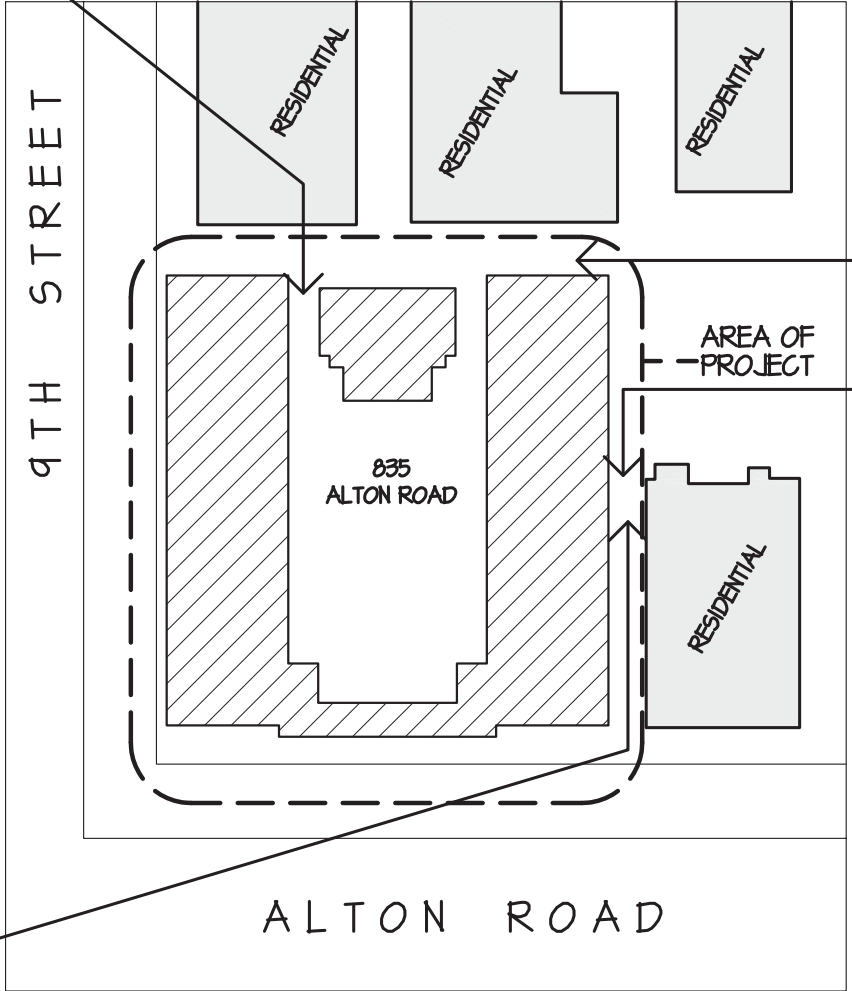




INTERIOR VIEW A



REAR SETBACK VIEW 9



INTERIOR SETBACK VIEW 7



INTERIOR SETBACK VIEW 8



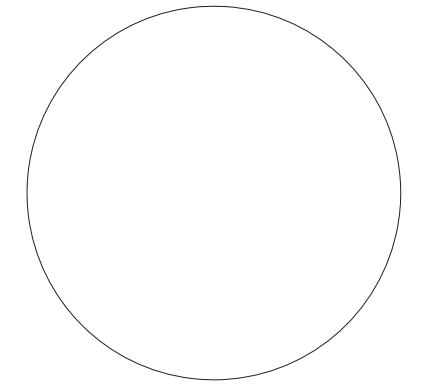
CROSSBOWER CORP.

GENERAL CONTRACTOR  
CONSTRUCTION MANAGEMENT  
ARCHITECTURE  
PLANNING • INTERIOR DESIGN  
ENGINEERING

3247 N.E. 168 STREET  
NORTH MIAMI BEACH, FL 33160  
PH: 786-955 8504  
FAX: 866-300 5184

CHRISTIAN BALLESTEROS  
• AR 14201 • ID 4319 • CGC 47236 •  
crossbower@crossbower.net

PROFESSIONAL SEAL



PROJECT NAME

ALTON ROAD  
RESTAURANTS  
& PATIO

PROJECT ADDRESS

835, 845 & 855 ALTON ROAD  
MIAMI BEACH, FL 33139

REVISION

Project No: 2015-152

Scale: AS NOTED

Date: 03-31-2016

Drawn: E.T./S.V.

Checked: J.V.

CADD File:

835 ALTON RD SITE PB 04-17-16.dwg

DRAWN

DRAWING TILE

BUILDING  
PICTURES

SHEET NO.

SP-1.4





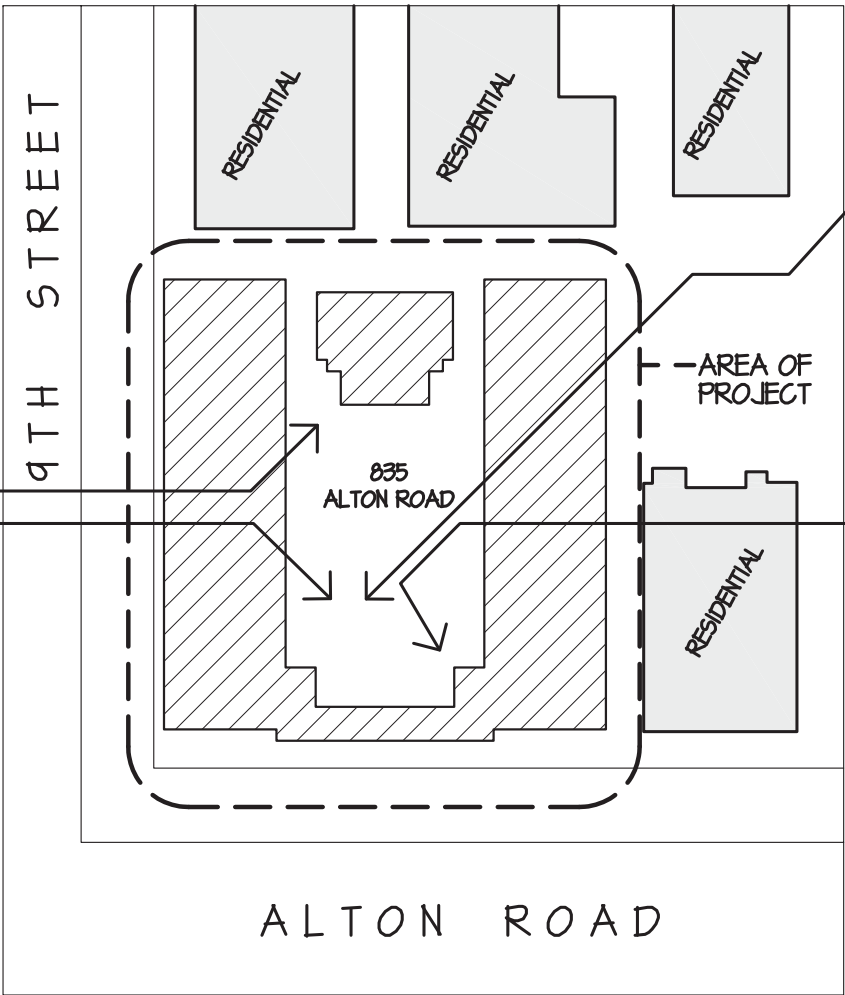
INTERIOR VIEW B



INTERIOR VIEW D



INTERIOR VIEW C



LOCATION SITE PLAN  
N.T.S.



INTERIOR VIEW E



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NORTH MIAMI BEACH, FL 33160  
PH: 786-955 8504  
FAX: 866-300 5184  
CHRISTIAN BALLESTEROS  
• AR 14201 • ID 4319 • CGC 47236 •  
crossbow@crossbow.net



PROJECT NAME  
**ALTON ROAD  
RESTAURANTS  
& PATIO**

PROJECT ADDRESS  
**835, 845 & 855 ALTON ROAD  
MIAMI BEACH, FL 33139**

REVISION

Project No: 2015-152  
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Checked: J.V.  
CADD File: 835 ALTON RD SITE PB 04-17-16.dwg

DRAWN

DRAWING TILE  
**BUILDING  
PICTURES**

SHEET NO.  
**SP-1.5**





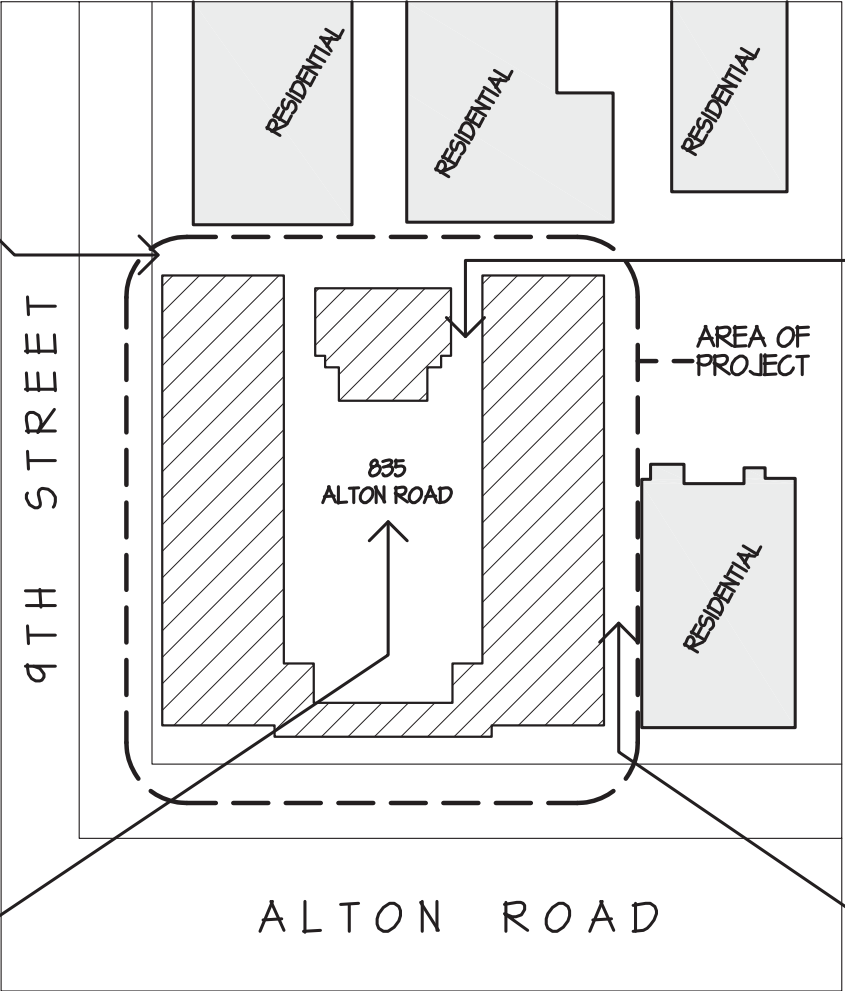
REAR SETBACK VIEW IO



INTERIOR VIEW G



INTERIOR VIEW F



LOCATION SITE PLAN  
N.T.S.



INTERIOR SETBACK VIEW II

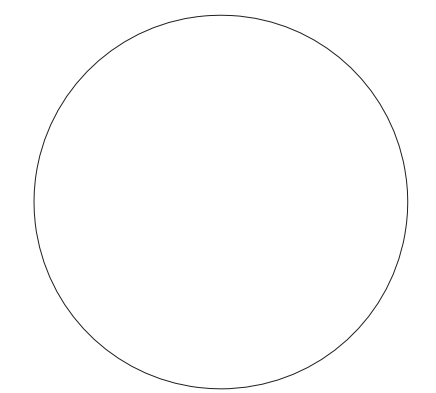


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3247 N.E. 168 STREET  
NORTH MIAMI BEACH, FL 33160  
PH: 786-955 8504  
FAX: 866-300 5184  
CHRISTIAN BALLESTEROS  
• AR 14201 • ID 4319 • CGC 47236 •  
crossbow@crossbow.net

PROFESSIONAL SEAL



PROJECT NAME

ALTON ROAD  
RESTAURANTS  
& PATIO

PROJECT ADDRESS

835, 845 & 855 ALTON ROAD  
MIAMI BEACH, FL 33139

REVISION

Project No: 2015-152  
Scale: AS NOTED  
Date: 03-31-2016  
Drawn: E.T./S.V.  
Checked: J.V.  
CADD File: 835 ALTON RD SITE PB 04-26-16.dwg

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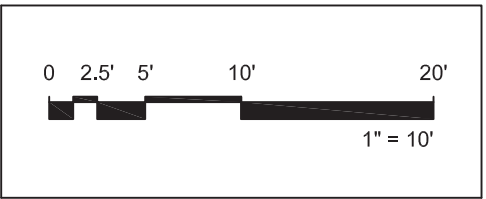
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BUILDING  
PICTURES

SHEET NO.

SP-1.6

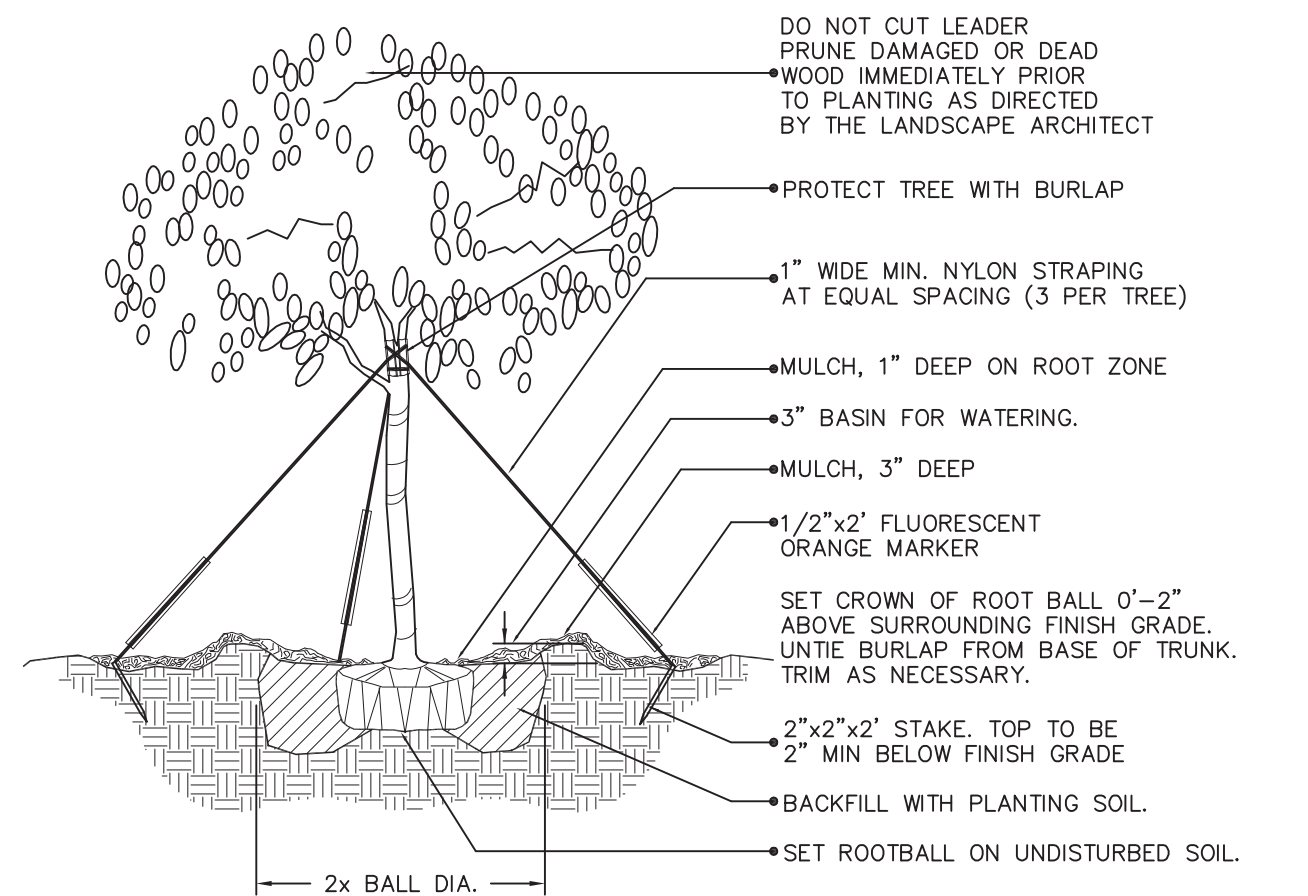




	REQUIRED	PROVIDED
TREE REPLACEMENT COUNT: S.F. to be removed= 2,500 total replacement trees needed at 2,500/300= 9 9 Shade Tree 1	9 SHADE TREE 1	7 NEW CE 2 NEW BS

