

DESIGN NARRATIVE		
Sheet Number	Sheet Name	Sheet Issue Date
PB A-500	PROPOSED BUILDING - NARRATIVE	05/03/2016
PB A-501	PROPOSED BUILDING - MATERIALS	05/03/2016
PB A-502	HISTORICAL CONTEXT - COLOR	05/03/2016
PB A-503	HISTORICAL CONTEXT - COLOR	05/03/2016
PB A-504	HISTORICAL CONTEXT - COLOR	05/03/2016

LANDSCAPE SHEET LIST		
Sheet Number	Sheet Name	Sheet Issue Date
L-0.00	EXISTING TREE SURVEY	4/18/2016
L-1.00	TREE DISPOSITION PLAN	4/18/2016
L-1.01	GROUND LEVEL LANDSCAPE PLAN	4/18/2016
L-1.02	LEVEL 6 LANDSCAPE PLAN	4/18/2016
L-1.03	ROOF LEVEL LANDSCAPE PLAN	05/03/2016
L-1.04	GENERAL PLANTING DETAILS	4/18/2016
L-1.05	GENERAL PLANTING DETAILS	05/03/2016
L-1.06	LEVEL 6 OPEN SPACE DIAGRAM	05/03/2016
L-1.07	ROOF LEVEL OPEN SPACE DIAGRAM	05/03/2016
L-4.01	GROUND LEVEL LIGHTING PLAN	05/03/2016
L-4.02	LEVEL 6 LIGHTING PLAN	05/03/2016
L-4.03	ROOF LIGHTING PLAN	05/03/2016
IR-1.01	GROUND LEVEL IRRIGATION PLAN & DETAILS	05/03/2016
IR-1.02	LEVEL 6 IRRIGATION PLAN	05/03/2016
IR-1.03	ROOF LEVEL IRRIGATION PLAN	05/03/2016

SCALE & ORIENTATION

PB A-001

DRAWING INDEX

FOR BUILDING AREA SUMMARY, PARKING COUNT,
AND COMPLIANCE WITH SECTION 130-68(1),
PLEASE REF TO SUMMARY SHEET PB A-004.

NOT FOR CONSTRUCTION

400 COLLINS AVE.,
MIAMI BEACH, FL 33139

Owner:
Allied Partners
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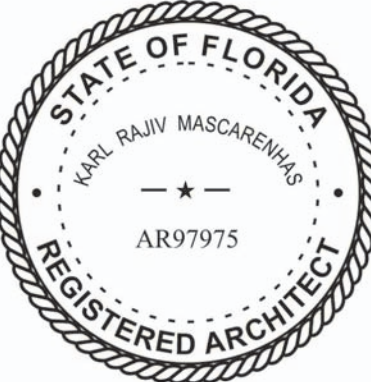
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1/16" = 1'-0"	Checker

PROJECT STATUS

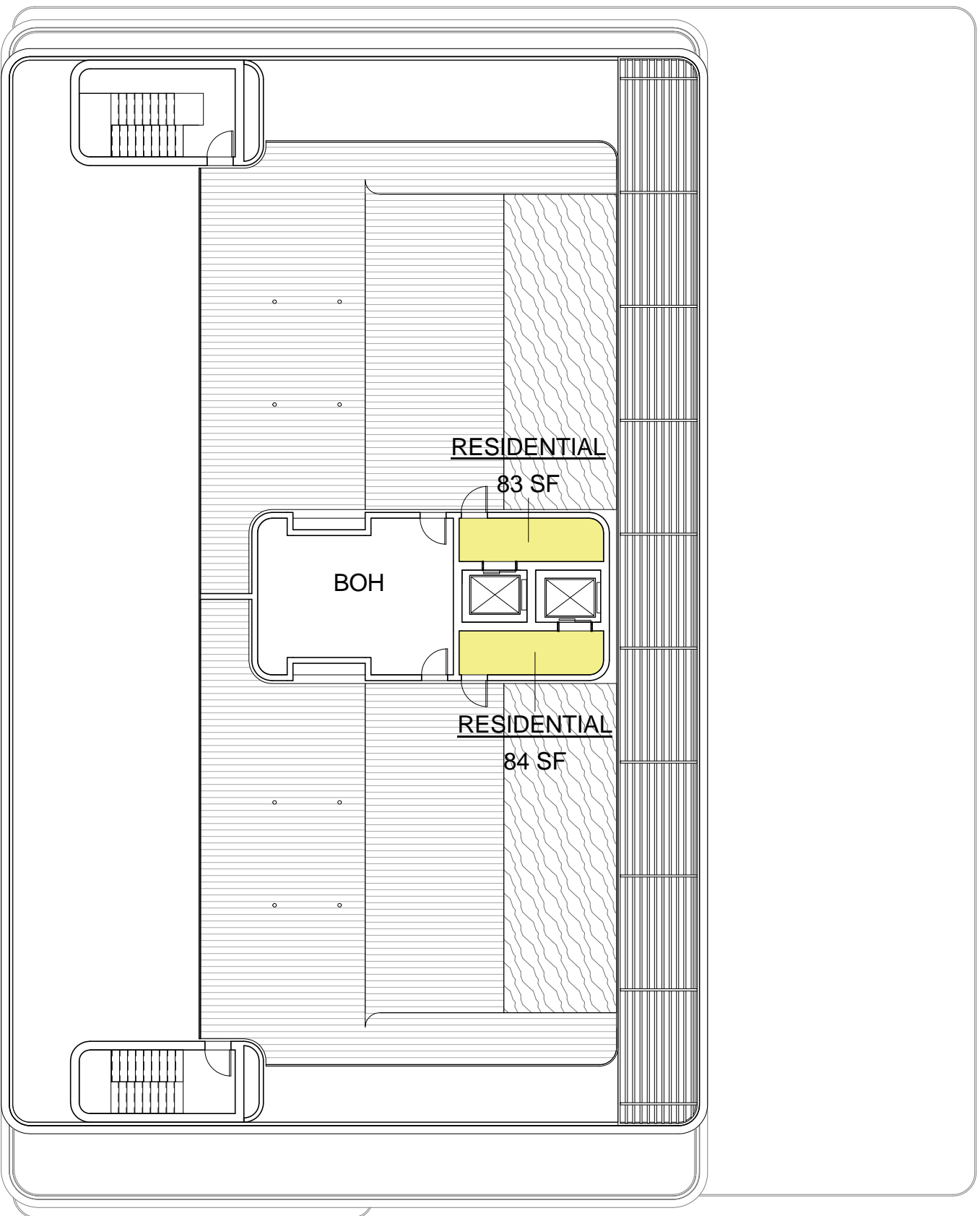
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PB A-009
AREA PLANS - LVL 8



