



LOCATION MAP



BUILDING CONSTRUCTION TYPE: I
OCCUPANCY TYPE: A-1
BUILDING HEIGHT: 17 STORY
BUILDING DOES HAVE A FIRE SPRINKLER SYSTEM

DATA
CODES:
FLORIDA BUILDING CODE 6TH EDITION (2017) w/ ALL AMENDMENTS
BASIC WIND SPEED (3 SECOND GUST) 190 M.P.H.
WIND IMPORTANCE FACTOR 1.0
CATEGORY 2
WIND EXPOSURE D
BUILDING DESIGN ENCLOSED

GENERAL NOTES

1. THE CONTRACTOR SHALL PERFORM ALL WORK AS SHOWN ON THE CONTRACT DRAWINGS IN ACCORDANCE WITH THESE CONTRACT DRAWINGS AND SPECIFICATIONS AND ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS WHICH ARE PART OF THE CONTRACT. THE CONTRACTOR SHALL ALSO PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS INCLUDING THE FLORIDA BUILDING CODE 6TH EDITION (2017) AND ALL OF ITS AMENDMENTS.
2. THE CONTRACT DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR DETERMINING DIMENSIONS OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF. ALL DETAILS AND SECTIONS SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT. EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN.
3. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE INDICATED. THEY ARE NOT INTENDED TO BE SCALED FOR DETERMINING DIMENSIONS OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF. ALL DETAILS AND SECTIONS SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT. EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN. (SAFETY NETS, SUPPORT AND BRACING FOR CRANES AND GIN POLES, ETC.
4. THE CONTRACTOR SHALL VERIFY ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS AT THE JOB SITE, AND AS SHOWN ON THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL REPORT ANY ERRORS OR INCONSISTENCIES IN THE ABOVE PARAMETERS TO THE ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL LAY OUT ALL WORK FROM PLANNED, ESTABLISHED REFERENCE POINTS AND SHALL BE RESPONSIBLE FOR ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS IN CONNECTION WITH THE WORK SCOPE.
5. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES TO ENSURE PROPER EXECUTION OF WORK.
6. THE STRUCTURAL DRAWINGS MAY OR MAY NOT SHOW ALL PRINCIPAL OPENINGS IN THE STRUCTURAL MEMBERS. THE CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND TELECOMMUNICATION DESIGN DRAWINGS AND SPECIFICATIONS TO IDENTIFY ALL REQUIRED OPENINGS THROUGH ANY AND ALL STRUCTURAL MEMBERS.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OMISSIONS OR INCONSISTENCIES FOUND CONCERNING OPENINGS OR PENETRATIONS THROUGH THE STRUCTURAL MEMBERS AS SHOWN ON THE STRUCTURAL DRAWINGS. AFTER STRUCTURAL DESIGN REVIEW OF ALL SAID OPENINGS AND PENETRATIONS, THE CONTRACTOR SHALL PROVIDE APPROVED OPENINGS OF PENETRATIONS AS REQUIRED.
8. WHEN A CODE, SPECIFICATIONS, MANUAL OR OTHER REFERENCE MATERIAL IS CITED IN THESE GENERAL NOTES, THE PERCENT EDITION OR REVISION IS TO BE USED.

***** SUBMITTALS *****

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THE FOLLOWING SPECIFICATIONS AND DRAWINGS PRIOR TO THE CONSTRUCTION OF THE RELATED COMPONENTS.

- A. CONCRETE MIX DESIGN: CONCRETE MIX DESIGN SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA.
- B. CONCRETE REINFORCING STEEL SHOP DRAWINGS:

THE INDEPENDENT INSPECTION COMPANY AND THE TESTING LABORATORY SHALL SUBMIT TO THE ENGINEER ALL INSPECTION REPORTS AND TESTING RESULTS THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT.

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE 200
DEERFIELD BEACH, FL 33442
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #35255

DATE: 11/16/2018

REVISIONS:

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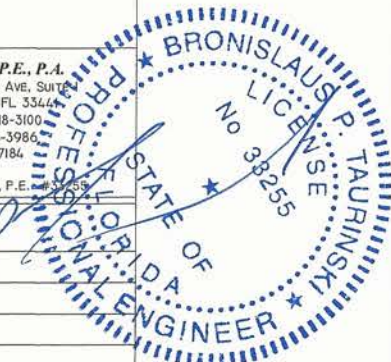
PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

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BRONISLAUS P. TAURINSKI

#53255

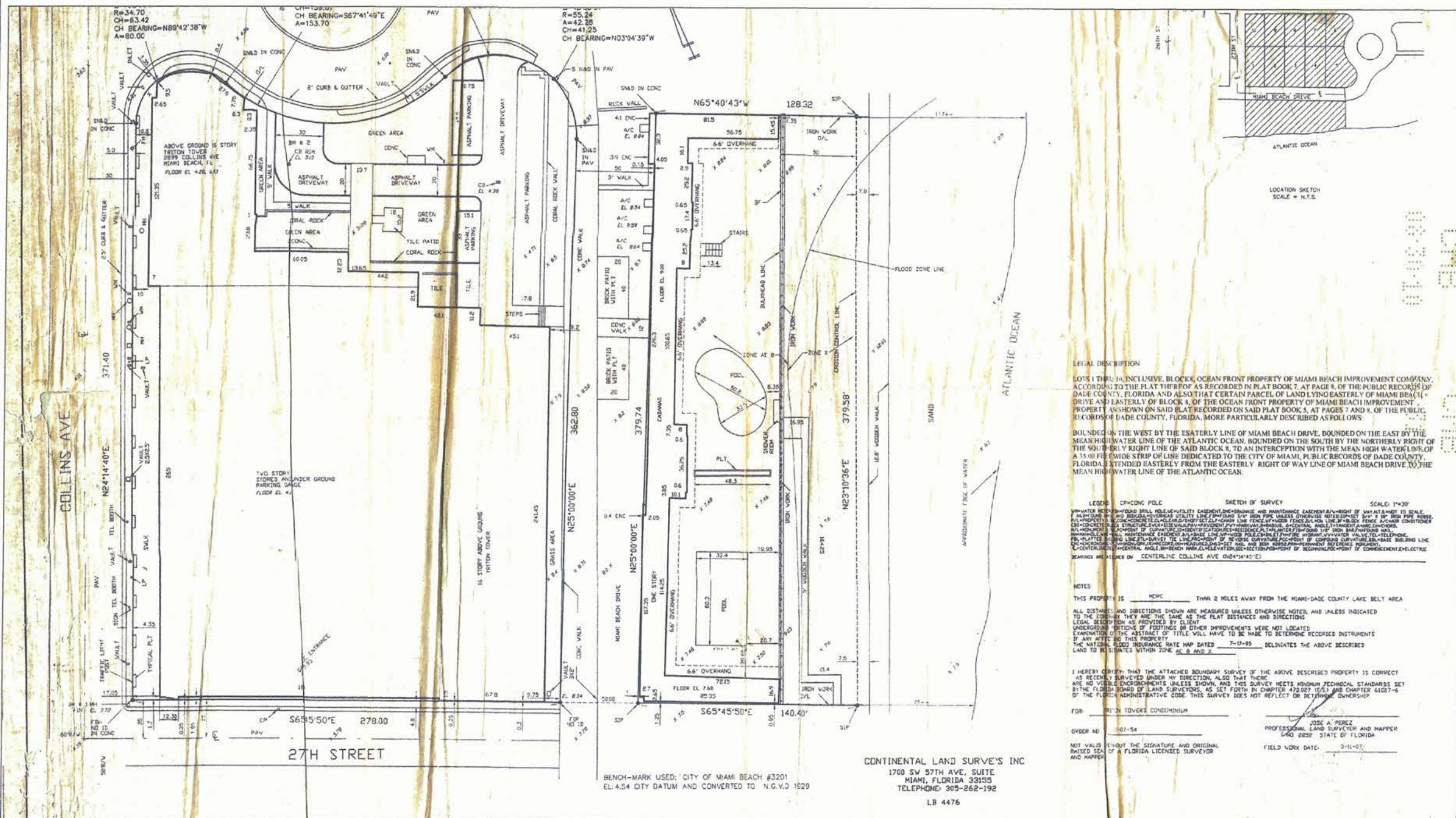


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CONCRETE RESTORATION, WINDOW/DOOR
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LEGEND