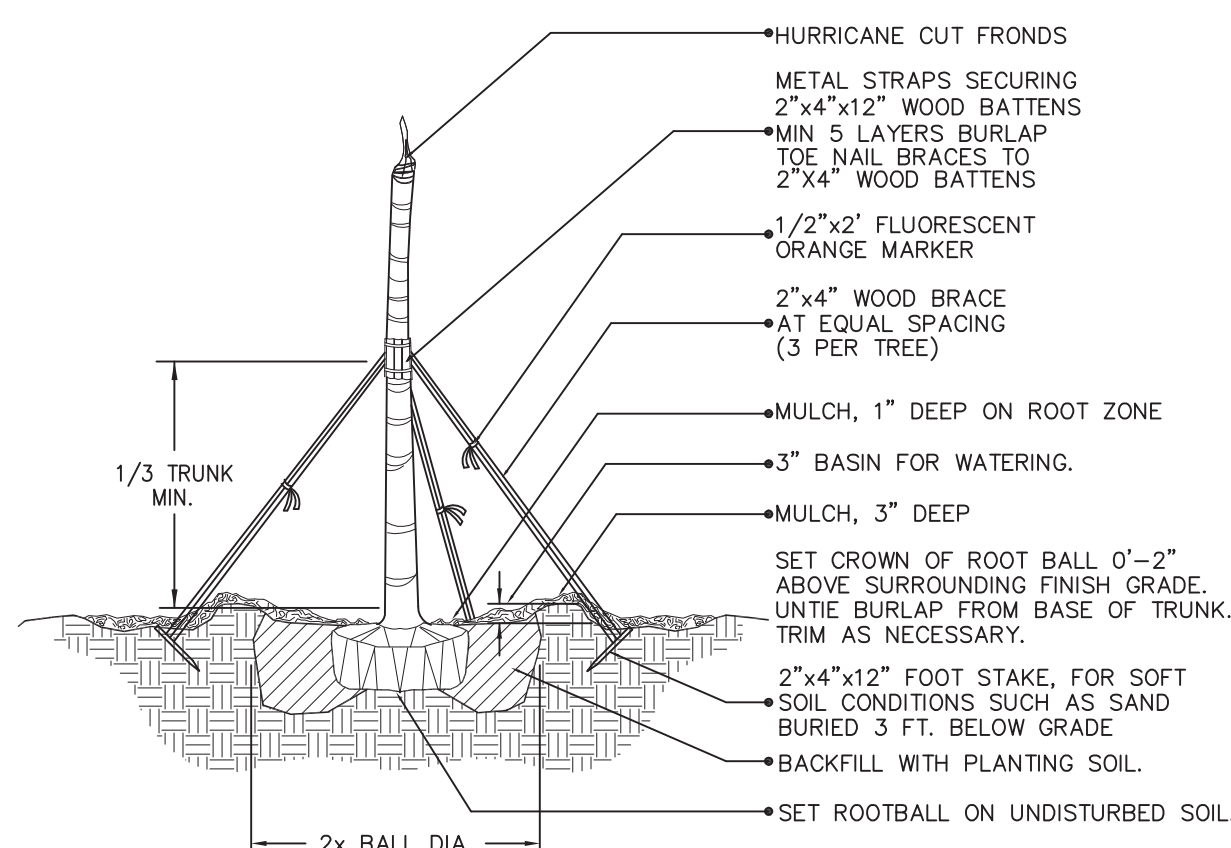






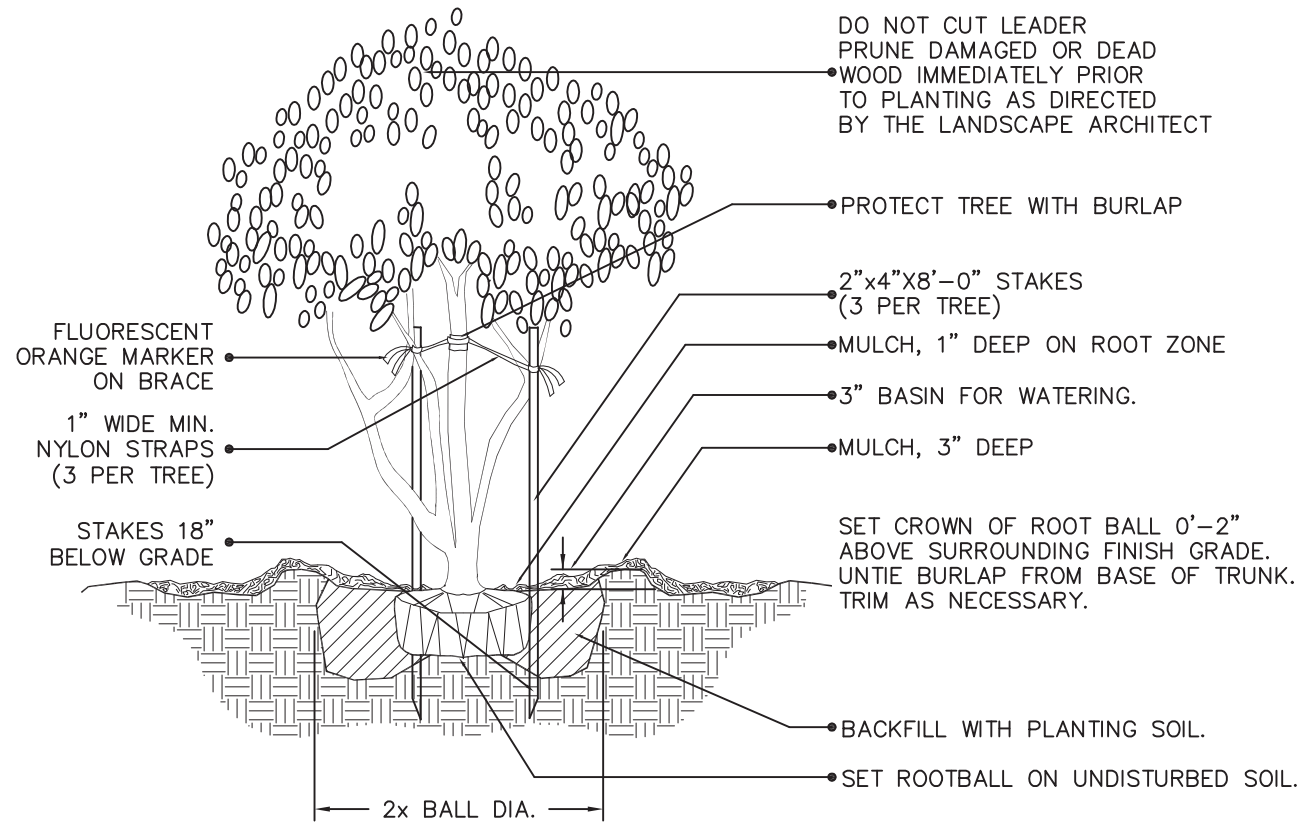
## (2" cal. and over) LARGE TREE PLANTING DETAIL

NTS



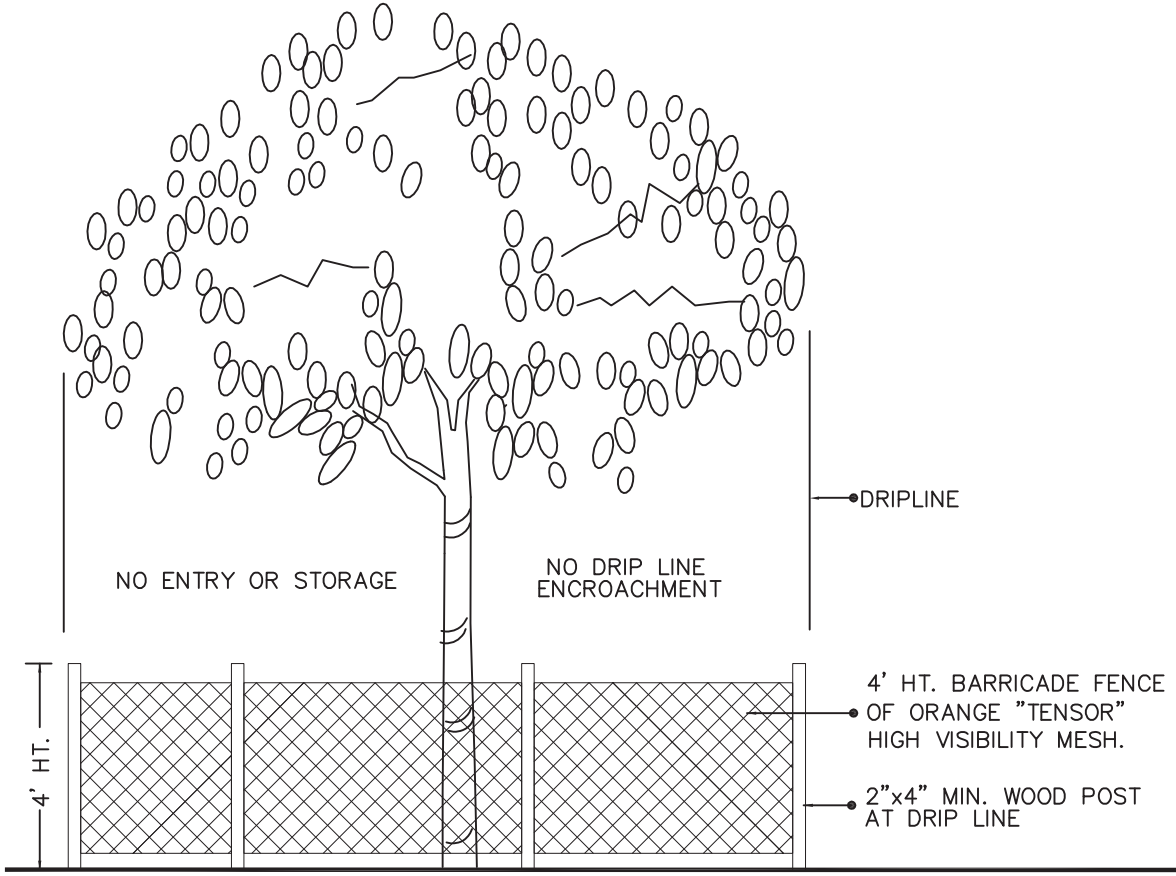
## CIGARED SABAL PALM PLANTING DETAIL

NTS



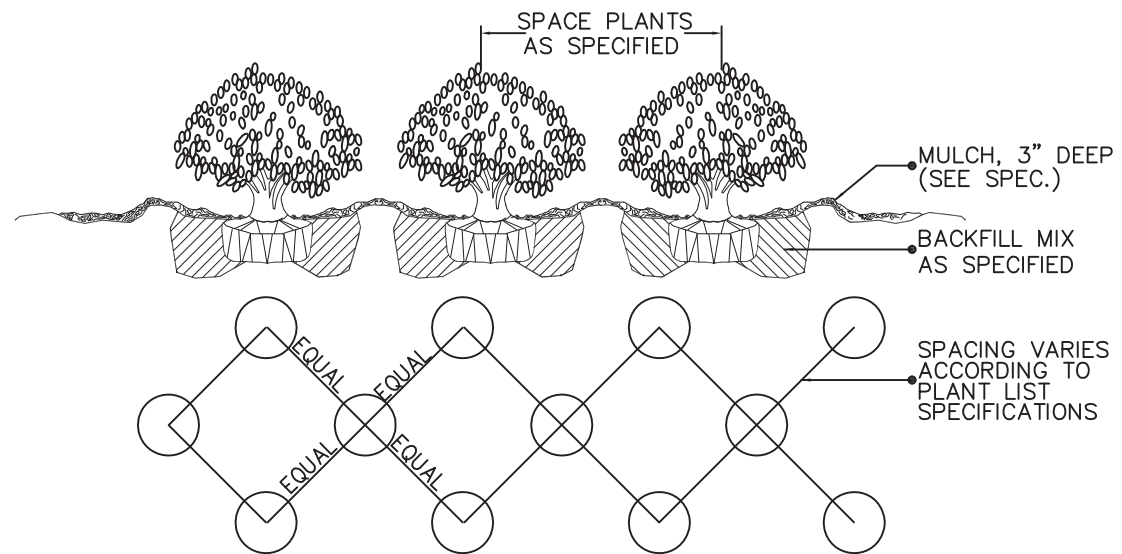
## MULTI- TRUNK AND SMALL TREE (2" cal. and under) PLANTING DETAIL

NTS



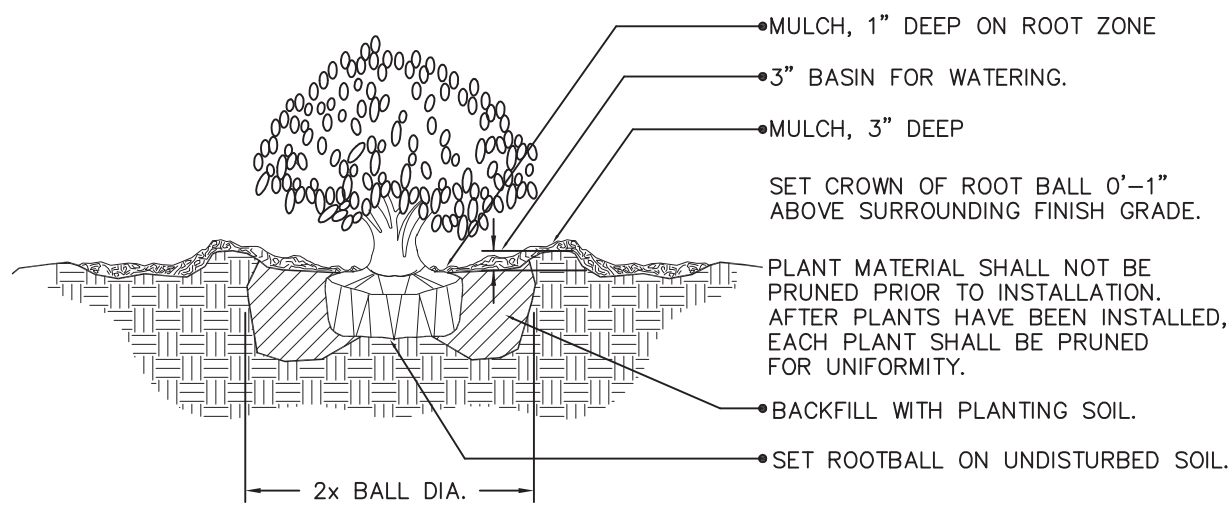
## TREE PRESERVATION BARRICADE FENCING DETAIL

