

LOCATION MAP



BUILDING CONSTRUCTION TYPE: I

OCCUPANCY TYPE: A-I

BUILDING HEIGHT: 17 STORY

BUILDING DOES HAVE A FIRE SPRINKLER SYSTEM

DATA

FLORIDA BUILDING CODE 6TH EDITION (2017) W/ ALL AMENDMENTS

BASIC WIND SPEED (3 SECOND GUST)

WIND IMPORTANCE FACTOR CATEGORY WIND EXPOSURE

BUILDING DESIGN

ENCLOSED

GENERAL NOTES

- I. THE CONTRACTOR SHALL PERFORM ALL WORK AS SHOWN ON THE CONTRACT DRAWINGS IN ACCORDANCE WITH THESE CONTRACT
 DRAWING SAND SPECIFICATIONS AND ALL OTHER CONTRACT DRAWINGS AND SPECIFICATIONS WHICH ARE PART OF THE CONTRACT. THE CONTRACTOR SHALL ALSO PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS INCLUDING THE FLORIDA BUILDING CODE 6TH EDITION (2017) AND ALL OF ITS AMENDMENTS.
- 2. THE CONTRACT DRAWINGS ARE INTENDED TO SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK AND ARE PARTLY DIAGRAMMATIC. THEY ARE NOT INTENDED TO BE SCALED FOR DETERMINING DIMENSIONS OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF. ALL DETAILS AND SECTIONS SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT. EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS
- 3. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE INDICATED. THEY ARE NOT INTENDED TO BE SCALED FOR DETERMINING DIMENSIONS OR TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF. ALL DETAILS AND SECTIONS SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT. EXCEPT WHERE A DIFFERENT DETAIL OR SECTION IS SHOWN. (SAFETY NETS, SUPPORT AND BRACING FOR CRANES AND GIN POLES, ETC.
- 4. THE CONTRACTOR SHALL VERIFY ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS AT THE JOB SITE, AND AS SHOWN ON THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL REPORT ANY ERRORS OR INCONSISTENCIES IN THE ABOVE PARAMETERS TO THE ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL LAY OUT ALL WORK FROM PLANNED, ESTABLISHED REFERENCE POINTS AND SHALL BE RESPONSIBLE FOR ALL GRADES, LINES, LEVELS, CONDITIONS AND DIMENSIONS IN CONNECTION WITH THE WORK
- 5. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES TO ENSURE PROPER EXECUTION OF WORK.
- 6. THE STRUCTURAL DRAWINGS MAY OR MAY NOT SHOW ALL PRINCIPAL OPENINGS IN THE STRUCTURAL MEMBERS. THE CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND TELECOMMUNICATION DESIGN
 DRAWINGS AND SPECIFICATIONS TO IDENTIFY ALL REQUIRED OPENINGS THROUGH ANY AND ALL STRUCTURAL MEMBERS.
- 7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OMISSIONS OR INCONSISTENCIES FOUND CONCERNING OPENINGS OR PENETRATIONS THROUGH THE STRUCTURAL MEMBERS AS SHOWN ON THE STRUCTURAL DRAWINGS, AFTER STRUCTURAL DESIGN REVIEW OF ALL SAID OPENINGS AND PENETRATIONS, THE CONTRACTOR SHALL PROVIDE APPROVED OPENINGS OF PENETRATIONS AS REQUIRED.
- WHEN A CODE, SPECIFICATIONS, MANUAL OR OTHER REFERENCE MATERIAL IS CITED IN THESE GENERAL NOTES, THE PERCENT EDITION OR REVISION IS TO BE USED.

***** SUBMITTALS *****

THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER THE FOLLOWING SPECIFICATIONS AND DRAWINGS PRIOR TO THE CONSTRUCTION OF THE

- A. CONCRETE MIX DESIGN: CONCRETE MIX DESIGN SHALL BE PERFORMED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA.
- B. CONCRETE REINFORCING STEEL SHOP DRAWINGS:

THE INDEPENDENT INSPECTION COMPANY AND THE TESTING LABORATORY SHALL SUBMIT TO THE ENGINEER ALL INSPECTION REPORTS AND TESTING RESULTS THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT.

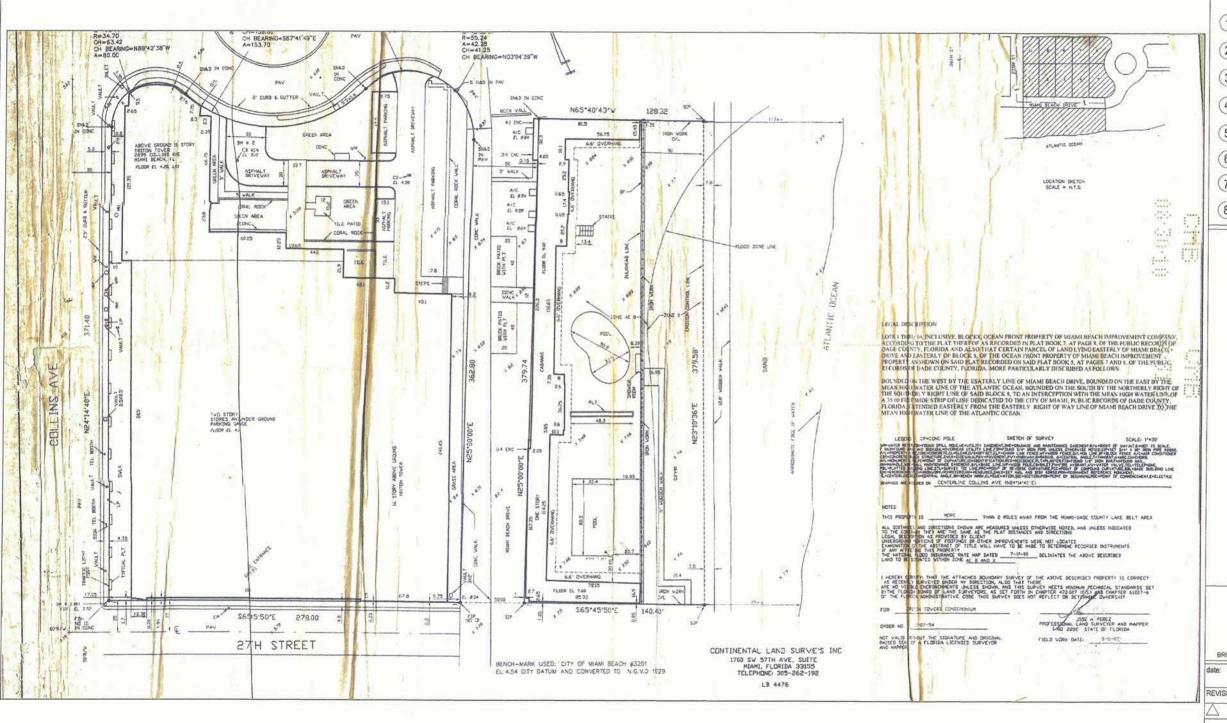
TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

730 SOUTH DE DEERFIELD I PHONE: (1 FAX: (9)	REFIELD AVE, SUITE BEACH, FL 33444 954) 418-3100 54) 418-3986 No. 27184	A P	TO STATE OF	ISLAUSE KALLING
PROJECT #:	DRAWING BY: LAM SCALE: AS NOTED		man	1111

BRONISLAUS P. TAURINSK

VGINEER MILITIAL TO THE PARTY OF THE PARTY O



ORIGINAL SITE PLAN

TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- (4) COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- (7) WINDOWSILL
- (8) WINDOW LINTEL

B. P. Taurinski, P.E., P.A.
730 South Deerrield Ave, Suite I
Deerrield Beach, F.L. 33441
Phone: (954) 418-3000
FAX: (954) 418-3986
Auth. No. 27184

REVISIONS:

ENGINEER WILLIAM PROJECT #: DRAWING BY: LAM SCALE: AS NOTED

BROWS AUS P. TAURINS

SCOPE OF WORK - Building Structure

- 1. Remove all tiles and coatings on concrete balcony slabs as directed by the Engineer. The top surface of the bare concrete slabs shall be ground down to remove all carpet glue, thinset, coatings, or other finishes prior to applying the waterproof deck coating system.
- 2. Repair damaged concrete and steel on the slab surfaces, walls, columns, ceilings, beams, and slab edges as per ICRI Standards. Repair structural cracks marked by the Engineer by epoxy injecting the cracks.
- 3. Repair stressed/delaminated stucco as marked by the Engineer.
- 4. Properly repair lintels and windowsills to match existing architectural features.
- 5. Unit owners will be responsible for removing all furniture and furnishings from the unit balconies.
- 6. The Contractor will be responsible for covering and protecting all property, including storm shutters, window assemblies, light fixtures, etc.
- 7. Remove storm shutters and doors, as directed by the Engineer, to properly make repairs. Drill out the old fasteners and fill all of the holes with epoxy gel. Where doors are removed, install temporary dust walls. Dust walls to be installed to full height to protect the unit from weather, concrete dust, sandblasting, debris, etc. Securely attached to the concrete deck, walls and
- 8. The Contractor shall be required to document the existing condition of all removed doors and storm shutters. A copy of this documentation shall be submitted to the Owner immediately upon removal.
- 9. The Contractor shall store all removed permitted storm shutters to be re-installed in a safe ground location designated by the Owner for the duration of the repairs. All properties are to be protected from weather, concrete dust, debris, etc.
- 10. Prior to the installation of dust walls by the Contractor, the Owner will be responsible for the removal of all drapery, blinds, furnishings and floor treatments near the repair areas. The Contractor must give reasonable notice to the Owner of the intent to install dust walls.
- 11. The Contractor shall store all removed storm shutters in a safe ground location designated by the Owner for the duration of the repairs. All shutters are to be protected from weather. concrete dust, debris, etc.
- 12. Reinstallation of existing shutter assemblies shall be installed with dense plastic shims and new stainless steel fasteners set in urethane sealant.
- 13. Water testing of all concrete slabs shall be done to identify low spots. Low spots shall have a application of flash patching material by the Contractor to achieve positive drainage.
- 14. Apply Sika's FlexCoat with ATC waterproofing to all effected unit balcony floors. The Owner shall select the color of the coating and the degree of coarseness. One-unit balcony, as a sample will be finished and agreed upon by the Owner before any other surfaces are started. This balcony will set the standard for the balcony decks.
- 15. Install a (1) one-inch cant bead of urethane sealant at the junction of all horizontal and vertical surfaces, including railing
- 12. Completely pressure-clean all vertical surfaces (3,000 p.s.i.) 12-inches perpendicular to the surface with turbo tip and remove areas of loose and peeling paint.
- 13. The Contractor shall supply the Owner with reasonable notice of a schedule for the commencement of pressure-cleaning at walls and stacks. The purpose is to provide unit owners with ample time to move furniture or other properties from the window vicinity, should leaks result from hidden cracks and/or defective windows.
- 14. Contractor to prep and paint the building/parking garage structure, cabanas and clubhouse with AURA paint (2 coats = 5 mils dry) as per Benjamin Moore specifications enclosed. (Section 11)
- 15. Apply 100% acrylic coating to all balcony ceilings.
- When repairs and painting have been completed, all surfaces including decks, tracks, doors and windows will be cleaned prior to leaving each stack.