- ① - DECK SPALL
- ② - CEILING SPALL
- ③ - BEAM SPALL
- ④ - COLUMN SPALL
- ⑤ - EDGE REPAIR
- ⑥ - WALL SPALL
- ⑦ - WINDOWSILL
- ⑧ - WINDOW LINTEL



ORIGINAL SITE PLAN

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE 1
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #34255
date: 11/16/2018

REVISIONS:

PROJECT #:
DRAWING BY: LAM
SCALE: AS NOTED

S-1

BRONISLAUS P. TAURINSKI

#33205

SCOPE OF WORK - Building Structure

- Remove all tiles and coatings on concrete balcony slabs as directed by the Engineer. The top surface of the bare concrete slabs shall be ground down to remove all carpet glue, thinset, coatings, or other finishes prior to applying the waterproof deck coating system.
- Repair damaged concrete and steel on the slab surfaces, walls, columns, ceilings, beams, and slab edges as per ICRI Standards. Repair structural cracks marked by the Engineer by epoxy injecting the cracks.
- Repair stressed/delaminated stucco as marked by the Engineer.
- Properly repair lintels and windowsills to match existing architectural features.
- Unit owners will be responsible for removing all furniture and furnishings from the unit balconies.
- The Contractor will be responsible for covering and protecting all property, including storm shutters, window assemblies, light fixtures, etc.
- Remove storm shutters and doors, as directed by the Engineer, to properly make repairs. Drill out the old fasteners and fill all of the holes with epoxy gel. Where doors are removed, install temporary dust walls. Dust walls to be installed to full height to protect the unit from weather, concrete dust, sandblasting, debris, etc. Securely attached to the concrete deck, walls and ceiling.
- The Contractor shall be required to document the existing condition of all removed doors and storm shutters. A copy of this documentation shall be submitted to the Owner immediately upon removal.
- The Contractor shall store all removed permitted storm shutters to be re-installed in a safe ground location designated by the Owner for the duration of the repairs. All properties are to be protected from weather, concrete dust, debris, etc.
- Prior to the installation of dust walls by the Contractor, the Owner will be responsible for the removal of all drapery, blinds, furnishings and floor treatments near the repair areas. The Contractor must give reasonable notice to the Owner of the intent to install dust walls.
- The Contractor shall store all removed storm shutters in a safe ground location designated by the Owner for the duration of the repairs. All shutters are to be protected from weather, concrete dust, debris, etc.
- Reinstallation of existing shutter assemblies shall be installed with dense plastic shims and new stainless steel fasteners set in urethane sealant.
- Water testing of all concrete slabs shall be done to identify low spots. Low spots shall have a application of flash patching material by the Contractor to achieve positive drainage.
- Apply Sika's FlexCoat with ATC waterproofing to all effected unit balcony floors. The Owner shall select the color of the coating and the degree of coarseness. One-unit balcony, as a sample will be finished and agreed upon by the Owner before any other surfaces are started. This balcony will set the standard for the balcony decks.
- Install a (1) one-inch cant bead of urethane sealant at the junction of all horizontal and vertical surfaces, including railing components.
- Completely pressure-clean all vertical surfaces (3,000 p.s.i.) 12-inches perpendicular to the surface with turbo tip and remove areas of loose and peeling paint.
- The Contractor shall supply the Owner with reasonable notice of a schedule for the commencement of pressure-cleaning at walls and stacks. The purpose is to provide unit owners with ample time to move furniture or other properties from the window vicinity, should leaks result from hidden cracks and/or defective windows.
- Contractor to prep and paint the building/parking garage structure, cabanas and clubhouse with AURA paint (2 coats = 5 mils dry) as per Benjamin Moore specifications enclosed. (Section 11)
- Apply 100% acrylic coating to all balcony ceilings.
- When repairs and painting have been completed, all surfaces including decks, tracks, doors and windows will be cleaned prior to leaving each stack.

Installation of New Hurricane Impact Windows, Swing/Sliding Doors and Sliding Automatic Doors at Common Areas Throughout the Building

- Remove existing window, door and sliding automatic door assemblies throughout the property and properly dispose. The general contractor shall remove approximately 6-inches of existing stucco around the existing window, door and sliding automatic door assemblies prior to the removal of the existing window, door and sliding automatic door assemblies.
- Drill out the old fasteners and fill all of the holes with epoxy gel.
- Where existing glass assemblies are removed and concrete repairs are necessary, install temporary dust walls. Dust walls to be installed to full height (floor to ceiling) to protect the common areas from weather, concrete dust and debris. Dust wall is to be securely attached to the concrete deck, walls and ceiling. (See window/door hardware schedule for hardware details.)
- Re-install new impact door, sliding automatic door and window assemblies through-out scheduled units as per manufacturer's engineered specifications meeting all current and local codes. (See window/door/sliding automatic door hardware schedule for hardware details.) All new impact door, sliding automatic door and window assemblies are to be of similar appearance to match existing conditions and Architectural features and be approved by the Association and engineer.
- All window, door and sliding automatic door assemblies shall be installed to rough masonry opening sizes.
- Contractor shall prepare opening surface and install Sika 2017 Sikaflex 102 EverFlash System as per the manufacture.
- The window contractor shall install the primary caulk bead and interior caulk bead. Once primary caulk bead is installed, inspected and approved by engineer, the general contractor will re-stucco around all sliding automatic door and window assemblies and install the secondary exterior caulk bead. All caulk beads shall be properly tooled by all contractors.
- The general contractor shall repair all damaged concrete and steel on the slab surfaces, walls, columns, ceilings and slab edges as per ICRI standards (as directed by engineer) during the window/door installation process. This coordination must be scheduled in a timely manner between the window contractor, general contractor and the engineer's office.
- Contractors are to provide the owner/management with a minimum of (7) seven calendar days' notice for access to units for window, door and sliding glass door installation.
- Contractor to provide access and scheduling to engineer's office for required installation inspections (by means of swing stage, mass-climber, ect.).
 - Engineer's inspections area as follows for all new window, door and sliding automatic door assemblies:
 - Frame inspection, including screw installation, buck/shim installation
 - Primary caulk bead and interior caulk bead.
 - Preparation and application of the structural silicone adhesive and installation of break metal.
 - Re-stucco areas around windows/door assemblies including secondary caulk bead.
 - Window/door operation including hardware.
- The window contractor is to document by way of video, the existing conditions at unit owners' units and common areas and submit a copy to Management and Board prior to commencement of work. The window contractor shall repair or replace at their own expense if not acceptable to the Associations engineer.
- The window contractor is responsible for all aesthetic aspects of the window, door and sliding glass door assembly with regard to scratches, dents or damages.
- Prior to the window contractor / general contractor leaving a unit or common area space, they shall clean all surfaces of excess construction materials, hardware and tools, so as to leave the work area in as clean of a condition as when the contractor arrived at the site.
- Configuration of window and swing door assemblies shall be as follows:
 - Automatic sliding or swing glass doors at common areas shall be replaced with automatic sliding or swing glass doors. The door panel configuration shall match the existing as closely as possible and match the existing features, ie panic bar, sensors, etc.

- Configuration of the shall be visually similar to the original windows (single-hung/horizontal slider or store front to be chosen by the Owner).
- Mutton pattern on the new window assemblies shall be included to match existing style.
- Mullion covers at all window to window connection shall be included using Dow 795.
- Existing metal fire doors shall be replaced with new fire rated hurricane impact door to match the existing as closely as possible and match the existing features, ie panic bar, sensors, etc.