LEVEL 8

GROSS FLOOR AREA	
Program	Gross Floor Area
PARKING	0
RESIDENTIAL	167 SF
RESTAURANT	0
FLOOR TOTAL	167SF

1 LEVEL 08 - ROOF LEVEL
1/16" = 1'-0"

PROJECT

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02	FINAL SUBMITTAL	MAY 4, 2016
01	PROGRESS SET	APRIL 27, 2016

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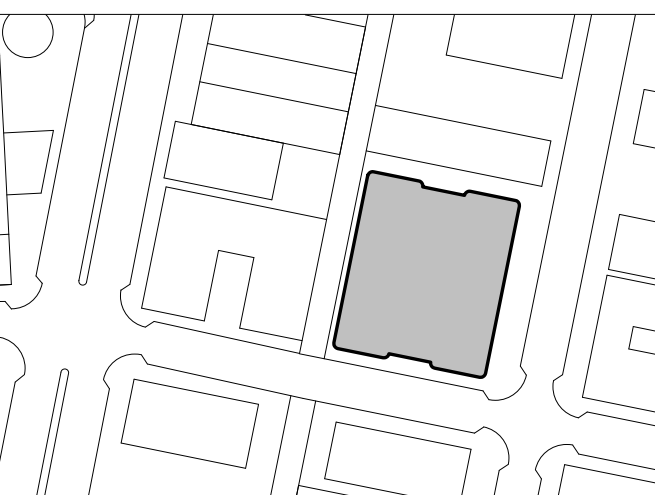
PROJECT NO. & TITLE

Project Number TORINO GARAGE

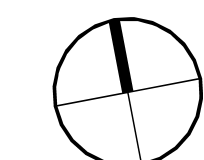
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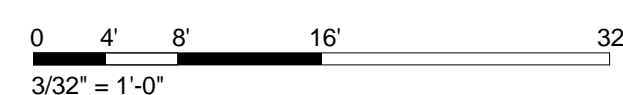
KEY PLAN