- Installation of New Hurricane Impact Windows, Swing/Sliding Doors and Sliding Automatic Doors at Common Areas Throughout the
- a. Remove existing window, door and sliding automatic door assemblies throughout the property and properly dispose. The general contractor shall remove approximately 6-inches of existing stucco around the existing window, door and sliding automatic door assemblies prior to the removal of the existing window, door and sliding automatic door assemblies.
- b. Drill out the old fasteners and fill all of the holes with epoxy
- c. Where existing glass assemblies are removed and concrete repairs are necessary, install temporary dust walls. Dust walls to be installed to full height (floor to ceiling) to protect the common areas from weather, concrete dust and debris. Dust wall is to be securely attached to the concrete deck, walls and ceiling. (See window/door hardware schedule for hardware details.)
- d. Re-install new impact door, sliding automatic door and window assemblies through-out scheduled units as per manufacturer's engineered specifications meeting all current and local codes. (See window/door/sliding automatic door hardware schedule for hardware details.) All new impact door. sliding automatic door and window assemblies are to be of similar appearance to match existing conditions and Architectural features and be approved by the Association and
- e. All window, door and sliding automatic door assemblies shall be installed to rough masonry opening sizes.
- f. Contractor shall prepare opening surface and install Sika 2017 Sikaflex 102 EverFlash System as per the manfacture.
- g. The window contractor shall install the primary caulk bead and interior caulk bead. Once primary caulk bead is installed, inspected and approved by engineer, the general contractor will re-stucco around all sliding automatic door and window assemblies and install the secondary exterior caulk bead. All caulk beads shall be properly tooled by all contractors.
- h. The general contractor shall repair all damaged concrete and steel on the slab surfaces, walls, columns, ceilings and slab edges as per ICRI standards (as directed by engineer) during the window/door installation process. This coordination must be scheduled in a timely manner between the window contractor, general contractor and the engineer's office.
- i. Contractors are to provide the owner/management with a minimum of (7) seven calendar days' notice for access to units for window, door and sliding glass door installation.
- j. Contractor to provide access and scheduling to engineer's office for required installation inspections (by means of swing stage, mass-climber, ect.).
- Engineer's inspections area as follows for all new window, door and sliding automatic door assemblies:
- ••• Frame inspection, including screw installation, buck/shim installation
- Primary caulk bead and interior caulk bead.
- Preparation and application of the structural silicone adhesive and installation of break metal.
- ••• Re-stucco areas around windows/door assemblies including secondary caulk bead.
- ••• Window/door operation including hardware.
- h. The window contractor is to document by way of video, the existing conditions at unit owners' units and common areas and submit a copy to Management and Board prior to commencement of work. The window contractor shall repair or replace at their own expense if not acceptable to the Associations engineer.
- i. The window contractor is responsible for all aesthetic aspects of the window, door and sliding glass door assembly with regard to scratches, dents or damages.
- j. Prior to the window contractor / general contractor leaving a unit or common area space, they shall clean all surfaces of excess construction materials, hardware and tools, so as to leave the work area in as clean of a condition as when the contractor arrived at the site.
- k. Configuration of window and swing door assemblies shall be as follows:
- a. Automatic sliding or swing glass doors at common areas shall be replaced with automatic sliding or swing glass doors. The door panel configuration shall match the existing as closely as possible and match the existing features, ie panic bar, sensors,

- b. Configuration of the shall be visually similar to the original windows (single-hung/horizontal slider or store front to be chosen by the Owner).
- c. Mutton pattern on the new window assemblies shall be included to match existing style.
- d. Mullion covers at all window to window connection shall be included using Dow 795.
- e. Existing metal fire doors shall be replaced with new fire rated hurricane impact door to match the existing as closely as possible and match the existing features, ie panic bar, sensors,
- 1. Installation of New Hurricane Impact Windows, Doors and Sliding Glass Doors at Private Units
- a. Remove existing window, door and sliding glass door assemblies throughout the scheduled units and properly dispose. The general contractor shall remove approximately minimum 6-inches or the "stucco return portion" of existing stucco around the existing window and sliding glass door assemblies prior to the removal of the existing window, door and sliding glass door assemblies.
- b. Drill out the old fasteners and fill all of the holes with epoxy gel.
- c. Where existing glass assemblies are removed, and concrete repairs are necessary, install temporary dust walls. Dust walls to be installed to full height (floor to ceiling) to protect the unit from weather, concrete dust and debris. Dust wall is to be securely attached to the concrete deck, walls and ceiling. Contractor shall provide emergency plywood dust walls at when required. (See window/door hardware schedule for hardware details.)
- d. Install new impact sliding glass doors and fixed windows assemblies through-out scheduled units as per manufacturer's engineered specifications meeting all current and local codes. (See window/door/sliding glass door hardware schedule for hardware details.) All new impact doors, sliding glass door and window assemblies are to be of similar appearance to match existing conditions and Architectural features and be approved by the Associations' engineer.
- e. All window and sliding glass door assemblies shall be installed to rough masonry opening sizes. All existing bucking shall be removed and replaced with new plastic or pressure treated wood as per current codes.
- f. Contractor shall prepare opening surface and install Sika 2017 Sikaflex 102 EverFlash System as per the manufacture.
- g. The window contractor shall install the primary caulk bead and interior caulk bead. Once primary caulk bead is installed. inspected and approved by engineer, the window contractor will re-stucco around all sliding glass door and window assemblies. Concrete restoration contractor shall install the secondary "or beauty" exterior caulk bead. All caulk beads shall be properly tooled by all contractors.
- h. The general or restoration contractor shall repair all damaged concrete and steel on the slab surfaces, walls, columns, ceilings and slab edges as per ICRI standards (as directed by engineer). This coordination must be scheduled in a timely manner between the window contractor, general contractor and the engineer's office.
- i. Contractors are to provide the owner/management with a minimum of (7) seven calendar days' notice for access to units for window, door and sliding glass door installation.
- j. Contractor to provide access and scheduling to engineer's office for required installation inspections (by means of swing stage, mass-climber, ect.).
- Engineer's inspections area as follows for all new window, door and sliding glass door assemblies:
- 1. Frame inspection, including screw installation, buck/shim installation and primary caulk
- bead and interior caulk bead. 2. Re-stucco areas around windows/door assemblies including secondary caulk bead.
- 3. Window/door operation including hardware.
- k. The window contractor is to document by way of video and still pictures, the existing conditions at unit owners' units and common areas and submit a copy to Management and Board prior to commencement of work. The window contractor shall repair or replace at their own expense if not acceptable to the Associations engineer.
- I. The window contractor is responsible for all aesthetic aspects of the window, and sliding glass door assembly with regard to scratches, dents or damages.

- m. Prior to the window contractor / general contractor leaving a unit or common area space, they shall clean all surfaces of excess construction materials, hardware and tools, so as to leave the work area in as clean of a condition as when the contractor arrived at the site.
- n. Configuration of window and sliding glass door assemblies shall be as follows:
- a.a. Sliding glass doors on balconies shall be replaced with sliding glass doors.
- a.b. The door panel configuration shall match the existing as closely as possible.
- a.c. Configuration of the shall be visually similar to the original
- o. Engineer's inspections area as follows for all new window, door and sliding automatic door assemblies:
- Frame inspection, including screw installation, buck/shim installation and primary
- caulk bead and interior caulk bead.
- Re-stucco areas around windows/door assemblies including secondary caulk bead.
- Window/door operation including hardware
- p. When repairs and painting have been completed, all surfaces including decks, tracks, doors and windows will be cleaned prior to leaving each stack.

SCOPE OF WORK - Parking Garage Structure and Recoating of Parking Decks Waterproofing

- 1. The Contractor will remove existing coatings slab down to the structural slab as directed by the manufacture.
- Repair damaged concrete and steel on the slab surfaces, walls. columns, ceilings, beams, and slab edges as per ICRI Standards. Repair structural cracks marked by the Engineer by enoxy injecting the cracks.
- 3. Repair stressed/delaminated stucco as marked by the Engineer.
- 4. Owner will be responsible for removing all cars, furniture and furnishings from the parking spaces or scheduled work area.
- 5. The Contractor will be responsible for covering and protecting all building property, light fixtures, etc.
- 6. The Contractor shall be required to document the existing condition of all surrounding areas. A copy of this documentation shall be submitted to the Owner immediately prior to commencement of work
- 7. The contractor will be required to document the existing conditions including landscaping and planters of any and all existing conditions/damage and landscaping prior to the commencement of work. A copy of this documentation will be submitted to the Owners immediately upon commencement of the work
- 8. Epoxy inject all structural cracks within the structure as directed by the Engineer
- 9. Remove all existing sealant from all expansion joints throughout the garage structure as directed by the Engineer. Repair joint profile as necessary and prepare joint surfaces for expansion joint system. Install backer-rod and caulk expansion joint system as per the manufacturer's specifications and recommendations.
- 10. Following the removal of all coatings and structural repairs, shot
- blast all horizontal surfaces scheduled to receive new full coating system. Provide surface profile (i.e. sandblast, shot blast, grind, etc.) to achieve specified adhesion equal to International Concrete Repair Institute surface profile CSP 3 prior to the application of the waterproof coating. Refer to the manufacturer's specification and recommendations for recoating of waterproofing. (See in the latter part of this Section).
- 11. Remove all existing sealant from expansion joint as marked by Engineer. Repair joint profile as necessary for 1-1/2" maximum wide joint and prepare joint surfaces to install MasterSeal NP 150 Sealant and closed-cell backer-rod as per BASF specifications.
- 12. Any dynamic cracks routed out to a minimum 1/4" x 1/4" and cleaned. Any joints that become deeper than 1/4" appropriate backer-rod to be used. Install sealant flush with the adjacent concrete surface (see manufacturer's details).

TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEN	D
-------	---

- (1) DECK SPALL
- (2) CEILING SPALL
- (3) BEAM SPALL
- (4) COLUMN SPALL
- (5) EDGE REPAIR
- (6) WALL SPALL
- (7) WINDOWSILL
- (8) WINDOW LINTEL

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE I
DEERFIELD BEACH, FL 35/4/1
PHORE: (954) 418-3900
X: (954) 418-3986
YH. NO. 27184

SKI, 9E. #33988

BRONIS A

0:0

ENSE ...

BRONIS!