1. Installation of New Hurricane Impact Windows, Doors and Sliding Glass Doors at Private Units

- Remove existing window, door and sliding glass door assemblies throughout the scheduled units and properly dispose. The general contractor shall remove approximately minimum 6-inches or the "stucco return portion" of existing stucco around the existing window and sliding glass door assemblies prior to the removal of the existing window, door and sliding glass door assemblies.
- Drill out the old fasteners and fill all of the holes with epoxy gel.
- Where existing glass assemblies are removed, and concrete repairs are necessary, install temporary dust walls. Dust walls to be installed to full height (floor to ceiling) to protect the unit from weather, concrete dust and debris. Dust wall is to be securely attached to the concrete deck, walls and ceiling. Contractor shall provide emergency plywood dust walls at \$_____ when required. (See window/door hardware schedule for hardware details.)
- Install new impact sliding glass doors and fixed windows assemblies through-out scheduled units as per manufacturer's engineered specifications meeting all current and local codes. (See window/door/sliding glass door hardware schedule for hardware details.) All new impact doors, sliding glass door and window assemblies are to be of similar appearance to match existing conditions and Architectural features and be approved by the Associations' engineer.
- All window and sliding glass door assemblies shall be installed to rough masonry opening sizes. All existing bucking shall be removed and replaced with new plastic or pressure treated wood as per current codes.
- Contractor shall prepare opening surface and install Sika 2017 Sikaflex 102 EverFlash System as per the manufacture.
- The window contractor shall install the primary caulk bead and interior caulk bead. Once primary caulk bead is installed, inspected and approved by engineer, the window contractor will re-stucco around all sliding glass door and window assemblies. Concrete restoration contractor shall install the secondary "or beauty" exterior caulk bead. All caulk beads shall be properly tooled by all contractors.
- The general or restoration contractor shall repair all damaged concrete and steel on the slab surfaces, walls, columns, ceilings and slab edges as per ICRI standards (as directed by engineer). This coordination must be scheduled in a timely manner between the window contractor, general contractor and the engineer's office.
- Contractors are to provide the owner/management with a minimum of (7) seven calendar days' notice for access to units for window, door and sliding glass door installation.
- Contractor to provide access and scheduling to engineer's office for required installation inspections (by means of swing stage, mass-climber, ect.).
 - Engineer's inspections area as follows for all new window, door and sliding glass door assemblies:
 - Frame inspection, including screw installation, buck/shim installation and primary caulk bead and interior caulk bead.
 - Re-stucco areas around windows/door assemblies including secondary caulk bead.
 - Window/door operation including hardware.
 - The window contractor is to document by way of video and still pictures, the existing conditions at unit owners' units and common areas and submit a copy to Management and Board prior to commencement of work. The window contractor shall repair or replace at their own expense if not acceptable to the Associations engineer.
- The window contractor is responsible for all aesthetic aspects of the window, and sliding glass door assembly with regard to scratches, dents or damages.

- Prior to the window contractor / general contractor leaving a unit or common area space, they shall clean all surfaces of excess construction materials, hardware and tools, so as to leave the work area in as clean of a condition as when the contractor arrived at the site.

- Configuration of window and sliding glass door assemblies shall be as follows:

- Sliding glass doors on balconies shall be replaced with sliding glass doors.
- The door panel configuration shall match the existing as closely as possible.
- Configuration of the shall be visually similar to the original windows.

- Engineer's inspections area as follows for all new window, door and sliding automatic door assemblies:

- Frame inspection, including screw installation, buck/shim installation and primary
- caulk bead and interior caulk bead.
- Re-stucco areas around windows/door assemblies including secondary caulk bead.
- Window/door operation including hardware.

- When repairs and painting have been completed, all surfaces including decks, tracks, doors and windows will be cleaned prior to leaving each stack.

SCOPE OF WORK - Parking Garage Structure and Recoating of Parking Decks Waterproofing

- The Contractor will remove existing coatings slab down to the structural slab as directed by the manufacture.
- Repair damaged concrete and steel on the slab surfaces, walls, columns, ceilings, beams, and slab edges as per ICRI Standards. Repair structural cracks marked by the Engineer by epoxy injecting the cracks.
- Repair stressed/delaminated stucco as marked by the Engineer.
- Owner will be responsible for removing all cars, furniture and furnishings from the parking spaces or scheduled work area.
- The Contractor will be responsible for covering and protecting all building property, light fixtures, etc.
- The Contractor shall be required to document the existing condition of all surrounding areas. A copy of this documentation shall be submitted to the Owner immediately prior to commencement of work.
- The contractor will be required to document the existing conditions including landscaping and planters of any and all existing conditions/damage and landscaping prior to the commencement of work. A copy of this documentation will be submitted to the Owners immediately upon commencement of the work.
- Epoxy inject all structural cracks within the structure as directed by the Engineer.
- Remove all existing sealant from all expansion joints throughout the garage structure as directed by the Engineer. Repair joint profile as necessary and prepare joint surfaces for expansion joint system. Install backer-rod and caulk expansion joint system as per the manufacturer's specifications and recommendations.
- Following the removal of all coatings and structural repairs, shot blast all horizontal surfaces scheduled to receive new full coating system. Provide surface profile (i.e. sandblast, shot blast, grind, etc.) to achieve specified adhesion equal to International Concrete Repair Institute surface profile CSP 3 prior to the application of the waterproof coating. Refer to the manufacturer's specification and recommendations for recoating of waterproofing. (See in the latter part of this Section).
- Remove all existing sealant from expansion joint as marked by Engineer. Repair joint profile as necessary for 1-1/2" maximum wide joint and prepare joint surfaces to install MasterSeal NP 150 Sealant and closed-cell backer-rod as per BASF specifications.
- Any dynamic cracks routed out to a minimum 1/4" x 1/4" and cleaned. Any joints that become deeper than 1/4" appropriate backer-rod to be used. Install sealant flush with the adjacent concrete surface (see manufacturer's details).

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CONCRETE RESTORATION, WINDOW/DOOR
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LEGEND

- DECK SPALL
- CEILING SPALL
- BEAM SPALL
- COLUMN SPALL
- EDGE REPAIR
- WALL SPALL
- WINDOWSILL
- WINDOW LINTEL

B. P. Taurinski, P.E., P.A. 730 SOUTH DEERFIELD AVE, SUITE 1 DEERFIELD BEACH, FL 33441 PHONE: (954) 418-3100 FAX: (954) 418-3986 AUTH. NO. 27184	
BRONISLAUS P. TAURINSKI, P.E. #33255	
date:	11/16/2018
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PROJECT #:	DRAWING BY: LAM SCALE: AS NOTED
BRONISLAUS P. TAURINSKI	
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#33255	

13. The existing parking bumpers must be removed prior to the parking deck waterproofing. The parking bumpers must then re-installed after the waterproofing membrane in applied. Contractor will replace the broken parking bumpers as directed by the engineer.
14. Apply MasterSeal Extra Heavy Traffic 1500 Deck Coating System to prepared parking deck slabs. The Owner shall select the color of the coating. A ten (10) foot square area of the parking deck will be finished and agreed upon by the Owner before any other surfaces are started. This area will set the standard for the parking decks.
15. Following proper cure of the waterproof membrane, a 48-hour water test will be performed and inspected by the Engineer. Repair any leaks if found after water test as per the manufacturers recommendations.
16. Re-stripe and re-label exterior/interior parking structure with appropriate marking paint.
17. Apply 100% acrylic paint to all exposed vertical and horizontal surfaces including any and all signage as per Benjamin Moore Paint specifications.
18. Install new parking bumpers at existing locations as necessary.