SCALE & ORIENTATION



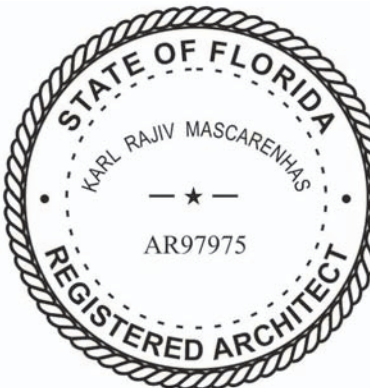
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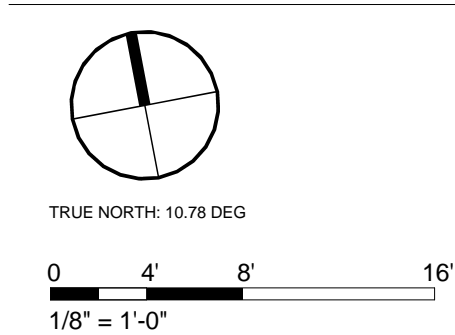
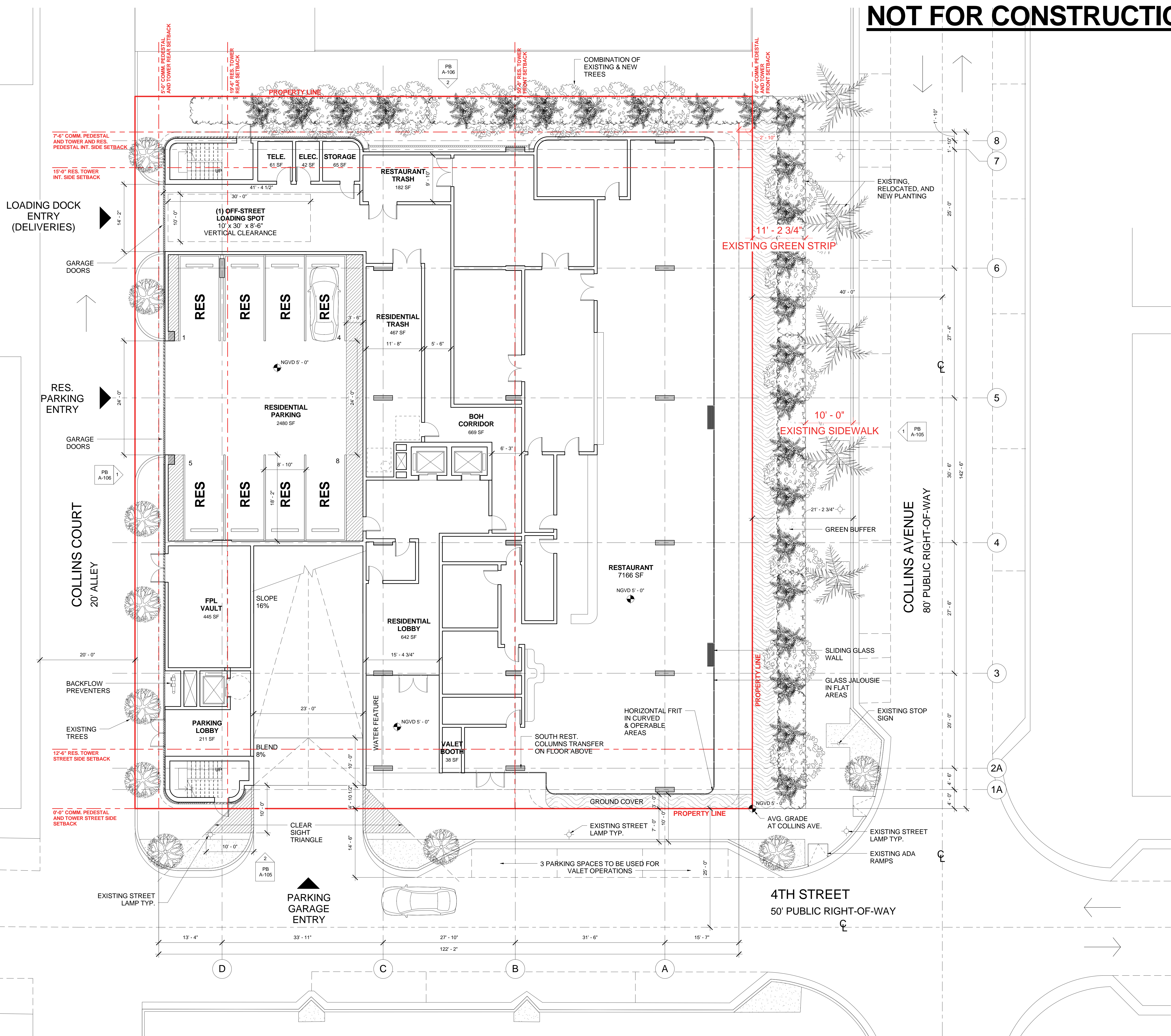
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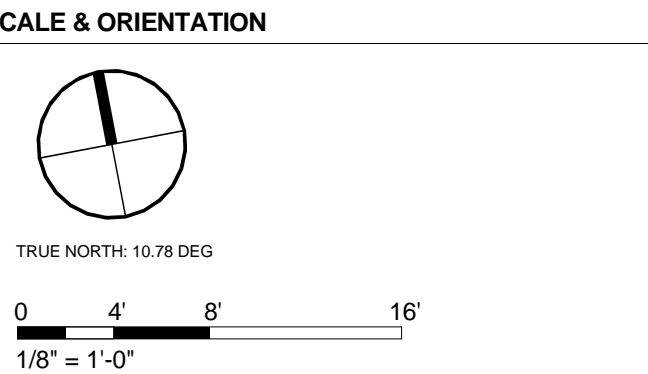
EXISTING SITE PLAN WITH REQUIRED SETBACKS