INGINEER WHITE

REVISIONS:

BRONISLAUS P. TAURINSKI, PIE

DRAWING BY: LAM SCALE: AS NOTED

BRONISLAUS P. TAURINSK

- 13. The existing parking bumpers must be removed prior to the parking deck waterproofing. The parking bumpers must then re-installed after the waterproofing membrane in applied. Contractor will replace the broken parking bumpers as directed by the engineer.
- Apply MasterSeal Extra Heavy Traffic 1500 Deck Coating System to prepared parking deck slabs. The Owner shall select the color of the coating. A ten (10) foot square area of the parking deck will be finished and agreed upon by the Owner before any other surfaces are started. This area will set the standard for the parking decks.
- 15. Following proper cure of the waterproof membrane, a 48-hour water test will be performed and inspected by the Engineer Repair any leaks if found after water test as per the manufacturers recommendations.
- 16. Re-stripe and re-label exterior/interior parking structure with appropriate marking paint.
- Apply 100% acrylic paint to all exposed vertical and horizontal surfaces including any and all signage as per Benjamin Moore Paint specifications.
- 18. Install new parking bumpers at existing locations as

SCOPE OF WORK - Pool Deck Cabanas, Club House and Perimeter

- 1. Remove all deck surfaces down to the structural slab.
- 2. Remove all of the pool surfaces down to the pool (s) structural
- 3. Repair damaged concrete and steel on the slab surfaces, walls. columns, ceilings, beams, and slab edges as per ICRI Standards. Repair structural cracks marked by the Engineer by epoxy injecting the cracks.
- 4. Repair stressed/delaminated stucco as marked by the Engineer.
- 5. Following the removal of all coatings from the surface of the pool deck structures and structural repairs, shot blast all horizontal surfaces scheduled to receive coating system. Provide surface profile (i.e. sandblast, shot blast, grind, etc.) to achieve specified adhesion equal to International Concrete Repair Institute surface profile CSP 3 prior to the application of the waterproof coating. Refer to the manufacturer's specification and recommendations Options are the CCW500R Hot Applied and the MiraSeal Cold applied waterproofing system as per the manufacturer's
- 6. Any dynamic cracks routed out to minimum 1/4" x 1/4" and
- 7. Any joints that become deeper than 1/4" appropriate backer-rod to be used. Install sealant flush with adjacent concrete surface (see manufacturer's details).
- 8. Following proper cure of the waterproof membrane, a 48-hour water test will be performed and inspected by the Engineer. Repair any leaks if found after water test as per manufacturers
- 9. Install new finishes to both pools with similar finishes, including all depth markers and signage as per code. Colors and texture to be chosen by the Owner.
- 10. Paint cabanas, clubhouse and perimeter walls as per Benjamin Moore's Specifications (See in the latter part of this
- 11. The contractor will be required to document the existing conditions including landscaping and planters of any and all existing conditions/damage and landscaping prior to the commencement of work. A copy of this documentation will be submitted to the Owners immediately upon commencement of
- 12. Remove existing cabana door thresholds and construct a 3" x 4" concrete curb with reinforcement.
- 13. Contractor shall have each of the wooden cabana door cut to size to accommodate the new threshold.
- 14. The contractor will give the Owner/Management a minimum of 48 notice prior to starting the work at the pool area.
- 15. The contractor will protect the pools during all work from dirt, debris, etc.
- 16. The contractor will remove all existing sealant from all expansion joints through-out the pool deck as marked by the Engineer. Repair the joint profile as necessary and prepare the joint surfaces for the new expansion joint system

CONCRETE REHABILITATION

PART 1 - GENERAL 1.01 WORK INCLUDED

A.Furnish all necessary materials, labor, and equipment

- 1. Complete all work as outlined in the Detailed Scope of Work and Project Manual.
- 2. The contractor is responsible for documenting (by video recorder or other means of recording device) prior condition of all parking, landscaping areas and roof prior to the commencement of work. A copy is to be submitted to the association.
- 3. Repair all deteriorated concrete and steel throughout the structures as per ICRI Standards and the appropriate manufacturer's recommendations.
- 4. Waterproof concrete surfaces as directed by the

1.02 UNRELATED WORK

- A.Electrical conduit replacement or other electrical work on wiring buried in the concrete members.
- B. The work identified in Sections 1.02 (A) shall not be performed by this contractor unless specifically set forth in the contract or by an approved change order.
- C.Repair of electrical devices and conduit encountered within the concrete structure or in masonry, wood or metal partition walls:
- 1. When encountered, notify Owner's representative and Engineer to contact the building's electrician to schedule and perform the electrical repair(s). Contractor will take every precaution to prevent damage to these items. If conduit or piping is damaged due to negligence of work force, Contractor will pay
- 2. Following repair, wipe down and coat the metal parts with bond breaker material prior to cementitious repair.
- 3. Seal all non-weathertight joints and faces with urethane sealant.

1.03 QUALITY ASSURANCE

A.Manufacturer: Company specializing in type of material specified, with not less than five (5)

years of documented experience.

- B. Contractor: The Contractor shall meet all of the following requirements:
 - 1. The Contractor shall be a "Pre-qualified Contractor" of the Manufacturer for the material used. The Contractor shall submit a letter from the Manufacturer stating such approval, including a letter of intent to warranty said
- 2. The Contractor shall have a minimum of three (3) years of experience in performing repair work similar to that specified herein.
- 3. The contractor shall be a State-Certified General Contractor.
- 4. The Contractor shall submit a list of three (3) projects in which the repair work is similar to that specified herein was successfully completed. The list shall contain the following information for each project: project name and location, owner of project, contact person and telephone number, brief description and date of completion.

1.04 SUBMITTALS

A.The Contractor shall deliver the required submittals to the Owner/Management. Submittals shall be made promptly and in such a sequence as to cause no delay in the work.

Owner/Management: Portofino South Pointe Master Assoc.

300 South Pointe Drive Miami Beach, Florida 33139 Attn: Board of Directors

Engineer

B. P. Taurinski Structural Engineers 730 South Deerfield Avenue, Suite 1 Deerfield Beach, Florida 33441 Attn: Brownie P. Taurinski, P.E., P.A.

- B. The Contractor shall submit the following in duplicate:
 - 1. Documentation that he/she meets the aualifications as specified in Section 1.03 (B)
 - 2. A letter from the Manufacturer and a sample warranty as specified in Section 4.01 (A).
 - 3. Certifications of Insurance as specified in Section 1.07 (E)
 - 4. Hold Harmless Agreement as specified in Section 1.07 (F).
 - 5. Schedule of work, including commencement and completion dates, as specified in Section 1.07 (K)

1.05 MATERIAL DELIVERY, HANDLING AND STORAGE

- A.Materials shall be delivered in the Manufacturer's undamaged, unopened containers. Each container shall be clearly marked with the following:
 - 1. Product Name
 - 2. Manufacturer's Name
 - 3. Batch Number
 - 4. Component Designation ("A" or "B")
 - 5. Ratio of Component Mixtures
- B. Provide equipment and personnel to handle the materials by methods, which prevent damage.
- C.Promptly inspect shipments to assure that materials comply with requirements, quantities are correct and materials are undamaged.
- D. The Contractor shall be responsible for all materials furnished by him/her, and he/she shall replace, at his/her own expense, all such material that is found to be defective in manufacturing or that has become damaged in handling.
- E. Store materials in accordance with the Manufacturer's instructions with seals and labels intact and legible. Maintain temperatures within the required ranges.
- F. Store materials only in locations designated by Owner.

1.06 JOB CONDITIONS

- A.The Contractor shall visit the site and examine the condition of the surfaces, which are to be repaired. The Contractor shall follow the Manufacturer's recommendations with regard to the various moisture and temperature limitations of the
- B. The Contractor shall arrange with the Owner to have all automobiles moved from the immediate work area and/or adequately protect such property from damage during the
- C.The Contractor shall arrange with the Owner to have all work areas closed off to prevent pedestrian traffic during the
- D. The Contractor shall arrange with the Owner for the times of day and days of the week during which the work can take
- E. The Contractor shall provide a dumpsite for the removal of all debris and for removal of its contents
- F. The Contractor shall provide portable toilets for use of his/her
- G. The Contractor shall provide a full-time, on-site supervisor for the duration of the work.

1.07 GENERAL CONDITIONS

- A The Contractor shall provide all required labor materials necessary equipment, supervision, insurance and permits required to complete the work as herein specified.
- B. The Contractor shall obtain all necessary permits, at no additional cost to Owner, as required by the Municipality.
- C.The Contractor shall comply with all fire and safety regulations and shall supply workers with safety goggles, gloves, earplugs and masks as required for protection during specific phases of the work.
- D. The Contractor shall utilize adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary crafts and who are completely familiar with the specified requirements and methods needed for proper performance of the work.
- E. The Contractor shall provide Certificates of Insurance to the Owner and maintain the following coverage's indemnifying the Owner to the stated limits where applicable.
- Workmen's Compensation: Statutory Limits.
- Comprehensive General Liability Insurance including Contractual and Broad Form Liability:

Bodily Injury -\$ 1,000,000.00 Each Occurrence \$1,000,000.00 Aggregate

\$1,000,000.00 Each Occurrence Property Damage -\$1,000,000.00 Aggregate

Commercial Auto Liability Insurance:

Bodily Injury - \$1,000,000.00 Each Occurrence \$ 1,000,000.00 Aggregate

\$1,000,000.00 Each Occurrence Property Damage -\$1,000,000.00 Aggregate

Umbrella Liability Insurance:

\$ 2,000,000.00 Each Occurrence Bodily Injury -\$ 2,000,000.00 Aggregate

\$ 2,000,000.00 Each Occurrence Property Damage -\$ 2,000,000.00 Aggregate

- F. The Contractor shall notify his insurance carrier to provide to the Owner within seven (7) days, written notice of cancellation of any or all of the above coverage's. In addition, the Contractor shall execute a Hold Harmless Agreement, holding the Owners, their respective officers, directors, members, employees and designated inspectors harmless from legal action, including Attorney's fees and expenses, which may arise out of the performance of the work.
- G. The Contractor shall protect and safeguard from harm all real and personal properties of the individual apartment owners and common elements of the Owner adjoining the work. Drop clothes or plastic wrapping or covers shall be utilized to protect adjoining surfaces as may be required.
- H. The Contractor shall arrange with the Owner for working space, space for storage of materials, parking for workers and access to the areas where the work for the Contractor is to be performed.
- I. The Contractor shall perform and install the work in strict accordance with these specifications and the Manufacturer's recommendations and shall specifically request the Manufacturer's representative to review bi-weekly, or as required, those portions of the work-in-progress, prior to, during and after final installation, in order that the warranties can be issued properly
- J. The Owner shall make power and water available, without charge, for reasonable use of the Contractor. All electrical modifications for use by the Contractor shall be at the Contractor's expense.
- K. The Contractor, once having started the work, shall continuously and expeditiously proceed to complete the work as quickly as possible. The Contractor shall submit a time schedule to the work indicating dates of commencement and completion prior to the execution of the contract.

TRITON TOWER CONDOMINIUM

2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- (1) DECK SPALL
- (2) CEILING SPALL
- (3) BEAM SPALL
- (4) COLUMN SPALL
- (5) EDGE REPAIR
- (6) WALL SPALL
- (7) WINDOWSILL
- (8) WINDOW LINTEL

12.