SCOPE OF WORK - Pool Deck Cabanas, Club House and Perimeter Walls

1. Remove all deck surfaces down to the structural slab.
2. Remove all of the pool surfaces down to the pool (s) structural elements.
3. Repair damaged concrete and steel on the slab surfaces, walls, columns, ceilings, beams, and slab edges as per ICRI Standards. Repair structural cracks marked by the Engineer by epoxy injecting the cracks.
4. Repair stressed/delaminated stucco as marked by the Engineer.
5. Following the removal of all coatings from the surface of the pool deck structures and structural repairs, shot blast all horizontal surfaces scheduled to receive coating system. Provide surface profile (i.e. sandblast, shot blast, grind, etc.) to achieve specified adhesion equal to International Concrete Repair Institute surface profile CSP 3 prior to the application of the waterproof coating. Refer to the manufacturer's specification and recommendations. Options are the CCW500R Hot Applied and the MiraSeal Cold applied waterproofing system as per the manufacturer's recommendations.
6. Any dynamic cracks routed out to minimum 1/4" x 1/4" and cleaned.
7. Any joints that become deeper than 1/4" appropriate backer-rod to be used. Install sealant flush with adjacent concrete surface (see manufacturer's details).
8. Following proper cure of the waterproof membrane, a 48-hour water test will be performed and inspected by the Engineer. Repair any leaks if found after water test as per manufacturers recommendations.
9. Install new finishes to both pools with similar finishes, including all depth markers and signage as per code. Colors and texture to be chosen by the Owner.
10. Paint cabanas, clubhouse and perimeter walls as per Benjamin Moore's Specifications (See in the latter part of this Section).
11. The contractor will be required to document the existing conditions including landscaping and planters of any and all existing conditions/damage and landscaping prior to the commencement of work. A copy of this documentation will be submitted to the Owners immediately upon commencement of the work.
12. Remove existing cabana door thresholds and construct a 3" x 4" concrete curb with reinforcement.
13. Contractor shall have each of the wooden cabana door cut to size to accommodate the new threshold.
14. The contractor will give the Owner/Management a minimum of 48 notice prior to starting the work at the pool area.
15. The contractor will protect the pools during all work from dirt, debris, etc.
16. The contractor will remove all existing sealant from all expansion joints through-out the pool deck as marked by the Engineer. Repair the joint profile as necessary and prepare the joint surfaces for the new expansion joint system.

CONCRETE REHABILITATION

PART 1 - GENERAL
1.01 WORK INCLUDED

A.Furnish all necessary materials, labor, and equipment required to:

1. Complete all work as outlined in the Detailed Scope of Work and Project Manual.
2. The contractor is responsible for documenting (by video recorder or other means of recording device) prior condition of all parking, landscaping areas and roof prior to the commencement of work. A copy is to be submitted to the association.
3. Repair all deteriorated concrete and steel throughout the structures as per ICRI Standards and the appropriate manufacturer's recommendations.
4. Waterproof concrete surfaces as directed by the Engineer.

1.02 UNRELATED WORK

A.Electrical conduit replacement or other electrical work on wiring buried in the concrete members.

B. The work identified in Sections 1.02 (A) shall not be performed by this contractor unless specifically set forth in the contract or by an approved change order.

C.Repair of electrical devices and conduit encountered within the concrete structure or in masonry, wood or metal partition walls:

1. When encountered, notify Owner's representative and Engineer to contact the building's electrician to schedule and perform the electrical repair(s). Contractor will take every precaution to prevent damage to these items. If conduit or piping is damaged due to negligence of work force, Contractor will pay repair costs.
2. Following repair, wipe down and coat the metal parts with bond breaker material prior to cementitious repair.
3. Seal all non-weatherlight joints and faces with urethane sealant.

1.03 QUALITY ASSURANCE

A.Manufacturer: Company specializing in type of material specified, with not less than five (5) years of documented experience.

B. Contractor: The Contractor shall meet all of the following requirements:

1. The Contractor shall be a "Pre-qualified Contractor" of the Manufacturer for the material used. The Contractor shall submit a letter from the Manufacturer stating such approval, including a letter of intent to warranty said project.
2. The Contractor shall have a minimum of three (3) years of experience in performing repair work similar to that specified herein.
3. The contractor shall be a State-Certified General Contractor.
4. The Contractor shall submit a list of three (3) projects in which the repair work is similar to that specified herein was successfully completed. The list shall contain the following information for each project: project name and location, owner of project, contact person and telephone number, brief description and date of completion.

1.04 SUBMITTALS

A.The Contractor shall deliver the required submittals to the Owner/Management. Submittals shall be made promptly and in such a sequence as to cause no delay in the work.

Owner/Management: **Portofino South Pointe Master Assoc.**
300 South Pointe Drive
Miami Beach, Florida 33139
Attn: Board of Directors

Engineer: **B. P. Taurinski Structural Engineers**
730 South Deerfield Avenue, Suite 1
Deerfield Beach, Florida 33441
Attn: Brownie P. Taurinski, P.E., P.A.

B. The Contractor shall submit the following in duplicate:

1. Documentation that he/she meets the qualifications as specified in Section 1.03 (B).
2. A letter from the Manufacturer and a sample warranty as specified in Section 4.01 (A).
3. Certifications of Insurance as specified in Section 1.07 (E).
4. Hold Harmless Agreement as specified in Section 1.07 (F).
5. Schedule of work, including commencement and completion dates, as specified in Section 1.07 (K).

1.05 MATERIAL DELIVERY, HANDLING AND STORAGE

A.Materials shall be delivered in the Manufacturer's undamaged, unopened containers. Each container shall be clearly marked with the following:

1. Product Name
2. Manufacturer's Name
3. Batch Number
4. Component Designation ("A" or "B")
5. Ratio of Component Mixtures

B. Provide equipment and personnel to handle the materials by methods, which prevent damage.

C.Promptly inspect shipments to assure that materials comply with requirements, quantities are correct and materials are undamaged.

D.The Contractor shall be responsible for all materials furnished by him/her, and he/she shall replace, at his/her own expense, all such material that is found to be defective in manufacturing or that has become damaged in handling.

E. Store materials in accordance with the Manufacturer's instructions with seals and labels intact and legible. Maintain temperatures within the required ranges.

F. Store materials only in locations designated by Owner.

1.06 JOB CONDITIONS

A.The Contractor shall visit the site and examine the condition of the surfaces, which are to be repaired. The Contractor shall follow the Manufacturer's recommendations with regard to the various moisture and temperature limitations of the materials.

B. The Contractor shall arrange with the Owner to have all automobiles moved from the immediate work area and/or adequately protect such property from damage during the work.

C.The Contractor shall arrange with the Owner to have all work areas closed off to prevent pedestrian traffic during the work.

D.The Contractor shall arrange with the Owner for the times of day and days of the week during which the work can take place.

E. The Contractor shall provide a dumpster for the removal of all debris and for removal of its contents.

F. The Contractor shall provide portable toilets for use of his/her employees.

G. The Contractor shall provide a full-time, on-site supervisor for the duration of the work.

1.07 GENERAL CONDITIONS

A.The Contractor shall provide all required labor, materials, necessary equipment, supervision, insurance and permits required to complete the work as herein specified.

B. The Contractor shall obtain all necessary permits, at no additional cost to Owner, as required by the Municipality.

C.The Contractor shall comply with all fire and safety regulations and shall supply workers with safety goggles, gloves, earplugs and masks as required for protection during specific phases of the work.

D.The Contractor shall utilize adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and methods needed for proper performance of the work.

E. The Contractor shall provide Certificates of Insurance to the Owner and maintain the following coverage's indemnifying the Owner to the stated limits where applicable.

1. Workmen's Compensation: Statutory Limits.

2. Comprehensive General Liability Insurance including Contractual and Broad Form Liability:

Bodily Injury - \$ 1,000,000.00 Each Occurrence
\$ 1,000,000.00 Aggregate

Property Damage - \$ 1,000,000.00 Each Occurrence
\$ 1,000,000.00 Aggregate

3. Commercial Auto Liability Insurance:

Bodily Injury - \$ 1,000,000.00 Each Occurrence
\$ 1,000,000.00 Aggregate

Property Damage - \$ 1,000,000.00 Each Occurrence
\$ 1,000,000.00 Aggregate

4. Umbrella Liability Insurance:

Bodily Injury - \$ 2,000,000.00 Each Occurrence
\$ 2,000,000.00 Aggregate

Property Damage - \$ 2,000,000.00 Each Occurrence
\$ 2,000,000.00 Aggregate

F. The Contractor shall notify his insurance carrier to provide to the Owner within seven (7) days, written notice of cancellation of any or all of the above coverage's. In addition, the Contractor shall execute a Hold Harmless Agreement, holding the Owners, their respective officers, directors, members, employees and designated inspectors harmless from legal action, including Attorney's fees and expenses, which may arise out of the performance of the work.

