ARCH E1 30"x42"

NOT FOR CONSTRUCTION



TORINO GARAGE

400 COLLINS AVENUE MIAMI BEACH, FLORIDA

CITY OF MIAMI BEACH PLANNING BOARD

FIRST SUBMITTAL - APRIL 27, 2016 FINAL SUBMITTAL - MAY 4, 2016 PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner: Allied Partne

Allied Partners 770 Lexington Ave New York, NY 10065-8165

Design Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152
License # AA26003249

CONSULTANTS

Landscape Architect:
Naturalficial, Inc.
6915 Red Road, Suite 224
Coral Gables, FL 33143

NO. DESCRIPTION

Traffic Consultant:
Traf Tech Engineering, Inc.
8400 N. University Drive, Suite 202
Tamarac, FL 33321

Parking / Auto-Turn Consultant: Juan Espinosa

Juan Espinosa David Plummer & Associates 1750 Ponce de Leon Boulevard Coral Gables, FL 33134

02 FINAL SUBMITTAL	MAY 4, 20
01 PROGRESS SET	APRIL 27, 20
05/03/2016	Author
05/03/2016	Autnor
SCALE	CHECKED BY Checker
	Cileckei
PROJECT NO. & TITLE	
Project Number TORINO	GARAGE
PROJECT STATUS	
Project Status	
KEY PLAN	

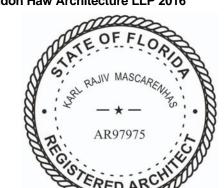
NOT TO SCALE

SCALE & ORIENTATION

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for

construction or other purposes.

© Brandon Haw Architecture LLP 2016



DRAWING TITLE

PB A-000
TITLE SHEET

NOT FOR CONSTRUCTION

	GENERAL	
Sheet Number	Sheet Name	Sheet Issue Date
DD 4 000		05/00/0040
PB A-000	TITLE SHEET	05/03/2016
PB A-001	DRAWING INDEX	05/03/2016
PB A-002	ZONING DATA	05/03/2016
PB A-003	LOCATION PLAN	05/03/2016
PB A-004	HISTORIC DISTRIC & ZONING MAP	05/03/2016
PB A-005	EXISTING SITE SURVEY SIGNED SEALED	05/03/2016
PB A-006	AREA AND PARKING COUNT SUMMARY	05/03/2016
PB A-007	AREA PLANS - LVL 1 TO LVL 3	05/03/2016
PB A-008	AREA PLANS - LVL 4 TO LVL 7	05/03/2016
PB A-009	AREA PLANS - LVL 8	05/03/2016

	SITE DRAWINGS	
Sheet Number	Sheet Name	Sheet Issue Date
PB A-100	EXISTING SITE PLAN WITH REQUIRED SETBACKS	05/03/2016
PB A-101	PROPOSED SITE PLAN - GROUND FLOOR	05/03/2016
PB A-102	PROPOSED SITE PLAN - ROOF LEVEL	05/03/2016
PB A-103	CURRENT SITE PHOTOGRAPHS	05/03/2016
PB A-104	CURRENT SITE PHOTOGRAPHS	05/03/2016
PB A-105	PROPOSED SITE - ELEVATION - EAST & SOUTH	05/03/2016
PB A-106	PROPOSED SITE - ELEVATION - WEST & NORTH	05/03/2016
PB A-107.1	RESIDENTIAL PARKING AUTO-TURN & SANITATION OPERATIONS	05/03/2016
PB A-107.2	DELIVERY & SANITATION AUTO-TURN	05/03/2016

	GA PLANS	
Sheet Number	Sheet Name	Sheet Issue Date
PB A-201	PROPOSED BUILDING - FLOOR PLAN - LVL 1 GROUND	05/03/2016
PB A-201M	PROPOSED BUILDING - FLOOR PLAN - LVL 1 MEZZ	05/03/2016
PB A-202	PROPOSED BUILDING - FLOOR PLAN - LVL 2	05/03/2016
PB A-203	PROPOSED BUILDING - FLOOR PLAN - LVL 3	05/03/2016
PB A-204	PROPOSED BUILDING - FLOOR PLAN - LVL 4	05/03/2016
PB A-205	PROPOSED BUILDING - FLOOR PLAN - LVL 5	05/03/2016
PB A-206	PROPOSED BUILDING - FLOOR PLAN - LVL 6	05/03/2016
PB A-207	PROPOSED BUILDING - FLOOR PLAN - LVL 7	05/03/2016
PB A-208	PROPOSED BUILDING - FLOOR PLAN - LVL 8 ROOF LVL	05/03/2016
PB A-209	PROPOSED BUILDING - FLOOR PLAN - ROOF PLAN	05/03/2016

Sheet Number	Sheet Name	Sheet Issue Date
PB A-300	PROPOSED BUILDING ELEVATIONS - SOUTH & EAST	05/03/2016
PB A-301	PROPOSED BUILDING ELEVATIONS - NORTH & WEST	05/03/2016
PB A-302	PROPOSED BUILDING - SECTIONS	05/03/2016
PB A-303	PROPOSED BUILDING - SECTIONS	05/03/2016

Sheet Number	Sheet Name	Sheet Issue Date
PB A-400	PROPOSED BUILDING - PERSPECTIVES	05/03/2016
PB A-401	PROPOSED BUILDING - PERSPECTIVES	05/03/2016
PB A-402	PROPOSED BUILDING - PERSPECTIVES	05/03/2016
PB A-403	PROPOSED BUILDING - PERSPECTIVES	05/03/2016
PB A-404	PROPOSED BUILDING - PERSPECTIVES	05/03/2016

Sheet Number	Sheet Name	Sheet Issue Date
		1
PB A-500	PROPOSED BUILDING - NARRATIVE	05/03/2016
PB A-501	PROPOSED BUILDING - MATERIALS	05/03/2016
PB A-502	HISTORICAL CONTEXT - COLOR	05/03/2016
PB A-503	HISTORICAL CONTEXT - COLOR	05/03/2016
PB A-504	HISTORICAL CONTEXT - COLOR	05/03/2016

	CLADDING APPENDIX SHEET LIST	
Sheet Number	Sheet Name	Sheet Issue Date
	T	
FAC-000	COVER SHEET	03/29/16
FAC-001	FACADE RENDERS	03/29/16
FAC-002	FLOOR PLAN - LVL 1 GROUND FLOOR ENTRY / RETAIL / MECH	03/29/16
FAC-003	FLOOR PLAN - LVL 2 PARKING GARAGE	03/29/16
FAC-004	FLOOR PLAN - LVL 3 PARKING GARAGE	03/29/16
FAC-005	FLOOR PLAN - LVL 4 PARKING GARAGE	03/29/16
FAC-006	FLOOR PLAN - LVL 5 PARKING GARAGE	03/29/16
FAC-007	TYPICAL PROGRAM STACK	03/29/16
FAC-007	TYPICAL PROGRAM STACK	03/29/16
FAC-008	BUILDING ELEVATIONS - SCREEN ARRANGEMENT - SOUTH & EAST	03/29/16
FAC-008	BUILDING ELEVATIONS - SOUTH & EAST	03/29/16
FAC-009	BUILDING ELEVATIONS - SCREEN ARRANGEMENT - NORTH & WEST	03/29/16
FAC-009	BUILDING ELEVATIONS - NORTH & WEST	03/29/16
FAC-010	FIN WALL SYSTEM - PLAN, ELEVATION & SECTION	03/29/16
FAC-011	FIN WALL SYSTEM - ENLARGED PLAN AND SECTION OF TYPICAL FIN ARRANGEMENT	03/29/16
FAC-012	FIN WALL SYSTEM - FIN PROFILE DETAILS	04/18/16
FAC-013	MOCK-UP MODEL PHOTOS	03/29/16

	LANDSCAPE SHEET LIST	
Sheet Number	Sheet Name	Sheet Issue Date
L-0.00	EXISTING TREE SURVEY	4/18/2016
L-1.00	TREE DISPOSITION PLAN	4/18/2016
L-1.01	GROUND LEVEL LANDSCAPE PLAN	4/18/2016
L-1.02	LEVEL 6 LANDSCAPE PLAN	4/18/2016
L-1.03	ROOF LEVEL LANDSCAPE PLAN	05/03/2016
L-1.04	GENERAL PLANTING DETAILS	4/18/2016
L-1.05	GENERAL PLANTING DETAILS	05/03/2016
L-1.06	LEVEL 6 OPEN SPACE DIAGRAM	05/03/2016
L-1.07	ROOF LEVEL OPEN SPACE DIAGRAM	05/03/2016
L-4.01	GROUND LEVEL LIGHTING PLAN	05/03/2016
L-4.02	LEVEL 6 LIGHTING PLAN	05/03/2016
L-4.03	ROOF LIGHTING PLAN	05/03/2016
IR-1.01	GROUND LEVEL IRRIGATION PLAN & DETAILS	05/03/2016
IR-1.02	LEVEL 6 IRRIGATION PLAN	05/03/2016
IR-1.03	ROOF LEVEL IRRIGATION PLAN	05/03/2016