NTS



## SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NTS



## SHRUB PLANTING DETAIL

NTS

### GENERAL PLANTING NOTES

- MATERIAL STANDARDS:**  
ALL PLANT MATERIAL SHALL MEET OR EXCEED PLANT LIST SIZES AND THE SHAPE RELATIONSHIPS AND BALL DIAMETERS AS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND FLORIDA NO. 1 AS CLASSIFIED IN GRADING STANDARDS FOR NURSERY PLANTS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE (EXCEPT AS NOTED IN THE PLANT LIST). NO MATERIAL SHALL BE ACCEPTED WHICH IS NOT PEST AND DISEASE FREE.
- LIST OF PLANT MATERIAL:**  
THE CONTRACTOR WILL VERIFY THE PLANT QUANTITIES PRIOR TO BIDDING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANT REQUIRED TO COMPLETE THE WORK SHOWN ON THE DRAWINGS. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THIS CONTRACT WILL BE BASED ON THE BIDDER HAVING VERIFIED PRIOR TO BIDDING THE AVAILABILITY OF THE REQUIRED PLANT MATERIAL AS SPECIFIED ON THE PLANT LIST. ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION.
- PLANT BED PREPARATION:**  
APPROXIMATELY ONE WEEK PRIOR TO BEGINNING PLANTING OPERATIONS, ALL PLANT BEDS SHOULD BE WATERED TO GERMINATE ANY WEEK SEED. TWO TO FIVE DAYS LATER, SPRAY PLANT BEDS WITH "ROUNDUP" OR OTHER APPROVED SYSTEMIC WEED-KILLER. APPLICATIONS OF HERBICIDES RECOMMENDED RATE OF DILUTION AND COVERAGE OF HERBICIDE APPLICATION SHALL BE WITNESSED AND APPROVED BY CONSULTANT.
- EXCAVATION:**  
ROAD/ROCK BACKFILL IN MEDIANS SHALL BE EXCAVATED TO A DEPTH OF EIGHTEEN (18") FROM THE TOP OF CURB. HOLES FOR TREES SHALL BE (24") LARGER IN DIAMETER THAN THE SIZE OF BALL OR CONTAINER AND SHALL HAVE VERTICAL SIDES. HOLES FOR SHRUBS SHALL BE (12") WIDER WITH VERTICAL SIDES. PLANT BEDS SHALL BE BACKFILLED WITH SPECIFIED SOIL MIX. AT THE TIME OF PLANTING ROTOTILL TO A DEPTH OF (8") AN AREA (18") BEYOND THE AVERAGE OUTSIDE EDGE OF PLANT BALLS AFTER APPLYING A MINIMUM OF (2") OF GENERAL PURPOSE PLANTING SOIL.
- SOIL MIX:**  
SOIL MIX FOR ALL PLANT BEDS, EXCEPT PALM LOCATIONS, WILL BE 80/20 MIX OF GENERAL PURPOSE PLANTING SOIL TO SAND. PALM PLANT PITS ARE TO RECEIVE A 70/30 GENERAL PLANTING SOIL TO SAND MIX.
- PLANTING:**  
BACKFILLING SHALL BE DONE WITH SPECIFIED SOIL MIX FREE OF STONES, SUBSOIL, STUMPS, ROOTS, WEEDS, LITTER, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO THE GROWTH OF PLANTS. GRADING, PLANTING, OR MAINTENANCE OPERATIONS, SHOULD ANY UNFORESEEN OR UNSUITABLE PLANTING CONDITIONS ARISE, SUCH AS FAULTY SOIL DRAINAGE OR CHEMICAL RESIDUES, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ADVISE THE PROJECT ENGINEER. AFTER WORK BEFORE PLANTING, THE CONTRACTOR WILL BE RESPONSIBLE FOR ADEQUATE DRAINAGE FROM ALL PLANTS. THE PLANT SHALL BE SET PLUMB AND STRAIGHT, AND SHALL BE STAKED AT THE TIME OF PLANTING. BACKFILL SHALL BE WELL WORKED ABOUT THE ROOTS AND SETTLED BY WATERING. PLANTS SHALL BE PLANTED AS TO BEAR SAME RELATION TO FINISH GRADE. SAUCERS SHALL BE FORMED ABOVE EXISTING GRADE AND AROUND THE OUTER RIM OF THE PLANT PIT. ALL TREES SHALL BE PLANTED VERTICALLY AND BACKFILL COMPACTED WITH WATER AND RODDING TO REMOVE ALL VOIDS AND TO SEAT ROOT BALL. SEE TREE PLANTING DETAILS. TREES TRANSPLANTED BY MACHINE SHALL BE MOVED BY MACHINES THAT PROVIDE A MINIMUM BALL DIAMETER OF 8" PER 1" OF TREE CALIPER. HOLES ARE TO BE DUG BY THE SAME SIZE MACHINE AS THE ONE TRANSPORTING THE PLANT. THE PLANT MATERIAL SHALL BE TRANSPLANTED IN APPROXIMATELY THE SAME GROWING CONDITIONS OF SOIL TYPE AND MOISTURE CONTENT AS IT IS PRESENTLY GROWING. SHRUBS AND TREE-FORM SHRUBS SHOULD BE TURNED IN THE PLANT PIT TO OBTAIN THE BEST FOLIAGE RELATIONSHIP TO RELOCATION PRIOR TO STARTING BACKFILL. GROUNDCOVERS SHALL BE PLANTED AFTER MULCH HAD BEEN INSTALLED. NO PLANTS EXCEPT VINEY GROUNDCOVERS OR ESPALIERED MATERIAL SHALL BE PLANTED CLOSER THAN 30" TO BUILDINGS, WALK, OR CURBS.  
CONTRACTOR SHALL STAKE & GUY ALL TREES & PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD. ALL RELOCATED TREES & PALMS SHALL BE BRACED AT LEAST ONE (1) YEAR.  
NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
- FERTILIZATION:**  
FERTILIZATION FOR DICOT TREES, SHRUBS, GROUND COVERS AND VINES SHALL BE OF 8% NITROGEN, 10% PHOSPHORUS AND 10% POTASSIUM COMPOSITION ANALYSIS. FERTILIZER FOR PALMS SHALL BE "PALM FERTILIZER" OF 13% NITROGEN, 3% PHOSPHORUS AND 13% POTASSIUM COMPOSITION ANALYSIS. FERTILIZER FOR GRASSING AREAS SHALL BE OF 8% NITROGEN (OF WHICH 50% SHALL BE ORGANICALLY DERIVED), 8% PHOSPHORUS AND 8% POTASSIUM COMPOSITION ANALYSIS. CONTRACTOR SHALL APPLY GRANULAR FERTILIZER TO THE SOIL MIX AT THE FOLLOWING RATES: TREE PITS, 1-2 LBS. PER CALIPER INCH, SHRUB BEDS, 2-3 LBS. PER 100 SQUARE FEET, GROUND COVER, 1-2 LBS. PER 100 SQUARE FEET, GRASSING AREAS, 1 LB. PER 100 SQUARE FEET.
- MULCH:**  
ALL PLANT BEDS AND SAUCERS SHALL BE THOROUGHLY MULCHED WITH SHREDDED MELALEUCA OR EQUIVALENT NON-NATIVE MULCH GRADE "B" OR BETTER. MULCH SHALL BE A MINIMUM OF 3" DEEP. THOROUGH WEEDING AND REPLACING OF MULCH SHALL BE REQUIRED AT THE END OF THE GUARANTEE PERIOD. ALL BEDS SHALL BE FREE OF WEEDS AND DEBRIS PRIOR TO FINAL INSPECTION.
- MAINTENANCE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE, DURING THE CONTRACT AND UP TO THE TIME OF ACCEPTANCE, FOR KEEPING NEW PLANTINGS AND WORK INCIDENTAL THERETO IN GOOD CONDITION. THIS MAY BE ACCOMPLISHED BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING, SPRAYING, RESTAKING AND CLEANING UP, AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT THE TIME OF ACCEPTANCE. THIS MAINTENANCE SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- MISCELLANEOUS:**  
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT, REFER TO THE "UTILITY" SECTION OF THE NOTES ON THE ENGINEERING PLANS.  
THE CONTRACTOR SHALL COMPLY WITH ALL COUNTY AND MUNICIPAL CODES AND ORDINANCES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER.  
EXISTING TREES & PALMS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. AN ORANGE BARRICADE FENCE SHALL BE INSTALLED AROUND THE TREES AND PALMS TO REMAIN (SEE TREE PROTECTION DETAIL).  
THE CONTRACTOR IS RESPONSIBLE FOR CLEAN-UP OF DEBRIS RESULTING FROM LANDSCAPE CONSTRUCTION ACTIVITIES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, THE REMOVAL OF ALL DEBRIS INCLUDING TRASH, LARGE ROCKS, BOTTLES, CANS, STAKES, WIRE, ETC.  
THE CONTRACTOR SHALL FURNISH TO BROWARD COUNTY ENGINEERING DIVISION A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. B.C.E.D. MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS LISTING THE UNIT PRICE BREAKDOWN SUBMITTED.
- SUBSTITUTIONS AND CHANGES:** ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE, AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE PROJECT ENGINEER.

- GUARANTEE:**  
GUARANTEE SHALL BE IN WRITING.  
ALL PLANTS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE BY THE OWNER, AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD.  
GUARANTEE SHALL COVER BOTH LABOR AND MATERIALS. EARTH SAUCERS, TAKES, GUYS, AND BRACING SHALL BE REMOVED AND TREES AND SHRUBS MULCHED TO A 3" DEPTH JUST PRIOR TO EXPIRATION OF THE ONE YEAR GUARANTEE. THE OWNER SHALL BE NOTIFIED IN WRITING TWO WEEKS PRIOR TO THIS WORK.  
AT THE END OF THE GUARANTEE PERIOD, INSPECTION WILL BE MAKE BY THE OWNER, OR HIS DESIGNEE. ANY PLANT INSTALLED UNDER THE CONTRACT THAT IS DEAD OR NOT IN SATISFACTORY GROWTH, AS DETERMINED BY THE OWNER, OR HIS DESIGNEE, SHALL BE REMOVED FROM THE SITE; THESE PLANTS SHALL BE REPLACED AS SOON AS CONDITIONS PERMIT. AT THE OWNER AND CONTRACTOR'S OPTION, THEY MAY ELECT TO ALLOW ANY SUCH PLANT INITIALLY REJECTED BY THE OWNER TO REMAIN THROUGH ANOTHER COMPLETE GROWING SEASON, AT WHICH TIME THE REJECTED PLANT, IF FOUND TO BE DEAD, IN AN UNHEALTHY OR BADLY IMPAIRED CONDITION SHALL BE REPLACED.  
ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AS ORIGINALLY PLANTED AND SHALL BE OF SIZE SHALL TO THAT ATTAINED BY ADJACENT PLANT PLANTS OF THE SAME KIND AT THE TIME OF REPLACEMENTS. ALL COSTS OF REPLACEMENT PLANTING SHALL BE BORNE BY THE CONTRACTOR.
- TREE REMOVAL / RELOCATION:**  
THESE SPECIFICATIONS SHALL BE INCLUDED IN THE UNIT COST OF TREE AND/OR PALM RELOCATION.  
**1.00 LOCATION**  
A. TREES & PALMS SHALL BE RELOCATED ONCE FROM THEIR PRESENT LOCATION TO A LOCATION ON THE PROJECT SITE SPECIFIED ON THE PLANS.  
**1.01 ROOT PRUNING, WATERING BEFORE TRANSPLANTING:**  
A. ALL TREE & PALM RELOCATION, ROOT PRUNING AND TRIMMING, SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED & LICENSED ARBORIST.  
B. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO MOVING THEM. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER, 2 TO 3 DAYS PRIOR TO ROOT PRUNING. CABBAGE PALMS DO NOT REQUIRE ROOT PRUNING.  
C. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH TWO-THIRDS (2/3) OF THE WAY AROUND THE TREE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8". THIS TRENCH SHALL FORM A ROOTBALL OF THE FOLLOWING SIZES:  
UP TO 4" CALIPER 3" DIAMETER  
4" - 6" CALIPER 4" DIAMETER  
6" - 12" CALIPER 5" DIAMETER  
OVER 12" CALIPER 6" DIAMETER  
D. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THEM THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20:20:20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.  
**1.02 TOP PRUNING AND THINNING:**  
A. THE AMOUNT OF GENERAL PRUNING AND THINNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS OR BRANCHES AS A RESULT OF TRANSPLANTING OPERATIONS. PRUNING AND THINNING SHALL BE DONE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL HABIT OR SHAPE OF A PLANT. THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PERFORMING ANY MAJOR PRUNING OR THINNING.  
**1.03 BRACING AND GUYING OF TREES AFTER ROOT PRUNING:**  
A. BRACING AND GUYING SHALL BE PROVIDED TO ASSURE THE TREES' STABILITY DURING THE ROOT REGENERATION PERIOD; AS PER THE APPLICABLE DETAIL.  
**1.04 BALLING AND BURLAPPING**  
A. PLANT MATERIAL, WHICH IS IN A SOIL OF A LOOSE TEXTURE, WHICH DOES NOT READILY ADHERE TO THE ROOT SYSTEM, ESPECIALLY IN THE CASE OF LARGE PLANTS OR TREES, SHALL HAVE THE ROOTBALL WRAPPED IN BURLAP AND THEN WIRE, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.  
**1.05 TRANSPLANTING PLANT MATERIAL**  
A. MOVEMENT OF PLANTS ON PUBLIC R.O.W.'S SHALL COMPLY WITH ALL ORDINANCES, CODES AND SAFETY REQUIREMENTS, ETC.  
B. TRANSPORT MATERIALS ON VEHICLES LARGE ENOUGH TO ALLOW PLANTS TO NOT BE CROWDED AND DAMAGED. PLANTS SHALL BE COVERED TO PREVENT WIND DAMAGE DURING TRANSIT.  
C. PROTECT PLANT MATERIAL DURING TRANSPORTING TO PREVENT DAMAGE TO THE ROOT SYSTEM AND DESICCATION OF LEAVES. TREES SHALL BE PROTECTED BY TYING IN THE BRANCHES AND COVERING ALL EXPOSED BRANCHES AS NECESSARY. DO NOT BEND OR BIND-TIE PLANT MATERIAL IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES OR ALTER THE NATURAL SHAPE.  
D. THE CONTRACTOR SHALL EXERCISE CARE IN HANDLING, LOADING, UNLOADING, STORING, AND TRANSPORTING MATERIAL TO PREVENT DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF MATERIALS STORED.  
E. TRANSPORTING MUST BE DONE WITHIN 24 HOURS AFTER BEING DUG. STORE PLANTS IN SHADE AND KEEP THE ROOT BALL AND CANOPY MOIST.  
**1.06 INSTALLATION**  
A. EXCAVATION OF HOLES:  
PLANT HOLES SHALL BE ROUGHLY CYLINDRICAL IN SHAPE WITH SIDES APPROXIMATELY VERTICAL. THE DEPTH OF THE HOLE SHALL BE EQUAL TO THE ROOTBALL DEPTH PLUS 12" UNLESS FURTHER DEPTH IS REQUIRED TO PROVIDE ADEQUATE DRAINAGE. THE DIAMETER OF THE HOLE SHALL BE A MINIMUM OF 24" LARGER THAN THE ROOTBALL DIAMETER.  
B. SETTING OF PLANTS  
PLANT MATERIAL SHALL BE PLANTED AT THEIR NATURAL AND ORIGINAL PLANTING LEVEL PRIOR TO THEIR RELOCATION AND PLACEMENT ON THE NEW SITE. WHEN LOWERED INTO THE HOLE, THE PLANTS SHALL REST ON THE PREPARED HOLE BOTTOM SUCH THAT THE SURFACE ROOTS AT THE TOP OF THE ROOTBALL ARE LEVEL OR SLIGHTLY ABOVE THE LEVEL OF THE TOP OF THE HOLE. CREATE A SAUCER, APPROXIMATELY 6" DEEP TO HELP HOLD WATER. THE PLANT SHALL BE SET STRAIGHT OR PLUMB OR NORMAL TO THE RELATIONSHIP OR THEIR GROWTH PRIOR TO TRANSPLANTING. THE PROJECT ENGINEER OR REPRESENTATIVE RESERVES THE RIGHT TO REALIGN ANY PLANT MATERIAL AFTER IT HAS BEEN SET, WITHOUT ADDITIONAL COST.  
C. BACKFILLING  
1) USE PLANTING SOIL FOR TREE INSTALLATION  
CONSISTING OF 80/20 MIX OF GENERAL PURPOSE PLANTING SOIL TO SAND. PALMS RECEIVE 30/70 GENERAL PURPOSE PLANTING SOIL TO SAND MIX.  
2) BACKFILL THE BOTTOM TWO-THIRDS OF THE PLANTING HOLE AND FIRMLY TAMP AND SETTLE BY WATERING AS BACKFILLING PROGRESSES. AFTER HAVING TAMPED AND SETTLED THE BOTTOM TWO-THIRDS OF THE HOLE, THOROUGHLY PUDDLE WITH WATER AND FILL REMAINING ONE-THIRD OF THE HOLE WITH PLANTING SOIL, TAMPING AND WATERING TO ELIMINATE AIR POCKETS.

### 1.07 WATERING TRANSPLANTED TREES:

A. ROOTBALL WATERING: MAINTAIN A SOIL MOISTURE IN THE ROOT ZONE AT AN OPTIMUM LEVEL FOR HEALTHY GROWTH. DEEP WATER THE ENTIRE ROOTBALL AREA AT A MINIMUM ACCORDING TO THE FOLLOWING SCHEDULE:		
WHEN	FREQUENCY	AMOUNT
FIRST MONTH	ONCE DAILY	3" PER TREE OR PALM
SECOND MONTH	EVERY OTHER DAY	2" PER TREE OR PALM
FOLLOWING TWO MONTHS	TWICE A WEEK	1" PER TREE OR PALM
LAST EIGHT MONTHS	ONCE PER WEEK	1" PER TREE OR PALM

B. IF THERE IS NO SOURCE FOR WATER AVAILABLE AT THE PROJECT, SUCH AS A HOSE BIB(S) OR FIRE HYDRANT(S) IF APPROVED FOR USE, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING WATER BY MEANS OF A TRUCK OR TANK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PAY ANY FEES FOR WATER USE.

