

HISTORIC PRESERVATION BOARD
FINAL SUBMITTAL

January 7th, 2019
STA Project #3801

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M I L A
800 LINCOLN RD.
Miami Beach, FL 33139

SCOPE OF WORK

- Interior build-out of recently constructed shell space on ground floor into a restaurant Lobby, elevator foyer.
- Interior build-out of recently constructed shell space on third floor of existing building into a restaurant: All new finishes and equipment for inside bar, dining room, kitchen and restrooms. Including mechanical, electrical, structural and plumbing work as required.
- Exterior build-out of recently constructed terrace space on third floor of existing building into a restaurant. New landscape, hardscape. All new finishes and equipment for outside bar, fountain, dining area. including mechanical, electrical, structural and plumbing work as required.



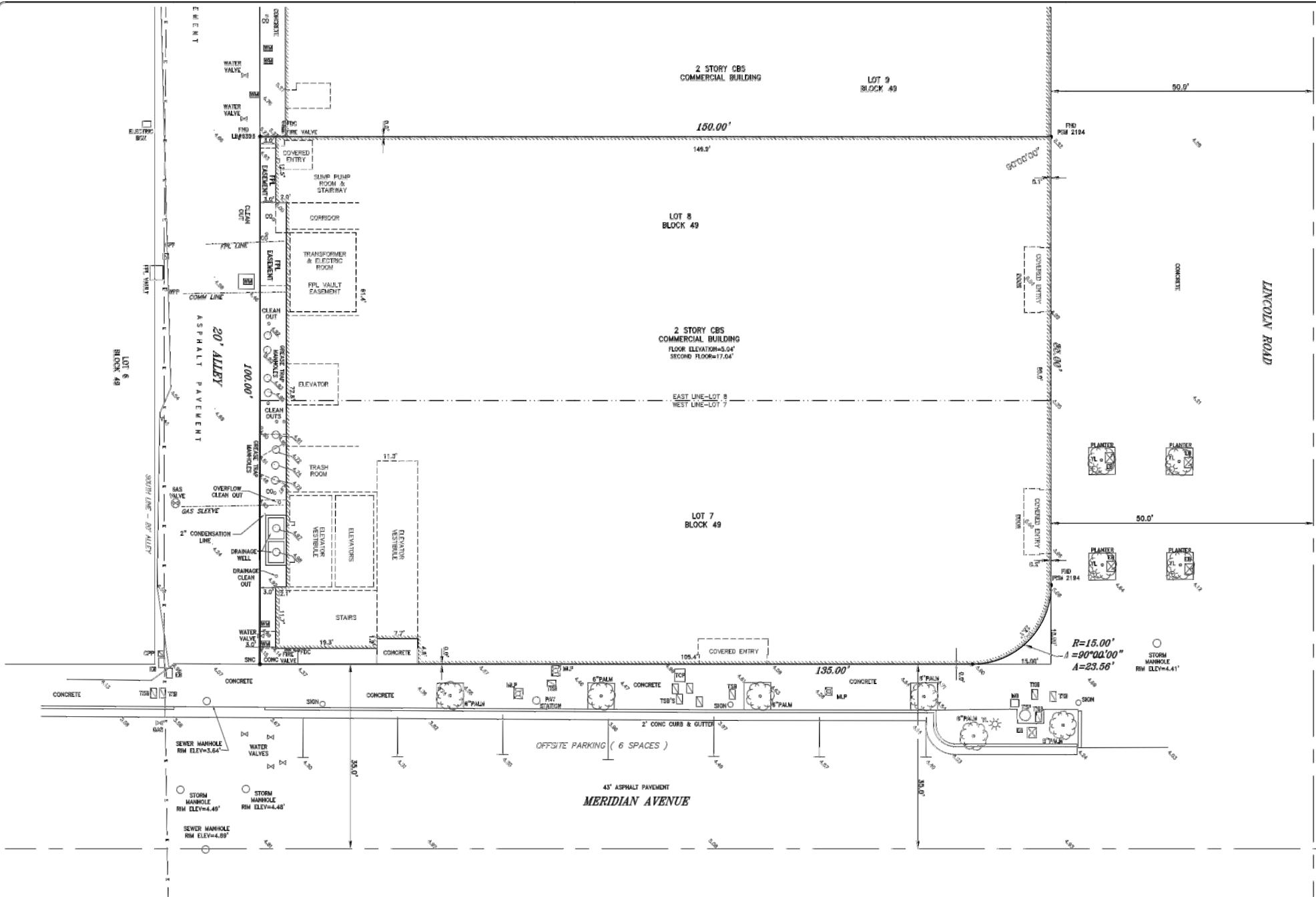
SKETCH OF SURVEY

- LEGEND:
- CKD CHECKED BY
CONC CONCRETE
DWN DRAWN BY
FB/PG FIELD BOOK AND PAGE
SIR SET 5/8" IRON ROD & CAP #5448
SNC SET NAIL AND CAP #5448
FIR FOUND IRON ROD
FIP FOUND IRON PIPE
FNC FOUND NAIL AND CAP
FND FOUND NAIL & DISC
P.B. PLAT BOOK
M/D.C.R. MIAMI/DADE COUNTY RECORDS
-E- OVERHEAD ELECTRIC LINES
INV INVERT ELEVATION
WM WATER METER
-X- CHAIN LINK/ WOOD FENCE
ELEV ELEVATION
CBS CONCRETE BLOCK STRUCTURE
EB ELECTRIC BOX
TSB TRAFFIC SIGNAL BOX
TCP TRAFFIC CONTROL PANEL
BFP BACK FLOW PREVENTER
CO CLEAN OUT
COMM COMMUNICATION
NTS NOT TO SCALE
R RADIUS
Δ CENTRAL ANGLE
A ARC LENGTH

- NOTES :
- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
 - THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
 - UNDERGROUND IMPROVEMENTS NOT SHOWN.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
 - BENCHMARK REFERENCE : MIAMI/DADE COUNTY BENCHMARK # A-35 ELEVATION = 7.34'
 - LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.

I HEREBY CERTIFY THAT THE "SKETCH OF SURVEY" OF THE HEREON DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD UNDER MY DIRECTION IN DECEMBER, 2018. I FURTHER CERTIFY THAT THIS SURVEY MEETS THE STANDARD OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA ACCORDING TO CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN THOSE SHOWN HEREON, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

FOR THE FIRM, BY: _____
RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 4188
SURVEY DATE : 12/12/18



LAND DESCRIPTION:
LOTS 7 AND 8, BLOCK 49 OF "LINCOLN SUBDIVISION",
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT
9, AT PAGE 69 OF THE PUBLIC RECORDS OF MIAMI/DADE
COUNTY, FLORIDA.

FLOOD ZONE INFORMATION			
COMMUNITY NUMBER	120651		
PANEL NUMBER	0317 L		
ZONE	AE		
BASE FLOOD ELEVATION	8		
EFFECTIVE DATE	09/11/09		

COUSINS SURVEYORS & ASSOCIATES, INC.
3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :
PLAZA
CONSTRUCTION

800 LINCOLN ROAD
MIAMI BEACH, FLORIDA 33139

REVISIONS	DATE	FB/PG	DWN	CKD
BOUNDARY AND IMPROVEMENTS SURVEY	06/06/16	SKETCH	AM	REC
ADDED DIMENSION TO 20' ALLEY	07/20/16	SKETCH	JB	REC
REVISED FLOOR ELEV./ADDITIONAL GRADIES	11/11/16	SKETCH	JB	REC
ADDED TREES AND DESCRIPTIONS TO SURVEY	03/08/18	SKETCH	CE	REC
REVISED TREE LIST	06/27/18	SKETCH	JB	REC
SHOW INSIDE FACE OF CURVED WALL	06/12/17	SKETCH	JB	REC

REVISIONS	DATE	FB/PG	DWN	CKD
HELICAL PILE AS-BUILT	06/06/16	SKETCH	AM	REC
ADDED TIES TO CONTROL LINES FROM HELICAL PILES	07/20/16	SKETCH	JB	REC
ADDED MISSING PILE	07/26/17	SKETCH	JB	REC
UTILITY LOCATION ALONG THE NORTH SIDE OF THE ALLEY	03/14/18	DATA/COLL	REC	REC
FINAL SURVEY	12/12/18	DATA/COLL	JB	REC

PROJECT NUMBER : 7615-18

SCALE : 1" = 10'