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Allied Partners
770 Lexington Ave
New York, NY 10065-8165

Design Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152

License # AA26003249

CONSULTANTS

Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143

Traffic Consultant: Traf Tech Engineering, Inc. 8400 N. University Drive, Suite 202 Tamarac, FL 33321

Parking / Auto-Turn Consultant: Juan Espinosa David Plummer & Associates 1750 Ponce de Leon Boulevard Coral Gables, FL 33134

NO. DESCRIPTION DATE

02FINAL SUBMITTALMAY 4, 201601PROGRESS SETAPRIL 27, 2016

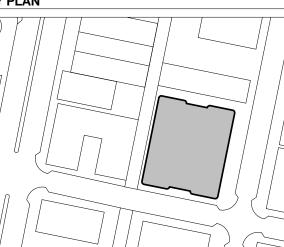
Author

DATE OF ISSUE 05/03/2016

SCALE CHECKED BY
Checker

PROJECT NO. & TITLE
Project Number TORINO GARAGE
PROJECT STATUS
Project Status

KEY PLAN



SCALE & ORIENTATION

NOT TO SCALE

NOT TO SOALL

SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2016



RAWING TITLE

PB A-001 DRAWING INDEX

SITE ADDRESS

400 COLLINS AVENUE, MIAMI BEACH, FL

SITE DATA

ARCH E1 30"x42"

LOT 5, 6, 7

LOT DIMENSION: 150 FT X 130 FT

LOT AREA: 19,500 SF

ZONING DESIGNATION

C-PS2 GENERAL MIXED-USE COMMERCIAL (SEC. 142-698 - 142-699)

MAXIMUM FAR = 2.0

MAXIMUM HEIGHT = 50 FT

MAXIMUM NUMBER OF STORIES = 5

MINIMUM APARTMENT SIZE = 600 SF

AVERAGE APARTMENT SIZE = 900 SF

SUBTERRANEAN SETBACKS:

FRONT = 0 FT

SIDE, INTERIOR = 0 FT

SIDE, FACING A STREET = **0 FT**

REAR = 0 FT

PEDESTAL & TOWER (NON-OCEANFRONT) SETBACKS:

FRONT = 0 FT; 5 FT FOR RESIDENTIAL

SIDE, INTERIOR = 7.5 FT WHEN ABUTTING A RESIDENTIAL DISTRICT, OTHERWISE NONE; RESIDENTIAL USES SHALL FOLLOW R-PS1, 2, 3, 4 SETBACKS

SIDE, FACING A STREET = **0 FT**; RESIDENTIAL USES SHALL FOLLOW R-PS1, 2, 3, 4 SETBACKS

REAR = 10 FT WHEN ABUTTING A RESIDENTIAL DISTRICT, OTHERWISE 5 FT

RESIDENTIAL USE IN C-PS2 DISTRICT

PURSUANT TO ALL R-PS3 REGULATIONS, EXCEPT MAXIMUM BUILDING HEIGHT = 75 FT (SEC. 142-698 (b))

TOWER SETBACKS:

FRONT = 50 FT

SIDE, INTERIOR = THE REQUIRED PEDESTAL SETBACK (7.5 FT) PLUS 0.10 THE HEIGHT OF THE BUILDING (7.5 FT) = 15 FTSIDE, FACING A STREET = THE REQUIRED PEDESTAL SETBACK (5 FT) PLUS

0.10 THE HEIGHT OF THE BUILDING (7.5 FT) = 12.5 FT

REAR (NON-OCEANFRONT) = 15% OF LOT DEPTH = 19.5 FT

NOT FOR CONSTRUCTION

BUILDING DATA

BUILDING HEIGHT

ALLOWED HEIGHT TO PARKING GARAGE ROOF = 50'-0" PROPOSED HEIGHT TO PARKING GARAGE ROOF = 49'-0"

ALLOWED HEIGHT TO RESIDENTIAL ROOF = 75'-0"PROPOSED HEIGHT TO RESIDENTIAL ROOF = 75'-0"

ALLOWED HEIGHT TO MECH.BULKHEAD = 100'-0" PROPOSED HEIGHT TO MECH.BULKHEAD = 95'-0"

NUMBER OF STORIES

ALLOWED PARKING GARAGE = 5 PROPOSED PARKING GARAGE = 5 ALLOWED RESIDENTIAL = 5 PROPOSED RESIDENTIAL = 2

AREA

MAXIMUM BUILDING AREA = 39,000 SF

PROPOSED BUILDING AREA = 24,123 SF EXCLUDED FROM AREA (SEC. 114-1):

-TERRACES

-COMMERICAL PARKING GARAGES WHEN SUCH STRUCTURE IS THE MAIN USE ON A SITE -MECHANICAL EQUIP. ROOMS LOCATED ABOVE THE MAIN ROOF DECK

-ENCLOSED GARBAGE ROOMS ON THE GROUND FLOOR

RESIDENTIAL UNITS

4 TOTAL:

2 ON LEVEL 06

2 ON LEVEL 07

OFF-STREET LOADING

1 LOADING SPACE W/IN BUILDING

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Allied Partners 770 Lexington Ave New York, NY 10065-8165

New York, NY 10152 License # AA26003249

CONSULTANTS

Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143

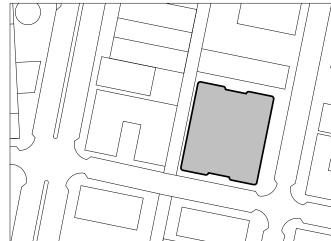
Traffic Consultant: Traf Tech Engineering, Inc. 8400 N. University Drive, Suite 202 Tamarac, FL 33321

Parking / Auto-Turn Consultant: Juan Espinosa **David Plummer & Associates**

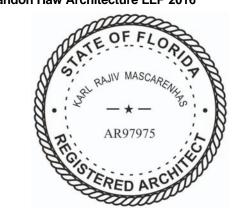
Coral Gables, FL 33134

NO. DESCRIPTION

02 FINAL SUBMITTAL01 PROGRESS SET



SCALE & ORIENTATION



PB A-002 ZONING DATA

1. BUILDING AREAS SUMMARY

NOT FOR CONSTRUCTION

Level	Area
LEVEL 01A - GROUND FLOOR	13,358 SF
LEVEL 01B	6,003 SF
LEVEL 02B	16,273 SF
LEVEL 03B	16,273 SF
LEVEL 04B	16,273 SF
LEVEL 05B	16,273 SF
LEVEL 06B - PENTHOUSE 01/02	6,698 SF
LEVEL 07 - PENTHOUSE 03/04	6,710 SF
LEVEL 08 - ROOF LEVEL	168 SF
TOTAL	98,030 SF

GROSS PARKING AREA	
Level	Area
LEVEL 01A - GROUND FLOOR	2,812 SF
LEVEL 01B	6,003 SF
LEVEL 02B	16,273 SF
LEVEL 03B	16,273 SF
LEVEL 04B	16,273 SF
LEVEL 05B	16,273 SF
TOTAL	73,908 SF

OTAL GROSS NON-CARPARK AREA 24,123 SF

GROSS RESIDENTIA	L AREA
Level	Area
LEVEL 01A - GROUND FLOOR	798 SF
LEVEL 06B - PENTHOUSE 01/02	6,698 SF
LEVEL 07 - PENTHOUSE 03/04	6,710 SF
LEVEL 08 - ROOF LEVEL	83 SF
LEVEL 08 - ROOF LEVEL	84 SF
TOTAL	14,374 SF

	GROSS RESTAURAN	TAREA
	Level	Area
_		
	LEVEL 01A - GROUND FLOOR	7,166 SF
	TOTAL	7,166 SF

GROSS BOH AF	REA
Level	Area
LEVEL 01A - GROUND FLOOR	2,583 SF
TOTAL	2,583 SF

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Allied Partners 770 Lexington Ave