C. THE CONTRACTOR SHALL ADHERE TO THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT'S WATER RESTRICTIONS CURRENT AT THE TIME OF RELOCATION ACTIVITIES.

### 1.08 MULCHING OF PLANT SAUCER:

A. SPREAD 3" MINIMUM DEPTH THICK LAYER OF SHREDDED EUCALYPTUS OR MELALEUCA GRADE "B" MULCH OR EQUAL OVER ENTIRE AREA OF THE ROOTBALL.

### 1.09 APPLICATION OF FERTILIZER:

A. AT TIME OF WATERING ROOT-PRUNED TREES PRIOR TO TRANSPLANTING, DRENCH ROOTBALL ONCE PER WEEK DURING THE COURSE OF WATERING WITH A SOLUBLE FERTILIZER THAT HAS A 20:20:20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

B. THREE (3) WEEKS AFTER TRANSPLANTING, AND AFTER MULCHING, APPLY ON THE SURFACE, EVENLY SPREAD OVER THE AREA OF THE ENTIRE ROOTBALL, FERTILIZER EAST COAST FERTILIZER CO., J32531 (12-6-8) OR EQUAL AT THE RATE OF 0.5KG PER 1" OF TRUNK DIAMETER.

### 1.10 STAKING TREES:

A. STAKE ALL TREES AND PALMS AT THE NEW SITE WITH NEW TIMBERS WITH A MINIMUM 2" X 4" DIMENSION AS PER THE DETAILS ENCLOSED, OR IN THE CASE OF OBSTACLE, IN ANOTHER MANNER WHICH WILL SUPPORT THE TREES.

### 1.11 CLEAN-UP:

A. DISPOSAL OF WASTE: ALL WASTE AND OTHER OBJECTIONABLE MATERIAL CREATED THROUGH PLANTING OPERATIONS AND LANDSCAPE CONSTRUCTION SHALL BE REMOVED COMPLETELY ON A DAILY BASIS FROM THE JOB OR AS DIRECTED BY THE PROJECT ENGINEER. ANY PAVED AREAS, INCLUDING CURBS AND SIDEWALKS THAT HAVE BEEN STAINED WITH SOIL, SOD WASTE, FERTILIZER OR OTHER WASTE SHALL BE THOROUGHLY SWEEP.

B. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF STAKES AND BATTENS AND UNTIE ANY TIED-UP CANOPIES WHEN IT IS DETERMINED BY THE PROJECT ENGINEER THAT SUFFICIENT TIME HAS ELAPSED FOR THE PLANTS TO ROOT STABILIZE, AND/OR AT THE END OF THE ONE YEAR GUARANTEE PERIOD. THIS SHALL BE DONE EVEN IF THE PROJECT HAS BEEN COMPLETED AND GIVEN FINAL ACCEPTANCE. THE CONTRACTOR SHALL UNTIE CANOPIES IMMEDIATELY AFTER INSTALLATION AND REMOVE STAKES AFTER ONE YEAR.

C. BACKFILLING OF HOLE LEFT BY RELOCATED TREE SHALL BE DONE IMMEDIATELY AFTER TREE REMOVAL, OR SUITABLE BARRICADES SHALL BE PROVIDED TO PREVENT INJURIES UNTIL HOLES ARE FILLED. THE CONTRACTOR SHALL BACKFILL HOLES WITH CLEAN FILL AND TOP SOIL TO A LEVEL FLUSH WITH ADJACENT GRADE.

### 1.12 GUARANTEE AND REPLACEMENT:

A. ALL RELOCATED PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF RELOCATION.

B. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 45 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 75 MPH AS DEFINED BY THE MIAMI HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO DADE COUNTY.

### 1.13 SCHEDULE AND APPROVALS:

THE LANDSCAPE CONTRACTOR SHALL SUBMIT A WRITTEN SCHEDULE OF OPERATIONS AND WRITTEN REQUESTS FOR APPROVALS IN ACCORDANCE WITH PROJECT SPECIFICATIONS OR AS OTHERWISE AGREED UPON WITH THE OWNER.

### 1.14 FINAL ACCEPTANCE:

OWNER SHALL REVIEW PROJECT UPON NOTIFICATION BY CONTRACTOR. OWNER SHALL ISSUE A FINAL ACCEPTANCE AFTER ALL CONTRACT ITEMS AND OBLIGATIONS ARE SATISFACTORY.



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CONSTRUCTION MANAGEMENT  
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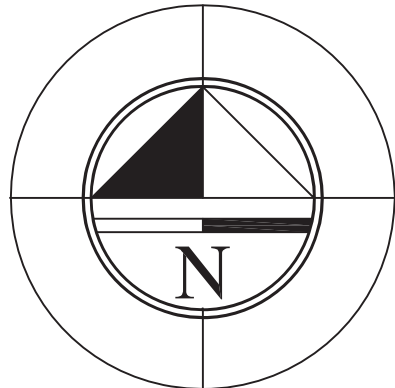
3247 N.E. 168 Street  
NORTH MIAMI BEACH  
FLORIDA 33160

Off : (786) 955 5804  
Fax : (866) 300 5184

CHRISTIAN BALLESTEROS  
• A.R.14201 • ID. 4319 • CGC. 47236 •  
crossbower@crossbower.net



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REVISION	BY

PROJECT: LANDSCAPE PLAN

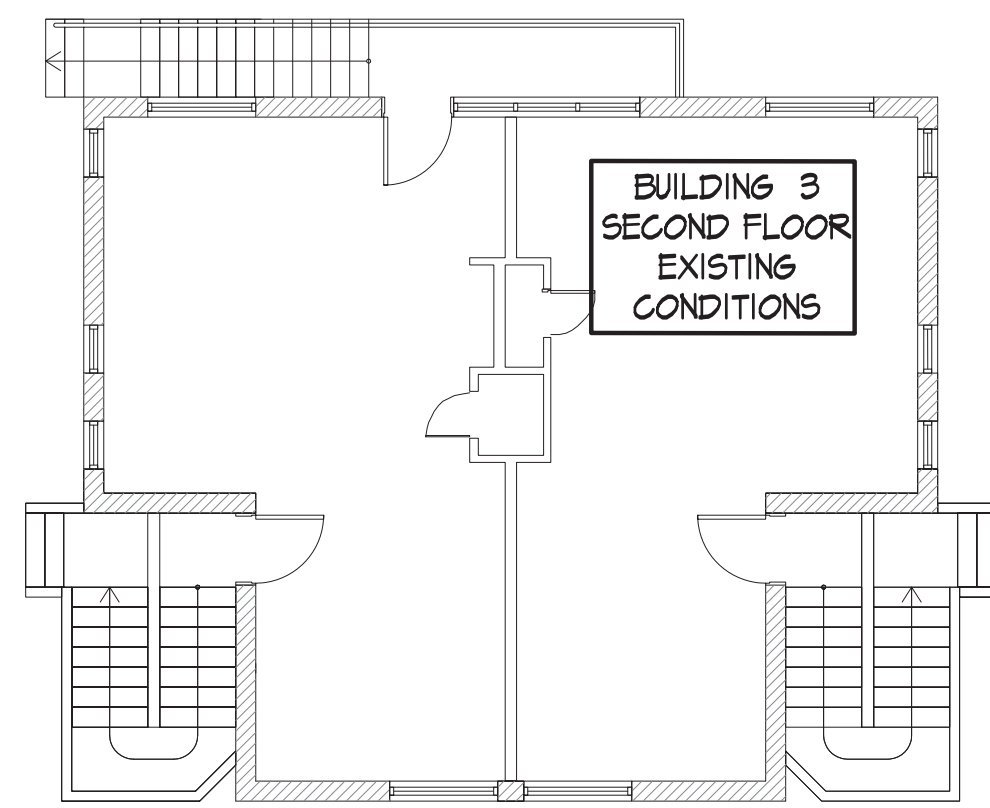
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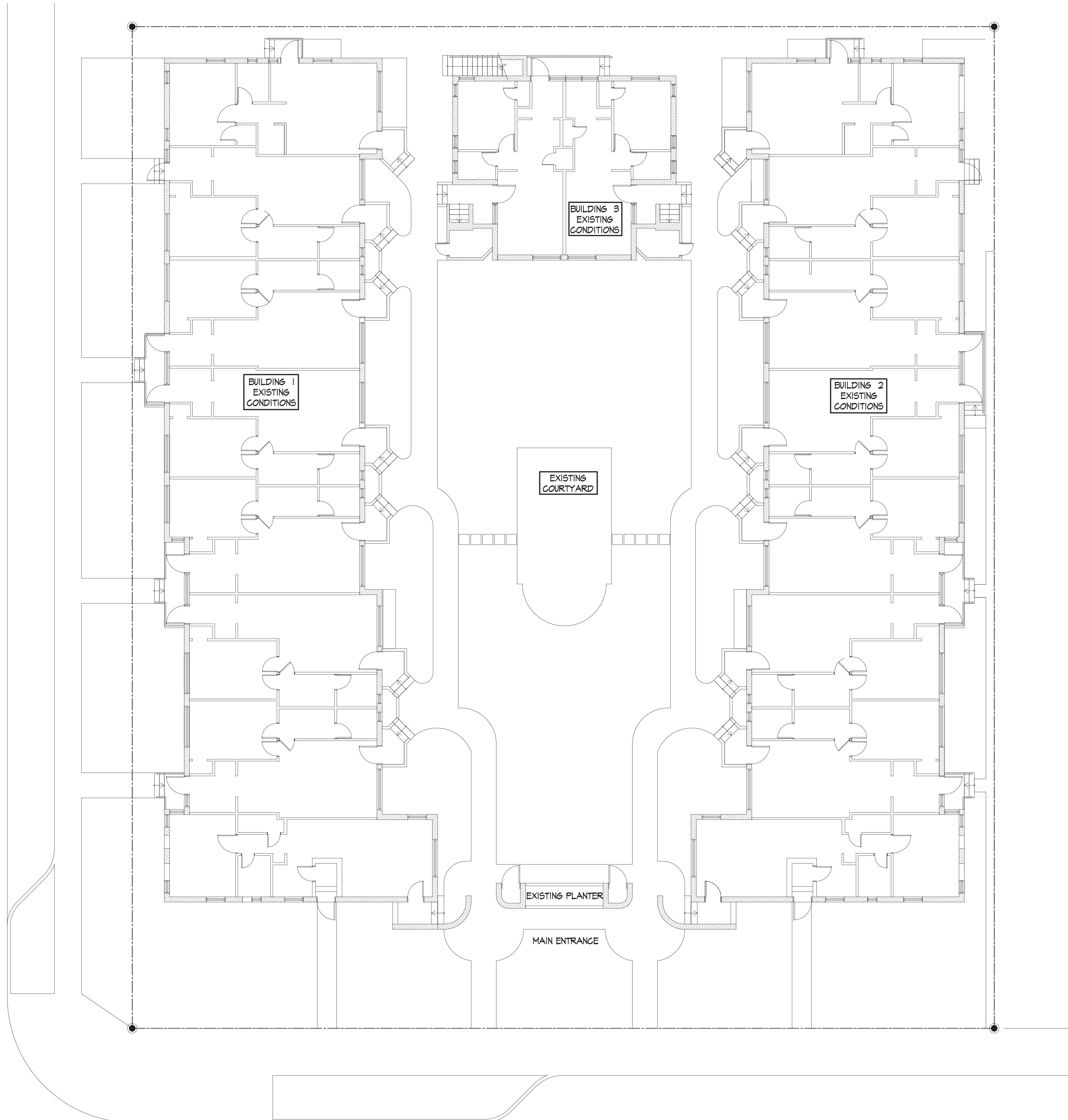








EXISTING FLOOR PLAN  
SECOND FLOOR BUILDING 3  
SCALE 1/8" = 1'-0"



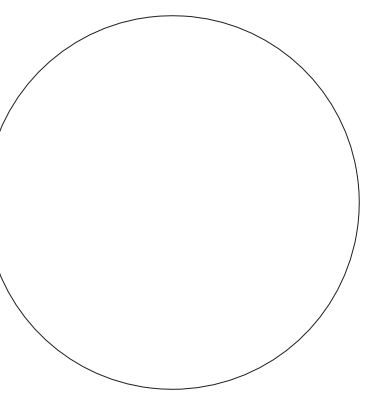
EXISTING FLOOR PLAN  
FIRST FLOOR BUILDINGS 1, 2 & 3  
SCALE 1/8" = 1'-0"



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PH: 786-955 8504  
FAX: 866-300 5184  
CHRISTIAN BALLESTEROS  
• AR 14201 • ID 4319 • CGC 47236  
crossbower@crossbower.net

PROFESSIONAL SEAL



PROJECT NAME

ALTON ROAD  
RESTAURANTS  
& PATIO

PROJECT ADDRESS

835, 845 & 855 ALTON ROAD  
MIAMI BEACH, FL 33139

REVISION

Project No: 2015-152  
Scale: AS NOTED  
Date: 03-16-2016  
Drawn: E.T./J.V.  
Checked: J.V.  
CADD File: 835 ALTON RD ARCH PB 04-17-16.dwg

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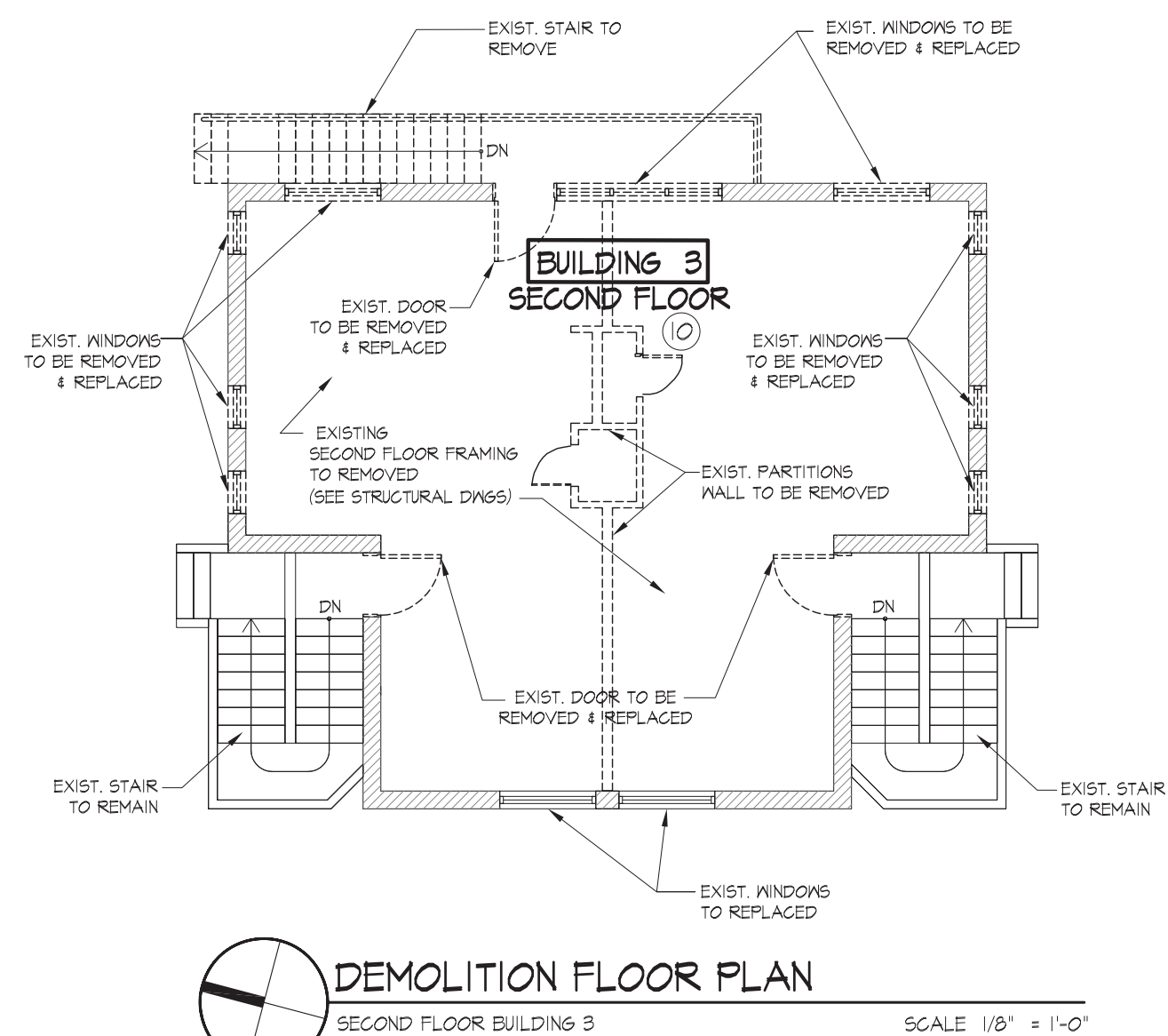
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EXISTING  
FLOOR PLAN