NOT FOR CONSTRUCTION

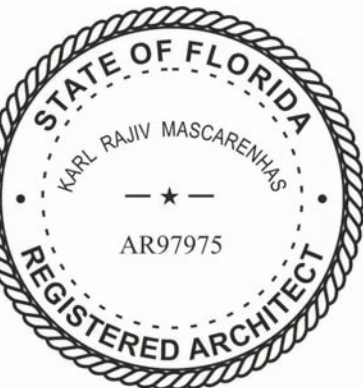


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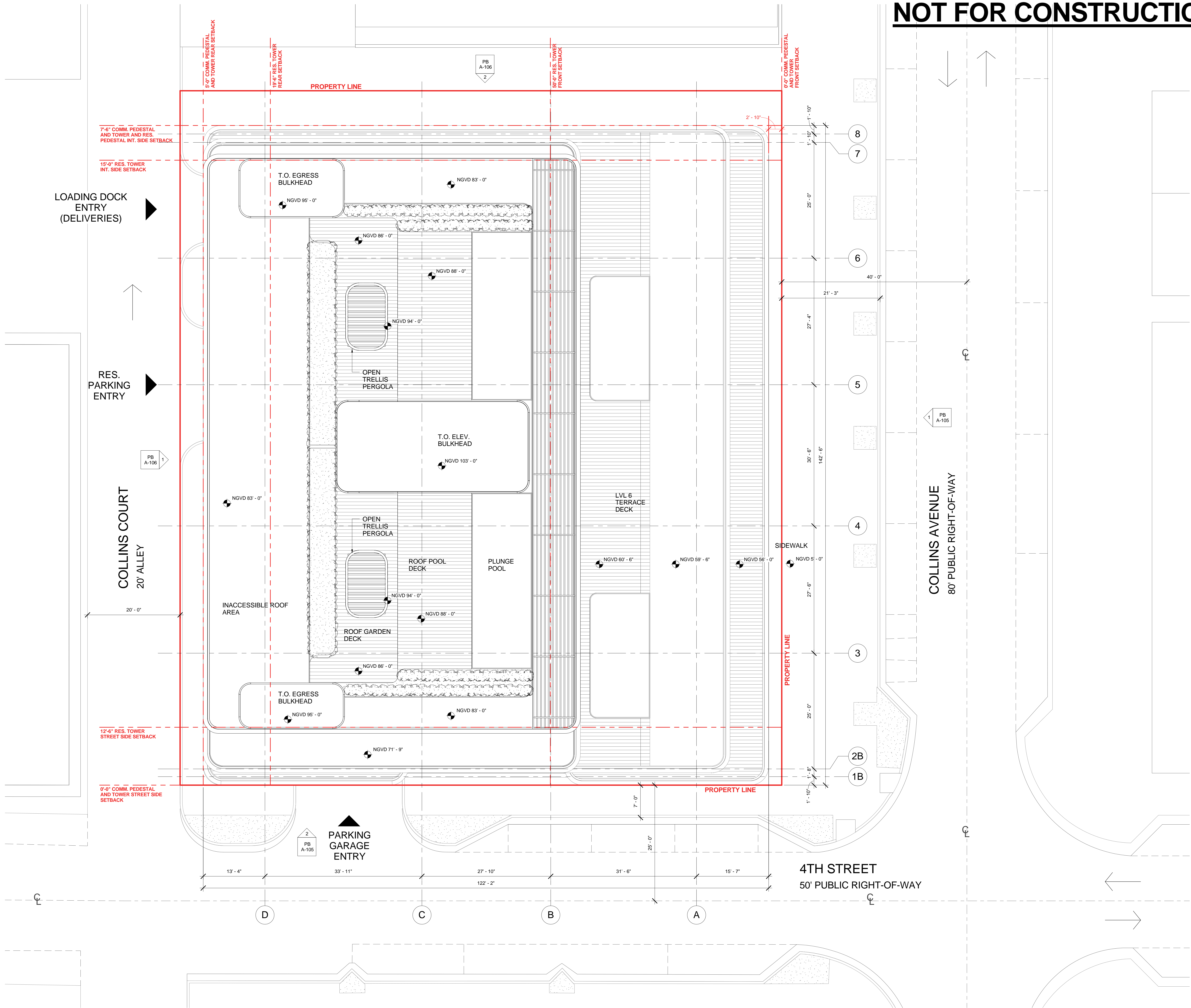
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PROJECT STATUS