B. P. Taurinski, P.E., P.A.
730 South DeepField Ave, Suits 77
DeepField Beach, FL 33441 60 90 PHONE: (954) 418-3100 C)
FAX: (954) 418-3986
AUTH. No. 27184

STAT

W. D.

NS TACK BRONISLAUS P. TAURINSKI, P. 1 11/16/2018

REVISIONS

PROJECT # BY: LAM SCALE: AS NOTED

- L. Should any unforeseen conditions be found during the course of the work, the Contractor shall immediately notify the Owner, Engineer and a representative of the Manufacturer in order to determine remedial measures necessary to correct the problem area, so that the work may continue, and schedules are maintained within a reasonable time.
- M. At the end of each work day all equipment, staging, scaffold, shores, machinery, sealants, epoxy materials, cements, sand reinforcing bars, etc. shall be secured and/or stored. All materials stored in containers shall be properly closed and sealed as necessary.
- N. The Contractor shall maintain the material storage/work area clean; removing from the site daily flammable cloths and discarded materials, which could support combustion and at least weekly, remove empty drums, containers, bucket, boxes and bags. The Contractor shall supply at least one (1), five (5) pound Co2, fire extinguisher for quick access.
- O. The Contractor is responsible for the proper design and construction of all formwork, shoring, dust walls, temporary railings, to comply with any and all code requirements.

PART 2 - PRODUCTS 2.01 MATERIALS

- A.Polymer modified Portland cement mortar for patching 3/4" depth horizontal surfaces:
- Sika Corporation Quick 1000 manufactured by Sika Corporation.
- B. Polymer modified Portland cement mortar for patching vertical and overhead surfaces:

Sika Corporation Quick VOH manufactured by Sika Corporation.

- C. Repair concrete for repairing large, greater than 3/4" to full depth, horizontal slab surfaces: Sikacrete (standard concrete mix) Sikacrete 211SCC Plus (polymer-modified concrete mix CI) manufactured by Sika Corporation.
- D. Grout for aluminum railing post: Sonopost manufactured by Sika Corporation.
- E. Anti-corrosion protective and coating for reinforcing bars: Rebar Primer and Bonding Agent Sika Armatec 110 Epocem manufactured by Sika
- F. Bonding agent for bonding new plastic concrete to existing hardened concrete: Sikadur 32 Hi-Mod LPL manufactured by Sika Corporation.
- G. Epoxy adhesive for grouting replacement reinforcing bars: Sikadur 32 Hi-Mod LPL (horizontal applications) Sikadur 31 Hi-Mod Gel or Sikadur Anchorfix 3001 cartridges (vertical applications)
- manufactured by Sika Corporation.
- . Epoxy adhesive for pressure-injected crack repair: Sikadur 35 Hi-Mod LV (injection resin) Sikadur 31 Hi-Mod Gel (epoxy paste for setting injection ports & creating a cap seal) or Sikadur Crack Weld Kit (for small jobs where manual injection method is acceptable) manufactured by Sika Corporation.
- Epoxy adhesive for crack repair: Sikadur 35 Hi-Mod LV or Sikadur Crack Fix cartridge (horizontal applications - gravity feed method) by Sika Corporation.
- J. Reinforcing bars: Deformed bars, ASTM A615, grade 60.
- C. Repair stucco: Patching vertical and overhead application: SikaQuick VOH manufactured by Sika Corporation.
- Flastomeric Sealants:
- 1. Non-traffic joints: Sikaflex 1A or Sikaflex 2CNS EZ Mix manufactured by Sika Corporation.
- 2. Horizontal Joints: Sikaflex 1CSL or Sikaflex 2CSL manufactured by Sika Corporation.

- M. Balcony Waterproof Membrane:
- 1. Cementious Coating: Sikagard Flexcoat with Sikagard Flexcoat ATC by Sika Corporation with Clear Sealer by

Ortona

Sikagard 740 W by Sika

- 2. Urethane Costing: Sikalastic 710/715/735 Traffic System manufactured by Sika Corporation.
- Pavers: Sand: Sealer:
- Corporation (40% solids)

O. Parking Deck Waterproof Membrane:

- 1. Urethane Coating: Sikalastic 22 lo-Mod Hybrid Trafic System manufactured by Sika Corporation.
- 2. Hot-Applied Coating: Carlisle's Hot Applied Waterproof Membrane manufactured by Carlisle Corp.
- Backer-Rod
- 1. Horizontal floor joints: Nomaco Backer Rod manufactured by Sika Corporation
- 2. Vertical joints: Nomaco Backer Rod manufactured by Sika Corporation.
- Primers: MasterSeal P 220, MasterSeal P 222 and MasterSeal P 173 by Sika Corporation.
- Paint: Benjamin Moore Paints
- 1. Building Structure: Aura (2) coats to all exposed vertical surfaces by Benjamin Moore & Co.
- 2. Ceiling and Interior of Garage: Moorcraft Super Spec 100% Acrylic by Benjamin Moore & Co.

2.02 OPTIONAL READY MIX DESIGN

- Contractor will submit mix designs Alternate ready mixes
- 1. Minimum Compressive Strength = 5,000 psi at twenty-eight (28) days
- 2. Water/Cement ratio will not exceed 0.40 by weight, including admixtures introduced at the jobsite.
- 3. Minimum coarse aggregate size shall be #89 for pump
- 4. Portland Cement to be Type II, ANSI/ASTM C150.
- 5. Water Reducing Admixture (Superplasticizer) to be Type A, ANSI/ASTM C494, and not contain more than one (1) percent chloride ions.
- 6. Discharge of concrete shall be completed within 1-1/2 hours, or before 300 drum revolutions after the introduction of the mixing water to the cement or introduction of the cement to the aggregate.
- 7. Corrosion Inhibiting Admixture added to concrete at a dosage rate as recommended by the Manufacturer, prior
 - a. Sika Corporation Corporation, Ferroguard 901
 - b. Cortec, MCI 2000
 - c. Master Builders, Rheocrete 222
- B. Quality Assurance Comply with the following:
- 1. "Guide for Surface Preparation for the Repair of Deteriorated Concrete Resulting from Reinforcing Steel Corrosion" (Guideline No. 03730), published by the International Concrete Repair Institute, 1323 Shepard Drive, Suite D, Sterling, Virginia 20164-4428 - Copyright 1995
- 2. Apply all repair materials in accordance with the Manufacturer's recommendations for storage, preparation, mixing, placement and curing.

2.03 ACCEPTABLE MANUFACTURERS

- A. It is the intent of these Specifications to obtain a warranty from the material Manufacturer. Therefore, the Contractor shall use products from a single Manufacturer to the greatest extent possible and shall obtain prior, written authorization from the primary material Manufacturer for use of any secondary
- Materials manufactured by Sika Corporation and Carlisle Company have been specified and set the standard for the concrete repair products to be used.

2.04 EQUIPMENT

- A. All high-strength portland cement mortar, repair concrete, repair stucco and coating mixing equipment shall be of a type, capacity, and mechanical condition suitable for doing the work and acceptable to the material Manufacturer.
- The equipment used to inject the epoxy shall be acceptable to the epoxy Manufacturer and shall conform to all of the following:
 - 1. Capacity to automatically portion the epoxy materials within the ration mix tolerances set by the epoxy Manufacturer.
 - 2. Capacity to automatically mix the epoxy materials completely in line. Batch mixing will not be permitted.
- 3. Capacity to inject the epoxy adhesive under controlled variable pressures.

PART 3 - EXECUTION 3.01 PREPARATION

- The preparation required for the repairs shall be performed in accordance with the specifications herein described and in accordance with the Manufacturer's recommendations, approved codes, and the following standards:
- 1. ACI 301-Current Edition-Specifications for Structural Concrete Buildings; American Concrete Institute.
- 2. ACI 318- Current Edition Building Code Requirements for Reinforced Concrete: American Concrete Institute
- 3. ACI 347R- Current Edition Guide to Formwork for Concrete: American Concrete Institute.
- 4. ASTM A 185- Current Edition Standard Specification for Steel Welded Wire Fabric, Plain, for Concrete Reinforcement.
- 5. ASTM A 615- Current Edition Standard Specification for Deformed and Plain Billet-Steel Bars for Concrete Reinforcement.
- 6. ASTM A 416- Current Edition Standard Specification for Steel Strand, Uncoated Seven-Wire Stress-Relieved for Prestressed Concrete
- 7. ASTM C 31- Current Edition Standard Practice for Making and Curing Concrete Test Specimens in the Field.
- 8. ASTM C 33- Current Edition Standard Specification for Concrete Aggregates.
- 9. ASTM C 39- Current Edition Standard Test Method for Compressive Strength of Cylindrical Concrete Specimens.
- 10. ASTM C 172- Current Edition Standard Practice for Sampling Freshly Mixed Concrete
- 11. ASTM C 309- Current Edition Standard Specification for Liquid Membrane-Forming Compounds for Curing
- 12. ASTM C 881- Current Edition Standard Specification for Epoxy-Resin-Base Bonding Systems for Concrete.

- B. Document the condition of each area where repairs will be conducted, including such items as railings, screens, doors, etc. A copy of this condition report shall be forwarded to the Owner prior to the repairs so as to avoid potential damage claims.
- C. Remove coatings or any other finishes from the top surface of the concrete slabs to make repairs
- D. Remove and reinstall hurricane shutters and door tracks where required to facilitate structural repairs. All removed assemblies are considered fully operational unless documented by the Contractor and forwarded to the Owner prior to
- E. Prepare existing concrete slabs as per Manufacturer's recommendations prior to waterproofing decks.
- F. Place shoring to support balconies above all columns where areater than fifteen (15) percent of gross concrete cross-sectional area will be removed. (Repair material shall reach at least 2/3 design strength prior to removing shoring.) Shore posts shall be rated with a 10-kip minimum load capacity each. All posts shall have an adjustable collar to allow fine tightening to fit each location.

3.03 MORTAR PATCHING/CONCRETE REPAIR

- A. Areas of deteriorated and unsound concrete, as determined during the inspection, shall be removed as follows:
 - 1. The unsound concrete in these areas shall be removed by chipping hammers (Max. - 30-pound hammer) or other mechanical equipment as approved by the
 - 2. Removal of concrete shall extend two (2) inches to four (4) inches beyond the outer boundary mark of unsound
 - 3. Where possible, the areas removed shall be rectangular shaped.
 - 4. The edges of the patch areas shall be perpendicular or slightly undercut between 1/4 inch and 1/2 inch deep. This shall be accomplished by say cutting or by using chipping hammers. Feather edges will NOT be permitted.
 - 5. Concrete shall be removed completely around exposed corroded reinforcing steel such that a 3/4 inch clearance from the existing concrete is obtained.
 - 6. Removal of concrete around and beneath reinforcing steel shall be performed by using chipping hammers.
- 7. During the removal process, care shall be exercised to avoid cracking and otherwise damaging the surrounding sound concrete.
- B. Following the removal of deteriorated and unsound concrete and prior to cleaning the patch area, the Contractor shall remove all loose concrete from the work area and leave said area broom clean.
- C.The patch area shall be thoroughly cleaned by sandblasting to accomplish the following:
 - 1. Removal of all remaining loose and unsound concrete and all dirt, debris and other contaminants, which may impair adhesion of the repair mortar.
 - 2. Removal of all loose rust, scale and unsound concrete from exposed reinforcing steel.
- D. Apply a bonding agent to the existing hardened concrete surfaces against which the new mortar/concrete is to be placed.
 - 1. Pre-wet surfaces to saturated surface dry condition.
- 2. Apply bonding agent with a stiff bristle brush or "hopper type" spray equipment.