G. The Contractor shall protect and safeguard from harm all real and personal properties of the individual apartment owners and common elements of the Owner adjoining the work. Drop clothes or plastic wrapping or covers shall be utilized to protect adjoining surfaces as may be required.

H. The Contractor shall arrange with the Owner for working space, space for storage of materials, parking for workers and access to the areas where the work for the Contractor is to be performed.

I. The Contractor shall perform and install the work in strict accordance with these specifications and the Manufacturer's recommendations and shall specifically request the Manufacturer's representative to review bi-weekly, or as required, those portions of the work-in-progress, prior to, during and after final installation, in order that the warranties can be issued properly.

J. The Owner shall make power and water available, without charge, for reasonable use of the Contractor. All electrical modifications for use by the Contractor shall be at the Contractor's expense.

K. The Contractor, once having started the work, shall continuously and expeditiously proceed to complete the work as quickly as possible. The Contractor shall submit a time schedule to the work indicating dates of commencement and completion prior to the execution of the contract.

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

LEGEND

- ① - DECK SPALL
- ② - CEILING SPALL
- ③ - BEAM SPALL
- ④ - COLUMN SPALL
- ⑤ - EDGE REPAIR
- ⑥ - WALL SPALL
- ⑦ - WINDOWSILL
- ⑧ - WINDOW LINTEL

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #53255

date: 11/16/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-3

BRONISLAUS P. TAURINSKI

#53255

2. Horizontal Joints: **Sikaflex 1CSL or Sikaflex 2CSL** manufactured by Sika Corporation.

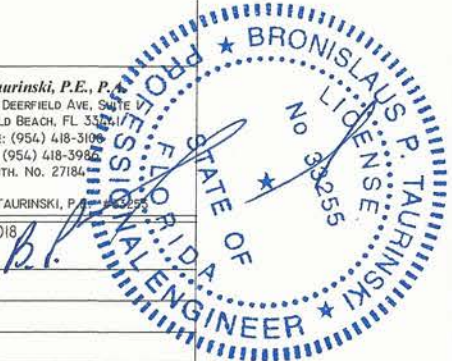
12. ASTM C 881- Current Edition - Standard Specification for Epoxy-Resin-Base Bonding Systems for Concrete.

2. Apply bonding agent with a stiff bristle brush or "hopper type" spray equipment.

8) - WINDOW LINTEL

2. Apply bonding agent with a stiff bristle brush or "hopper type" spray equipment.

S-4



TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
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LEGEND

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- ⑥ - WALL SPALL
- ⑦ - WINDOWSILL
- ⑧ - WINDOW LINTEL

EXISTING
EAST ELEVATION
SCALE 1/8" = 1'-0"

EXISTING
WEST ELEVATION
SCALE 1/8" = 1'-0"

<p>THE TRITON TOWER COLLINS AVENUE AT 28TH STREET MIAMI BEACH, FLORIDA</p>	
<p>WATSON DESIGN GROUP, INC. ARCHITECTS ARCHITECTS AND ENGINEERS</p>	
<p>A-10</p>	

B. P. Taurinsky, P.E., F.A.S.
730 SOUTH DEERFIELD AVE., SUITE 1
DEERFIELD BEACH, FL 33441
PHONE: (561) 618-5100
FAX: (561) 618-5986
AUT. NO. 2184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:

△

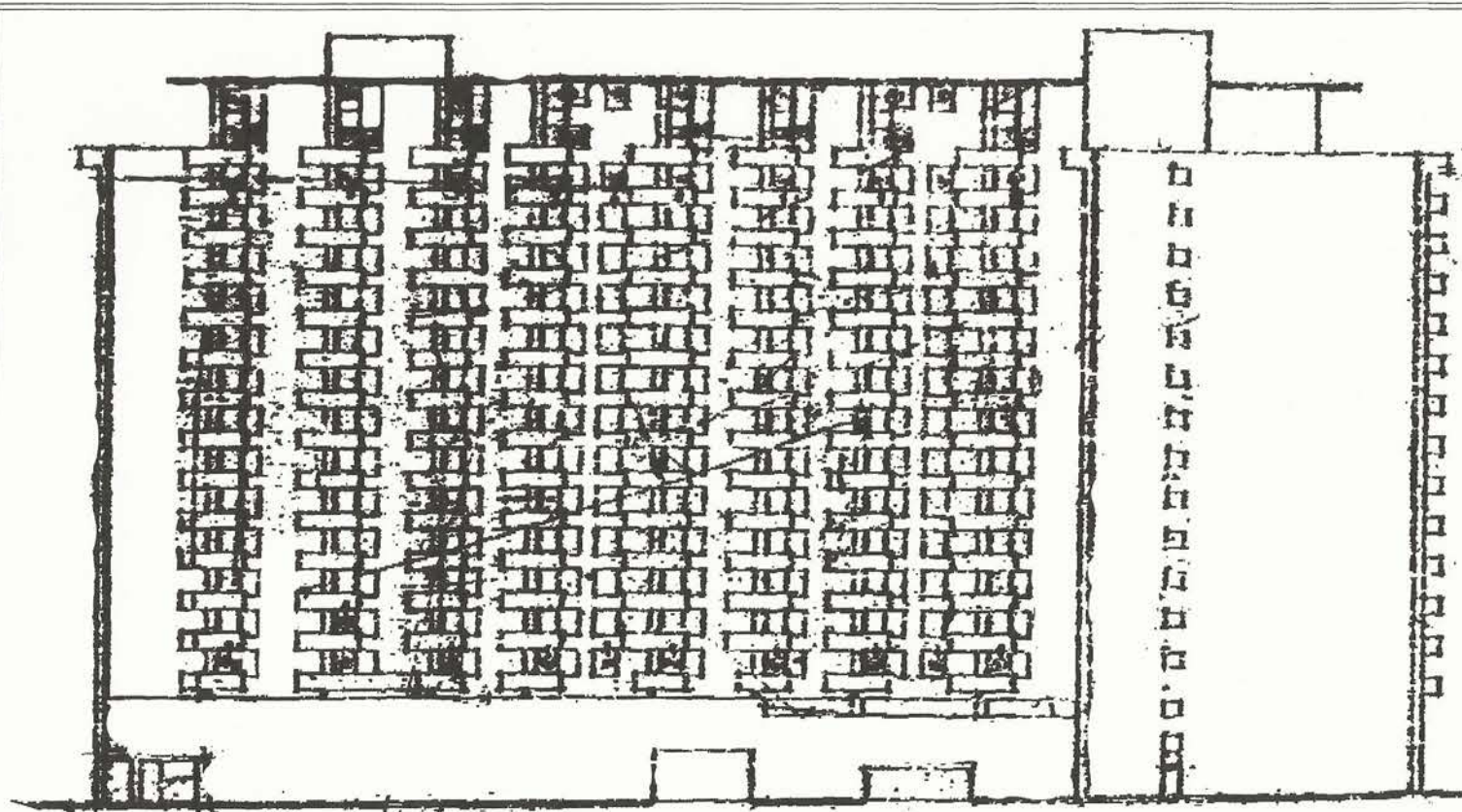
PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