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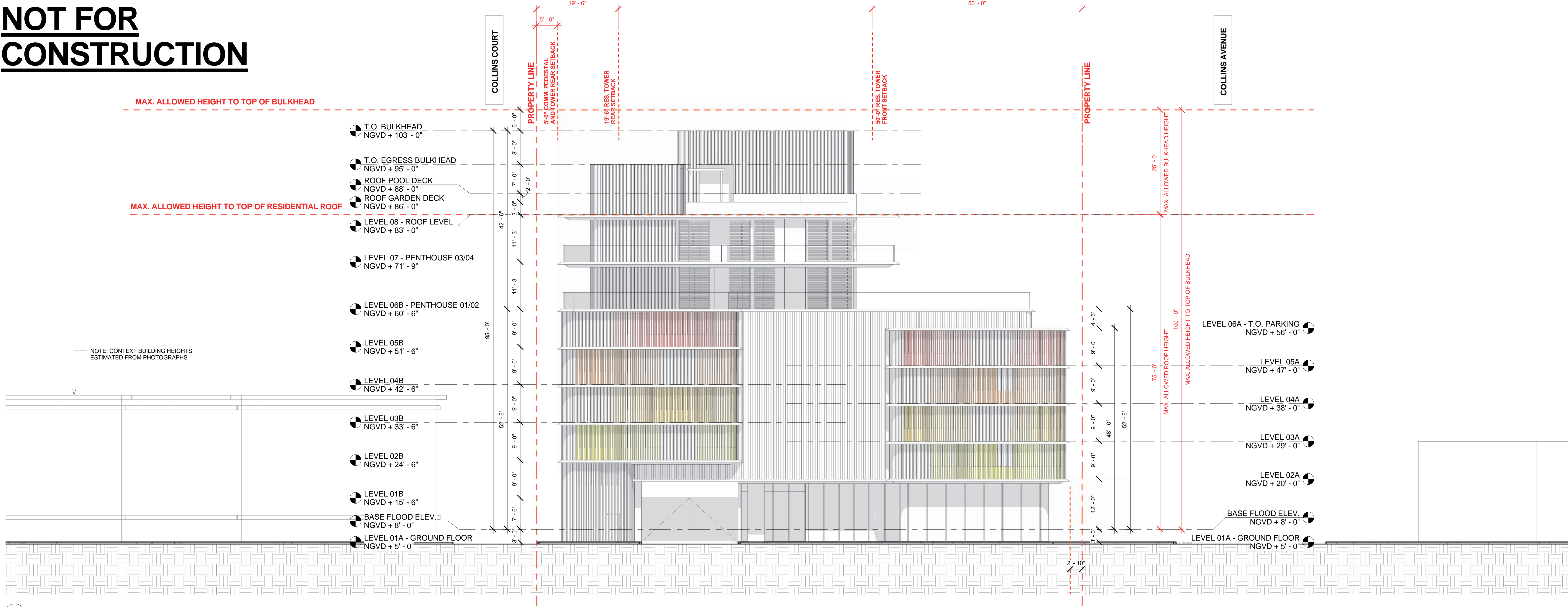
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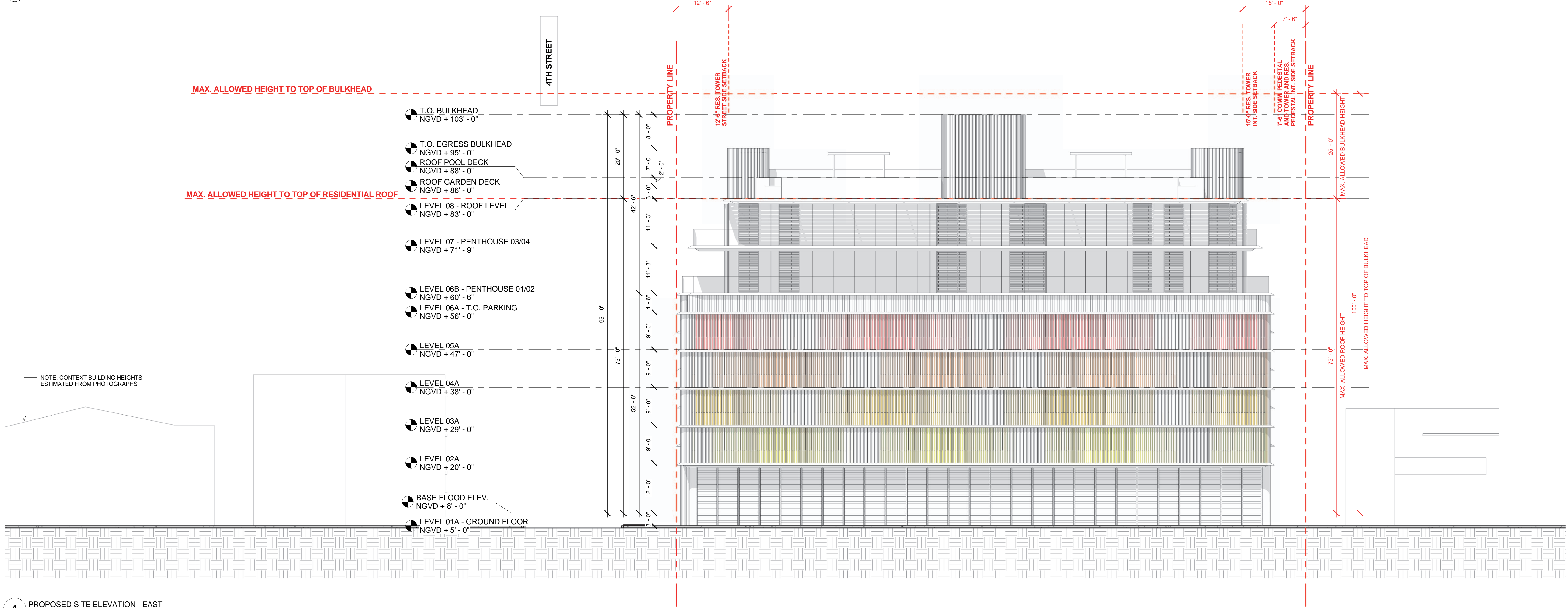
PB A-102 **PROPOSED SITE PLAN** **ROOF LEVEL**