TRITON TOWER CONDOMINIUM

2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- (1) DECK SPALL
- (2) CEILING SPALL
- (3) BEAM SPALL
- (4) COLUMN SPALL
- (5) EDGE REPAIR
- (6) WALL SPALL
- (7) WINDOWSILL
- (8) WINDOW LINTEL

SP. TAURING P. TAURING B. P. Taurinski, P.E., P.A. 730 South Deerfield Ave. Swife in DEERFIELD BEACH, FL 334-17)
PHONE: (954) 418-3090
FAX: (954) 418-3980
AUTH, No. 27184 7 BRONISLAUS P. TAURINSKI, PA

* BRONIS

Odd

11/16/2018/ REVISIONS:

DRAWING BY: LAM SCALE: AS NOTED

BRONISLAUS P. TAURINSKI

- E. The top surfaces of the concrete surfaces shall be prepared in accordance with the waterproof deck coating system Manufacturer's recommendations.
- F. Contractor is responsible for ensuring compatibility of cementitious materials and waterproof deck coating products to be used.

3.04 REINFORCING STEEL

- A.Reinforcing steel which has lost more than 20% of its original area at any given point along its length shall be repaired as required by the Engineer and/or as follows:
 - Supplement the existing deteriorated reinforcing steel with new steel of equivalent size. Shall be ASTM A615, Grade 60 deformed bars, free from oil, scale, and rust, placed in accordance with the American Concrete Institute Standard Specifications and details.
- Remove deteriorated reinforcing steel and replace it with new steel of equivalent size.
- B. All supplemental reinforcing steel shall be placed following the cleaning of the patch area and shall be securely tied to prevent displacement during the placement of the mortar/concrete.
- C.Reinforcing steel removed during the removal of concrete members shall be replaced on a one-for-one basis.
- D. Where new bars are spliced to existing bars, the lap splice shall be minimum of 30 bar dias.
- E. Where bars are required to be grouted, minimum eight (8) inch deep holes shall be drilled into the sound concrete to grout the bars. New bars shall be grouted with epoxy adhesive.
- F. Coupled Splices: Shall be achieved using a steel sleeve and wedge pin assembled in accordance with the Manufacturer's recommendations to produce a positive connection up to 125% of specified yield. Acceptable product shall be the Quick-Wedge mechanical lap splice system manufactured by Erico, Inc.
- G. Chemical Anchors: Shall be an equal two-part polymer cartridge system such as Rawl Power-Fast as manufactured by Powers Fastening, Inc.
- H. Epoxy Injection: Shall be pumped using low pressure equipment to inject Prime Rez 1100 High Mod LV into port devices set into routed cracks cap sealed with Prime Gel 2000 High Mod as Manufactured by Prime Resins, Inc.
- Coat all exposed reinforcing bars with a brush or spray applied, anti-corrosion protective coating.

3.05 INSTALLATION OF REPAIR MORTAR

- A.Patch concrete slab, wall or column, restoring to original shape, with a polymer-modified cement mortar. Utilize forms as necessary to provide true vertical and horizontal surfaces. Forms shall be used at the vertical edges of all slabs, walls and columns unless directed otherwise by the Engineer.
- B. Polymer-modified repair mortars shall be mixed according to the Manufacturer's instructions using a low speed drill and mixing paddle in an acceptable sized container. For extended mixes, the coarse aggregate shall be added last, once a lump free homogenous mixture has been achieved.
- C.At the time of application, the substrate should be saturated surface dry with no standing water. Mortar must be scrubbed into substrate filling all pores and voids. While the scrub coat is still plastic, force material against edge of repair, working toward center. After filling, consolidate, then screed. Allow mortar to set to desired stiffness. Then finish with trowel for surface matching existing.
- D. Repair materials must have a seven (7) day cure time before membrane coating. Verify that curing methods used for concrete are compatible with coating system.

3.06 INSTALLATION OF REPAIR CONCRETE

- A.Forms shall be used at the vertical edge of all slabs, walls and columns unless directed otherwise by the Engineer.
- B. Install horizontal forms flush with underside of existing slab. Install vertical forms flush with outboard edge of existing slab, wall and column or as required to provide a minimum of 1 ½ inches of concrete cover for existing reinforcing bars. Forms shall be adequately constructed and supported to prevent sagging, bulging, etc.
- C.Forms shall be thoroughly cleaned to remove all debris and foreign matter prior to concrete pour.
- D.Upon arrival at the jobsite, the ready mix delivery ticket shall be checked for initial batch time. If accepted, the Contractor shall then introduce the corrosion-inhibiting admixture to the drum and allow dispersing.
- E. Pumping equipment and hoses shall be cleaned and inspected prior to dumping concrete into hopper.
- F. The repair concrete shall be poured or pumped into the forms and shall be rodded or vibrated as required to completely fill repair area.
- G. The repair concrete shall be struck off flush with the top of the existing slab and shall be trowel finished to receive the decorative/protective finish.
- H. Remove the forms after the repair concrete has gained adequate strength.

3.07 CONCRETE TESTING

- A.The Contractor will employ a testing laboratory to perform tests and submit reports. Laboratory to be CMEC accredited (Concrete Materials Engineering Council).
- B. Sampling Fresh Polymer Modified or Field Mixes:
 - Size: six (6) inch diameter by twelve (12) inch high cylinders, however, the Contractor may substitute the following for polymer modified mixes only:
 - a. Mortar: two (2) inch by two (2) inch by two (2) inch cubes.
 - Extended Mortar: three (3) inch diameter by six (6) inch high cylinders.
 - Compressive Strength Tests: ASTM C-39; one set of three (3) cylinders for each placement of transit mix or repair mortar per stack; one (1) specimen tested in three (3) days, one (1) specimen in seven (7) days and one (1) specimen in 28 days.
 - Contractor will notify testing lab least 24 hours prior to material placement.
- B. Test results will be reported in writing to the Engineer within 24 hours after tests. Tests shall contain project identification name and number, date of pour testing service, compressive breaking strength and type of break for 3-day, 7-day, and 28-day tests.

3.08 FINISHING AND CURING

- A.Moist cure polymer-modified repair overlays with wet burlap in accordance with the Manufacturer's recommendations for particular material or moisture cure a minimum of seven (7) days for transit mix placement. If a dissipating curing compound is used, then the residue shall be ground off to remove any bond inhibiting film.
- B. Repairs of load bearing members (i.e. cantilevered slabs) which require temporary shoring must reach original design strength of 2/3 of the repair material 28-day strength prior to removing formwork and shores.
- C.Stucco will be applied to match existing texture at beams, walls, columns, ceilings, and slab edges after the repair work is completed.

3.09 REMOVAL OF DOOR/HURRICANE SHUTTER TRACKS

- A.Prior to the removal of door/hurricane shutters, document the condition of each assembly to be removed. A copy of the condition report shall be forwarded to Owner prior to the removal, so as to avoid potential damage claims.
- B.Remove doors/hurricane shutters, as directed by Engineer, to properly make repairs.
- C.Drill out old fasteners and repair all holes with epoxy gel. Remove each door/hurricane shutter assembly to a designated safe location, where each assembly will be wrapped, tagged, and stored until reinstallation.
- D.Install dust wall at door removal openings to meet said code to full height to protect the unit from weather, concrete dust, sandblasting, debris, etc.

3.10 RESTORE STUCCO FINISH

- A.Thickness: Two (2) coats for total thickness of ½ inch minimum.
- B. General Application of Cement Plaster/Stucco:
 - 1. Pre-wet wall prior to each coat of stucco.
 - Apply bonding agent to concrete areas prior to first coat. Allow pre-wet areas to "damp dry" prior to application of bonding agent.
 - Apply scratch (or first) coat with sufficient material and pressure to form good, full keys or good bond, as the case may be. Allow this coat to set firm before applying next coat.
 - Apply cement plaster/stucco coats continuously in one general direction, not allowing mortar to dry at edges.

A. Technique:

- Follow directions for general application as noted above and apply the first scratch coat.
- Apply finish coat after scratch coat has dried. Apply this coat so surfaces are straight, true, smooth, even, plumb and flush with all grounds. Provide corners, angles and intersections straight, sharp and true.
- 3. Finish coat shall be made from "Scratch" materials.
- B. Finish: To match existing adjacent surfaces.
- C. Begin curing of stucco not more than eight (8) hours after finish coat is applied. Fog stucco until water runs down face of wall. Each morning and afternoon, again fog the stucco for not less than two (2) days, including Saturday and Sunday, if necessary (no overtime will be allowed for weekend curing).
- D.Thoroughly clean and repair work of other trades of plaster droppings, stains, etc.

Building, Parking Garage and Pool/Cabanas Structures

Estimated Repair Quantities

Building Repair Quantities

1. Deck Spall	107 sq. ft.
2. Ceiling Spall	229 sq. ft.
3. Edge Repair	476 lin. ft.
4. Windowsill Repair	28 lin. ft.
5. Window Lintel Repair	27 lin. ft.
6. Column Spall	158 cu. ft.
7. Wall Spall	557 cu. ft.
8. Scupper	20 cu. ft
9. Railing Wall Spall	237 cu. ft.
10. Crack Repair	50 lin.ft.
11. Rust Spots	236 ea.
12. Shutter Track Removal	174 lin. ft.
13. Dust Wall Installation/Removal	45 lin. ft.
14. Unit Balcony Waterproofing	750 sq. ft.
15. Tile Hollow/Delaminated/Buckled	339 sq. ft
16. Stucco Repair	131 sq. ft.

East Elevation Building Repair Quantities

Complete Windowsill Replacement	4,992 lin. ft.
2. Complete Window Lintel Replacement	208 cu. ft.
3. Complete Shutter Removal	488 lin. ft.
4. Complete Marble Windowsill Replacement	2.496 lin. ft.

Stairwell Repair Quantities

1. Deck Spall	6 sq. ft
2. Ceiling Spall	28 sq. ft
3. Edge Repair	4 lin. ft.
4. Wall Spall	14 cu. ff
5. Post Pockets	6 ea.
6. Stucco	26 sq. ft

Parking Garage/Upper Deck Quantities

raiking datage/opper beck doublines	
1. Deck Spall	432 sq. ft.
2. Ceiling Spall	126 sq. ft.
3. Edge Repair	54 lin. ft.
4. Column Spall	84 cu. ft.
5. Wali Spall	31 cu. ft.
6. Beam Spall	48 sq. ft.
7. Tuck Point	60 lin. ft.
8. Decorative Tile Replacement w/ Pinning	80 ea.