SHEET
1
OF
1
SHEET



MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	800 LINCOLN ROAD, MIAMI BEACH, FL 33139		
2	Board and file numbers :			
3	Folio number(s):	02-3234-002-0320		
4	Year constructed:	EXIST-1935, ADDITION	Zoning District:	CD-3 (COMMERCIAL HIGH INTENSITY DISTRICT)
5	Based Flood Elevation:	AE 8.00' NGVD	Grade value in NGVD:	AE 8.00' NGVD
6	Adjusted grade (Flood+Grade/2):	9.00' NGVD	Lot Area:	15,000 SF
7	Lot width:	100'	Lot Depth:	150'
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	ASSEMBLY	Proposed use:	ASSEMBLY

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	43'-6"	43'-6" (NO CHANGE*)	N/A
11	Number of Stories	5	3	3 (NO CHANGE*)	N/A
12	FAR	33,750 SF	33,131 SF	33,131 SF (NO CHANGE *)	N/A
13	Gross square footage	N/A	N/A	N/A	N/A
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	N/A	N/A	N/A	N/A
16	Number of units Hotel	N/A	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	N/A
20	Side Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	N/A	N/A
	At Grade Parking:				
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
	Pedestal:				
29	Front Setback:	0'-0"	0'-0"	0'-0" (NO CHANGE *)	N/A
30	Side Setback:	0'-0"	0'-0"	0'-0" (NO CHANGE *)	N/A
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street:	0'-0"	0'-0"	0'-0" (NO CHANGE *)	N/A
33	Rear Setback:	5'-0"	3'-0"	3'-0" (NO CHANGE *)	N/A
	Tower:				
34	Front Setback:	N/A	N/A	N/A	N/A
35	Side Setback:	N/A	N/A	N/A	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A
38	Rear Setback:	N/A	N/A	N/A	N/A

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	DISTRICT #2 - LINCOLN ROAD			
40	Total # of parking spaces	0	0	0	N/A
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
43	Parking Space Dimensions	N/A	N/A	N/A	N/A
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	N/A
45	ADA Spaces	N/A	N/A	N/A	N/A
46	Tandem Spaces	N/A	N/A	N/A	N/A
47	Drive aisle width	N/A	N/A	N/A	N/A
48	Valet drop off and pick up	N/A	N/A	N/A	N/A
49	Loading zones and Trash collection areas	0	0	0 (NO CHANGE *)	N/A
50	racks	N/A	N/A	N/A	N/A

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A		RESTAURANT	
52	Number of seats located outside on private property	N/A	0	0	
53	Number of seats inside	N/A	0	150 (See A-3.6)	
54	Total number of seats	N/A	0	247 (+97 seats at terrace)	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A		247 (See A-3.6)	
56	Total occupant content	N/A		379 (See A-3.5)	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	za	379 (See A-3.5)	

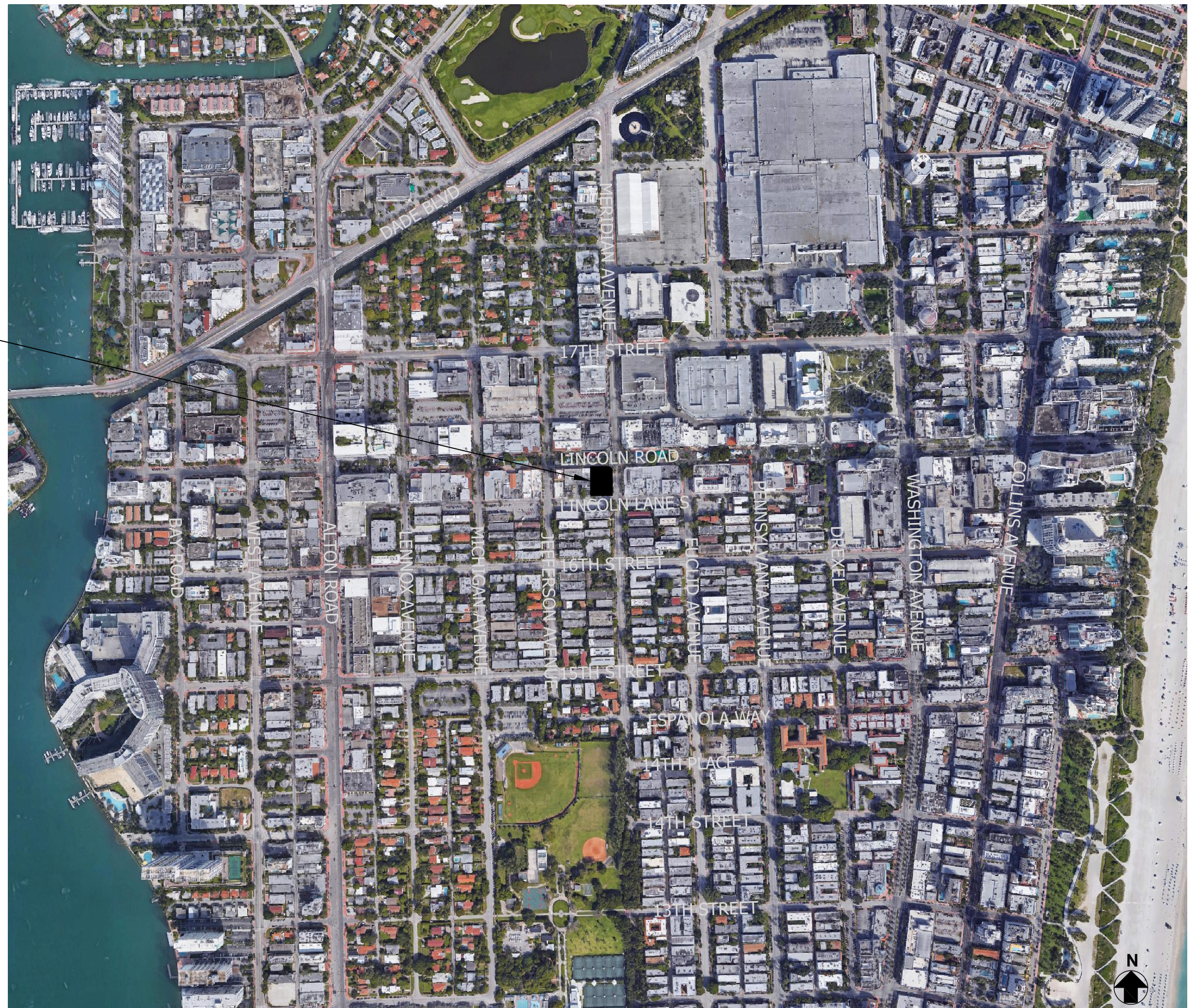
58	Proposed hours of operation	Sunday-Thursday : 11am – 12am Friday : 11am – 2am / Indoor Bar until 2am / Outdoor Bar until 2am Saturday : 11am – 2am / Indoor Bar until 2am / Outdoor Bar until 2am
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	YES
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	YES: live music - ONLY indoors
61	Is this a contributing building?	YES: original building, not the new floor where project is located
62	Located within a Local Historic District?	YES

Notes:

* AS PER HPB ORDER No 7550 FOR SHELL BUILDING



800 LINCOLN ROAD



1

1/2 MILE RADIUS VICINITY PLAN

SCALE: N.T.S.



3526 NORTH MIAMI AVE.
MIAMI, FL 33127
TEL: 305.571.1811
Todd Tragash, A.I.A. Florida Registration Number #11053

HISTORIC PRESERVATION BOARD REVIEW - 01/07/2019
City of Miami Beach
777 17th Street, Suite, 201
Miami Beach, FL, 33139