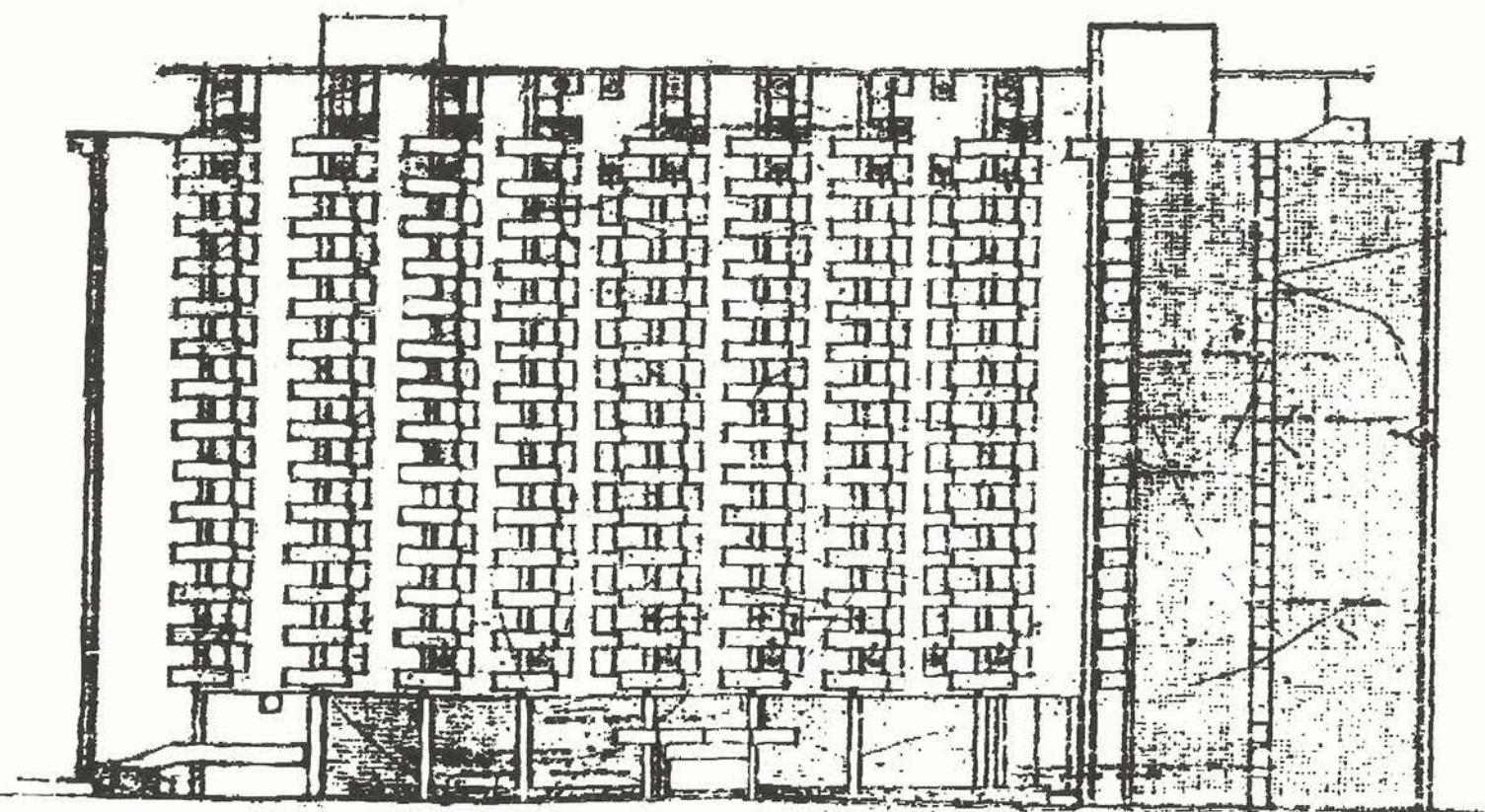
S-6

BRONISLAUS P. TAURINSKI

#33255



EXISTING
SOUTH ELEVATION



EXISTING
NORTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

LEGEND

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- ⑥ - WALL SPALL
- ⑦ - WINDOWSILL
- ⑧ - WINDOW LINTEL

B. P. Taurinski, P.E.
730 SOUTH DEERFIELD AVENUE, SUITE 300
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3982
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:



PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-7

BRONISLAUS P. TAURINSKI

#33255



TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, PAINTING
AND WATERPROOFING PROJECT

LEGEND

- ① - DECK SPALL
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- ⑤ - EDGE REPAIR
- ⑥ - WALL SPALL
- ⑦ - WINDOWSILL
- ⑧ - WINDOW LINTEL

ORIGINAL ORDERS

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE 1
DEERFIELD BEACH, FL 33442
PHONE: (954) 463-1000
FAX: (954) 463-1086
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 4/28/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-8

BRONISLAUS P. TAURINSKI

#33255



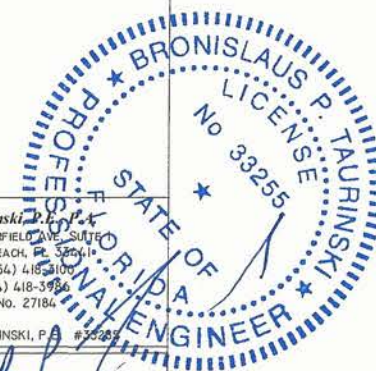
EXISTING EAST ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

LEGEND

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- ⑧ - WINDOW LINTEL



B. P. Taurinski, P.E.
730 SOUTH DEERFIELD AVE, SUITE 100
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-9

BRONISLAUS P. TAURINSKI

#33255



EXISTING EAST AND PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

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- ⑤ - EDGE REPAIR
- ⑥ - WALL SPALL
- ⑦ - WINDOWSILL
- ⑧ - WINDOW LINTEL

B. P. Taurinski, P.E., P.E.
750 SOUTH DEERFIELD AVE, SUITE
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #53255

date: 11/16/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-10

BRONISLAUS P. TAURINSKI

#53255



TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

LEGEND

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- ⑧ - WINDOW LINTEL

B. P. Taurinski, P.E., C.E.
730 SOUTH DEERFIELD AVE., SUITE 1
DEERFIELD BEACH, FL 33441
PHONE: (954) 416-2100
FAX: (954) 418-3566
AUTH. NO. 27180