Pool/Cabana Structure Quantities

1001/ Cabana Shociole Quantines	
1. Deck Spall	120 sq. ft.
2. Edge Repair	54 lin. ft.
3. Column Spall	84 cu. ft.
4. Wall Spall	31 cu. ft.
5. Beam Spall	48 sq. ft.
6. Decorative Block Replacement	10 ea.
7. Curb Demo and Replacement	120 lin. ft.
8. Wooden Cabana Doors to be Cut	40 ea.
9. Removal and Replacement of Copping	
Replacement	2 pools

Finishes 2 pools

11. Removal of Pool Deck Surfaces, Application of
Waterproofing and Installation of New Finishes
CONTRACTOR VERIFY

10. Removal and Replacement of Pool

12. Waterproof All Planters CONTRACTOR VERIFY

CONTRACTOR'S NOTE:

- THE INTENT OF THIS PROJECT IS TO IDENTIFY EXISTING PROBLEMS, STRUCTURAL REPAIRS, AND WATERPROOF COATING SYSTEMS TO BE USED. ANY UNFORESEEN OR UNDETECTED CONDITIONS WHICH WOULD COMPROMISE THIS INTENT SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION.
- 2. ALL CRACK/SEAM DETAILING SHALL BE INCLUDING IN PREPARATION OF ALL DECKS.
- CONTRACTOR IS RESPONSIBLE FOR THE ESTIMATION AND VERIFICATION OF THE SQUARE FOOT AREA FOR ALL SURFACES PREPARATION, WATERPROOF APPLICATION AND COATINGS.
- 4. THE INTENT OF THIS PROJECT IS TO IDENTIFY EXISTING PROBLEMS, STRUCTURAL REPAIRS, AND WINDOW/SWING DOOR SYSTEMS TO BE USED. ANY UNFORESEEN OR UNDETECTED CONDITIONS WHICH WOULD COMPROMISE THIS INTENT SHOULD BE BROUGHT TO THE ENGINEER'S AND OWNER'S ATTENTION IMMEDIATELY.
- THE CONTRACTOR'S MUST ENGAGE FIRE SAFETY PROTOCOLS WITH REGARD TO THE OWNERS DURING THE RENOVATIONS AND INSTALLATIONS OF THE NEW WINDOW AND SWING DOOR SYSTEMS.
- PROJECT FOREMAN AND SUPERVISORS MUST BE ENGLISH SPEAKING

TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- (1) DECK SPALL
- 2 CEILING SPALL
- (3) BEAM SPALL
- (4) COLUMN SPALL
- 5 EDGE REPAIR
- (6) WALL SPALL
-
- 7 WINDOWSILL
- 8 WINDOW LINTEL

B. P. Taurinski, P. E. P. S.

730 SOUTH DEERFIELD AND SITE I
DEERFIELD BEACH ET 354.41
PHONE: (954) 218 3788
AUTH. Not 2704 TI

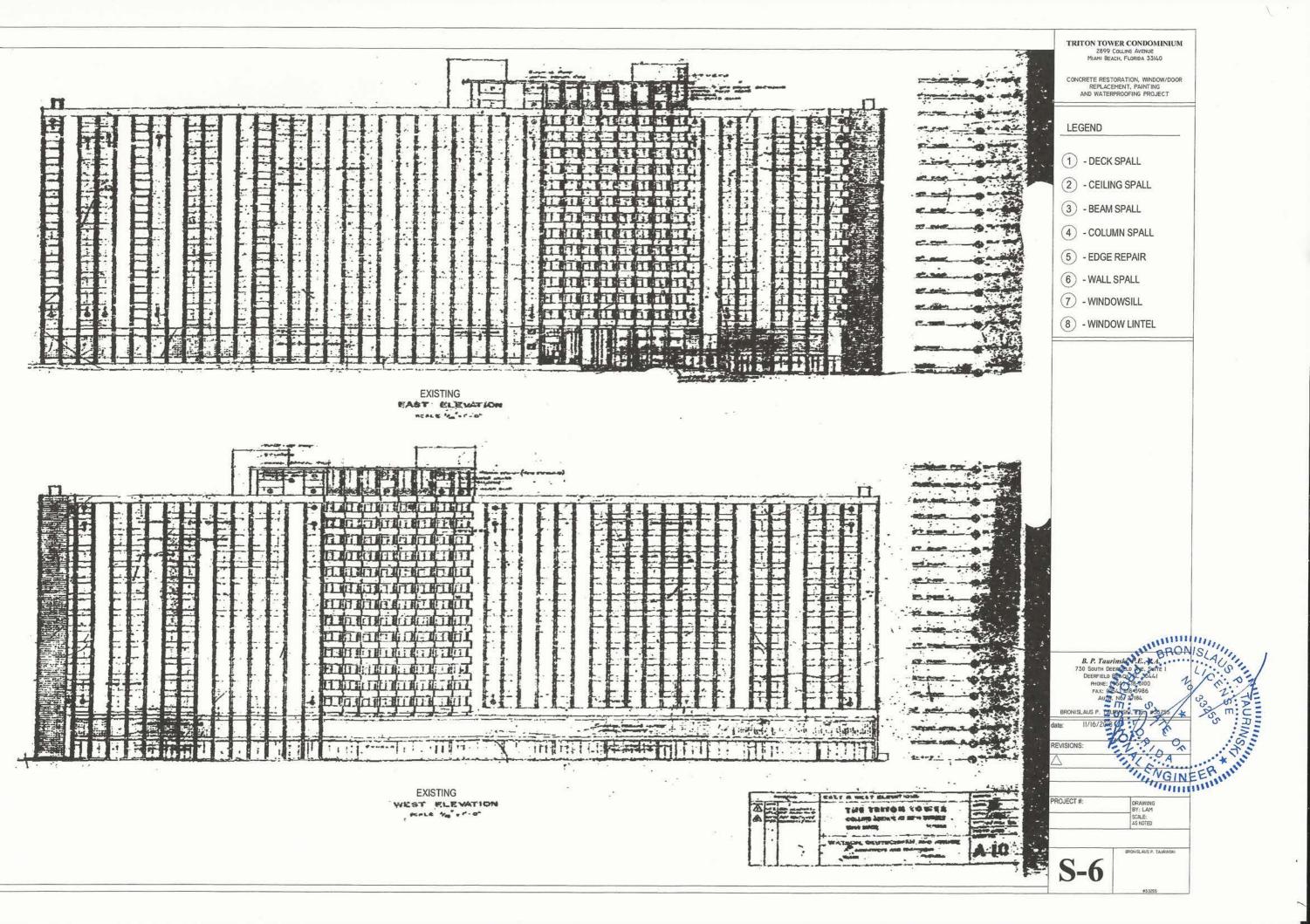
BRONISLAUS P. TAURINSKI, P. E. B. 2255

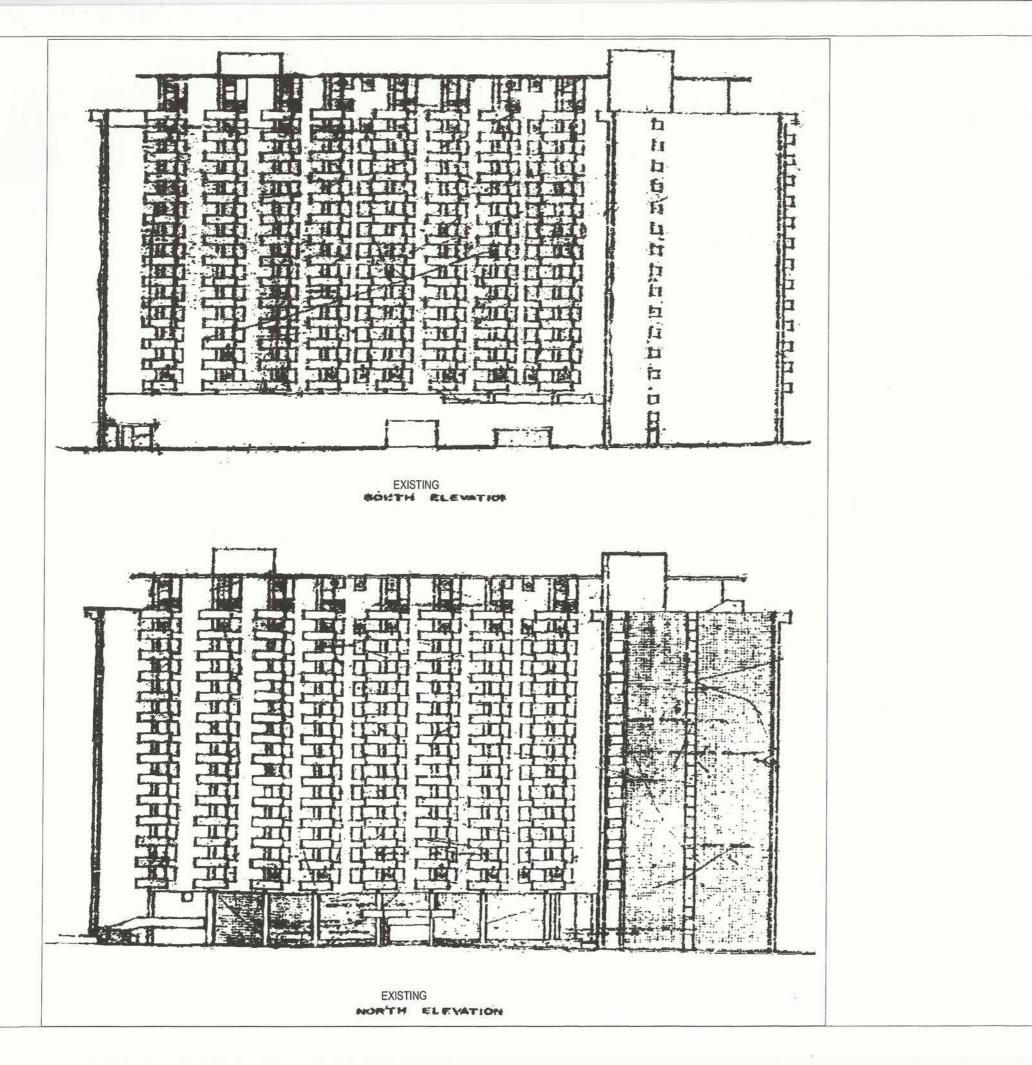
date: 11/16/2018

PROJECT #: DRAWING
BY: LAM
SCALE:
AS NOTED

S-5

#33255





TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- (1) DECK SPALL
- (2) CEILING SPALL
- (3) BEAM SPALL
- 4 COLUMN SPALL
- (5) EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

NISLAUS DIN B. P. Taurinski, P.E. P. T.
750 South Deerrield Aver-Sult
Deerrield Beach, Fl. 33461
PHONE: (954) 418-3160
FAX: (954) 418-3160
FAX: (954) 418-3160
BRONISLAUS P. TAURINSKI, P.E. P. S. 285

BRONISLAUS P.

PROJECT# DRAWING BY: LAM

ORIGINAL ORDERS

TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, PAINTING AND WATERPROOFING PROJECT

1			

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

LAUS P. TAUFUNSKLA FT 185785 4/28/2018 DEFERRING IS:

REVISIONS:

PROJECT #: DRAWING BY: LAM SCALE: AS NOTED



TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

B. P. Taurinski, J. T.

750 SOUTH DEERFIELD M. SUTED
DEERFIELD BEACH, R. STOCK
PHONE: (954) 418-3756
AUTH. NO. 27184

BRONISLAUS P. TAURINSKI, P. A. #25285 V. G. IN EE

MREVISIONS:

DRAWING
BY: LAM
SCALE:
AS NOTED

EXISTING EAST ELEVATION

S-9

.....