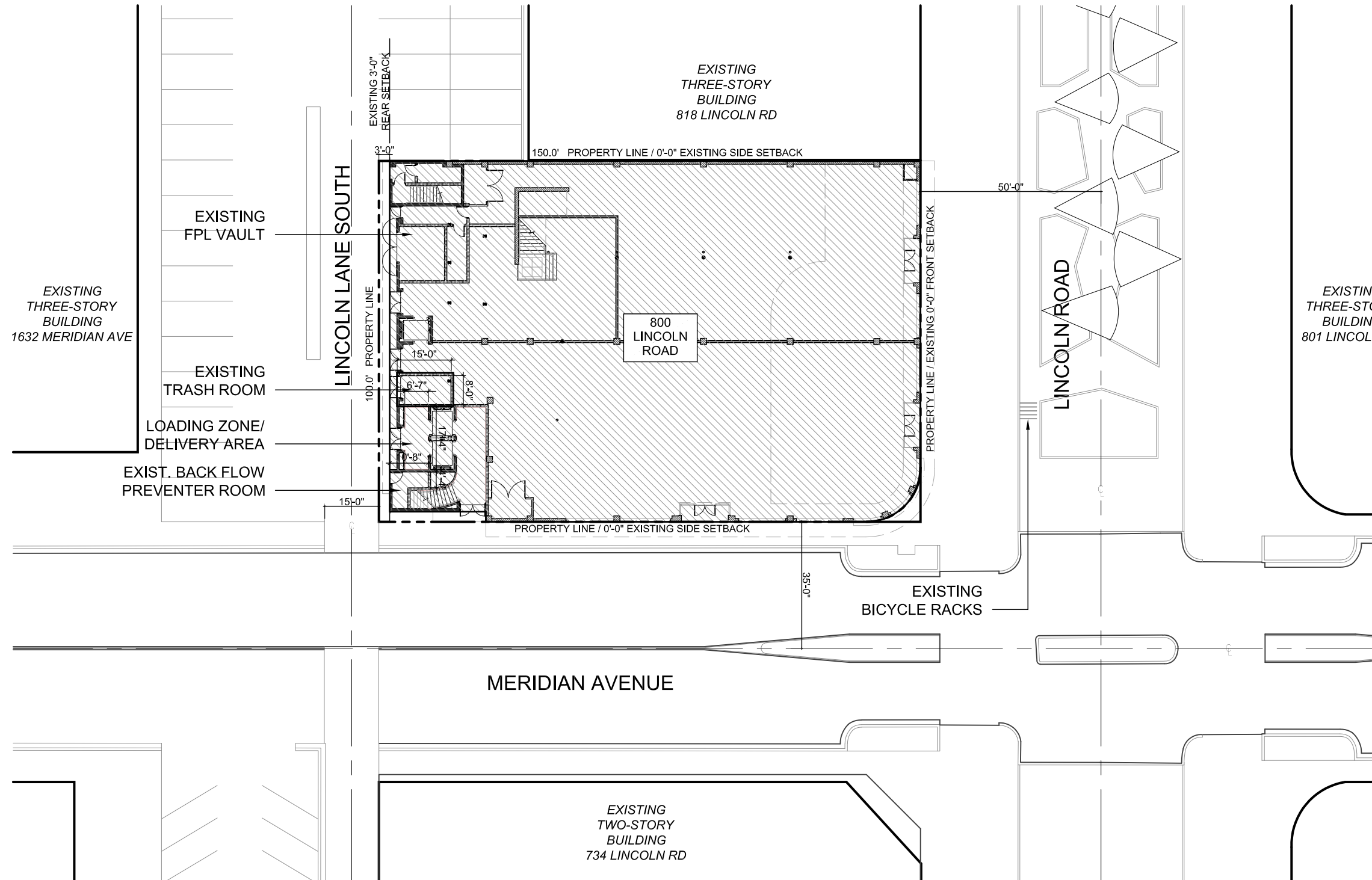


Project # 3801
800 Lincoln Road, Level 3.
Miami Beach, FL, 33139



A-1.3

CONTEXT LOCATION PLAN



LEGEND

PROPERTY LINE
SET BACK LINE

EXISTING
THREE-STORY
BUILDING
801 LINCOLN RD

EXISTING
THREE-STORY
BUILDING
818 LINCOLN RD

EXISTING
THREE-STORY
BUILDING
1632 MERIDIAN AVE

EXISTING
TWO-STORY
BUILDING
734 LINCOLN RD

1 EXISTING SITE PLAN (NO CHANGES - PER HPB ORDER No 7550)

SCALE: 1/32" = 1'-0"





“...in 1935 the new Burdines department store displayed a simple streamlined facade, curved at the corner to flow with Meridian Avenue. Robert Law Weed was the Architect, and once again, he innovated by simplifying the esthetic and eliminating almost all external ornamentation. The interior was built on two levels around a large atrium, the first of its kind in the city.” “The streamlined commercial block was built as Miami Beach’s first Burdines department store. It was also intended to serve as the pedestal for at least five additional floors.”

Burdines was first located on Miami Beach in the Roney Plaza Hotel in 1929, which closed when the store at 800 Lincoln Road opened in 1936.

Burdines on Lincoln Road opened on Tuesday January 7, 1936 with a huge reception to the entire community... The “Society Pictorial” magazine of January 4, 1936 featured interior store photographs under the byline: ‘The new Miami Beach store is a symphony in selling appeal.’

After Burdines vacated the property in 1953 the building was occupied afterwards by Franklin Simon women’s clothes and then by Richards Department Store.

According to the Art Center South Florida website ..”In the spring of 1984 the Art Center celebrated its grand opening on Lincoln Road in Miami Beach as an organization addressing workspace and community needs of visual artists. With Community Development Block grant funds from the City of Miami Beach, ArtCenter artists took up residence in 21 storefronts on a then nearly abandoned and severely dilapidated Lincoln Road. Today the ArtCenter is commonly credited as being the catalyst for an astounding revitalization of Lincoln Road and the surrounding area. In order to establish a permanent base, during the late ’80’s the ArtCenter purchased three properties on Lincoln Road housing artists studios open to the public, exhibition spaces, cooperative work facilities, classrooms and administrative offices.”

By: Arthur J. Marcus Architect P.A.
Historic Architectural Preservation Consultant

(see full report attached)

BUILDING PERMIT # 22396 -- Painting, outside -- day labor -- \$ 1,000.... May 8, 1948
23436 Re-roofing Giffen Roofing Co. \$ 988... Oct. 28, 1946
25976 Painting - interior - Day Labor - \$ 1,000... Nov. 7, 1947
28788 Painting - inside - Owner - \$ 900.... Nov. 15, 1948
31854 Painting - Owner \$ 200..... Jan. 16, 1950
33521 Painting, inside - Owner \$ 200..... Sept. 11, 1950
36252 Wet sandblasting - All American Sandblasting Co. \$ 150... July 2, 1951
45886 Marks Brothers... Demolition of interior of building... \$ 1 000... 9/23/54
45921 Alterations: Closing three East windows and other partition work... Copland-Novak Associates, architects: Hayman Construction Co. \$ 5 200.. Sept. 27, 1951
OK, Flaag 11/22/54 # 45998 Biscayne A. C. Co: Remove old 60 ton A. C. and install 2 - 30 A. C. System
PLUMBING PERMIT: # 19185-Alex Orr Jr. - 1 gas pressing machine-reset-----1-25-48 \$ 12 000 10-4-54
38587 Serota Plumbing Co: 6 lavatories, 1 electric water heater October 22, 1956
BUILDING PERMIT: # 51809 Allied Building Contractors --- Alteration of Mezzanine floor for Beauty Salon with partitioning ----- \$ 900.00 October 13, 1956
57720 The Cornell Co. of Fla: Reroofing - \$3175.00 - Oct. 29, 1958
59313 Snapp, Inc: Sandblasting south portion of bldg, using nec. precautions- \$400 - June 22, 1959
59429 A.B. Cooper: Clean brick facing on building - \$100.00 - July 6, 1959
60089 Amertec, Inc: Rearranging partitions, flooring, painting & general refurbishing. No structural work to bldg. involved, \$8000, 9/21/59
60100 Tropicalites: 2 flat wall neon signs "RICHARDS" .. \$400.00- September 23, 1959
60232 Tropicalites: Flat wall neon sign, east elevation "RICHARDS" \$300.10/8/59
60242 Maister Iron Works: Street set of iron steps from 1st floor to mezzanine- \$1000- Oct. 2, 1959 OK Saperstein 10/26/59
ELECTRICAL PERMIT # 20896.. Biscayne Electric.. 1 Receptacle. Feb. 1, 1945
26286 La Vigne Electric: 1 equipment service - May 14, 1948
43082 Lavigne Electric.. 43 receptacles, 120 light outlets, 163 fixtures, 2 centers of distributions, 1 service, 3 1 hp motors, 1 6-10 motor, 2 motors over 25 H.P. September 28, 1954
OK, Rosser 12/30/54
47182 Astor Electric Service: 2 Light outlets, 3 Fixtures, April 10, 1956 OK, Fidler 5/24/1956
48773 Astor Electric Service, Inc: 2 light outlets, 12 dryers, 1 center of distribution OK Fidler 3/19/57 October 22, 1956
54265 Tropicalite Neon Sign: 2 neon transformers, 9/23/59
OK Fidler-----# 54309 R.L.O'Donovan, Inc.: 5 switch outlets, 20 receptacles, 20 light outlets, 20 fixtures, 10/6/59
54323 Tropicalite Neon Sign: 1 neon transformer, 10/8/59
810 Linc. # 55822 B & W Elec: 8 fixtures, 9/26/60 OK 10/25/60 Newbold