BRONISLAUS P. TAURINSKI, P.E.
date: 11/16/2018

REVISIONS:
△

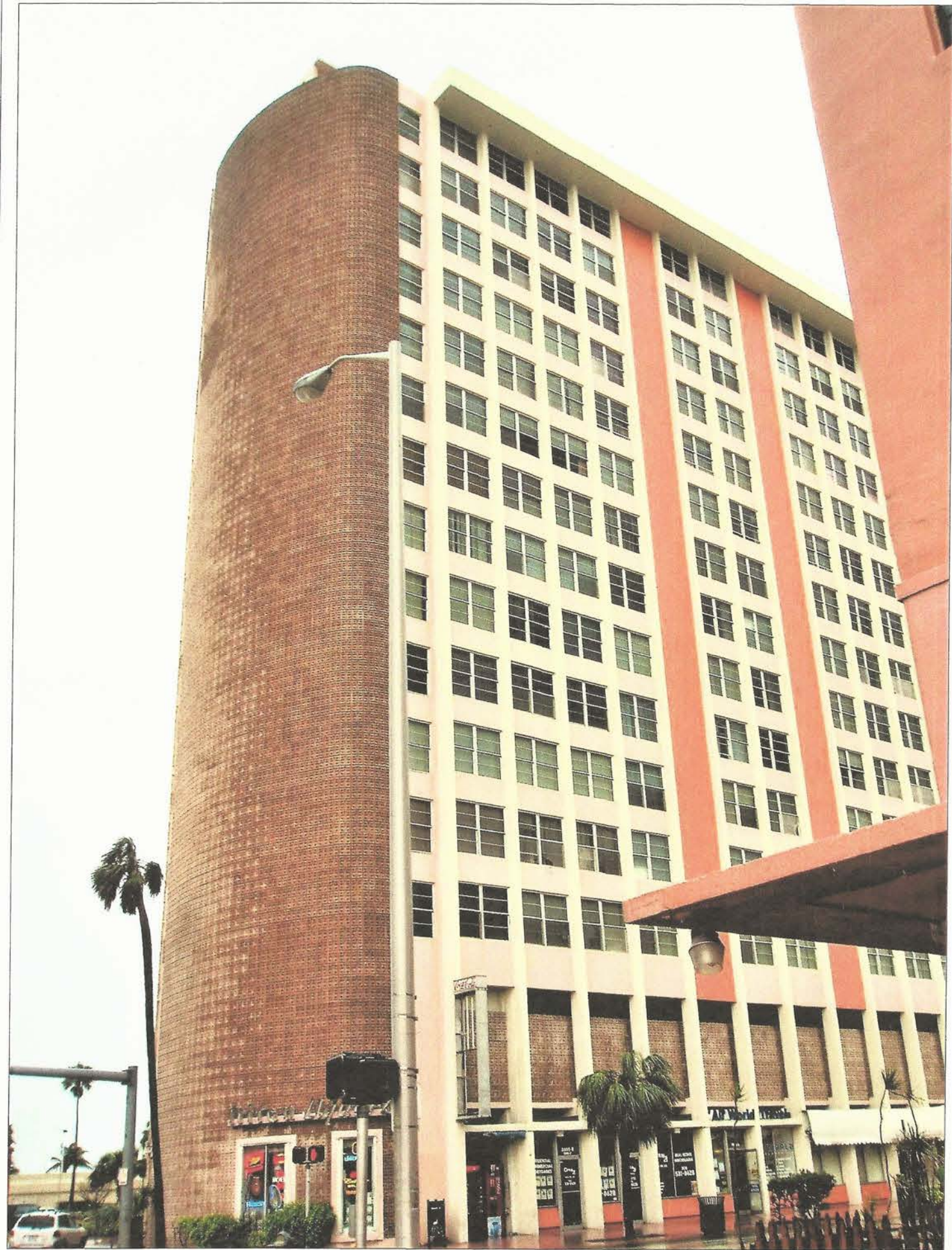
PROJECT #:
BY: LAM
SCALE:
AS NOTED

S-11

BRONISLAUS P. TAURINSKI
#53255

BRONISLAUS P. TAURINSKI
LICENSE
No. 33255
STATE OF FLORIDA
ENGINEER

EXISTING PARTIAL WEST AND SOUTH ELEVATION



EXISTING PARTIAL WEST AND NORTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

LEGEND

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- ⑧ - WINDOW LINTEL

B. P. Taurinski, P.E.
730 SOUTH DEERFIELD AVE. SUITE 1
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-2100
FAX: (954) 418-2066
AUTH. NO. 2713

BRONISLAUS P. TAURINSKI, P.E. No. 33255

date: 11/16/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-12

BRONISLAUS P. TAURINSKI

#33255



EXISTING PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

LEGEND

- ① - DECK SPALL
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- ⑥ - WALL SPALL
- ⑦ - WINDOWSILL
- ⑧ - WINDOW LINTEL

B. P. Taurinski, P.E.
730 SOUTH DEERFIELD AVE. SUITE 200
DEERFIELD BEACH, FL 33442
PHONE: (954) 418-3100
FAX: (954) 418-3985
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E.
date: 11/16/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-13

BRONISLAUS P. TAURINSKI

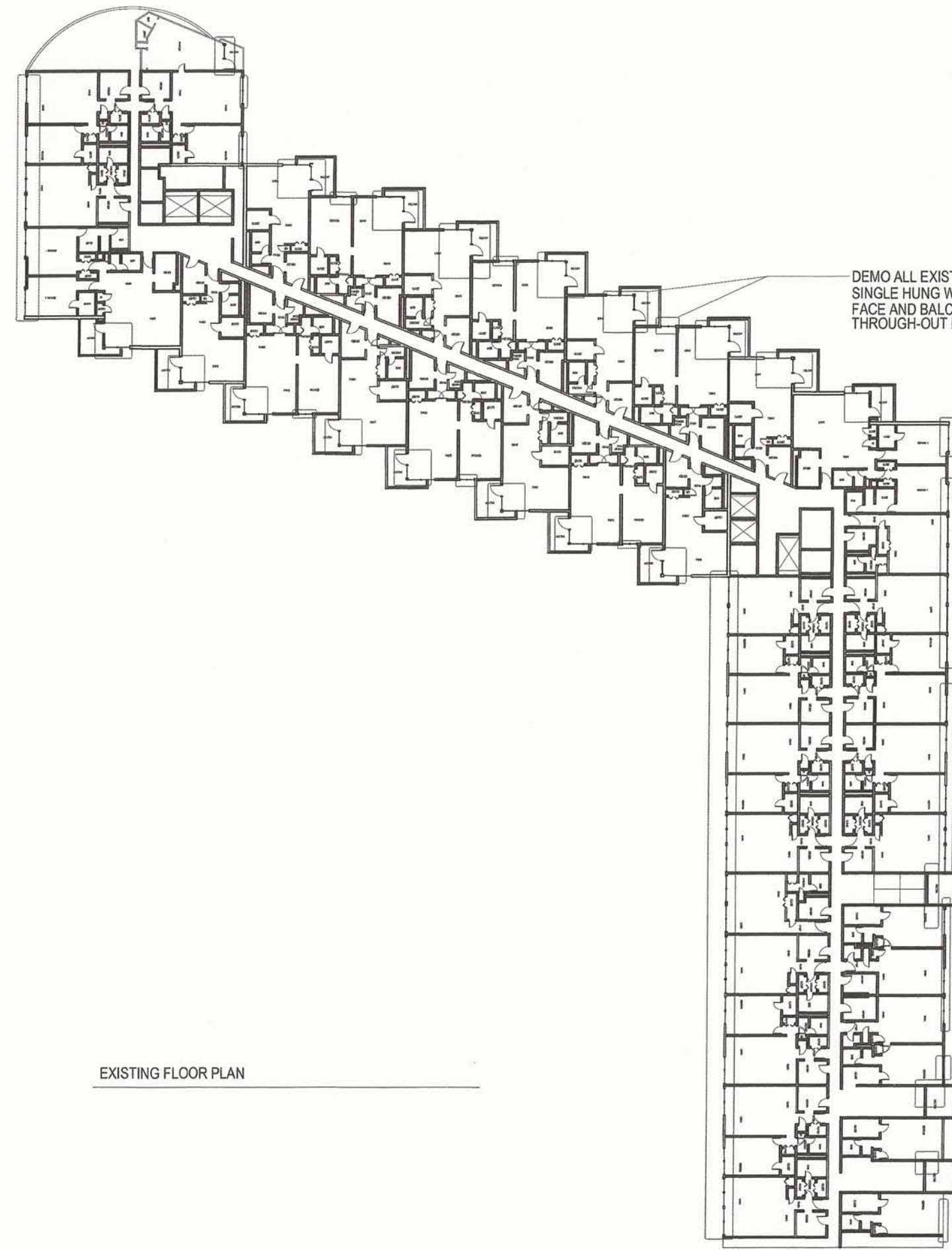
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TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
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LEGEND

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- ⑧ - WINDOW LINTEL



EXISTING FLOOR PLAN

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE 1
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3988
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:

△

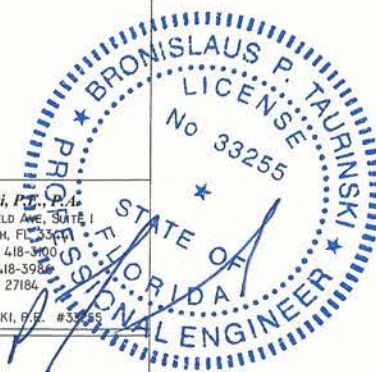
PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-14