> New York, NY 10065-8165 **Design Architect:** Brandon Haw Architecture LLF 375 Park Avenue, Suite 3308

New York, NY 10152 License # AA26003249

CONSULTANTS

NO. DESCRIPTION

01 PROGRESS SET

Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143

> Traffic Consultant: Traf Tech Engineering, Inc. 8400 N. University Drive, Suite 202 Tamarac, FL 33321

Parking / Auto-Turn Consultant:

Juan Espinosa **David Plummer & Associates** 1750 Ponce de Leon Boulevard Coral Gables, FL 33134

THE TOTAL FLOOR AREA FOR NON-CARPARK USES MUST BE < 25% OF TOTAL GROSS AREA OF BUILDING, PER MIAMI BEACH ZONING ORD. SEC. 130-68 (1) FOR COMMERCIAL AND NON-COMMERICAL PARKING GARAGES

- 1. TOTAL GROSS NON CAR PARK AREA = 24,123 SF
- 2. GROSS BUILDING AREA = 98,030 SF
- 3. NON CAR PARK = 24.60% OF TOTAL BUILDING AREA (24,123 SF / 98,030 SF)) \times 100 = 24.60
- 4. SINCE NON-CARPARK AREA < 25% OF TOTAL BUILDING AREA, THIS COMPLIES WITH SECTION 130-68(1)

2. PARKING SPACE COUNT SUMMARY

Level	Count	Comments
2010.	333.11	
LEVEL 01A - GROUND FLOOR	8	
LEVEL 01B	2	
LEVEL 02A	23	
LEVEL 02B	19	2 ADA SPACES, INCLUDING 1 VAN*
LEVEL 03A	23	
LEVEL 03B	19	2 ADA SPACES*
LEVEL 04A	23	
LEVEL 04B	19	2 ADA SPACES*
LEVEL 05A	23	
LEVEL 05B	18	
TOTAL	177	6 ADA SPACES INCLUDING 1 VAN*

* NOTE: ACCESSIBLE PARKING REQUIREMENTS FROM IBC 2012 SEC. 1106.1, 1106.5

3. PARKING SPACE ALLOCATION SUMMARY

THE TOTAL FLOOR AREA OF PARKING SPACES FOR RESIDENTIAL & RESTAURANT USE MUST BE ≤ 50% OF TOTAL GROSS AREA OF BUILDING PER MIAMI BEACH ZONING ORD. SEC. 130-68 (1), FOR COMMERCIAL AND NON-COMMERICAL PARKING GARAGES

- 1. 50% OF TOTAL GROSS AREA OF BUILDING = 98,030 SF / 2 = **49,015 SF**
- 2. GROSS PARKING AREA RESIDENTIAL + RESTAURANT = 24,244 SF < #1 (50% OF TOTAL GROSS AREA OF BUILDING)
- 3. GROSS PARKING AREA = **73,908 SF**
- 4. TOTAL PARKING COUNT = 177 SPACES
- 5. GROSS FLOOR AREA PER PARKING SPACE (GROSS PARKING AREA/TOTAL PARKING COUNT) = 73,908 SF / 177 SPACES = 418 SF PER PARKING SPACE
- 6. MIN. PARKING FOR PRIMARY USE (50% BUILDING AREA/GROSS AREA PER PARKING SPACE) = 49,171 SF / 418 SF PER PARKING SPACE = 118; 119 PARKING SPACES ALLOCATED FOR PRIMARY USE
- 7. PARKING SPACES AVAILABLE FOR NON PRIMARY USE (RESIDENTIAL + RESTAURANT) =
 - = TOTAL PARKING SPACES PROVIDED PRIMARY USE SPACES = 177 119 SPACES = 58 SPACES:
 - 8 PARKING SPOTS ALLOCATED FOR RESIDENTIAL
 - 50 SPOTS ALLOCATED FOR RESTAURANT
- 8. PER MIAMI BEACH ZONING ORD. SEC. 130-32 (36), MAX. RESTAURANT OCCUPANCY SEAT COUNT FOR RESTAURANT = 4 seats/parking spots = 200 SEATS
- 9. SEATS PROVIDED IN RESTAURANT = 199 SEATS

COMPLIANCE WITH MIAMI BEACH ZONING ORD. SECTION 130-68 (1):

BUILDING MAIN USE IS PARKING GARAGE

<25% OF TOTAL BUILDING GROSS AREA ALLOTED FOR NON-CARPARK USES.

>50% **OF TOTAL BUILDING GROSS AREA ALLOTED AS PRIMARY USE PARKING**

SCALE & ORIENTATION

NOT TO SCALE

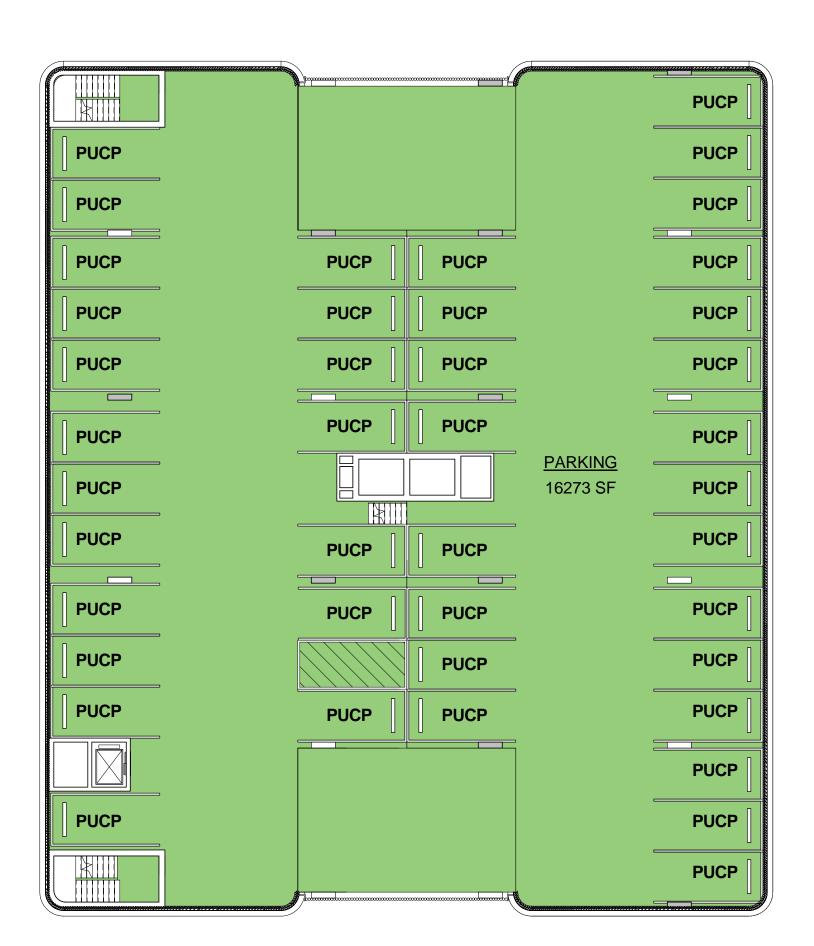
made regarding the design or its adequacy for



PB A-006 AREA AND PARKING COUNT SUMMARY

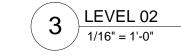
FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF TO SUMMARY SHEET PB A-004.