BUILDING CARD PAGE 1

Lot 7 & 8 Block 49 Subdivision LINCOLN SUB. 800 Lincoln Rd.
ALTERATIONS & ADDITIONS
Building Permits: # 71119 Owner, Sattom Optical Services: 30 partitions, cabinets and painting \$380.00 3/22/64
78823 Marvel Const. Co., Inc.: Remodel for office separation for brokerage firm - \$12,000 - 8/22/67
Shufin & Curley, Arch. and Engr. OK BROWN 1/29/68
79121 W. H. Spivey: Interior & Exterior Painting - \$2,500.00 - 10/18/67 OK DELANEY 1/26/68
65195 Ray Mar Electric Co.: 1 service repull - 10/30/67
80195 Acolite Sign Co.: Single face wall sign 78 sq. ft., "WALSTAN & CO., INC." "MEMBERS NEW YORK STOCK EXCHANGE" Council approval May 1, 1968 - \$1,500 - 5/3/68 OK B.C. 5/31/68
ON MAY 1, 1968 CITY COUNCIL APPROVED REQUEST BY ACOLITE SIGN CO. FOR THE ERECTION OF ONE SIGN AT 810 Linc.
Plumbing Permits:
Electrical Permits:
64993 Ray Mar Electric Co.: 1 service, temporary - 8/24/67
65025 Ray Mar Elec. Co.: 26 light outlets, 47 receptacles, 37 fixtures, 1 1-H.P. motor, 2 15-H.P. mtrs., 1 sign outlet. 9/7/67.
65721 Acolite Sign Co.: 9 floor lamps - 5/3/68

BUILDING CARD PAGE 3

Lot 7 & 8 Block 49 Subdivision LINCOLN SUB. 800 Lincoln Rd.
ALTERATIONS & ADDITIONS
Building Permits: # 78931 Kemp and Guest Roofing Co.: Re-roof 1254 squares. \$6,321. 9/12/67
79006 Miami Beach Refrigeration, Inc.: Install 30 tons of air cond. & cooling tower. \$9,000. 9/25/67
03276-Jalco, Inc.-Install aluminum fold-down awnings-\$993-5-29-73
05473-Owner-Patching plaster and painting-\$160-4-30-74
3934 - Tempco Air Cond. - air cond. central 2 unit 7 1/2 ton - 5x2x72 4/28/77
11381-The clark Bondi Corp-Interior wall demolition-\$600-5-23-77
89348-The Clark Blondio Co.-Interior partitions, remodeling-\$20,000-5-23-77
800 Lincoln Rd-Acolite Sign-\$900-7-12-77
Plumbing Permits: # 46171 - 2 rough lavatory - 2 set lavatory - 1 rough ruinal - 1 set urinal 1 4" sewer connections Serota Plumbing 1/6/71
54913-Yell for Pennell- 1 drinkinf fountain; 2 lavatoray, 1 sink, 1 urinal, 2 water closet; 1 sewer connection-6-7-77
55301-Erickson Well Drilling- A/C condensate 1-10-4-77
Electrical Permits:
65909 Ray Mar Electric 1 Sign Outlet \$1.50 1 Time Clock \$1.50 \$3.00 6/27/68
68492 - Ray Mar Elect. Co. Inc. - 1 center of distribution 12/18/70
68559 - Ocean Elect. - 4 fixtures 1/28/71
72661-Hobbert Electric- service repair-10-10-75
74117-Anchor Electric- *800 Lincoln Rd-22 switch outlets, 35 lightoutlets, 76 receptacles, 32 telephones, 1 200 amps; 10 special purpose; 288 lamps-6-6-77
74175-Aall Florida Electric- 2 7.5 tons a/c-6-29-77
800 Lincoln Rd-#74195-Acolite Sign- 14 lamps-7-11-77
BUILDING PERMITS CONTINUED
13255 - owner - water proofing - \$800. - 6/14/78

BUILDING CARD PAGE 2

ALTERATIONS & ADDITIONS
Building Permits:
06678-Acolite Sign-Sign-\$150-1-3-75
06677-Acolite Sign-Sign-\$200-13-75 PAN AMERICAN BANK
06676-Acolite Sign-Sign-\$150-1-3-75
07786-Acolite Sign-Sign-\$2000-8-14-75
07970-Jacques Corbeoil-1688 Meridian Social Sec.-interior partition-\$130-9-19-75
09054-Owner-Office #319-Partition walls-\$300-5-10-76
09518-Scot Twin Contr-Remove some exist partitions, demolition only-\$600- 7th floor-\$600-8-10-76
89146-1688 Meridian-Scot Twin Constr-Remodel partitions-\$12000-8-25-76
1688 Meridian-#89235-Westphre Construction-Renovation and remodeling on 7th floor-\$40,000-1-11-77
1688 Meridian-#10665-Orlando Gomez- 4 x 50 conc.slab between 7th floor and exist. 5th floor-\$500-2-1-77
Plumbing Permits:
52286-Service Plumbing- 2 lavatory-3-21-75
52949-Economy Plumbers-water service(Leak)-9-19-75
52948-Economy Plumbers-leak repair, boiler room-9-19-75
54013-Mar B Plumbing- 3 lavatory; 7sin laboratory; 3 water closet-8-26-76
54540-B & M Plumbing- 3 lavatory; 10 sink, residence; 3 watercloset; water service to exist. sewer connection to exist.-1-21-77
54962-Economy Plumbers- 16 lavatory, 2 water closet-6-20-77-
Electrical Permits:
71824-Acolite Sign- 4 lamps-1-3-75
71823-Acolite Sign-6 lamps- 1-3-75 PAN AMERICAN BANK
71825-Acolite Sign- 6 lamps-1-3-75
71943-Electric Power and Service-(Pan American Bank)6 switch outlets; 54 light outlets; 16 receptacles; 200 amps service; 3 sign transformers; 1 sign time clock; 181 lamps-2-24-75
71958-Holbert Electric- XRay-Appliance outlet-3-6-75
72134-Lavigne Electric- Suite 801- 1 range outlet; 1 dryer outlet; 1 service-4-22-75
72495-Acolite Sign-2 sign transformers-8-14-75
73349-C J Kay Electric- 3 switchhhoutlets; 10 light outlets-8-11-76
73799-Tole Electric- 16 switch outlets; 23 light outlets; 38 receptacles; 1 water heater; 23 fixtures, 1 refrigerator outlet; 2 fan outlets-1-24-77
74160-Ocean Electric- 30 switch outlets, 135 receptacles, 1 LXray-6-21-77

BUILDING CARD PAGE 4

LOT BLOCK SUBDIVISION ADDRESS 1688 Meridian

ALTERATIONS & ADDITIONS

Building Permits:

#11621-Owner-Dry wall partitions to be erect drop ceiling paneling-3rd floor-\$4000-6-29-77

#3987-Cold-45 Mech. Contrs.- \$1000 duct work only-7-11-77

#89407-V.J. Knezevich-Interior alterations for dentis office-\$6000-9-6-77

#89442-Bill Vaughn Constr-Room 616-Install one wall and cabinets-\$7000-11-2-77

#21144 11/3/81 Orlando Gomez replace finish surface of marquee at front entrance, etal lath and stucco \$1,000.(double fee)

#23232 12/30/82 owner paint partial exterior white only \$350. (case no 14833 M.H.)

Plumbing Permits:

#55236-Lone Star Plumbing- apt 423-3 lavatory, 2 dental capidor, process piping-9-8-77

#55262-Lone Star Plumbing- 1 lavatory-9-20-77

#55473-Yell For Pennell-relocate vent stock-11-11-77

#56000-Economy Plumbers- 2 lines gas-4-19-78

#61588 6/11/84 G.G. Zone Plumb - partial repipe 10th fl, cold water, main 100' 2" pipe

Electrical Permits:

#74319-Jerguson Electric- 14 switch outlets, 40 light outlets, 25 receptacles, 2 motors, 0-1HP, 1 a/c window-9-12-77

#74429-Suite 615-Howard Electric- 3 switch outlets, 6 light outlets, 12 receptacles, 14 fixtures-11-10-77

#76363 - Griffith Elect - A/C hook-up min 6/11/80

BUILDING CARD PAGE 5

LOT BLOCK SUBDIVISION ADDRESS

ALTERATIONS & ADDITIONS

Building Permits:

#26653 3/14/85 M & S Bldgers Inc - remove chatachoochie from sidewalk on Meridian St only \$3,000.