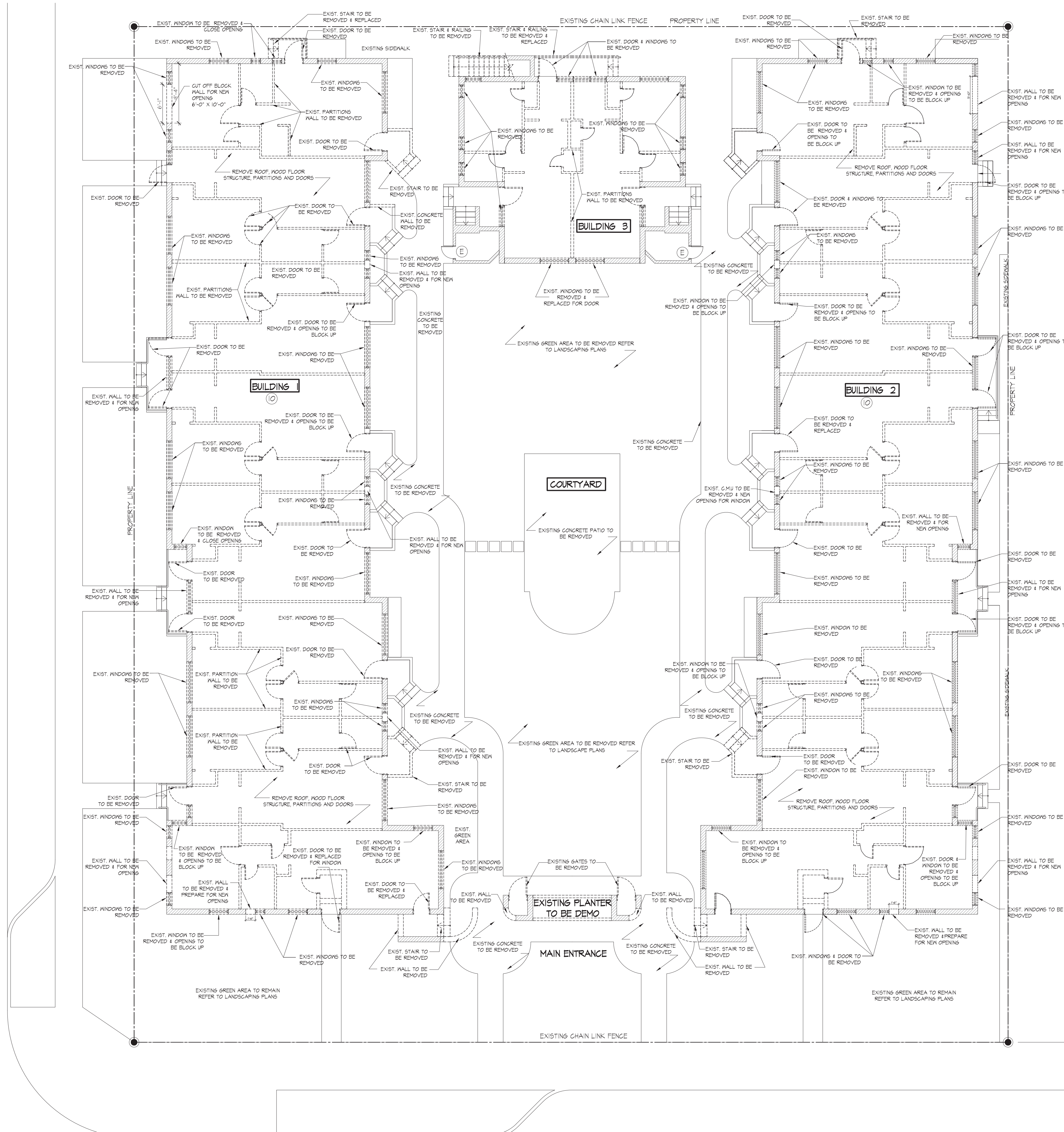
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A-0





9TH STREET

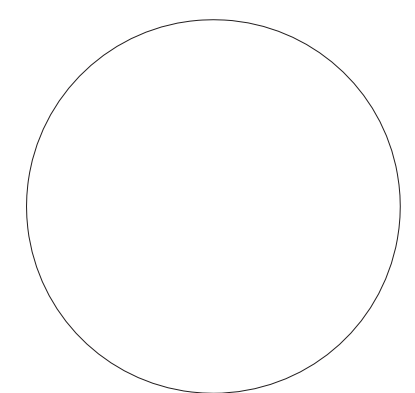




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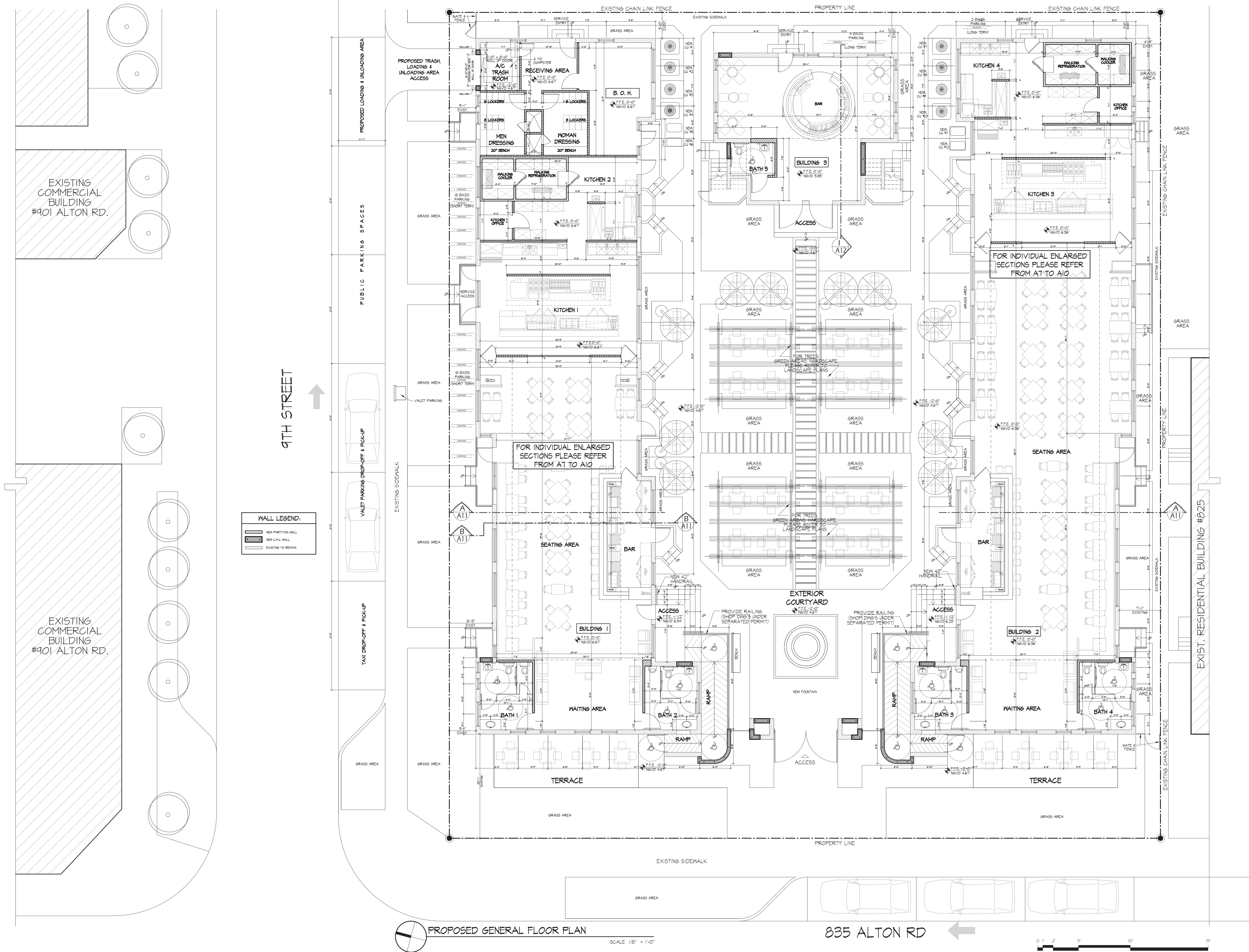
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Checked:	J.V.
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**DEMOLITION  
PLAN**

SHEET NO.  
**D-1**





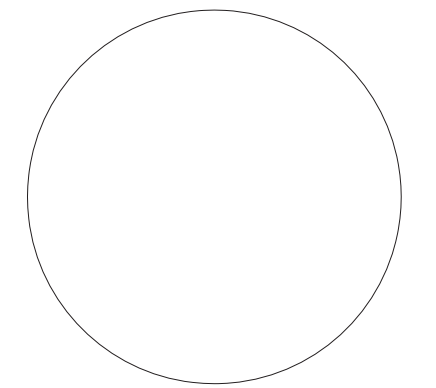
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PH: 786-955 8504  
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CHRISTIAN BALLESTEROS  
• AR 14201 • ID 4319 • CGC 47236  
crossbower@crossbower.net

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GENERAL  
FLOOR PLAN

SHEET NO.

A-1





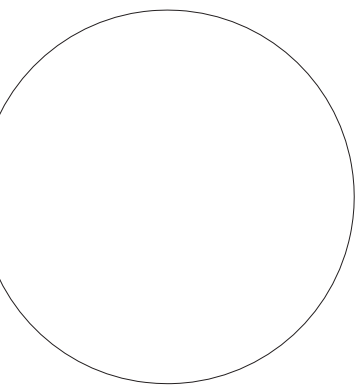
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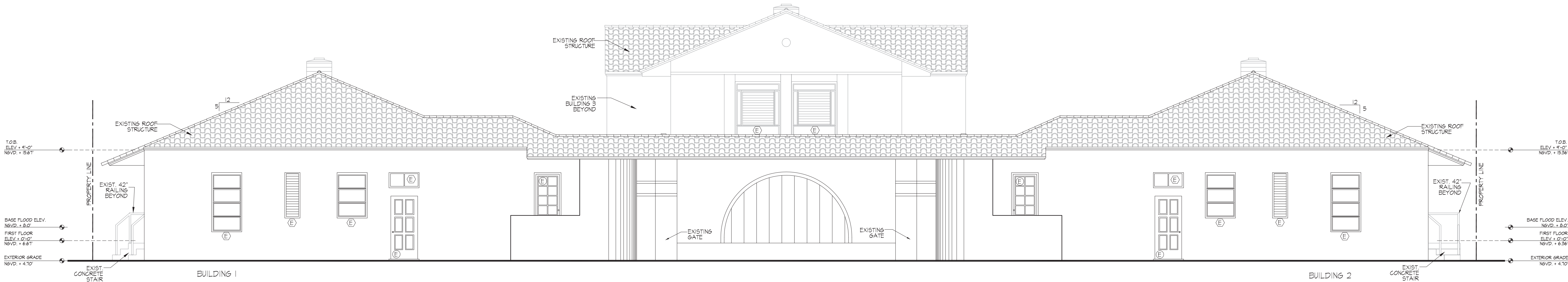
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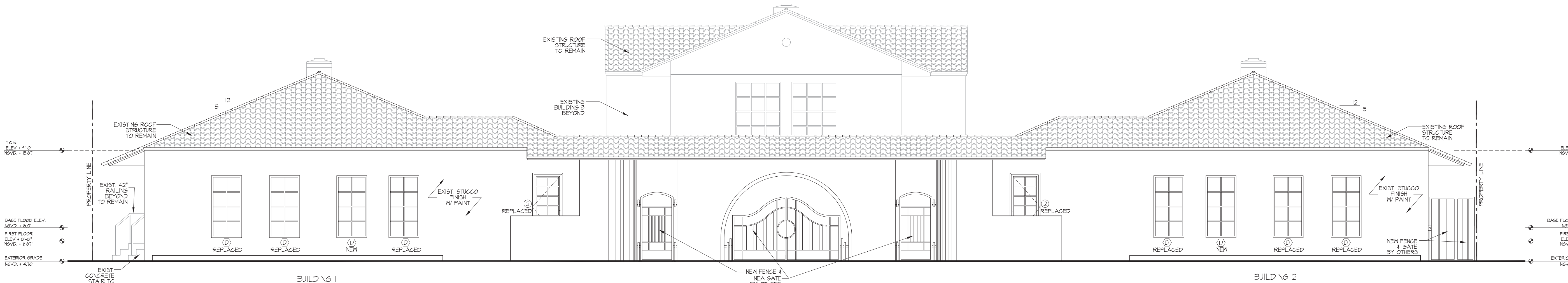
ELEVATION  
ALTON ROAD

SHEET NO.

A-2



EXISTING ALTON ROAD ELEVATION (WEST SIDE)  
SCALE 3/16" = 1'-0"




PROPOSED ALTON ROAD ELEVATION (WEST SIDE)  
SCALE 3/16" = 1'-0"





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MIAMI BEACH, FL 33139

Project No: 2015-152

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835 ALTON RD ARCH PB 04-17-16.dwg

AWN

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EET NO.

# A-3



BUILDING

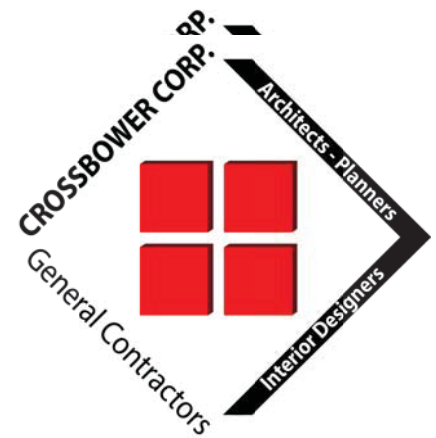
SCALE 3/16" = 1'-0"



BUILDING

SCALE 3/16" = 1'-0"





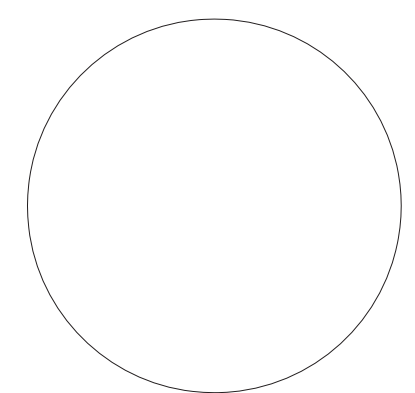
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PH: 786-955 8504  
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• AR 14201 • ID 4319 • CGC 47236  
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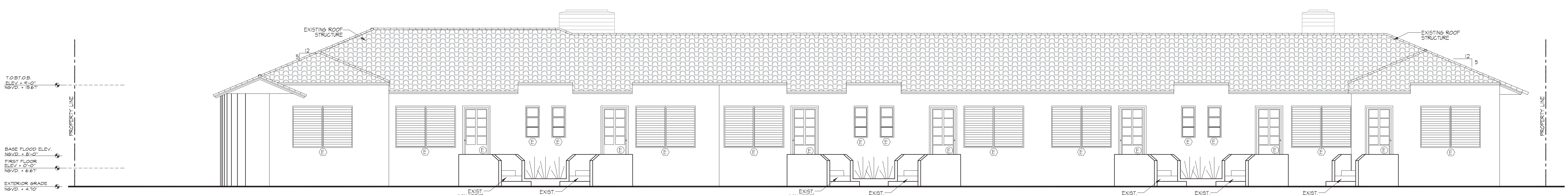
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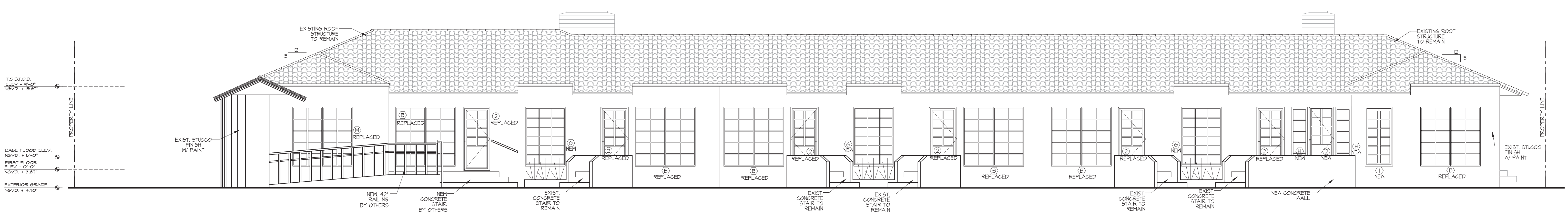
ELEVATION  
INTERIOR  
SIDE

SHEET NO.