NOT FOR CONSTRUCTION



LEVEL 3			
GROSS FLOOR AREA			
Program	Gross Floor Area		
PARKING	16273 SF		
RESIDENTIAL	0		
RESTAURANT	0		
ВОН	0		
FLOOR TOTAL	16273 SF		

PARKING SPACE ALLOCATION		
Allocation	Count	
PRIMARY USE CARPARK (PUCP)	42	
RESTAURANT (R)	0	
RESIDENTIAL (RES)	0	
FLOOR TOTAL 42		



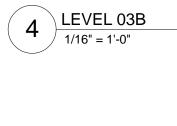
	A \	/		AND ASSESSMENT OF THE PROPERTY OF THE PARTY
		<u> </u>		PUCP
PUCP				PUCP
PUCP				PUCP
PUCP	PUCP	PUCP		PUCP
PUCP	PUCP	PUCP	-	PUCP
PUCP	PUCP	PUCP	-	PUCP
PUCP	PUCP	PUCP		PUCP
PUCP			PARKING 16273 SF	PUCP
PUCP	PUCP	PUCP	-	PUCP
			-	
PUCP	PUCP	PUCP	3	PUCP
PUCP		PUCP	•	PUCP
PUCP	PUCP	PUCP	-	PUCP
				PUCP
PUCP				PUCP
	7			PUCP

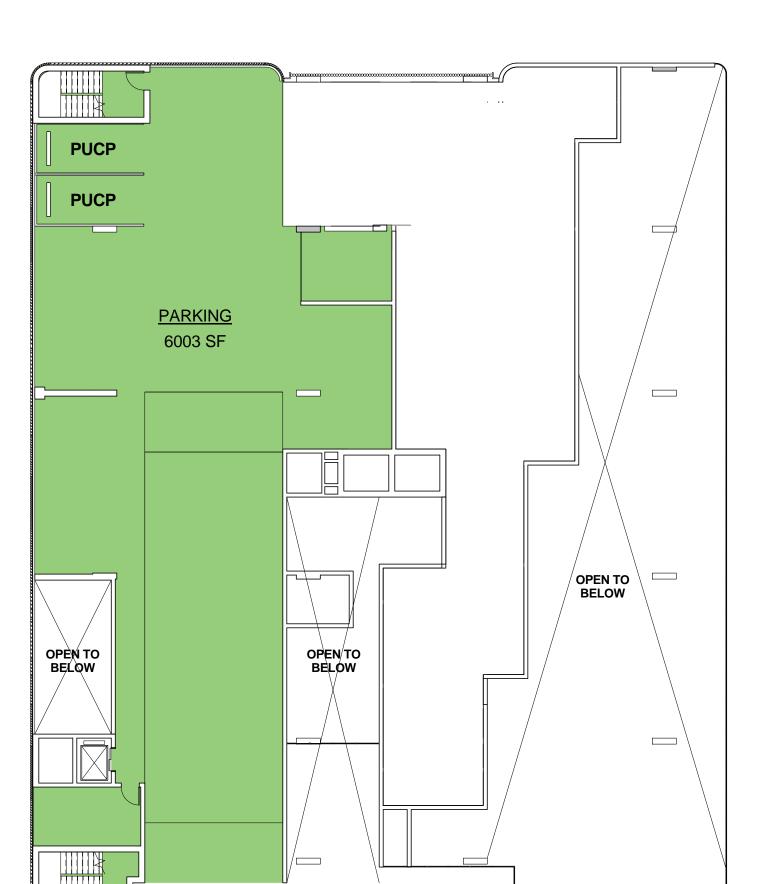
Program	Gross Floor Area	
	_	
PARKING	16273 SF	
RESIDENTIAL	0	
RESTAURANT	0	
ВОН	0	
FLOOR TOTAL	16273 SF	
DADKING SDA	CE ALLOCATION	
PARKING SPACE	CE ALLOCATION	
PARKING SPACE	CE ALLOCATION Count	

LEVEL 2

GROSS FLOOR AREA

PARKING SPACE ALLOCATION	
Allocation	Count
PRIMARY USE CARPARK (PUCP)	42
RESTAURANT (R)	0
RESIDENTIAL (RES)	0
FLOOR TOTAL	42





GROSS FLOOR AREA			
Program	Gross Floor Area		
PARKING	6003 SF		
RESIDENTIAL	0		
RESTAURANT	0		
ВОН	0		
FLOOR TOTAL	6003 SF		

LEVEL 1B MEZZ

PARKING SPACE ALLOCATION		
Allocation	Count	
PRIMARY USE CARPARK (PUCP)	2	
RESTAURANT (R)	0	
RESIDENTIAL (RES)	0	
FLOOR TOTAL	0	

1 LEVEL 1A - GROUND FLOOR
1/16" = 1'-0"

BOH 1929 SF	TRASH RM.
PARKING 2563 SF	TRASH RM.
BOH RES	RESTAURANT 7166 SF 798 SF
ENTRY RAMP PARKING 249 SF BOH 159 SF	

LEVEL 1A		
CDOSS FI	OOD ADEA	
GRUSS FI	LOOR AREA	
Program	Gross Floor Area	
PARKING	2812 SF	
RESIDENTIAL	798 SF	
RESTAURANT	7166 SF	
ВОН	2583 SF	
FLOOR TOTAL	13180 SF	

PARKING SPACE ALLOCATION		
Allocation	Count	
PRIMARY USE CARPARK (PUCP)	0	
RESTAURANT (R)	0	
RESIDENTIAL (RES)	8	
FLOOR TOTAL	8	

TORINO GARAGE 400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner: Allied Partners 770 Lexington Ave New York, NY 10065-8165

Design Architect: Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308

New York, NY 10152

License # AA26003249

CONSULTANTS

Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143

> **Traffic Consultant:** Traf Tech Engineering, Inc. 8400 N. University Drive, Suite 202 Tamarac, FL 33321

Parking / Auto-Turn Consultant: Juan Espinosa

David Plummer & Associates 1750 Ponce de Leon Boulevard Coral Gables, FL 33134

NO. DESCRIPTION

MAY 4, 2016 02 FINAL SUBMITTAL APRIL 27, 2016

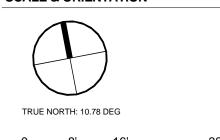
DATE OF ISSUE **Author** 05/03/2016 CHECKED BY 1/16" = 1'-0" PROJECT NO. & TITLE Project Number TORINO GARAGE