#28426 5/5/86 owner remove white marble and install sliding glass doors new storefront \$2,200

#28780 7/1/86 U.S. Sign Co - replace 4 pab flat signs & change copy to "N.C.N.B." signs as per plans \$1,100.

Plumbing Permits:

#62825 9/11/86 G.G. Zone Plumb - repipe water lines pneumatic tank & replace compressor air

Electrical Permits:

#81215 7/15/86 U.S. Signs sign total sq' 132

BUILDING CARD PAGE 6

Lot Block Subdivision

ALTERATIONS & ADDITIONS

Building Permits:

#79842 Scot-Twin Const. Co.: Interior alterations as per plan - \$3,500 - 3/4/68 OK 7/19/68

#80017 Claude Southern Corp.: Flat wall signs, 1 3'6" X 20', one 4'3" X 9' (BIOREN & CO. MEMBER NEW YORK STOCK EXCHANGE, AMERICAN STOCK EXCHANGE) PHILADELPHIA WASHINGTON STOCK EXCHANGE) \$1,800 - 4/4/68 OK 7/15/68

Electrical Permits:

(Providence Life and Acc. Insurance)

#61697 Taube Elec. Inc.: 4 switch outlets; 17 light outlets; 18 receptacles; 2 space heaters, other; 17 fixtures-11/16/67

#61705 Miller Elec. Co.: 12 switch outlets; 25 light outlets; 29 receptacles; 5 space heaters, other; 102 fixtures; 1 range outlet - 11/18/64 (Roosevelt Off., 10th fl.)

#61767 Taube Electric Inc.: 8 switch outlets; 11 light outlets; 15 receptacles - 11/27/64

#62043 Taube Elec. Inc.: 1 meter change - 3/3/65

#62316 Taube Electric: 12 switch outlets; 14 light outlets; 22 receptacles; 12 fixtures - 5/21/65 - 5th fl. (Dr. Levine)

#62317 Taube Electric: 7 switch outlets; 7 light outlets; 15 receptacles; 7 fixtures - 5/21/65 - 5th fl. (Dr. Jacobs)

#62318 Taube Elec. Inc.: 9 switch outlets; 11 light outlets; 30 receptacles; 9 fixtures - 5/21/65 (10th fl., flatinurecord)

#62745 Taube Elec. Cont.: partial permit - 10/4/65

#62919 C.J. Kay Electric Co.: 7 Switch Outlets, 13 Light Outlets, 21 Receptacles, 13 Fixtures, 11/10/67

#62962 C.J. Kay Electric Co.: 6 switch outlets, 11 light outlets, 15 receptacles, 11 fixtures, 11/23/67

Electrical Permits: #63015 C.J. Kay Electric Co.: 7 switch outlets, 1 light outlet, 19 receptacles, 12 fixtures, 12/6/65

#63028 C. J. Kay Elec. Co.: (Dr. Horland): 4 switch outlets; 2 light outlets; 7 receptacles; 5 fixtures - 12/9/65

#63300 C. J. Kay Elec. Co.: 7 switch outlets; 11 light outlets; 11 receptacles - 3/9/66 (S. Slater, 4th floor)

#63879 C. J. Kay Elect. Co.: 19 switch outlets; 13 light outlets; 48 receptacles; 2 x-ray - 9/1/66

#64593 C. J. Kay Elect. Co.: 60 fixtures - 4/18/67 OK Murray 7/18/67 (Social Security Office)

#64906 C. J. Kay Electric Co.: 11 switch outlets; 11 light outlets; 18 receptacles; 1 motor, 0-1 hp; 2 dental chairs; 1 x-ray - 8/1/67 (for A.G. Clement)

#64907 C. J. Kay Electric Co.: 11 switch outlets; 11 light outlets; 18 receptacles; 1 motor, 0-1 hp; 3 dental chairs; 1 x-ray - 8/1/67 (for H. Amor)

#65115 C. J. Kay Elec. Co.: 4 switch outlets; 5 receptacles; 12 fixtures. 10/2/67

#65281 C. J. Kay Elect.: 5 switch & 5 light outlets, 14 receptacles, 5 fixtures - 11/28/67

#65310 C. J. Kay Elect. Co.: 14 switch outlets, 30 receptacles, 60 fixtures - 12/6/67

#65534 C. J. Kay Elect. Co.: 7 switch & 23 Light outlets, 22 receptacles, 1 sign outlets - 2/27/68

#65535 C. J. Kay Elect. Co.: 15 switch & 20 light outlets, 35 receptacles - 2/27/68

#65629 Claude Southern Corp. 2 neon transformers - 4/4/68

BUILDING CARD PAGE 7

Lot Block Subdivision

ALTERATIONS & ADDITIONS

Building Permits:

#71220 Miami Air Conditioning Co.: One 60-ton package chiller - \$8,000. - 3/12/64 VOID

#78104 Scot-Twin Construction Corp.: 12' by 47' mezzanine floor addition for offices, alterations to existing mezzanine - \$3,000 - 4/14/67 OK Brown 12/5/67

#79184 Scot-Twin Const. Corp.: Alterations as per plans - \$500.00 - 10/25/67 OK 3/12/68

ON APRIL 3, 1968 CITY COUNCIL APPROVED CONSTRUCTION OF IDENTIFICATION FLAT WALL SIGN READING "BIOREN & CO. MEMBER NEW YORK STOCK EXCHANGE, AMERICAN STOCK EXCHANGE, PHILADELPHIA-WASHINGTON STOCK EXCHANGE"

Plumbing Permits:

#46053 Service Plumbing Co. (for Dr. Clement): 1 lavatory; 1 dental chair - 8/14/67

#60631 Miller Elec: 8th Floor--15 switch outlets, 30 light outlets, 31 receptacles, 3 space heaters, 49 fixtures, 1 appliance outlet--1/30/64

Electrical Permits:

#60951 Miller Elec. Co. of Miami: 7 switch outlets; 14 light outlets; 16 receptacles; 2 space heaters; 28 fixtures - Room 812 - 5/18/64 OK Scarborough 6/10/64

#61028 Miller Elec. Co. of Miami: (6th floor center): 9 switch outlets; 15 light outlets; 29 receptacles; 21 fixtures; 1 motor, 0-1 hp - 6/10/64

#61276 Miller Elec. Co. of Miami, Inc.: 11 switch outlets; 16 light outlets; 31 receptacles; 3 space heaters, other; 17 fixtures; 2 appliance outlets; 1 outlet X-ray - 8/14/64

#61287 Miller Elec. Co. of Miami, Inc.: 8 switch outlets; 8 light outlets; 13 receptacles; 2 space heaters; 8 fixtures; 8/18/64

#61303 Miller Elec. Co. of Miami, Inc.: 2 switch outlets; 5 light outlets; 12 receptacles - 8/21/64

#61327 Miller Elec: 11 switch outlets, 22 light outlets, 22 receptacles, 2 space heaters; 44 fixtures, 1 X-ray outlet--8/26/64

#61371 Miller Elec: 1 switch outlet, 2 light outlets, 4 recptacles, 4 fixtures - 9/4/64

#61372 Miller Elec: 11 switch outlets, 22 light outlets, 22 receptacles, 2 space heaters, 44 fixtures, 1 x-ray outlet - 9/4/64

#61386 Miller Elec. Co. of Miami: 4 switch outlets; 6 light outlets; 12 receptacles; 12 fixtures - 9/8/64 6th Floor

#61403 Miller Elec. Co. of Miami: 1 switch outlet; 4 light outlets; 9 receptacles; 8 fixtures - 9/10/64 6th Floor

#61608 Miller Elec. Co. of Miami: 15 switch outlets; 46 light outlets; 31 receptacles; 4 space heaters; 53 fixtures -10/22/64

BUILDING CARD PAGE 8



LOT

BLCK

SUBDIVISION

ADDRESS

ALTERATIONS & ADDITIONS

Building Permits:

810 Lincoln- Washington Federal-#89641-Dondal Myers-Interior remodeling-\$50,000-7-21-78

810 Lincoln-Washington Fed-M0439-Airko A/C- duct work only-8-31-78

810 Lincon Rd-#14629-Altman Myers Constr-R model north east office-\$7500-2-13-79

#17306 - Acclite Sign Co. - flat wall sign \$300. 12/14/79

#24156 6/27/83 owner paint exterior surface \$3,000.

