Ocean Drive  
Hollywood Beach, Florida 33019  
Contact: Dave Castle/Mike Jackson  
954-461-8143

#### **FLAMINGO SOUTHBEACH**

1504 Bay Road  
Miami Beach, Florida  
Contact: Michael DePoy, Owner  
312-925-0520

#### **BRAEMAR CONDO.**

4740 South Ocean Blvd.  
Highland Beach, Florida  
Contact: Ron Yates  
561-395-2339

#### **CARRIAGE CLUB CONDOMINIUM**

5005 Collins Avenue  
Miami Beach, Florida  
Contact: Gigi Talgibini  
786-488-5001

#### **HARBOUR HOUSE CONDO.**

10275 Collins Avenue  
Bal Harbour, Florida 33154  
Contact: Mike Jackson, Straticon  
954-461-8143

#### **AMBASSADOR HOTEL**

4000 South Ocean Drive  
Hollywood Beach, Florida 33019  
Contact: Dave Castle/Mike Jackson  
954-461-8143

#### **THE MARBELLA CONDOMINIUM**

250 South Ocean Blvd.  
Boca Raton, Florida 33432  
Contact: Jerry Chambers, Property Mgr.  
561-368-2896

#### **THE TIDES**

4001 South Ocean Drive  
Hollywood Beach, Florida 33019  
Contact: Dave Castle/Mike Jackson  
954-461-8143



# B. P. Taurinski

## Structural Engineers

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Deerfield Beach, Florida 33441

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Fax: (954) 418-3986

(954) 418-3100

C.A. No. 27184

December 20, 2017

Building Official  
Miami Beach Building Department  
100 South Pointe Drive  
Miami Beach, Florida

Re: Continuum South Tower – 100 South Pointe Drive  
42-Story High-Rise  
Emergency Glass Railing System  
Repairs Due to Flying Metal Façade  
Process #BC1705997

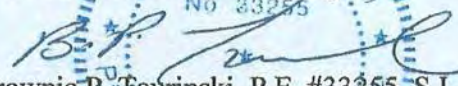
Dear Building Official,

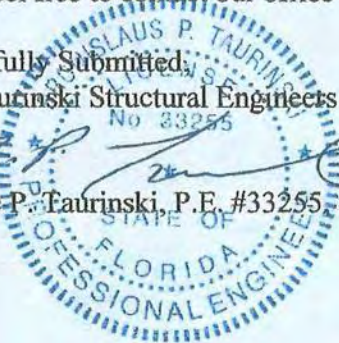
The existing glass railing has an existing break metal façade that was fastened to the glass within the glass railing system through-out the building. During the original construction of the building this break metal was fastened to the glass with non-commercial grade double stick tape, which is and has failed through-out the building. Currently pieces have fallen off the building as flying projectiles, and continue to delaminate from the glass causing a life/health and safety issue for the residence and the public.

Our professional recommendation is that the break metal panels must be removed from the glass railing system immediately.

Please feel free to contact our office with any and all questions/comments.

Respectfully Submitted,  
B. P. Taurinski Structural Engineers

  
Brownie P. Taurinski, P.E. #33255, S.I. #269





**From:** Ronald Starkman  
**To:** [William Osborne](#); [Lynn Mathon \(taurinski@bellsouth.net\)](#); [Michael Larkin](#)  
**Subject:** Fwd: SOFNA Passes Resolution on DRB18-0226, 100 South Pointe Drive  
**Date:** Thursday, May 31, 2018 7:27:34 PM

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FYI. Good luck on June 5th.

Ron

----- Forwarded message -----

**From:** Ronald Starkman <[rpstarkman@gmail.com](mailto:rpstarkman@gmail.com)>  
**Date:** Thu, May 31, 2018 at 7:26 PM  
**Subject:** SOFNA Passes Resolution on DRB18-0226, 100 South Pointe Drive  
**To:** James Bodnar <[jbodnar-drb@jbodnar.com](mailto:jbodnar-drb@jbodnar.com)>, Katie Phang <[kphang@bergersingerman.com](mailto:kphang@bergersingerman.com)>, Annabel Delgado <[annabeldh.drb@gmail.com](mailto:annabeldh.drb@gmail.com)>, Elizabeth Camargo <[ecamargoDRB@gmail.com](mailto:ecamargoDRB@gmail.com)>, Deena Bell <[deenabellllewellyn@gmail.com](mailto:deenabellllewellyn@gmail.com)>, Michael Steffens <[mike@nevillesteffens.com](mailto:mike@nevillesteffens.com)>, Marvin Weinstein <[MWeinstein@attorneysmiamibeach.com](mailto:MWeinstein@attorneysmiamibeach.com)>  
**Cc:** "Mooney, Thomas" <[thomasmooney@miamibeachfl.gov](mailto:thomasmooney@miamibeachfl.gov)>, Clare McCord <[claremccord@earthlink.net](mailto:claremccord@earthlink.net)>, Frank Del Vecchio <[fdelvecchio@atlanticbb.net](mailto:fdelvecchio@atlanticbb.net)>, Dawn McCall <[dmccall190@aol.com](mailto:dmccall190@aol.com)>, Michael DiFilippi <[mikedyourealtor@gmail.com](mailto:mikedyourealtor@gmail.com)>, Patrick Groenendaal <[pkfgdesign@gmail.com](mailto:pkfgdesign@gmail.com)>, Pamela <[PamelaBrumer@allstate.com](mailto:PamelaBrumer@allstate.com)>

Dear Members of the Design Review Board:

The Board of the South of Fifth Neighborhood Association (SOFNA) fully supports the application by the Continuum Condominium Association to remove the metal panels along the balcony railings and retain all clear glass railings.

**South of Fifth Neighborhood Association Board of Directors:**

Ronald Starkman, President  
Clare McCord, Vice President  
Patrick Groenendaal, Treasurer  
Dawn McCall, Secretary  
Pamela Brumer  
Frank Del Vecchio  
Michael DiFilippi



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