A-4



EXISTING BUILDING I INTERIOR ELEVATION (SOUTH SIDE)  
(SIMILAR FOR BUILDING 2) SCALE 3/16" = 1'-0"



PROPOSED BUILDING I INTERIOR ELEVATION (SOUTH SIDE)  
(SIMILAR FOR BUILDING 2) SCALE 3/16" = 1'-0"





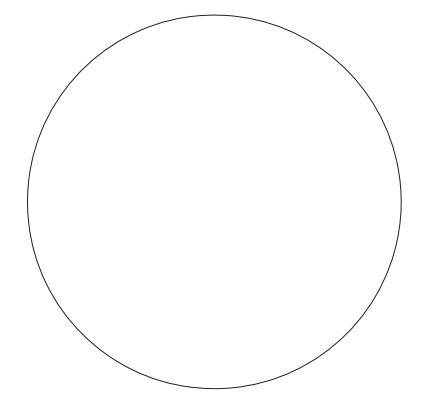
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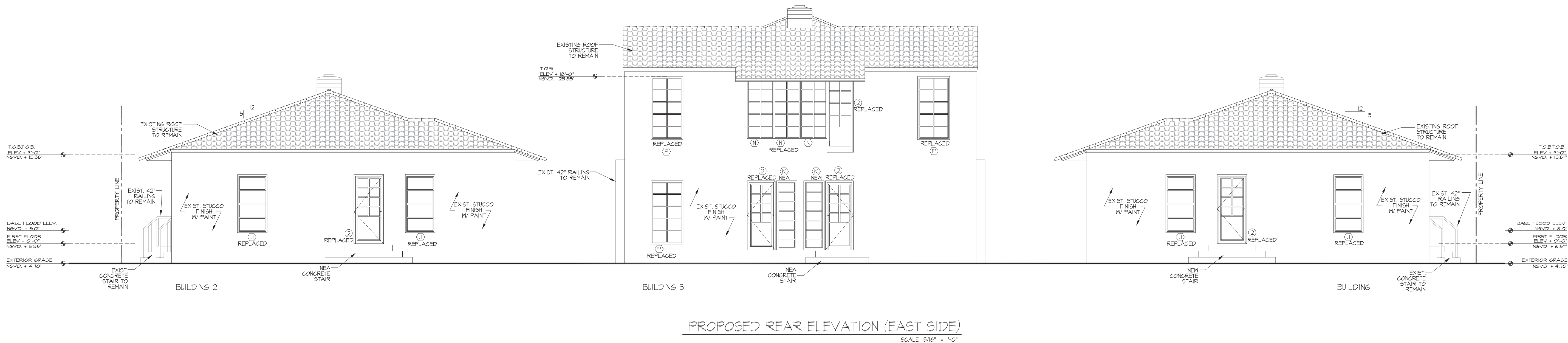
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ELEVATION  
REAR SIDE

SHEET NO.

A-5







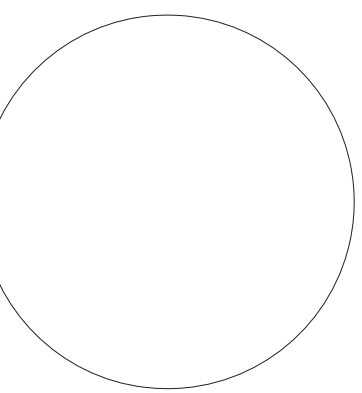
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PH: 786-955 8504  
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• AR 14201 • ID 4319 • CGC 47236  
crossbow@crossbow.net

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CADD File: 835 ALTON RD ARCH PB 04-17-16.dwg

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DRAWING TITLE

ELEVATION  
BUILDING 3

SHEET NO.

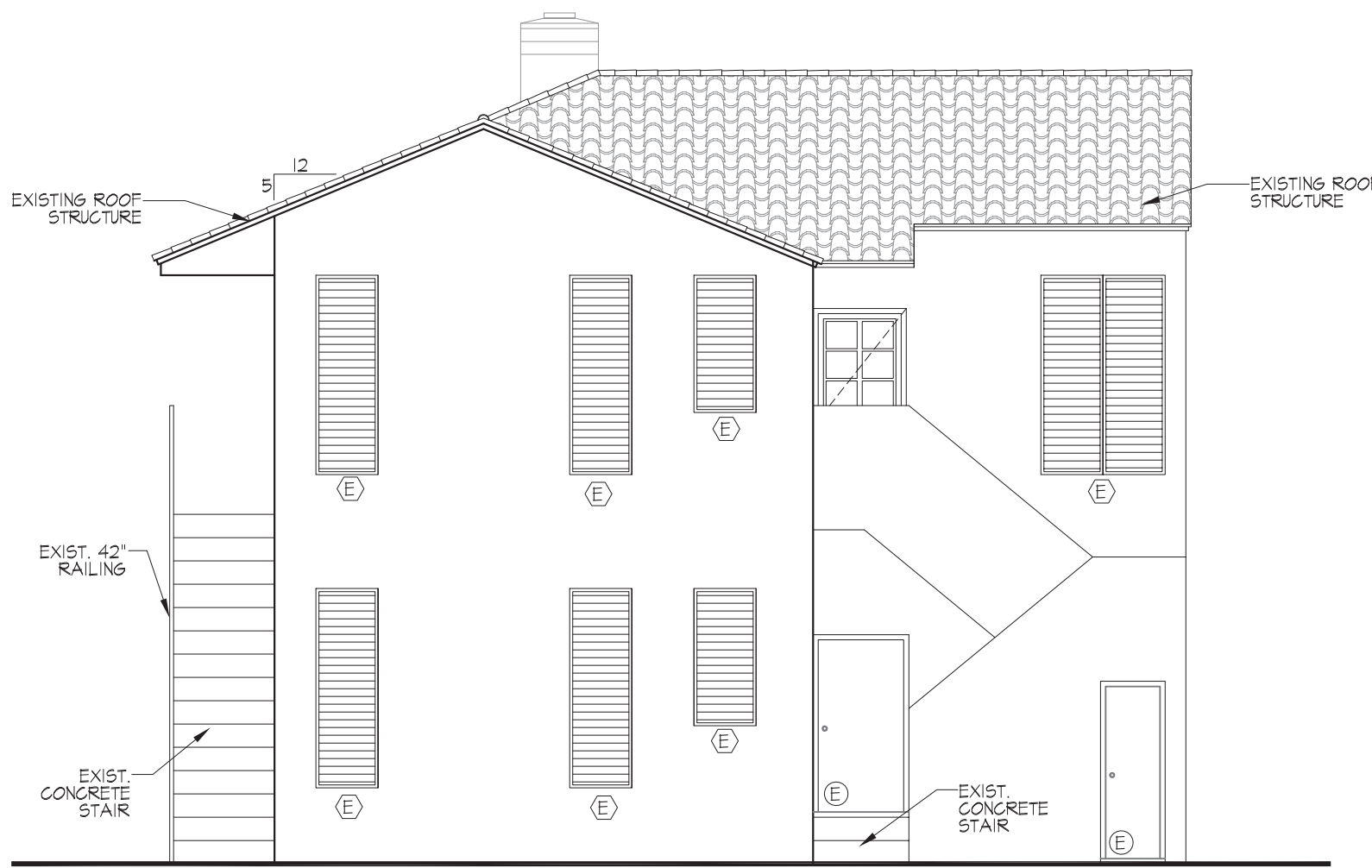
A-6



EXISTING INTERIOR ELEVATION (WEST SIDE)

(BUILDING 3)

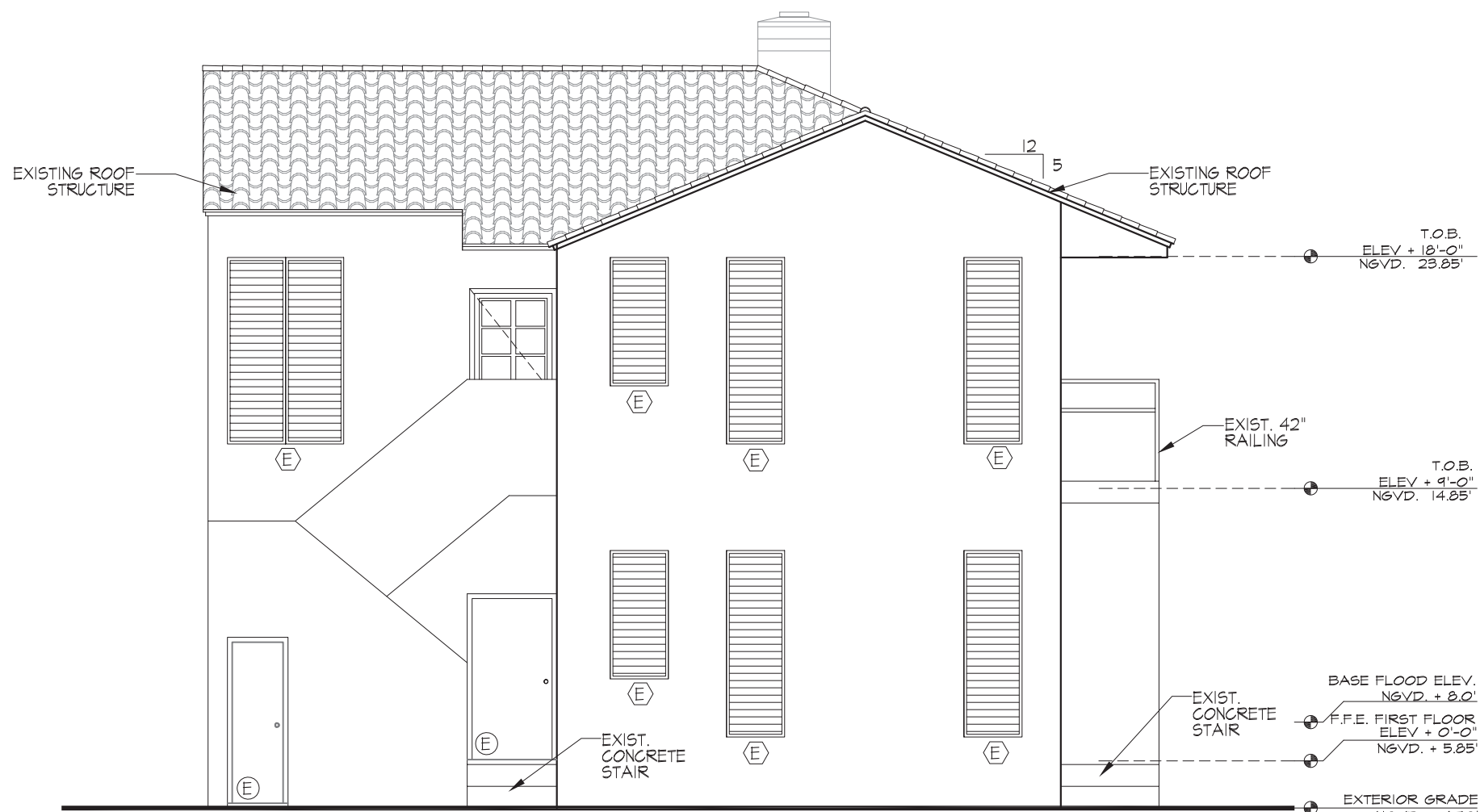
SCALE 3/16" = 1'-0"



EXISTING INTERIOR ELEVATION (NORTH SIDE)

(BUILDING 3)

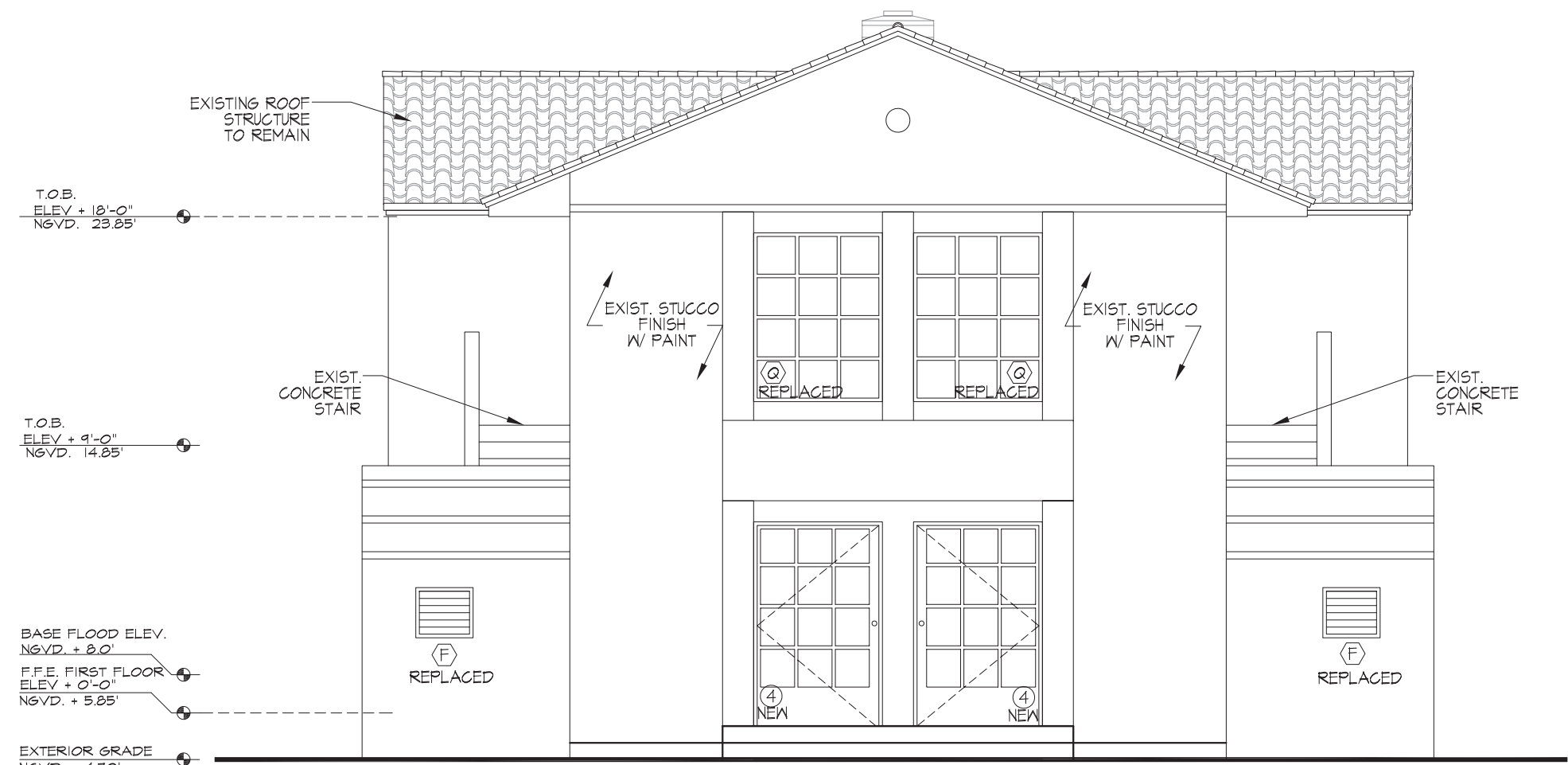
SCALE 3/16" = 1'-0"



EXISTING INTERIOR ELEVATION (SOUTH SIDE)

(BUILDING 3)