PROJECT STATUS

01 PROGRESS SET

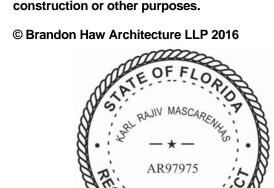
KEY PLAN

SCALE & ORIENTATION



SEAL & SIGNATURE This document has been prepared for creative,

conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for

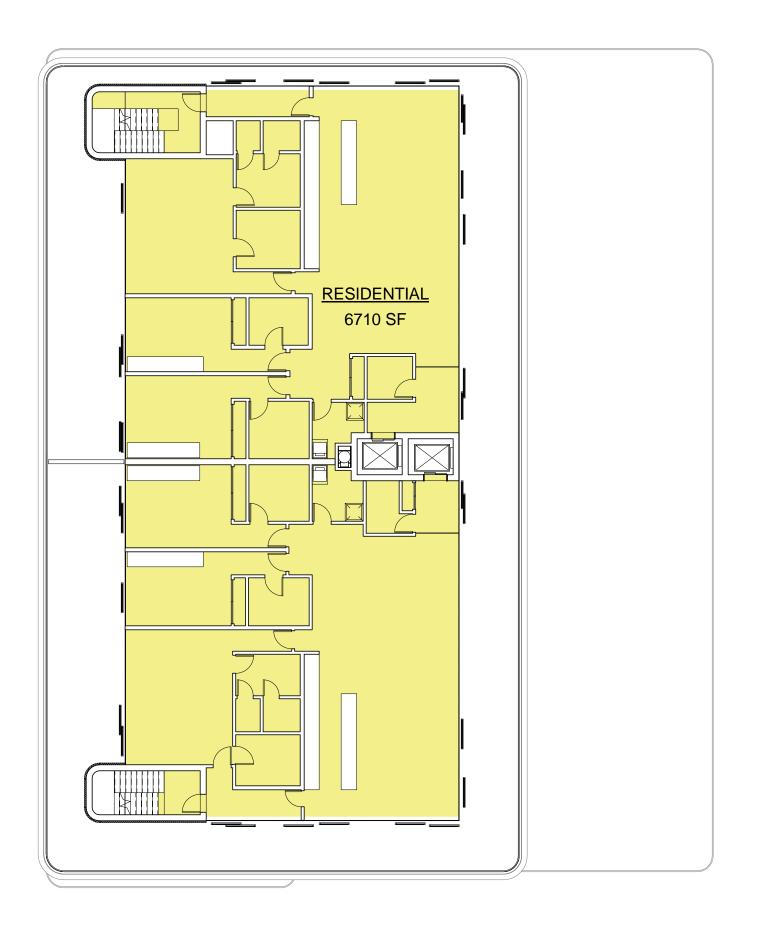


PB A-007 AREA PLANS - LVL 1 TO LVL 3

2 LEVEL 1B MEZZ
1/16" = 1'-0"

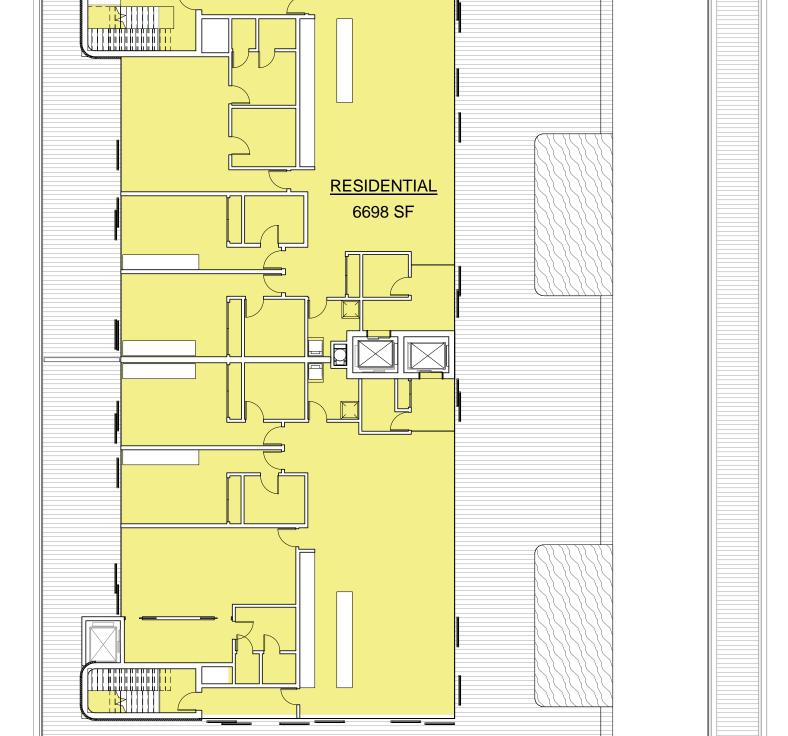
FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF TO SUMMARY SHEET PB A-004.

NOT FOR CONSTRUCTION



LEVEL 7 - PENTHOUSE 03/04

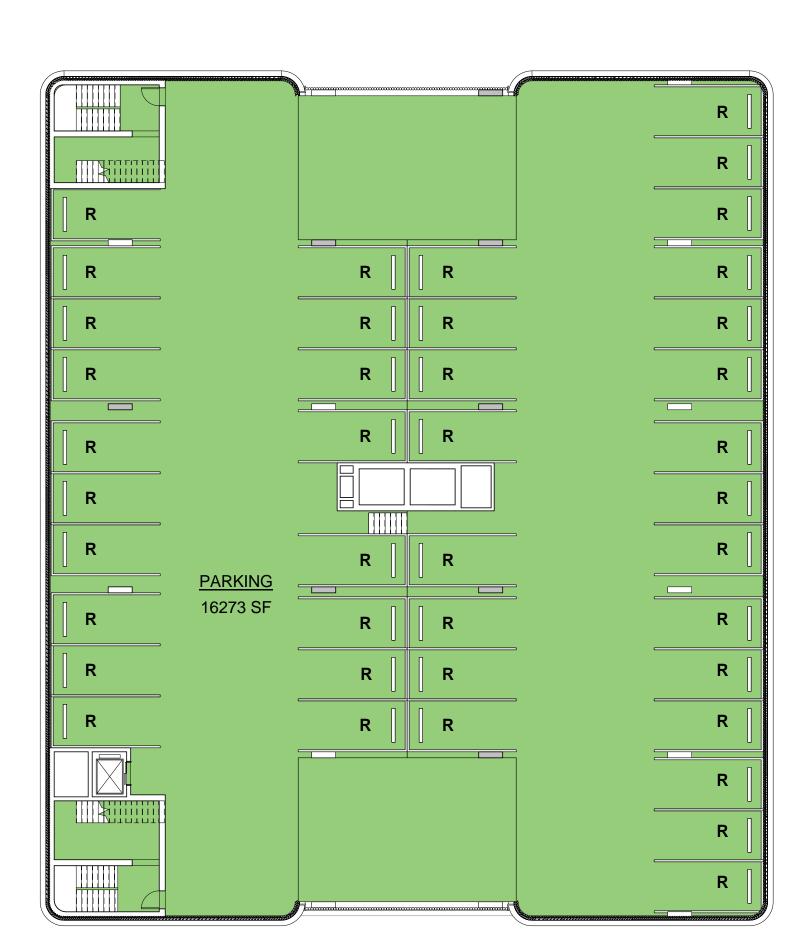
GROSS FLOOR AREA			
Program	Gross Floor Area		
PARKING	0		
RESIDENTIAL	6710 SF		
RESTAURANT	0		
ВОН	0		
FLOOR TOTAL	6710 SF		



LEVEL 6 - PENTHOUSE 01/02

GROSS FLOOR AREA		
Program	Gross Floor Area	
PARKING	0	
RESIDENTIAL	6698 SF	
RESTAURANT	0	
вон	0	
FLOOR TOTAL	6698 SF	

4 LEVEL 07 - PENTHOUSE 03/04
1/16" = 1'-0"



L	E١	/E	ΞL	5	

GROSS FLOOR AREA			
Program	Gross Floor Area		
PARKING	16273 SF		
RESIDENTIAL	0		
RESTAURANT	0		
ВОН	0		
FLOOR TOTAL	16273 SF		

PARKING SPACE ALLOCATION		
Allocation	Count	
PRIMARY USE CARPARK PUCP)	0	
RESTAURANT R)	41	
RESIDENTIAL RES)	0	
LOOR TOTAL	41	

L	EVEL	_ 4

GROSS FLOOR AREA		
Program	Gross Floor Area	
PARKING	16273 SF	
RESIDENTIAL	0	
RESTAURANT	0	
ВОН	0	
FLOOR TOTAL	16273 SF	

PARKING SPACE ALLOCATION		
Allocation	Count	
PRIMARY USE CARPARK (PUCP)	33	
RESTAURANT (R)	9	
RESIDENTIAL (RES)	0	
FLOOR TOTAL	42	

1 LEVEL 04B
1/16" = 1'-0"

3 LEVEL 06B - PENTHOUSE 01/02
1/16" = 1'-0"

PROJECT

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner:
Allied Partners
770 Lexington Ave
New York, NY 10065-8165

Design Architect:
Brandon Haw Architecture LLP
375 Park Avenue, Suite 3308
New York, NY 10152

License # AA26003249

CONSULTANTS

Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143

Traffic Consultant:
Traf Tech Engineering, Inc.
8400 N. University Drive, Suite 202
Tamarac, FL 33321

Parking / Auto-Turn Consultant:
Juan Espinosa

David Plummer & Associates 1750 Ponce de Leon Boulevard Coral Gables, FL 33134

02FINAL SUBMITTALMAY 4, 201601PROGRESS SETAPRIL 27, 2016

DATE OF ISSUE

05/03/2016

SCALE

1/16" = 1'-0"

DRAWN BY

Author

CHECKED BY

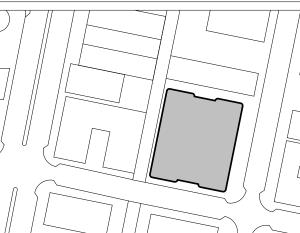
Checker

PROJECT NO. & TITLE
Project Number TORINO GARAGE
PROJECT STATUS

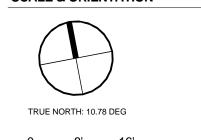
Project Status

NO. DESCRIPTION

KEY PLAN



SCALE & ORIENTATION



SEAL & SIGNATURE

This document has been prepared for creative, conceptual or planning purposes only. No warranties are

made regarding the design or its adequacy for construction or other purposes.

© Brandon Haw Architecture LLP 2016



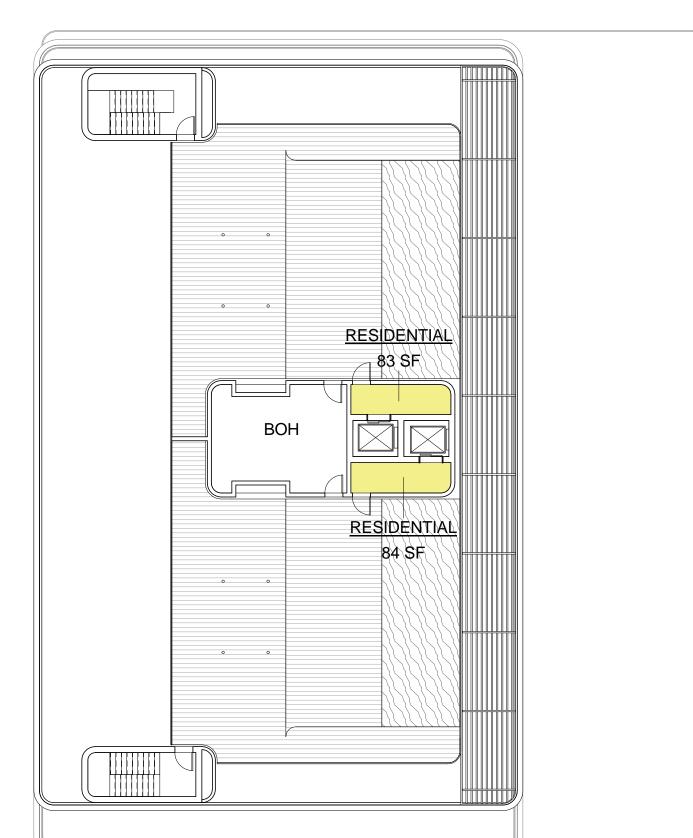
DRAWING TITLE

PB A-008
AREA PLANS - LVL 4 TO
LVL 7

ARCH E1 30"x42"

FOR BUILDING AREA SUMMARY, PARKING COUNT, AND COMPLIANCE WITH SECTION 130-68(1), PLEASE REF TO SUMMARY SHEET PB A-004.