BRONISLAUS P. TAURINSKI

#33255

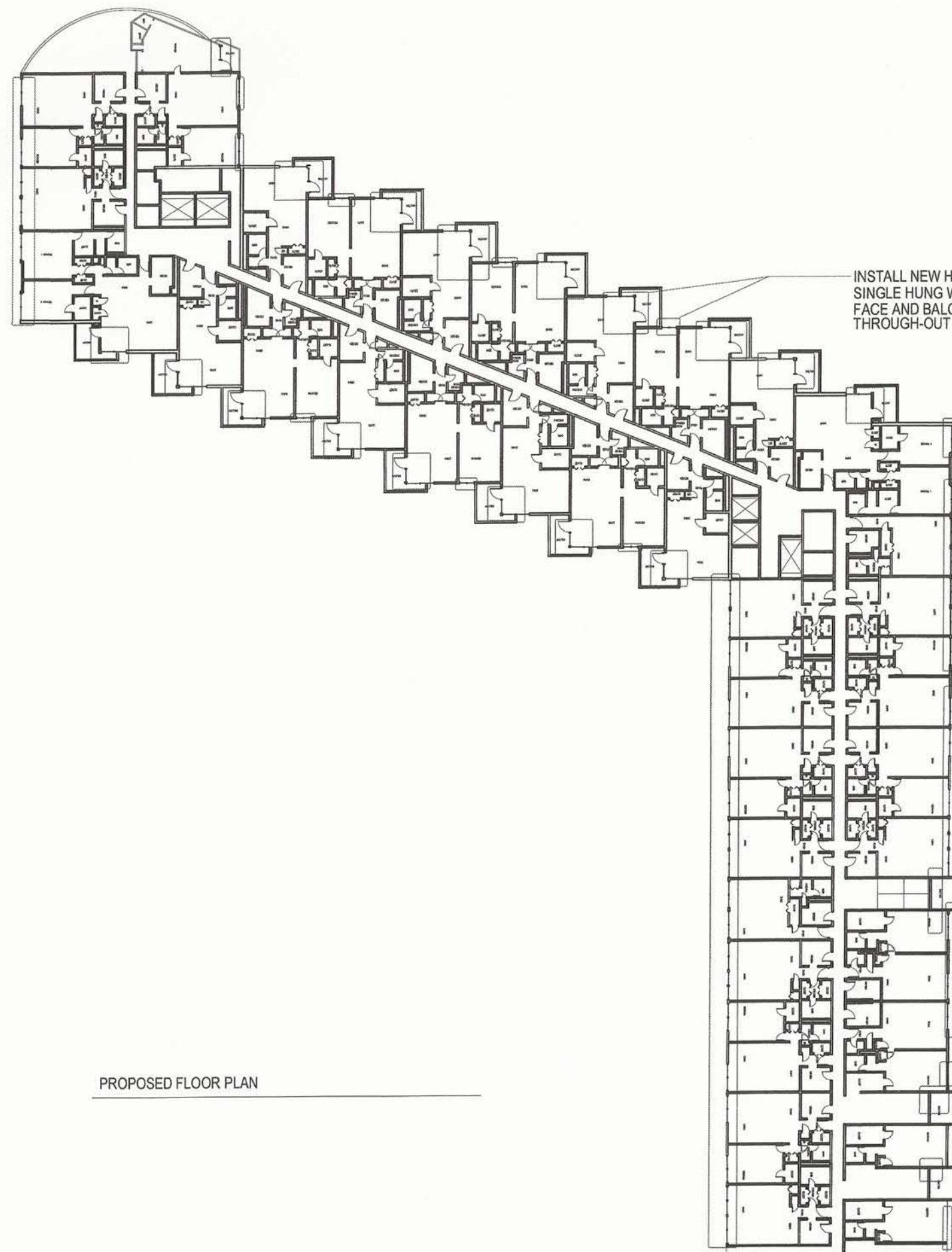


TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
AND WATERPROOFING PROJECT

LEGEND

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INSTALL NEW HURRICANE IMPACT SWING DOORS AND
SINGLE HUNG WINDOWS AT BUILDING
FACE AND BALCONY LOCATIONS
THROUGH-OUT HIGH-RISE STRUCTURE

PROPOSED FLOOR PLAN

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. No. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:

△

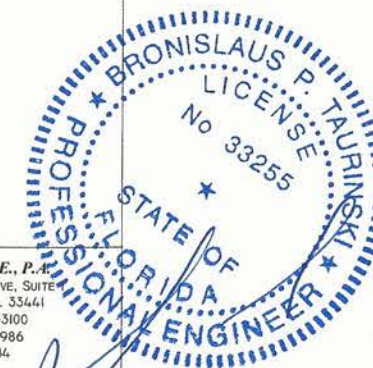
PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-15

BRONISLAUS P. TAURINSKI

#33255





PROPOSED EAST ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
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- ⑧ - WINDOW LINTEL

B. P. Taurinski, P.E., P.A.
750 SOUTH DEERFIELD AVE., SUITE 100
DEERFIELD BEACH, FL 33442
PHONE: (954) 418-3100
FAX: (954) 418-3100
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:

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PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-16

BRONISLAUS P. TAURINSKI

#33255

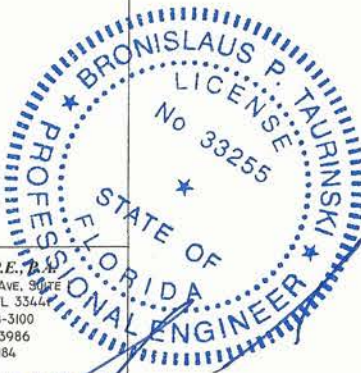


PROPOSED EAST AND PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
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B. P. Taurinski, P.E., P.A.
750 SOUTH DEERFIELD AVE., SUITE 300
DEERFIELD BEACH, FL 33442
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:



PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-17

BRONISLAUS P. TAURINSKI

#33255

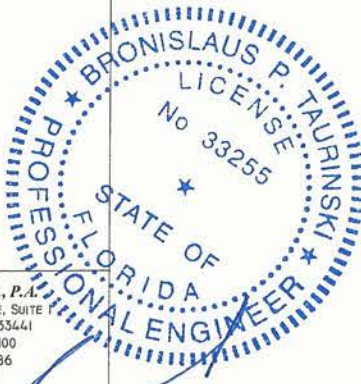


PROPOSED PARTIAL WEST AND SOUTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
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- ⑧ - WINDOW LINTEL



B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. No. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-18

BRONISLAUS P. TAURINSKI

#33255

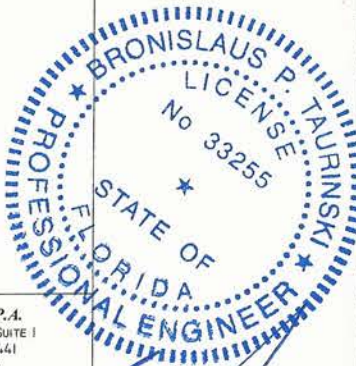


PROPOSED PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
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B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE 1
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:

△

PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-19

BRONISLAUS P. TAURINSKI

#33255



EXISTING PARTIAL NORTH ELEVATION

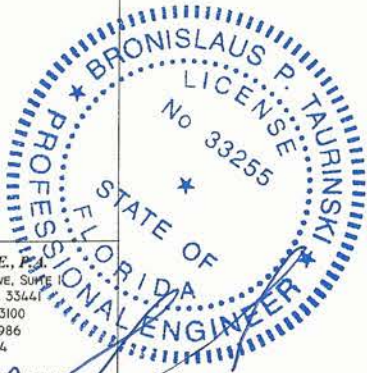


PROPOSED PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM
2899 COLLINS AVENUE
MIAMI BEACH, FLORIDA 33140
CONCRETE RESTORATION, WINDOW/DOOR
REPLACEMENT, PAINTING
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B. P. Taurinski, P.E., P.E.
730 SOUTH DEERFIELD AVE, SUITE 1
DEERFIELD BEACH, FL 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P.E. #33255

date: 11/16/2018

REVISIONS:



PROJECT #:

DRAWING
BY: LAM
SCALE:
AS NOTED

S-20

BRONISLAUS P. TAURINSKI

#33255