EXISTING EAST AND PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM

2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

B. P. Taurinski, P.E., P.A.D.
730 SOUTH DEERRIELD AVE, SMITE
DEERRIELD BEACH, FL. 35843
PHONE: (954.) 418-3986
AUTH. No. 27184

RONISLAUS P. TAURINSKI, P. F. 455255

11/16/2018

NS:

S-10

PROJECT #:

e21366

DRAWING BY: LAM SCALE: AS NOTED



EXISTING PARTIAL WEST AND SOUTH ELEVATION

TRITON TOWER CONDOMINIUM

2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- (4) COLUMN SPALL
- 5 EDGE REPAIR
- (6) WALL SPALL
- 7 WINDOWSILL
- 8 WINDOW LINTEL

B. P. Taurinski, P.E. Cl.
730 South Deeprield We, Purve I
Deeprield Beach, T. 159-41
PHONE: (954) 488-360
FAX: (954) 488-3500
AUTH. No. 278-60

II/I6/2018 /

REVISIONS:

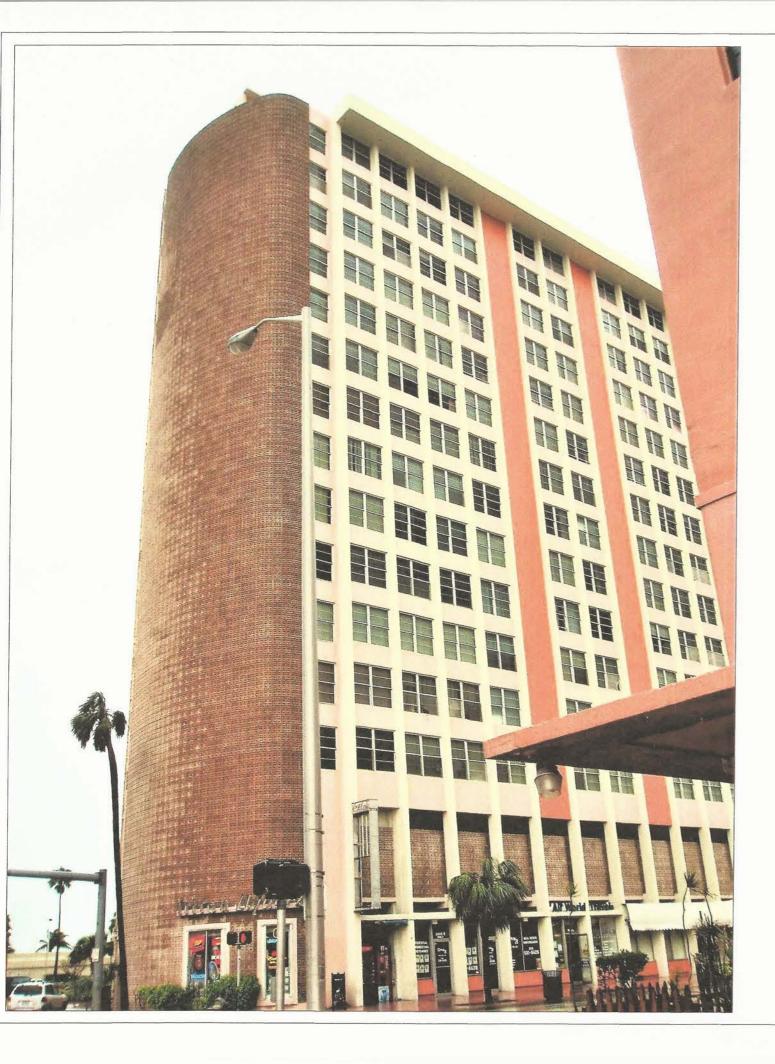
PROJECT #: DRAWING BY: LAM SCALE: AS NOTED

S-11

BRONISLAUS P. TAURINSP

NEEP MILITA

#33255



EXISTING PARTIAL WEST AND NORTH ELEVATION

TRITON TOWER CONDOMINIUM

2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- (1) DECK SPALL
- (2) CEILING SPALL
- 3 BEAM SPALL
- (4) COLUMN SPALL
- (5) EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

B. P. Taurinski, P.E. P. O. CENS.
730 SOUTH DEERFIELD AVESTUPE!
DEERFIELD BEACH, FL. 3564
PHONE: (954) 418-3096
AUTH. No. 27(6).

BRONISLAUS P. TAURINSKI, E. 33255 te: 11/16/2018 STATE OF

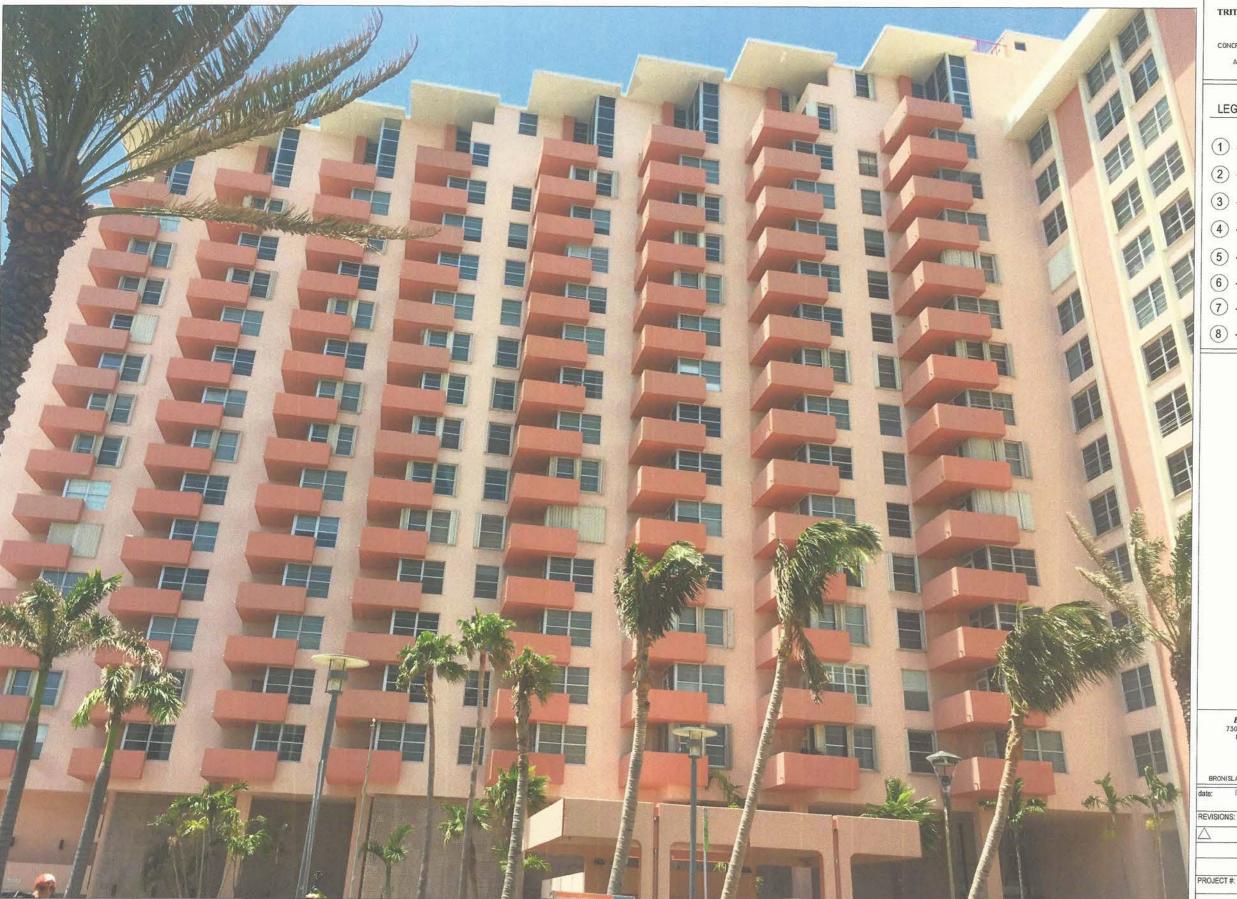
REVISIONS: ORIDAGING

PROJECT #: DRAWING BY: LAM SCALE: AS NOTED

S-12

BRONISLAUS P. TAURINS

633266



2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

1 - DECK SPALL

2 - CEILING SPALL

3 - BEAM SPALL

4 - COLUMN SPALL

5 - EDGE REPAIR

6 - WALL SPALL

7 - WINDOWSILL

(8) - WINDOW LINTEL

B. P. Taurinski, P.E. 7-7
750 South Deepfield Aven Suite Deepfield Beach, FL 32,440 Phone: (954) 418-3960 OF FAX: (954) 418-3960 OF FAX:

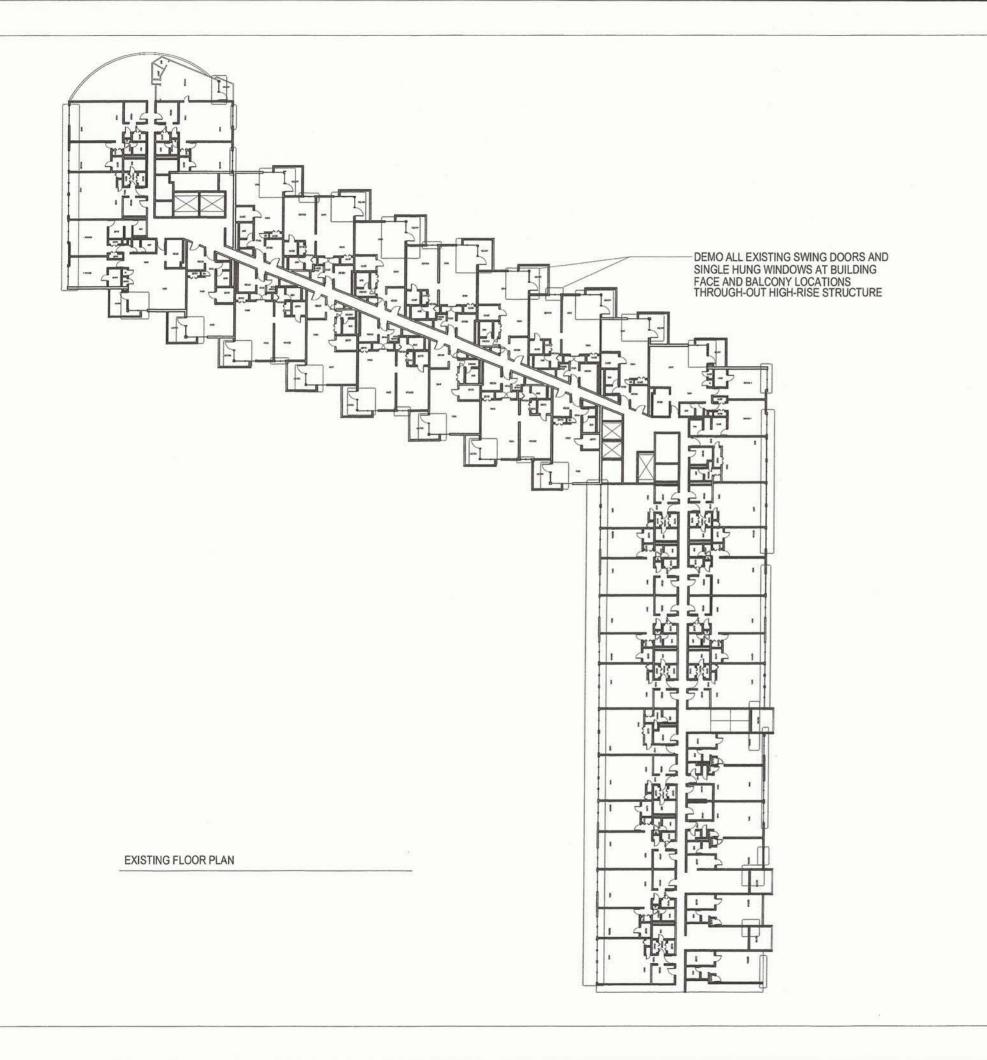
ENTER OF STREET

PROJECT #:

DRAWING BY: LAM SCALE: AS NOTED

BRONISLAUS P. TAURINSK

EXISTING PARTIAL NORTH ELEVATION



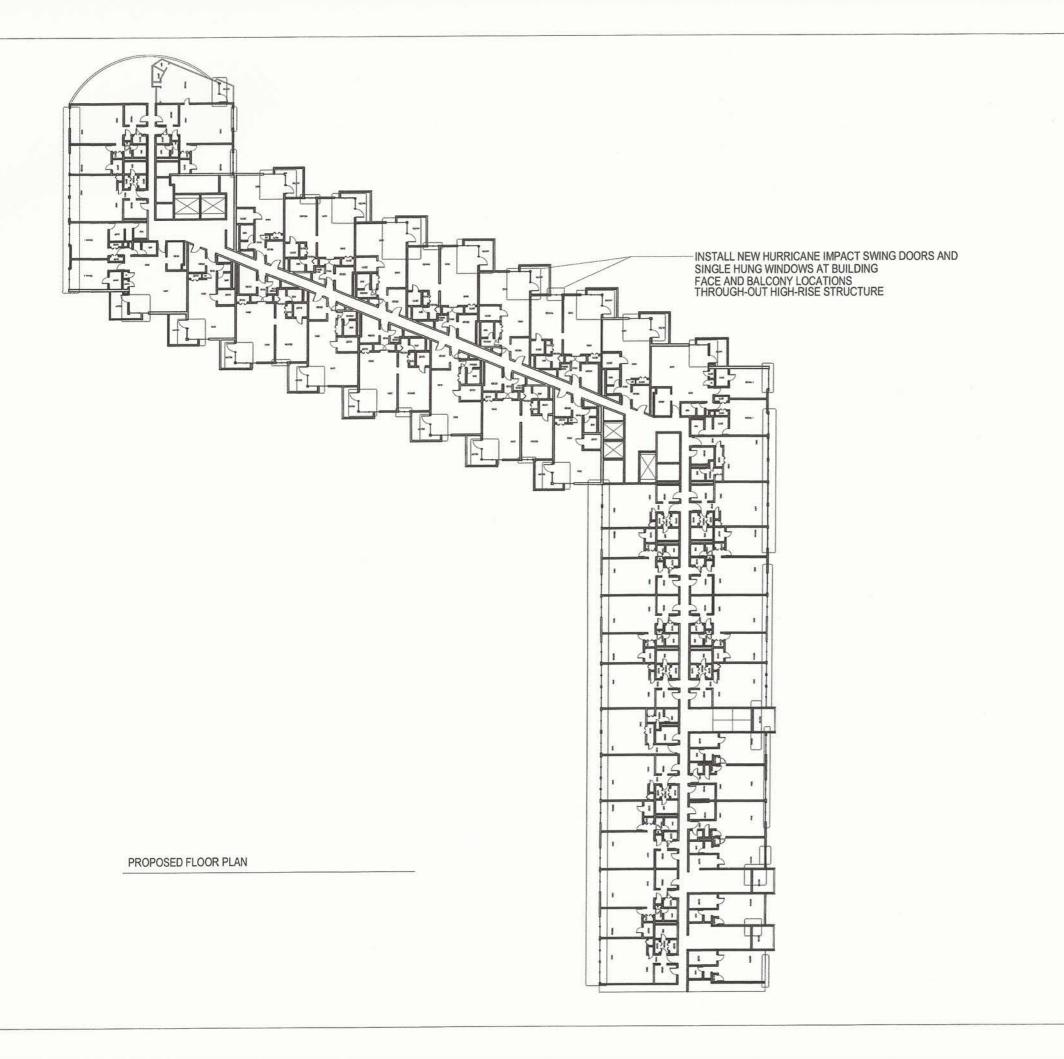
2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- (4) COLUMN SPALL
- (5) EDGE REPAIR
- (6) WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

B. P. Taurinski, P.E., P.A.
730 South Deeprield Awe, Surf |
Deeprield Beach, P.E., 35(7)
PHONE: (954) 418-3900
FAX: (954) 418-3900
AUTH. No. 27184
AUS P. TAURINSKI, F.F. #35(5)
1//16/2018

PROJECT #: DRAWING BY: LAM SCALE: AS NOTED



2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- 8 WINDOW LINTEL

B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITER DEERFIELD BEACH, FL. 35441
PHONE: (954) 418-3000
FAX: (954) 418-3986
AUTH. No. 27184

ONISLAUS P. TAURINSKI, P.E. #35258

ate: 11/16/2018

REVISIONS:

PROJECT #: DRAWING BY: LAM SCALE: AS NOTED

S-15

BRONISLAUS P. TAURINS

#33255



PROPOSED EAST ELEVATION

2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

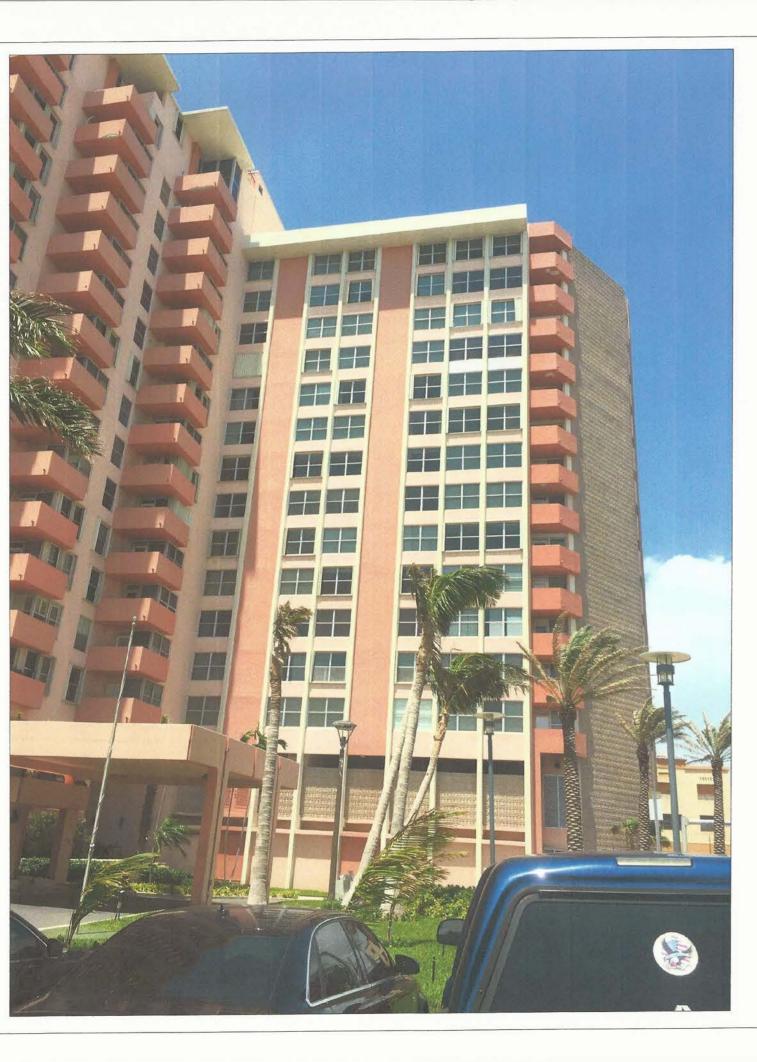
CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

B. P. Taurinski, D. T.A.
750 SOUTH DEERFIED SE, SUI E
DEERFIELD BEACH, T. SAM
PHONE: (954), 153-164
PAX: (954), 153-164
AUTH. No. 27184

BRONISLAUS P. TAURINSKI, P. P. 925258 REVISIONS: PROJECT #: DRAWING BY: LAM SCALE: AS NOTED



PROPOSED EAST AND PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM

2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- (2) CEILING SPALL
- (3) BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- 8 WINDOW LINTEL

B. P. Taurinski, P.E., T. M.

750 South Deerrield Ave. 30TE O
Deerfield Beach, FL 3344F
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. No. 27184

ONISLAUS P. TAURINSKI, P.E. #33225

date: 11/16/20	18/18/18
REVISIONS:	lo .
Δ	
PROJECT #:	DRAWING BY: LAM
	SCALE:



PROPOSED PARTIAL WEST AND SOUTH ELEVATION

TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- 8 WINDOW LINTEL

B. P. Taurinski, P.E., P.A.
730 South Description Description Beach, Ft. 33441
PHONE: (954) 418-3100
FAX: (954) 418-3100
FAX:

URINSKI P
3.1.6
DRAWING BY: LAM
SCALE:



PROPOSED PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

1 - DECK SPALL

2 - CEILING SPALL

3 - BEAM SPALL

4 - COLUMN SPALL

5 - EDGE REPAIR

6 - WALL SPALL

7 - WINDOWSILL

8 - WINDOW LINTEL

PONISLAUS NO 332 MESSON A X B. P. Taurinski, P.E., P.A.
730 SOUTH DEERFIELD AVE, SUITE I
DEERFIELD BEACH, FL. 33441
PHONE: (954) 418-3100
FAX: (954) 418-3986
AUTH. NO. 27184

ENGINEER THE

REVISIONS:

PROJECT #:

DRAWING BY: LAM SCALE: AS NOTED



EXISTING PARTIAL NORTH ELEVATION

TRITON TOWER CONDOMINIUM 2899 COLLINS AVENUE MIAMI BEACH, FLORIDA 33140

CONCRETE RESTORATION, WINDOW/DOOR REPLACEMENT, PAINTING AND WATERPROOFING PROJECT

LEGEND

- 1 DECK SPALL
- 2 CEILING SPALL
- 3 BEAM SPALL
- 4 COLUMN SPALL
- 5 EDGE REPAIR
- 6 WALL SPALL
- 7 WINDOWSILL
- (8) WINDOW LINTEL

PROJECT #: DRAWING BY: LAM SCALE: AS NOTED

S-20

PROPOSED PARTIAL NORTH ELEVATION

B. P. Taurinski, P.E., P.J.

730 South Deepfield Ave., Surfe IO
Deepfield Beach, Fl. 35441
Phone: (954) 418-3986
Auth. No. 27184

P. AUS P. TAURINSKI, P.E.) #33258

BRONISLAUS P. TAURINSKI