#28715 6/20/86 Olen Waldrep & Sons Roof - reroof 12,800 s.f. \$19,000.

#28827 7/10/86 J Valiente Painting pressure clean and paint \$5,000.

Plumbing Permits:

#56460-Pipe Master Plumbing- 2 lavatory-9-21-78

#56515-Rm Pipe Master Plumbing- 1 heater-new installation, misc.repairs-10-12-78

Electrical Permits:

#74886-Clarke Electrical Contractor- 13 switch outlets, 24 light outlets, 113 receptacles, 1 range top, 2 special purpose, 1 time sign clock, 226 fixtures, 95 telephone outlets, 3 alarm-Washington Federal-7-27-78

810 Lincoln Rd-#75394-Clarke Electric- 5 light outlets, 15 receptacles, 1 special purpose, 36 fixtures-3-22-79

over

BUILDING CARD PAGE 9

LOT

BLCK

SUBDIVISION

ADDRESS

ALTERATIONS & ADDITIONS

Building Permits:

#M08234 7/11/86 Airko Air - 3 1/2 ton air cond central condensing unit replacement

#B8801096 - 6-15-88 - Albert A. Hutton - Interior remodeling for arts center - \$20,000.00

Plumbing Permits:

Electrical Permits:

BUILDING CARD PAGE 10

COASTAL CONTROL ZONE								
CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED								
DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
6-15-88	207	Interior remodeling	\$20,000.00					B8801096
1-18-88		Paint sign on building facade	\$300.00					SB890514
7-7-89		Relhabilitation of interior spaces (13)	\$94,000.00					B8900393

BUILDING CARD PAGE 11

COASTAL CONTROL ZONE								
CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED								
DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
6-15-88	207	Interior remodeling	\$20,000.00					B8801096
1-18-88		Paint sign on building facade	\$300.00					SB890514
7-7-89		Relhabilitation of interior spaces (13)	\$94,000.00					B8900393

BUILDING CARD PAGE 12



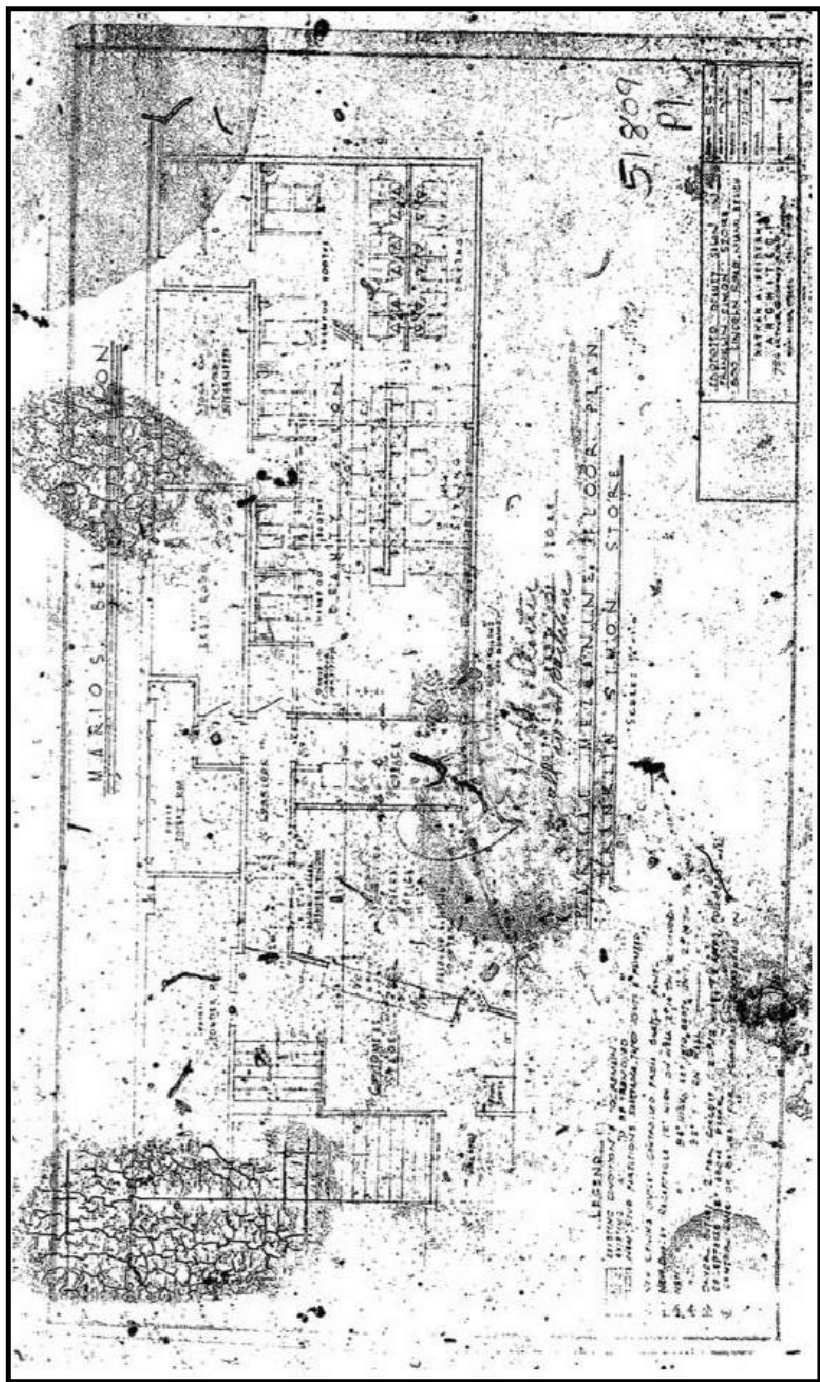
BUILDING PERMITS: #B301151 - Chanin Air Inc. - 1 Duct work - 6-30-88
#B890514 - 1-12-89 - The South Florida Art Center - Paint sign on building facade - \$300.00
#B8900393 - 9-7-89 - J.I.C. Construction Corp. - Rehabilitation of interior spaces (13) - \$94,000.00
#B891219 - Vals A/C - 1-10KW CENTRAL HEATING - 1.5 ton A/C CENTRAL, 3 ton duct work - 9-22-89 CT

PLUMBING PERMITS: #05433 - Fire Prevention Services - 23 Fire sprinklers, inspection test fee - 6-14-88
#P001079 - Aurora Plumbing - 2 Floor drain, 4 lavatory, 3 sink, lounge, 1 water service - 7-5-88
#P890063 - MODAC PIPE SPRINKLER - FIRE SPRINKLER New - 10-16-89 CT