NOT FOR
CONSTRUCTION



2 PROPOSED SITE ELEVATION - SOUTH
3/32" = 1'-0"



1 PROPOSED SITE ELEVATION - EAST
3/32" = 1'-0"

PROJECT

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NO. DESCRIPTION DATE

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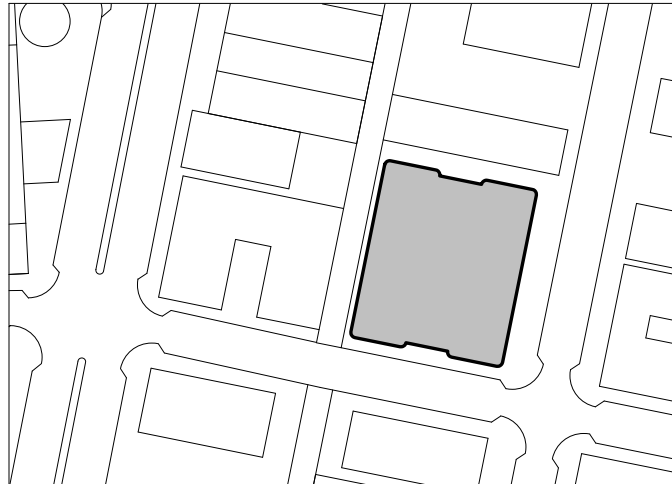
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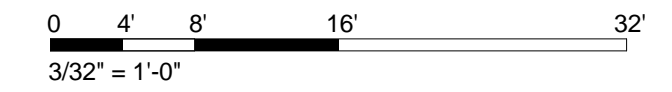
PROJECT NO. & TITLE
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PROJECT STATUS
Project Status