NOT FOR CONSTRUCTION



0 0	
RESIDENTIAL 83 SF	
ВОН	
RESIDENTIAL 84 SF	

1 LEVEL 08 - ROOF LEVEL
1/16" = 1'-0"

TORINO GARAGE 400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner: Allied Partners

770 Lexington Ave New York, NY 10065-8165 **Design Architect:**

Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308 New York, NY 10152

License # AA26003249

CONSULTANTS

Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224 Coral Gables, FL 33143

Traffic Consultant:
Traf Tech Engineering, Inc.
8400 N. University Drive, Suite 202
Tamarac, FL 33321

Parking / Auto-Turn Consultant: Juan Espinosa David Plummer & Associates 1750 Ponce de Leon Boulevard Coral Gables, FL 33134

NO.	DESCRIPTION	DATE

MAY 4, 2016 02 FINAL SUBMITTAL 01 PROGRESS SET APRIL 27, 2016

DATE OF ISSUE	DRAWN BY
05/03/2016	Author
SCALE	CHECKED BY
1/16" = 1'-0"	Checker
PROJECT NO. & TITLE	
Project Number TORINO GA	RAGE

PROJECT STATUS Project Status

KEY PLAN

GROSS FLOOR AREA

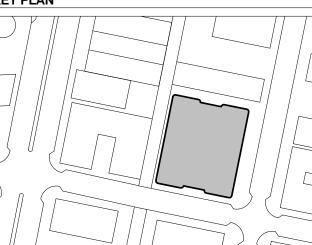
PARKING

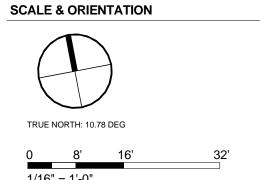
RESIDENTIAL

RESTAURANT

FLOOR TOTAL

Gross Floor Area

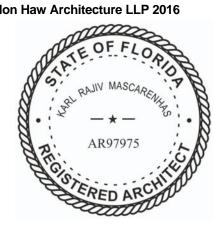




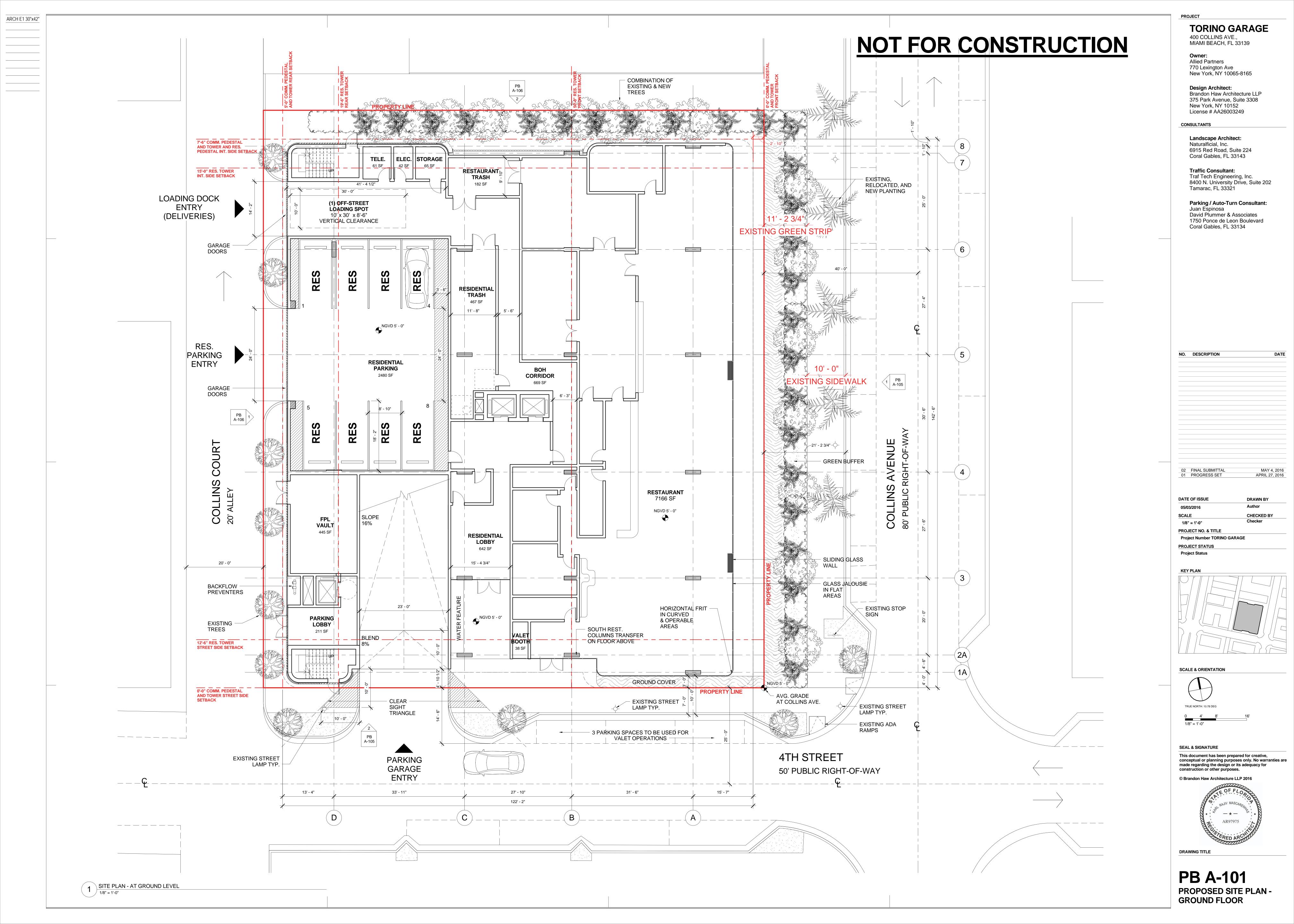
SEAL & SIGNATURE

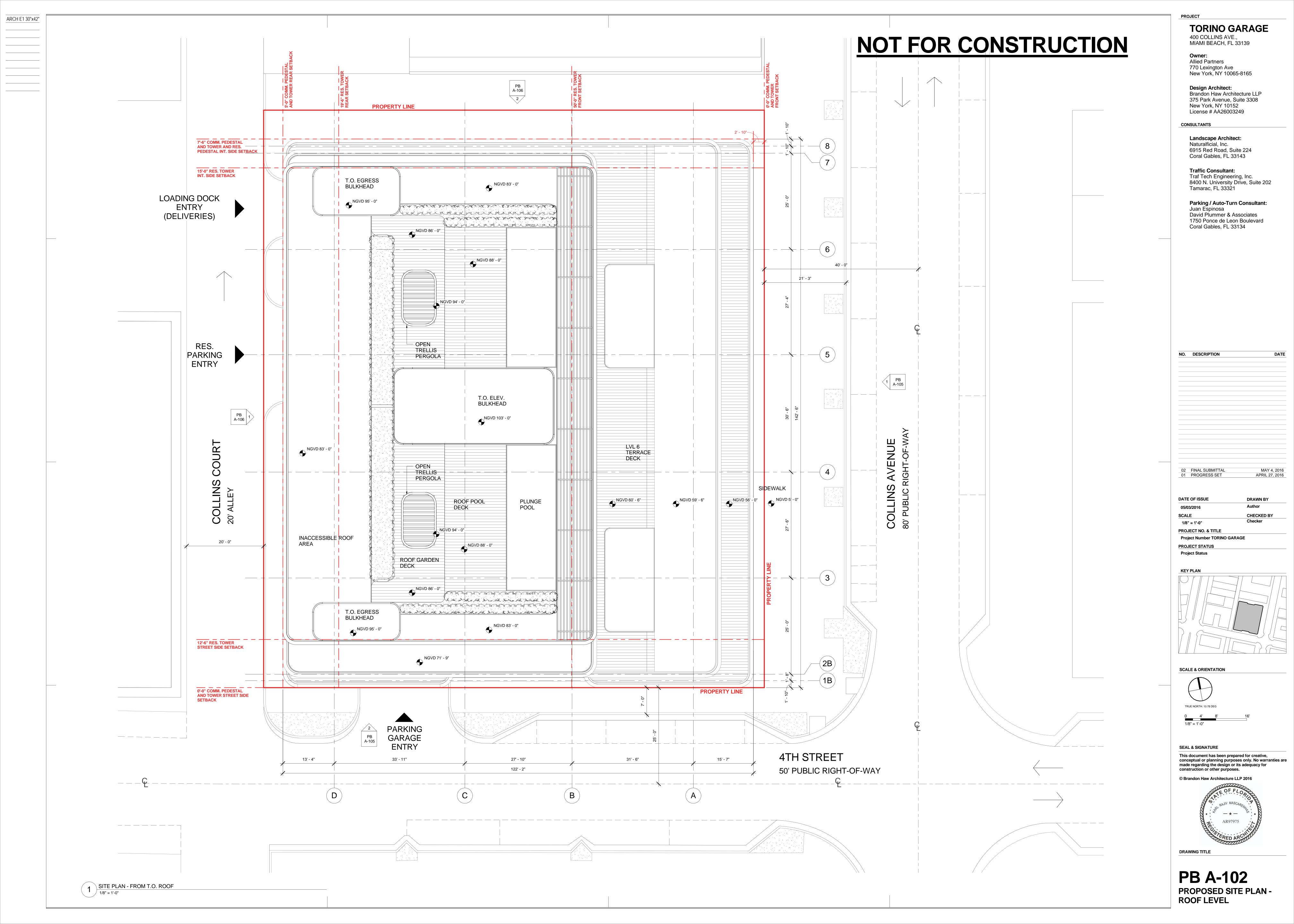
This document has been prepared for creative, conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for