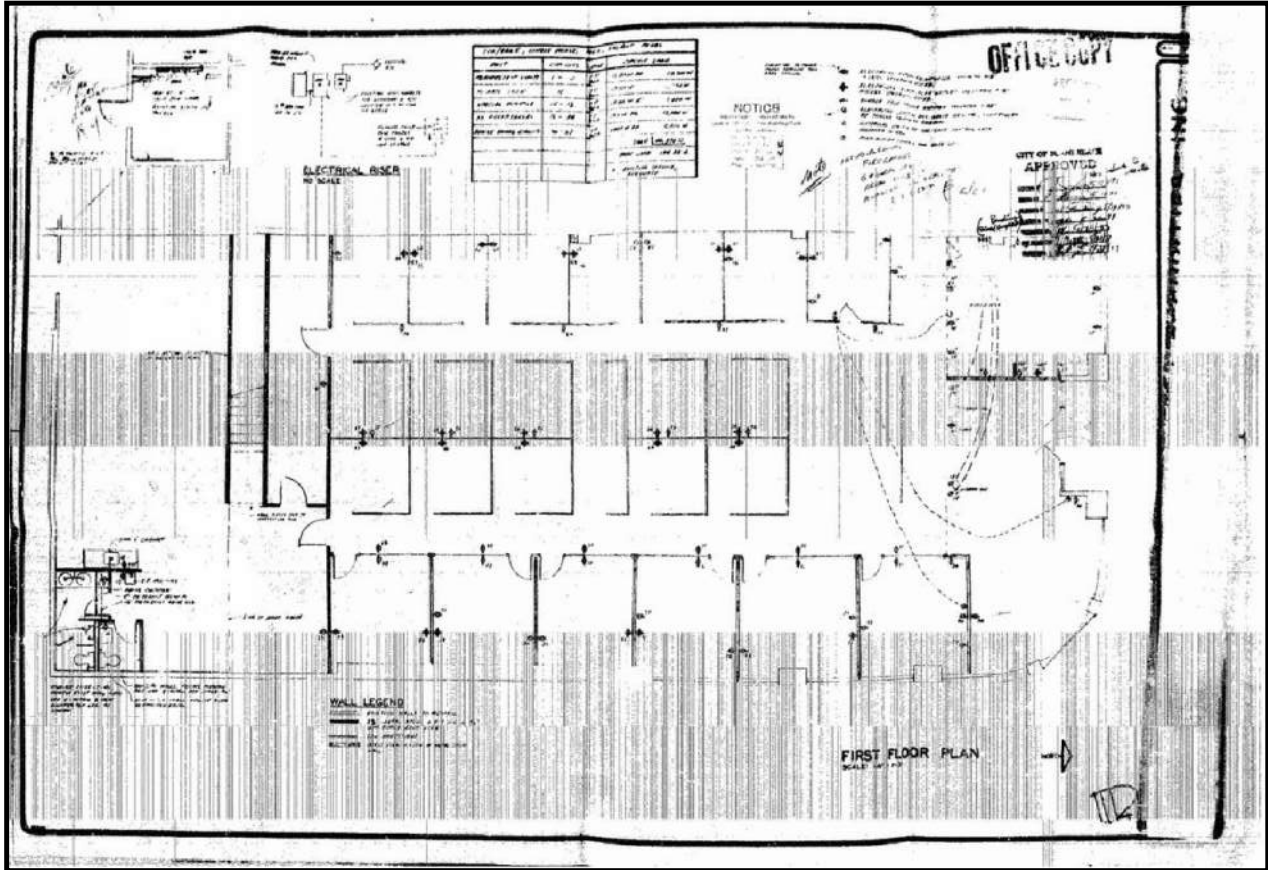
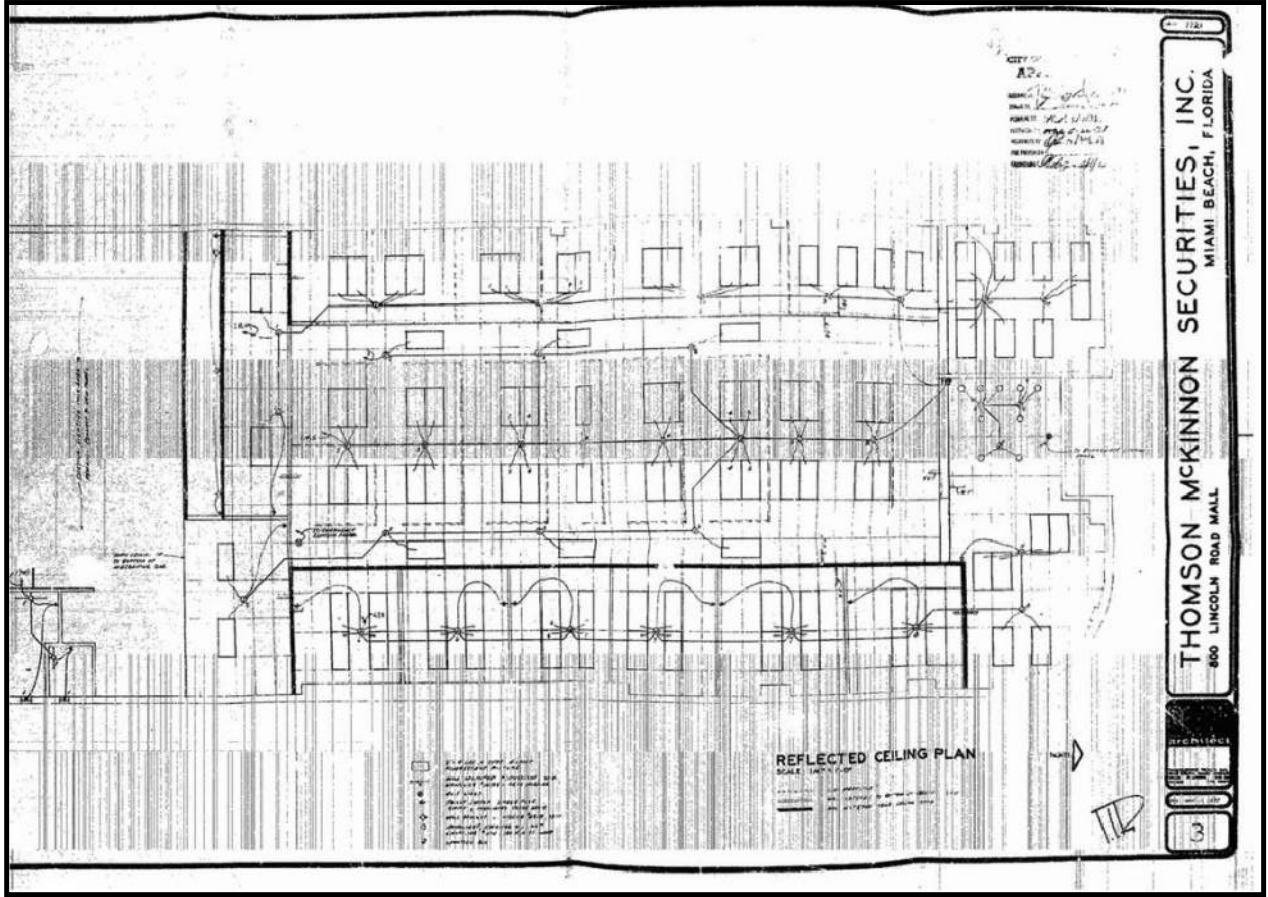
ELECTRICAL PERMITS: #E3801150 - Land and Sea Electric - 8 Switch outlets, 18 light outlets, 10 receptacles, 12 fixtures - 6-30-88
#E891707 - WANDO ELECTRIC - NEW RECEPTACLES + PODIE FAN - 9-28-89 CT