KEY PLAN

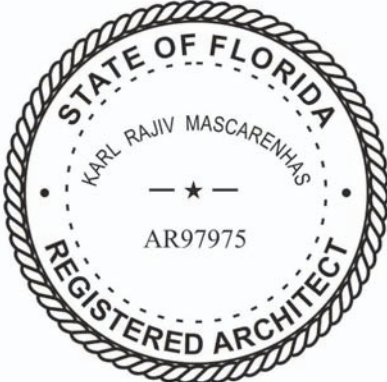


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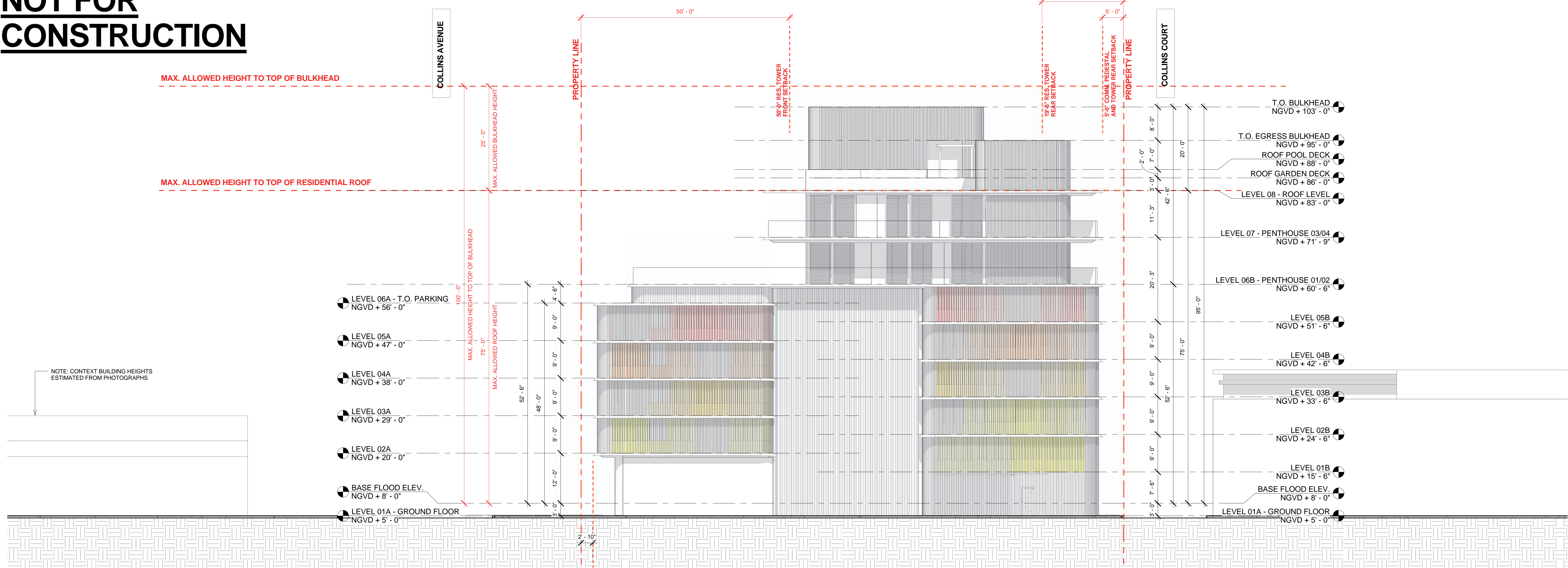
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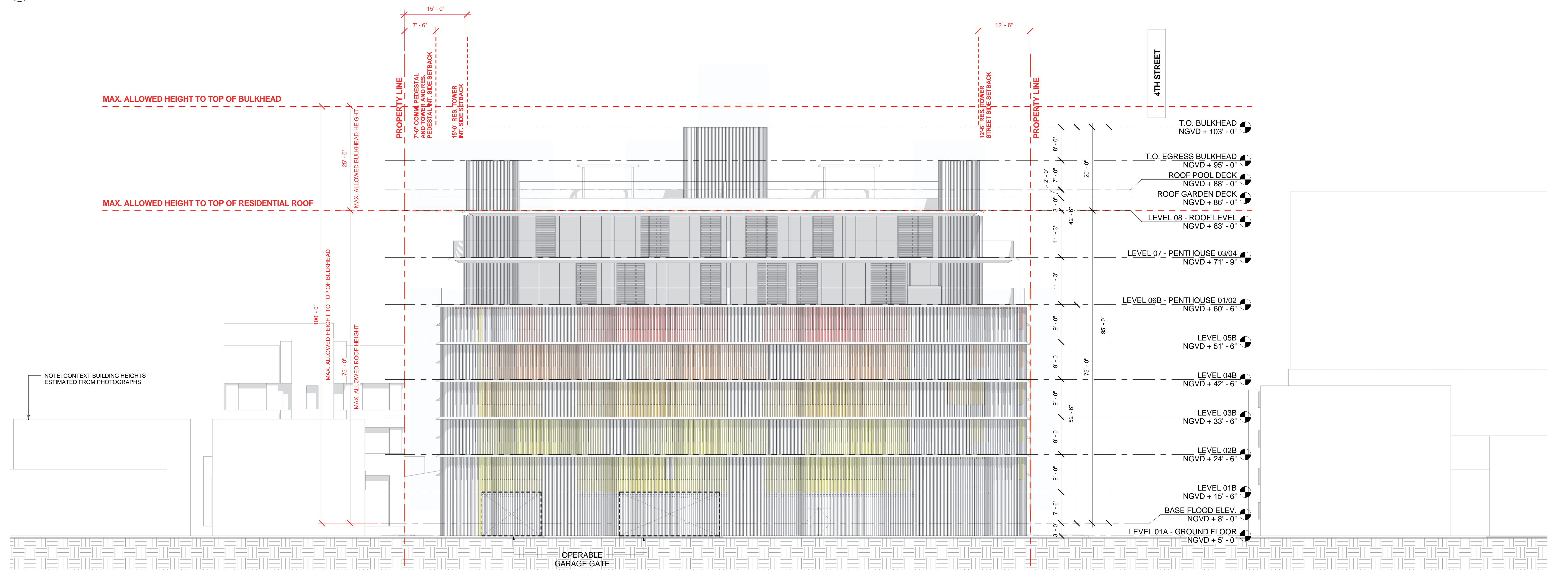
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PB A-105
PROPOSED SITE -
ELEVATION - EAST &
SOUTH