© Brandon Haw Architecture LLP 2016



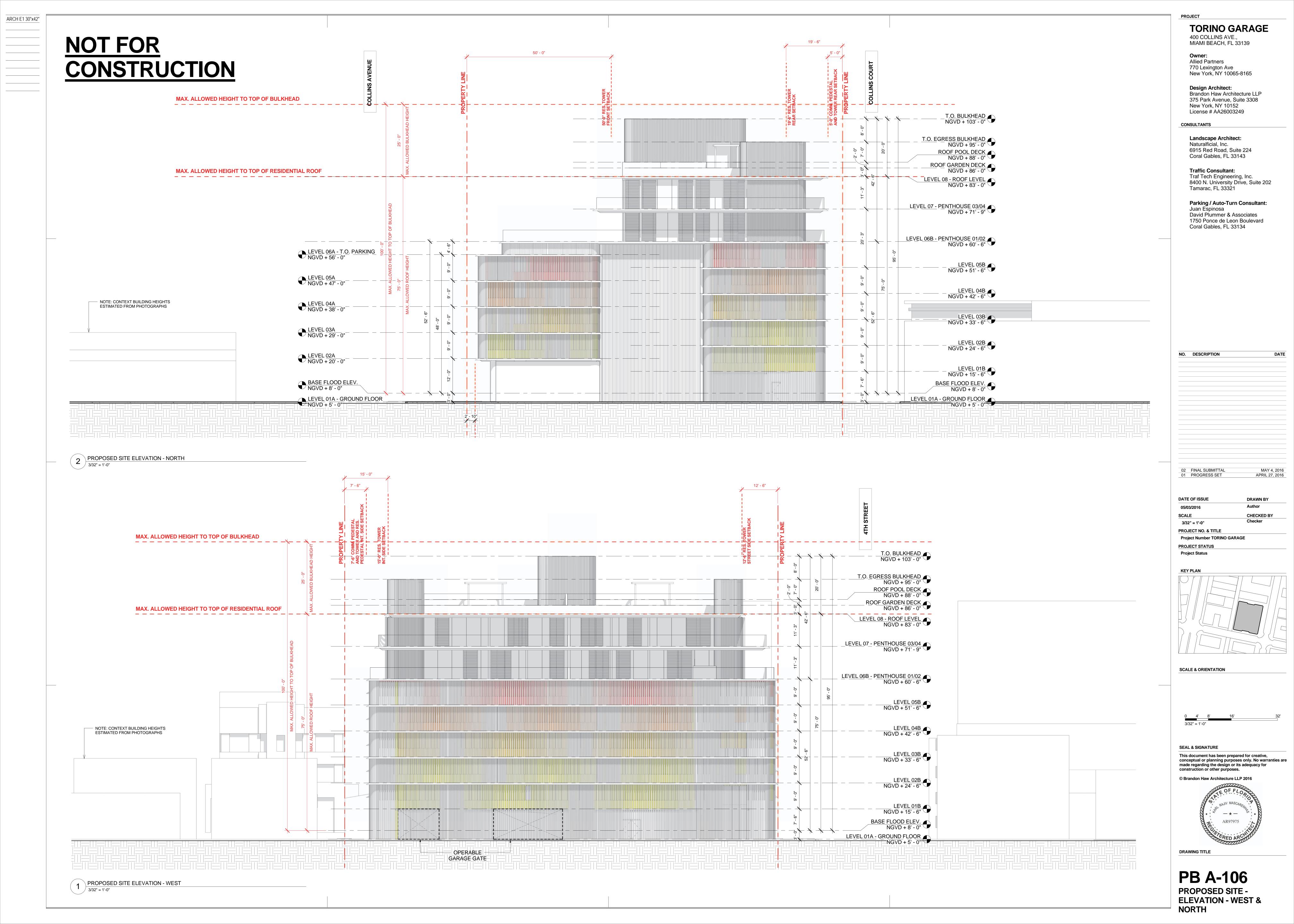
PB A-009 AREA PLANS - LVL 8

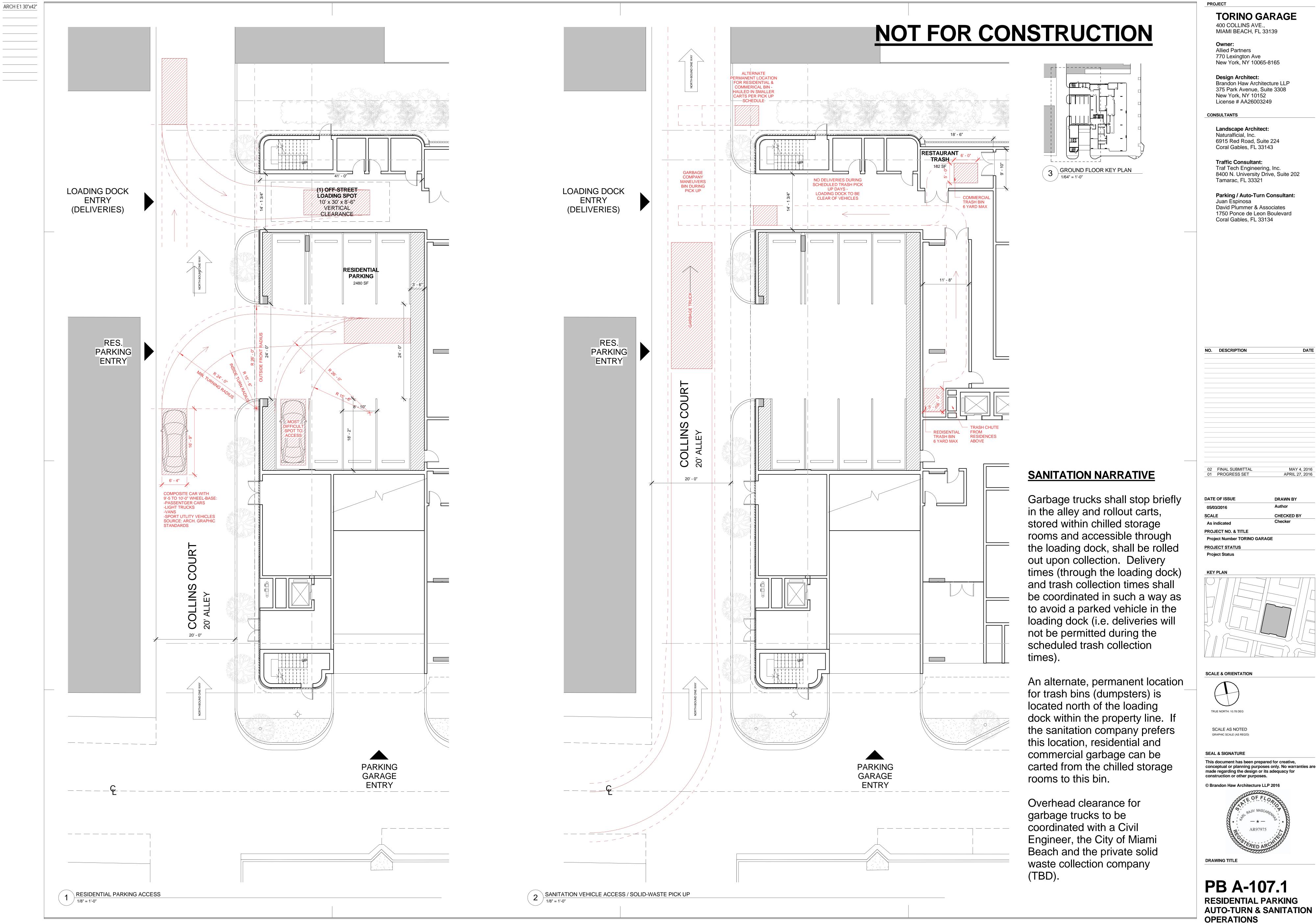


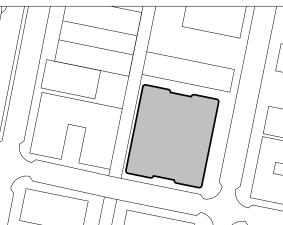




ELEVATION - EAST & SOUTH





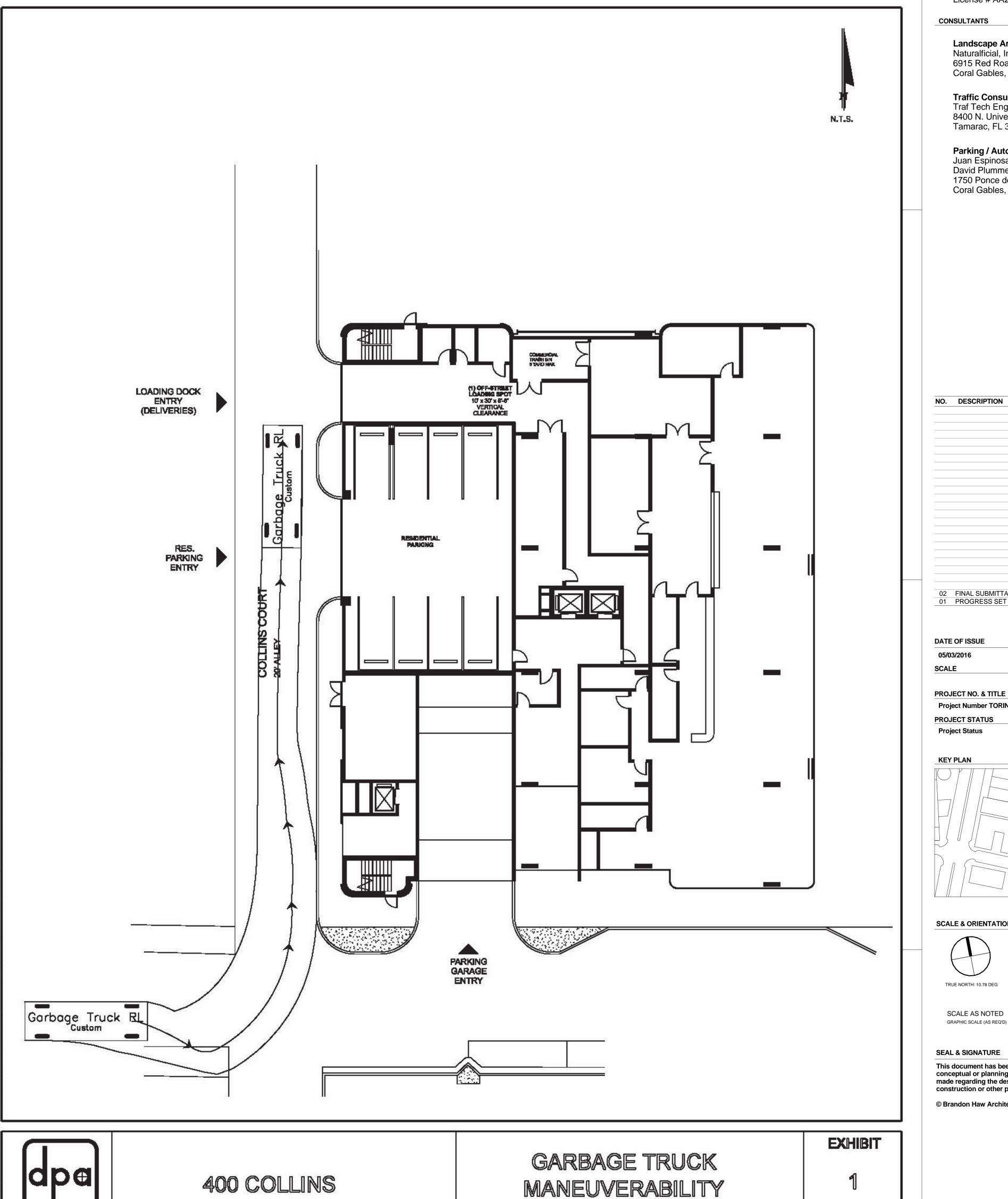


NOT FOR CONSTRUCTION

LOADING DOCK (DELIVERIES) RES. PARKING ENTRY **EXHIBIT** LOADING

SANITATION NARRATIVE

Garbage trucks shall stop briefly in the alley and rollout carts, stored within chilled storage rooms and accessible through the loading dock, shall be rolled out upon collection. Delivery times (through the loading dock) and trash collection times shall be coordinated in such a way as to avoid a parked vehicle in the loading dock (i.e. deliveries will not be permitted during the scheduled trash collection times). An alternate, permanent location for trash bins (dumpsters) is located north of the loading dock within the property line. If the sanitation company prefers this location, residential and commercial garbage can be carted from the chilled storage rooms to this bin. Overhead clearance for garbage trucks to be coordinated with a Civil Engineer, the City of Miami Beach and the private solid waste collection company (TBD).