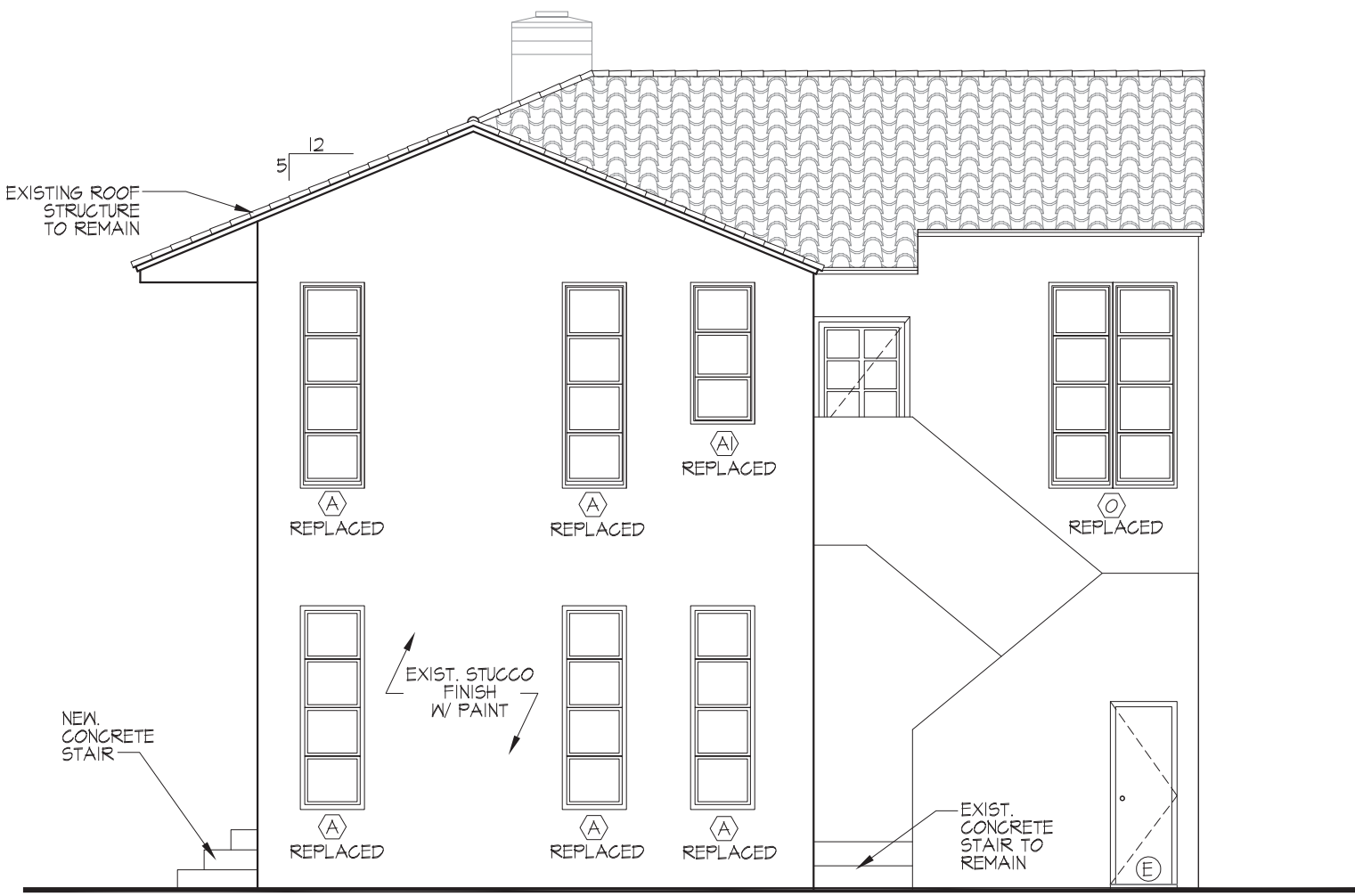
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PROPOSED INTERIOR ELEVATION (WEST SIDE)

(BUILDING 3)

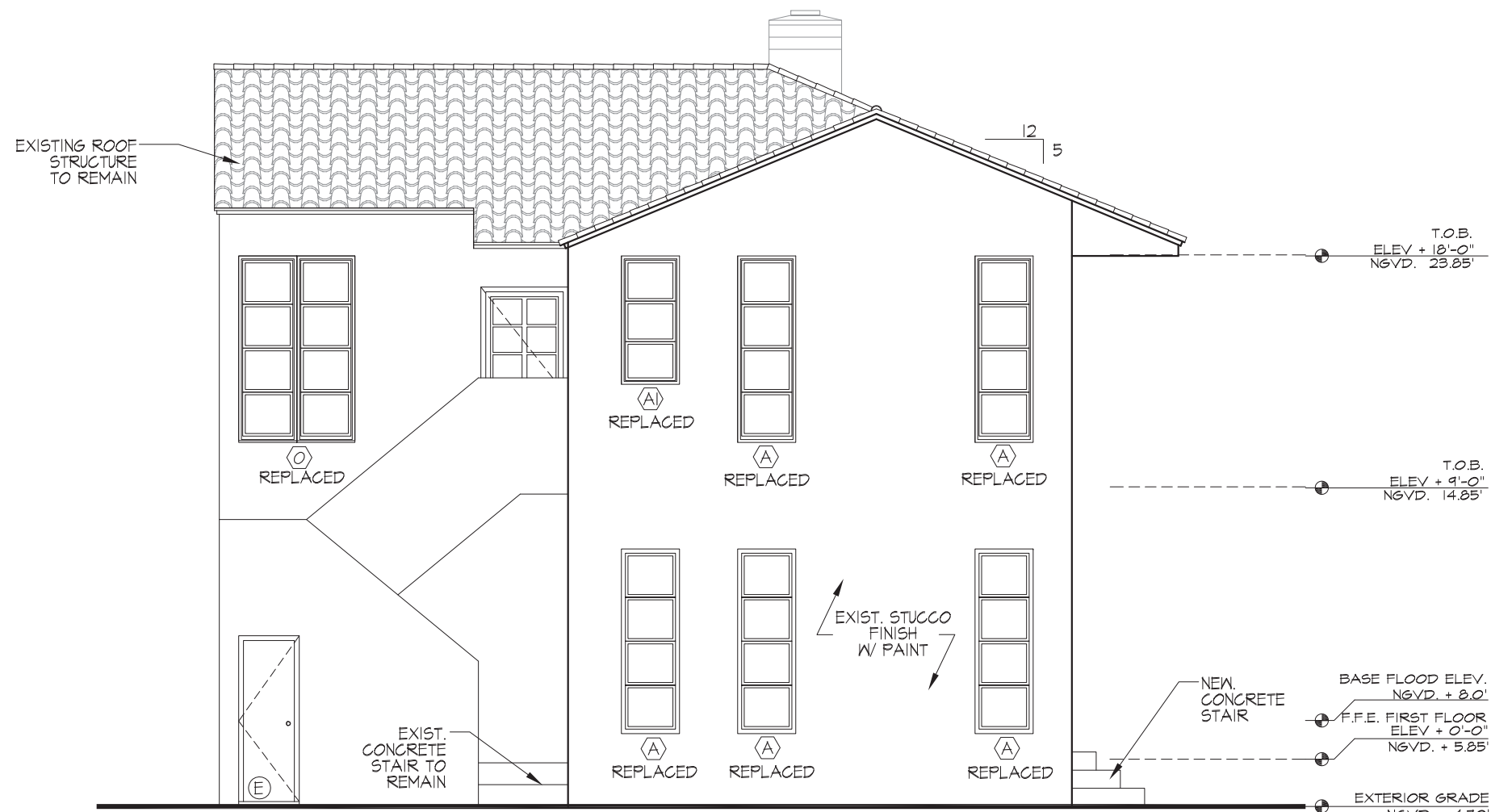
SCALE 3/16" = 1'-0"



PROPOSED INTERIOR ELEVATION (NORTH SIDE)

(BUILDING 3)

SCALE 3/16" = 1'-0"

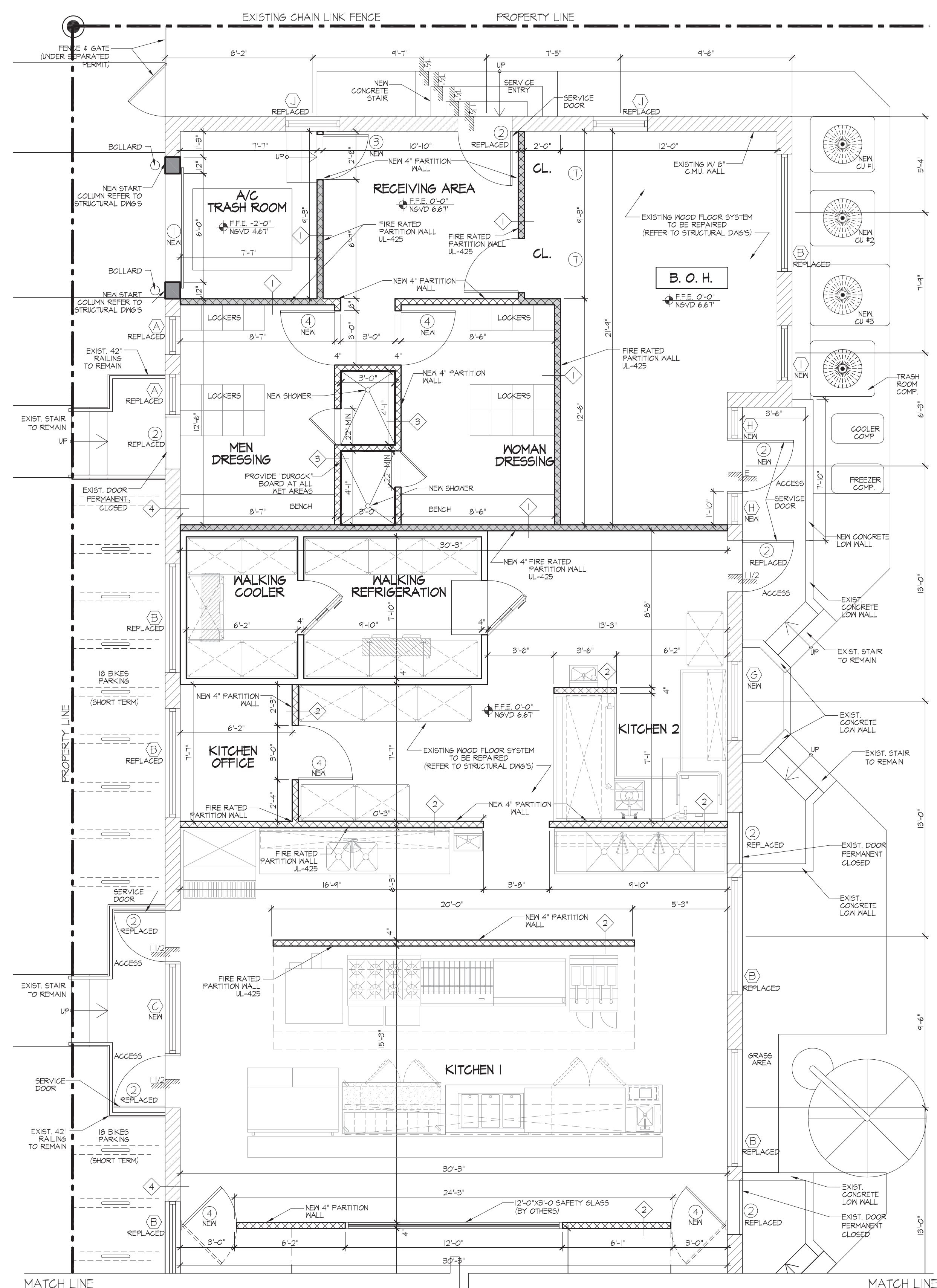
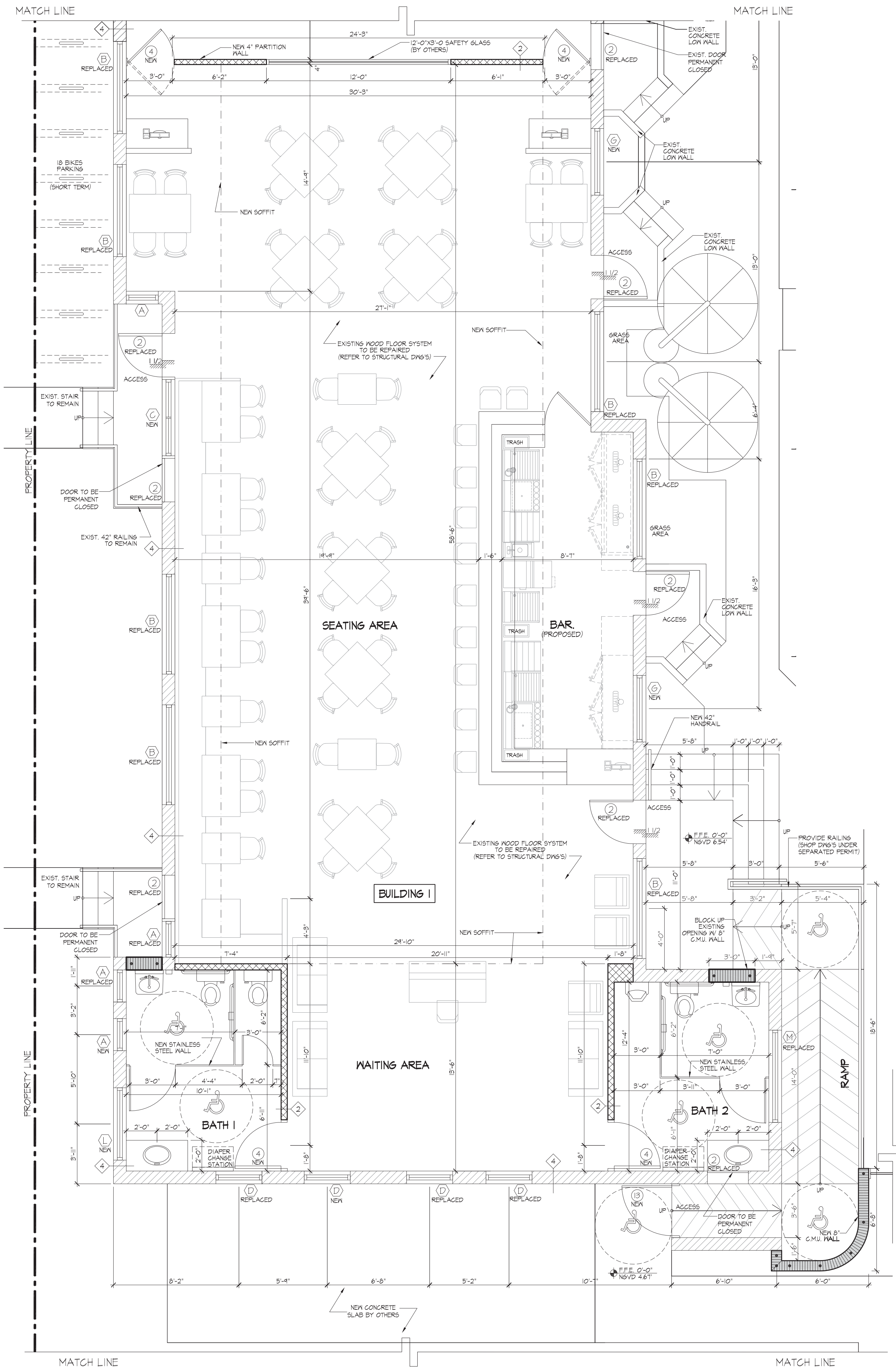


PROPOSED INTERIOR ELEVATION (SOUTH SIDE)

(BUILDING 3)

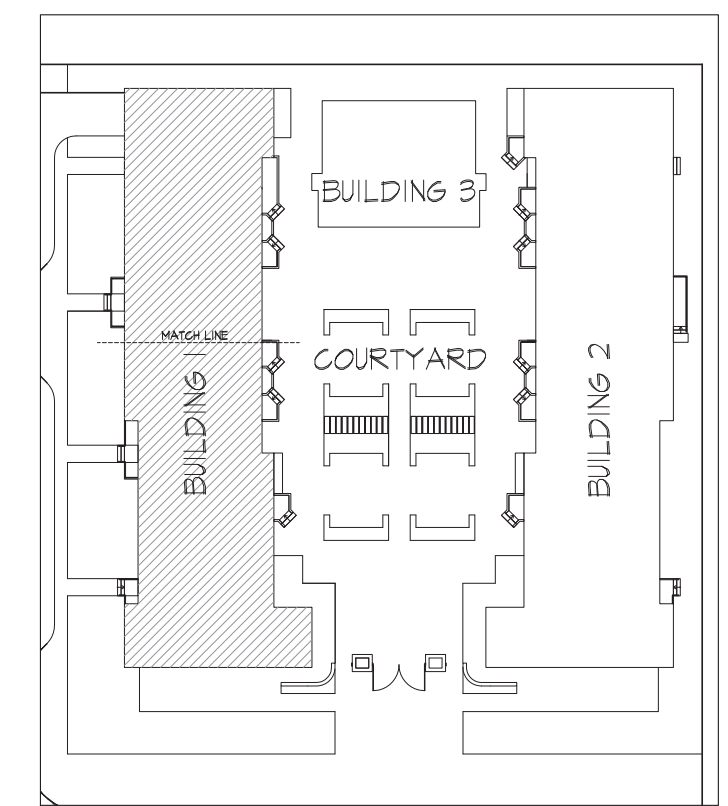
SCALE 3/16" = 1'-0"