NOT FOR
CONSTRUCTION



2 PROPOSED SITE ELEVATION - NORTH
3/32" = 1'-0"



1 PROPOSED SITE ELEVATION - WEST
3/32" = 1'-0"

PROJECT

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NO. DESCRIPTION DATE

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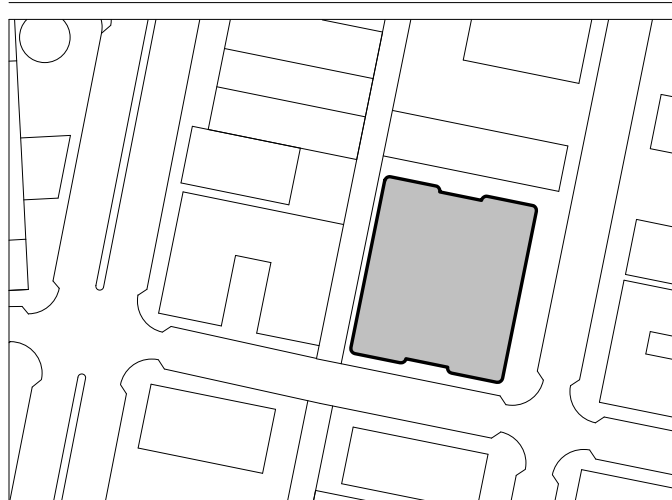
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Project Number TORINO GARAGE

PROJECT STATUS
Project Status

KEY PLAN



SCALE & ORIENTATION

0 4' 8' 16' 32'
3/32" = 1'-0"

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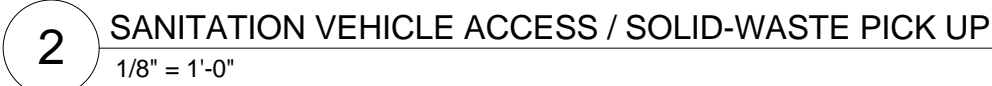
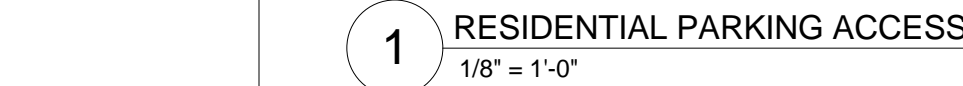
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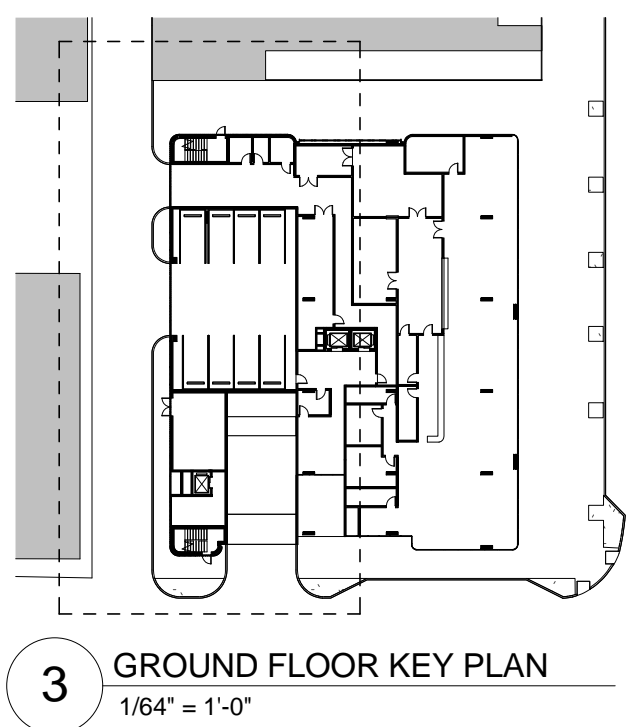


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PB A-106
PROPOSED SITE -
ELEVATION - WEST &
NORTH



NOT FOR CONSTRUCTION



3 GROUND FLOOR KEY PLAN
1/64" = 1'-0"

SANITATION NARRATIVE

Garbage trucks shall stop briefly in the alley and rollout carts, stored within chilled storage rooms and accessible through the loading dock, shall be rolled out upon collection. Delivery times (through the loading dock) and trash collection times shall be coordinated in such a way as to avoid a parked vehicle in the loading dock (i.e. deliveries will not be permitted during the scheduled trash collection times).

An alternate, permanent location for trash bins (dumpsters) is located north of the loading dock within the property line. If the sanitation company prefers this location, residential and commercial garbage can be carted from the chilled storage rooms to this bin.

Overhead clearance for garbage trucks to be coordinated with a Civil Engineer, the City of Miami Beach and the private solid waste collection company (TBD).

PROJECT

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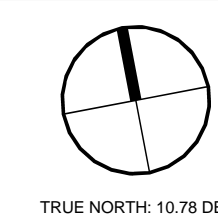
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SCALE AS NOTED
GRAPHIC SCALE (AS REQUIRED)

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PB A-107.1

RESIDENTIAL PARKING AUTO-TURN & SANITATION OPERATIONS