DELIVERY AUTO-TURN ANALYSIS PROVIDED BY PARKING / AUTO-TURN CONSULTANT DRAWING NOT TO SCALE

MANEUVERABILITY

400 COLLINS

SANITATION AUTO-TURN ANALYSIS PROVIDED BY PARKING / AUTO-TURN CONSULTANT DRAWING NOT TO SCALE

TORINO GARAGE

400 COLLINS AVE., MIAMI BEACH, FL 33139

Owner: Allied Partners 770 Lexington Ave New York, NY 10065-8165

Design Architect: Brandon Haw Architecture LLP 375 Park Avenue, Suite 3308 New York, NY 10152

License # AA26003249

Coral Gables, FL 33143

Tamarac, FL 33321

CONSULTANTS

Landscape Architect: Naturalficial, Inc. 6915 Red Road, Suite 224

> **Traffic Consultant:** Traf Tech Engineering, Inc. 8400 N. University Drive, Suite 202

Parking / Auto-Turn Consultant:

Juan Espinosa David Plummer & Associates 1750 Ponce de Leon Boulevard Coral Gables, FL 33134

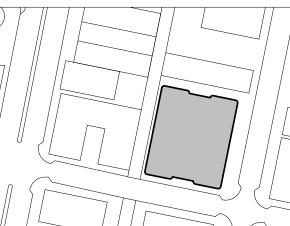
NO. DESCRIPTION

MAY 4, 2016 APRIL 27, 2016

DATE OF ISSUE

PROJECT NO. & TITLE

Project Number TORINO GARAGE PROJECT STATUS



SCALE & ORIENTATION



SCALE AS NOTED

conceptual or planning purposes only. No warranties are made regarding the design or its adequacy for

© Brandon Haw Architecture LLP 2016

DRAWING TITLE

PB A-107.2 **DELIVERY & SANITATION AUTO-TURN**