BUILDING CARD PAGE 13

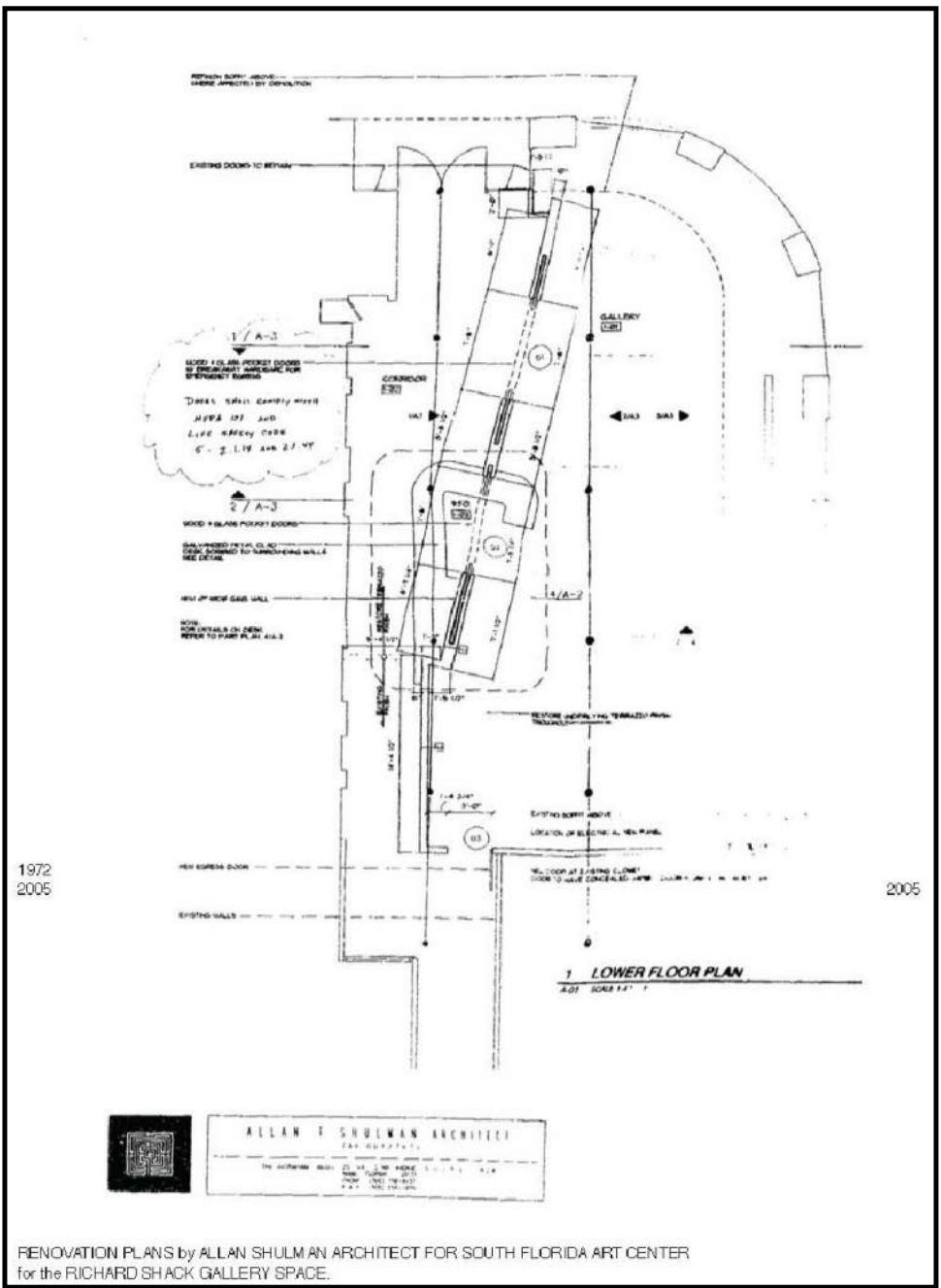




1956 RENOVATION PLANS
FOR FRANKLIN SIMON



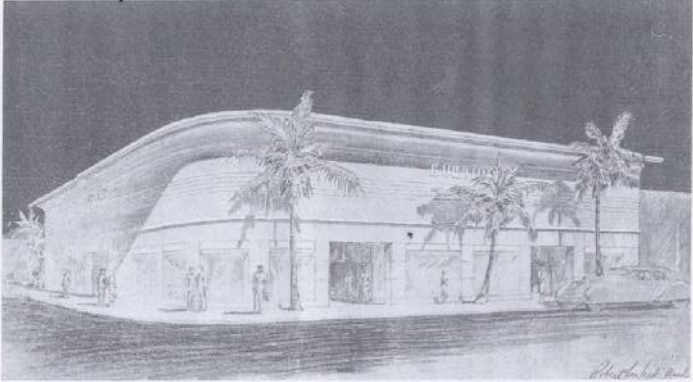
1972 RENOVATION PLANS FOR
THOMSON MCKINNON SECURITIES



2005 RENOVATION PLANS BY ALLAN SHULMAN FOR
SOUTH FLORIDA ART CENTER FOR THE RICHARD
SHACK GALLERY SPACE

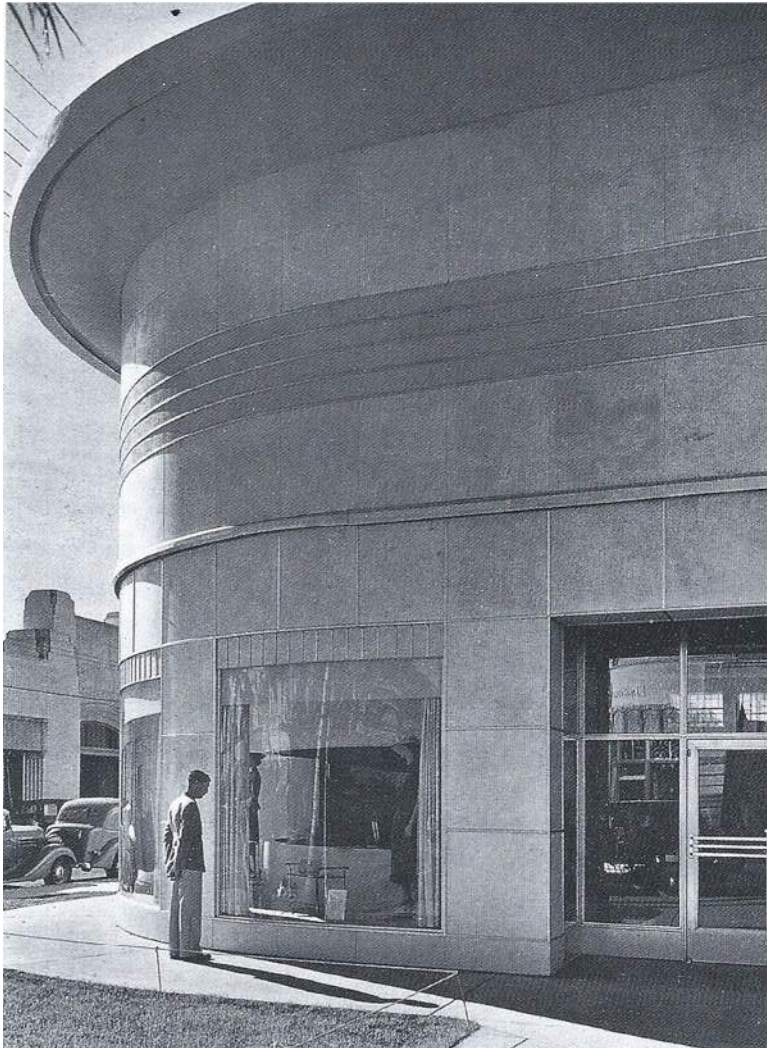
ROBERT LAW WEED, Architect
Richard J. Reisham
Structural Engineer

GUNN & GOLL, INC.,
General Contractors.
Alfred Destia Co., Inc.,
Building Material.
Norman Graves Co., Building Materials.
John B. Orr, Inc., Stone Work.
D. E. Linardy Flooring Co., Flooring.
Baker Roofing Co., Roofing.
Crystals Waterproofing.
Alexander Orr, Jr., Inc., Plumbing.
E. J. Warner Co., Lumber.
A. H. Ramsey & Sons, Inc., Millwork.
W. E. Kasper, Painting of Steel.
Miami Tile & Marble Co.,
Terrazzo and Tile.
Chamberlin Metal Weatherstrip Co.,
United States Plywood Co., Plywood.
Streamline Pipe & Fittings Co.,
Copper Pipe.
Zerman-Arce Woodworking Corp.,
Store Fixtures.
Grass Co., Plumbing Fixtures.
See Manufacturing Co., Waterproofing.
Fuel Oil Equipment Co.,
Air Conditioning.
Ray E. Dodd, Steel Sash.
Paul E. Shipps, Reinforcing Steel.
Miami Metal Weatherstrip Co.,
Caulking.
W. H. Dabney, Inc.,
Transit Mixed Concrete.
Southern Venetian Blind Co.,
Venetian Blinds.
Autford-Kelley Co.,
Aluminum Store Fronts.
Sonny Products, Ray-King
Compound and Waterproofing.
Rhinehart-Vernet Co., Inc., Lumber and
Building Material.



BURDINE BUILDING, Lincoln Road, Miami Beach

Alfred Destia Co., Inc., Building Materials.
John B. Orr, Inc., Cut Stone.
Giffen Roofing Co., Roofing.
Metal Arts Co., Ornamental Iron.
Exotic Gardens, Inc., Landscaping.
Solomon Plumbing Co., Inc., Plumbing.
Jeffrey Lumber Yard, Lumber.
East Coast Millwork and Fixture Co., Millwork.
Studio of Lighting, Inc., Lighting Fixtures.
Burdine, Interior Decorating and Furnishings.
Fynesh Mirror Plate Glass Co., Glass.
Streamline Pipe and Fittings Co., Copper Pipe.
Beach Paint Store, Certain-tee Paint.
Crystals Waterproofing.
Southern Venetian Blind Co., Venetian Blinds.
Rhinehart-Vernet Co., Inc., Lumber and
Building Materials.





1
AERIAL VIEW / PHOTO KEY PLAN
SCALE: N.T.S.



1
LINCOLN ROAD (NORTH) FACADE
SCALE: N.T.S.



2

MERIDIAN AVE: FACING SW

SCALE: N.T.S.



3

MERIDIAN AVE: FACING SW

SCALE: N.T.S.



4

MERIDIAN AVE: FACING NW

SCALE: N.T.S.



5

MERIDIAN AVE: FACING WEST

SCALE: N.T.S.



1 INTERIOR SPACE
SCALE: N.T.S.



2 DINING TERRACE
SCALE: N.T.S.



3 DINING TERRACE
SCALE: N.T.S.



1 818 LINCOLN ROAD (LINCOLN LANE SOUTH)
SCALE: N.T.S.



2 LINCOLN RD & MERIDIAN AVE: FACING WEST
SCALE: N.T.S.



3 818 & 838 LINCOLN ROAD: FACING WEST
SCALE: N.T.S.



4 800 & 818 LINCOLN ROAD: FACING EAST
SCALE: N.T.S.