**WALL LEGEND:**

- NEW PARTITION WALL
- NEW C.M.U. WALL
- EXISTING TO REMAIN



**PROPOSED FLOOR PLAN**  
BUILDING 1  
SCALE: 1/4" = 1'-0"

**KEY PLAN**

**CROSSBOWER CORP.**  
General Contractor  
ARCHITECT  
INTERIOR DESIGNER

**CROSSBOWER CORP.**  
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PH: 786-955 8504  
FAX: 866-300 5184  
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• AR 14201 • ID 4319 • CGC 47236  
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PROFESSIONAL SEAL

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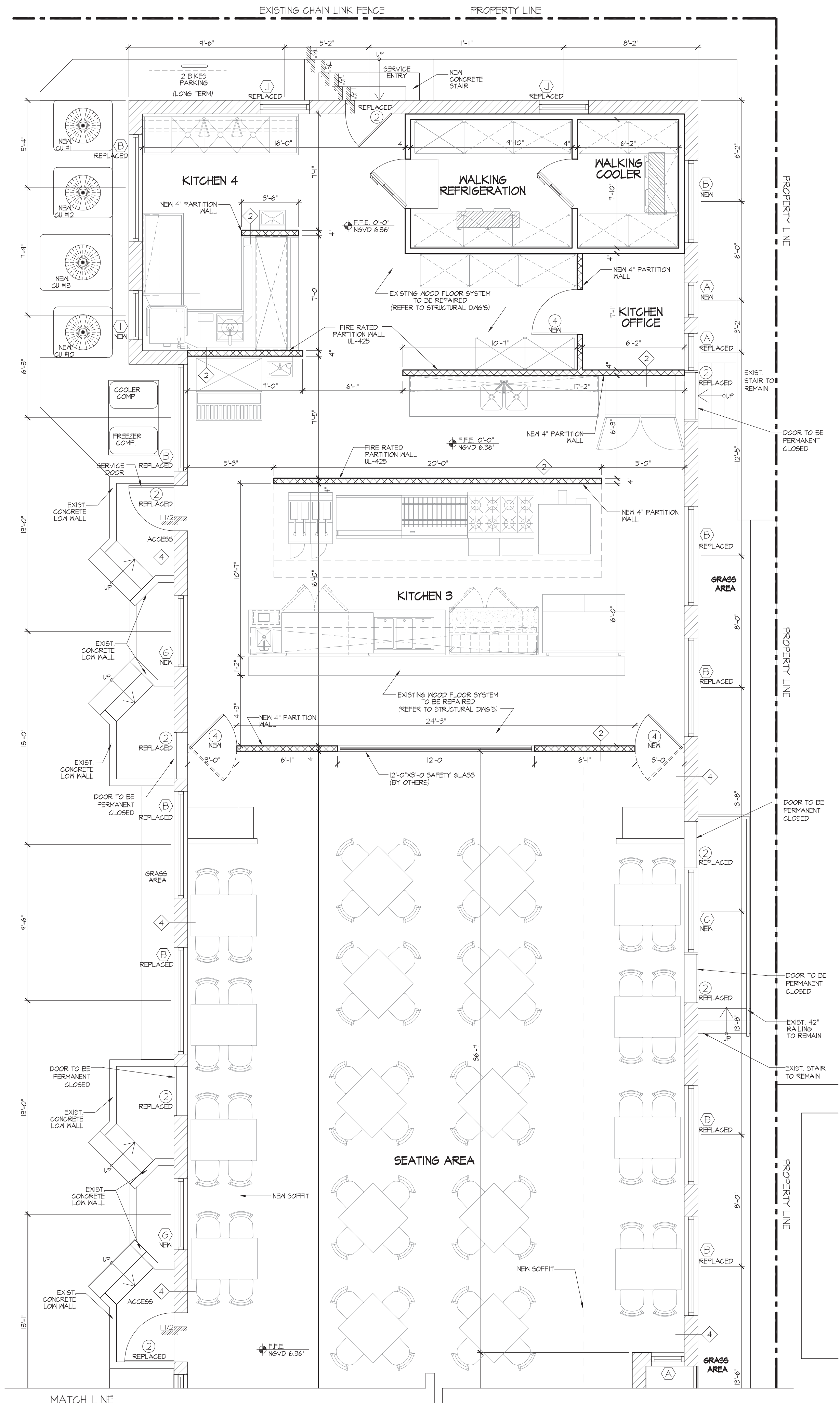
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**BUILDING 1  
FLOOR PLAN**

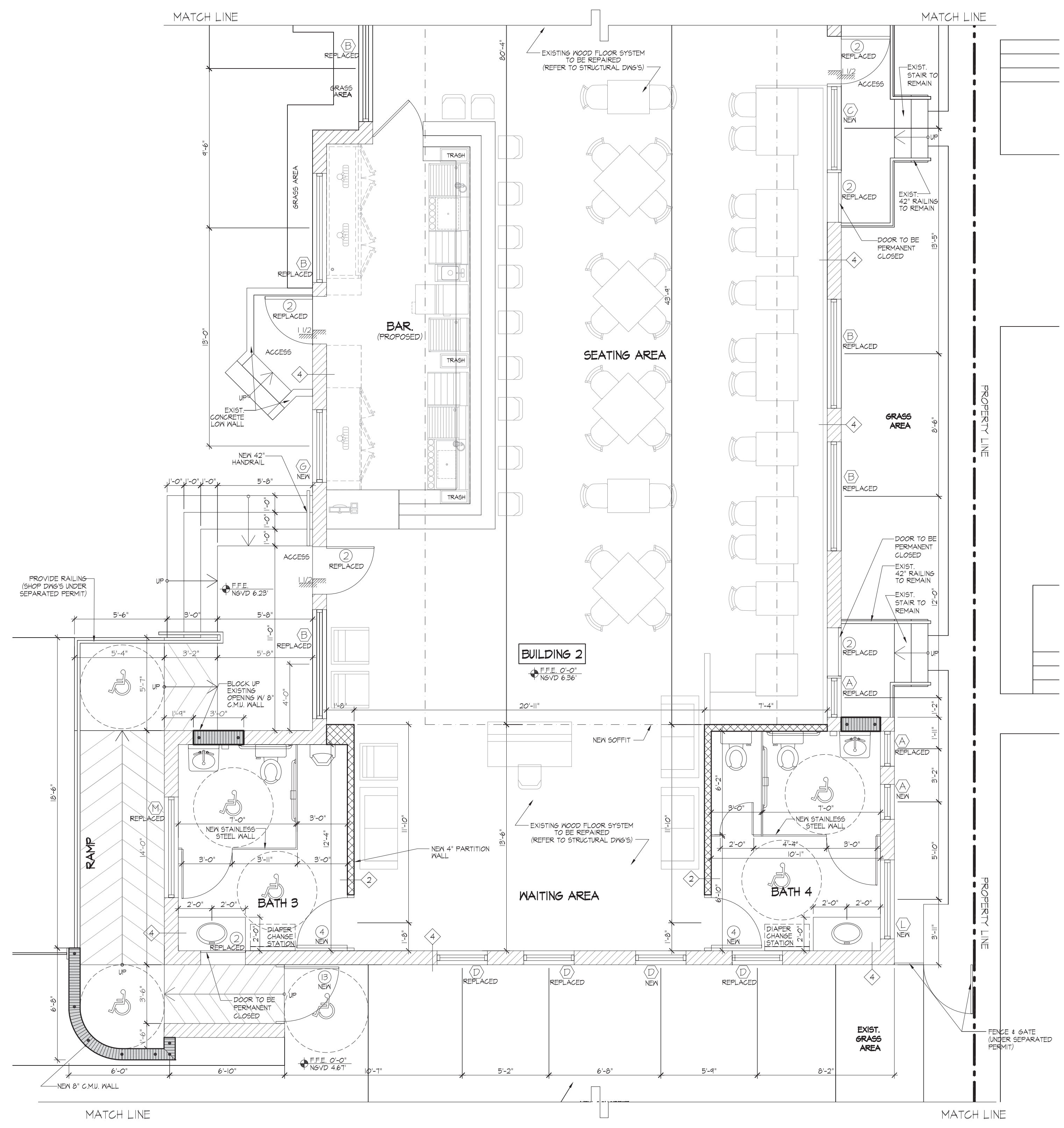
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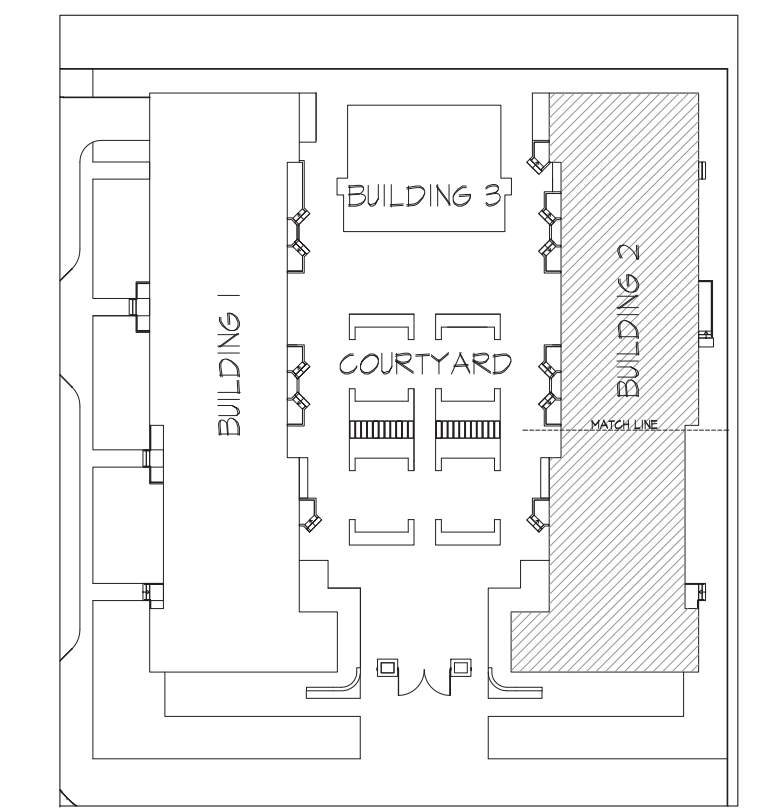


**PARTIAL FLOOR PLAN - PART II**  
BUILDING 2  
SCALE: 1/4" = 1'-0"



**PARTIAL FLOOR PLAN - PART I**  
BUILDING 2  
SCALE: 1/4" = 1'-0"

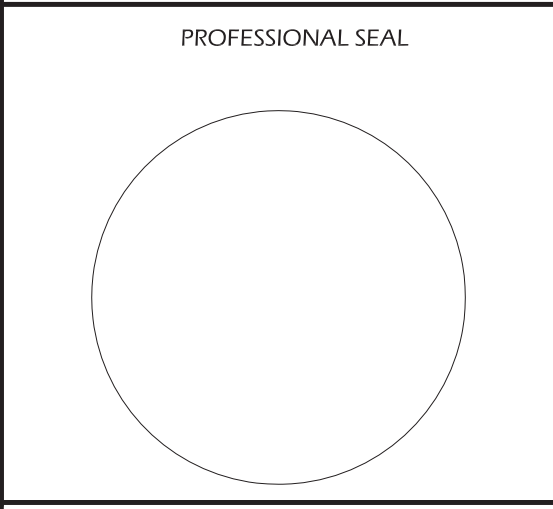
WALL LEGEND:	
	NEW PARTITION WALL
	NEW C.M.U. WALL
	EXISTING TO REMAIN



**KEY PLAN**



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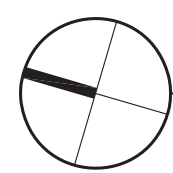
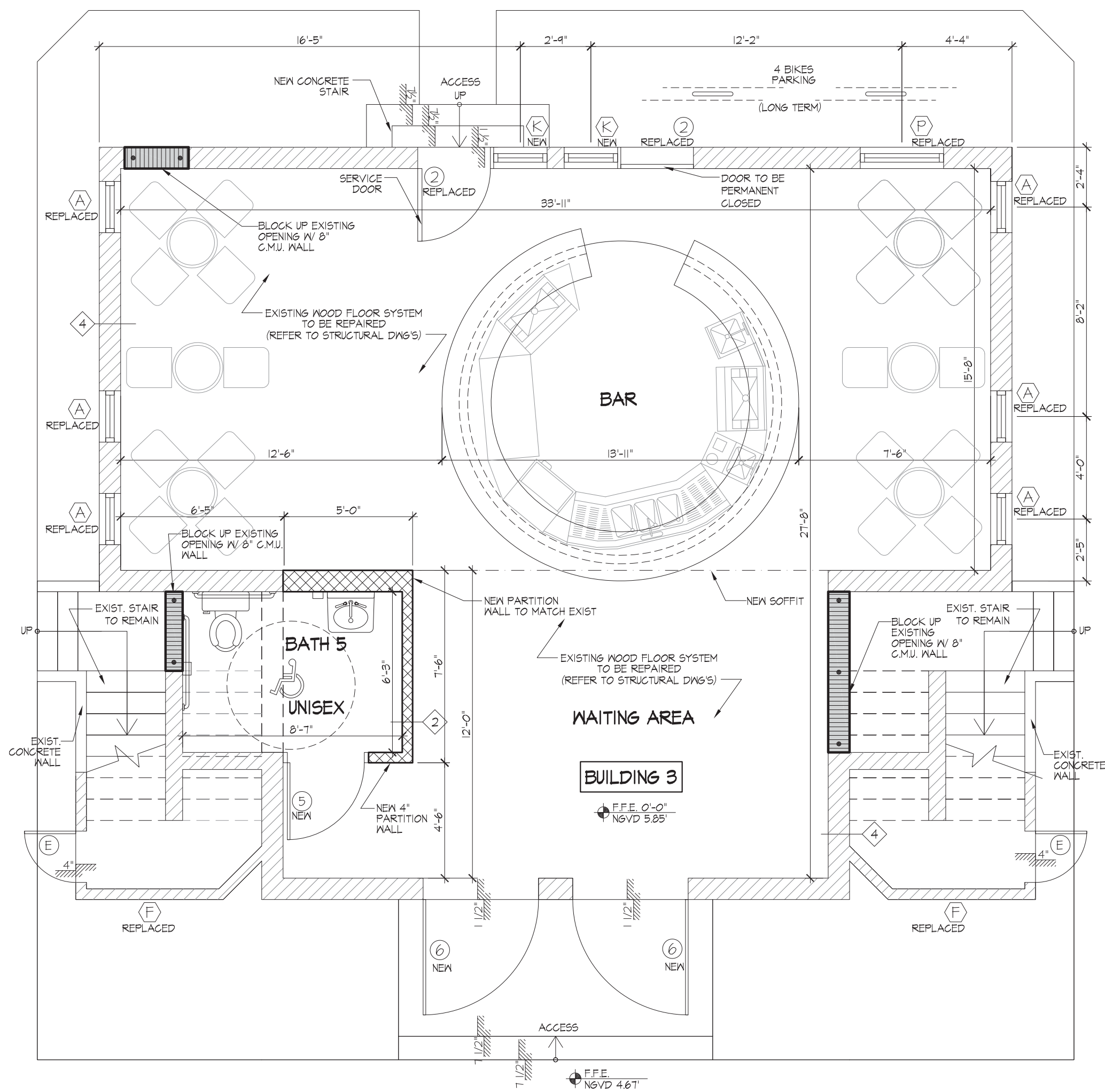
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**BUILDING 2 FLOOR PLAN**

SHEET NO.

**A-8**

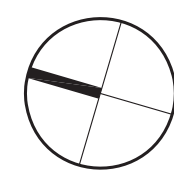
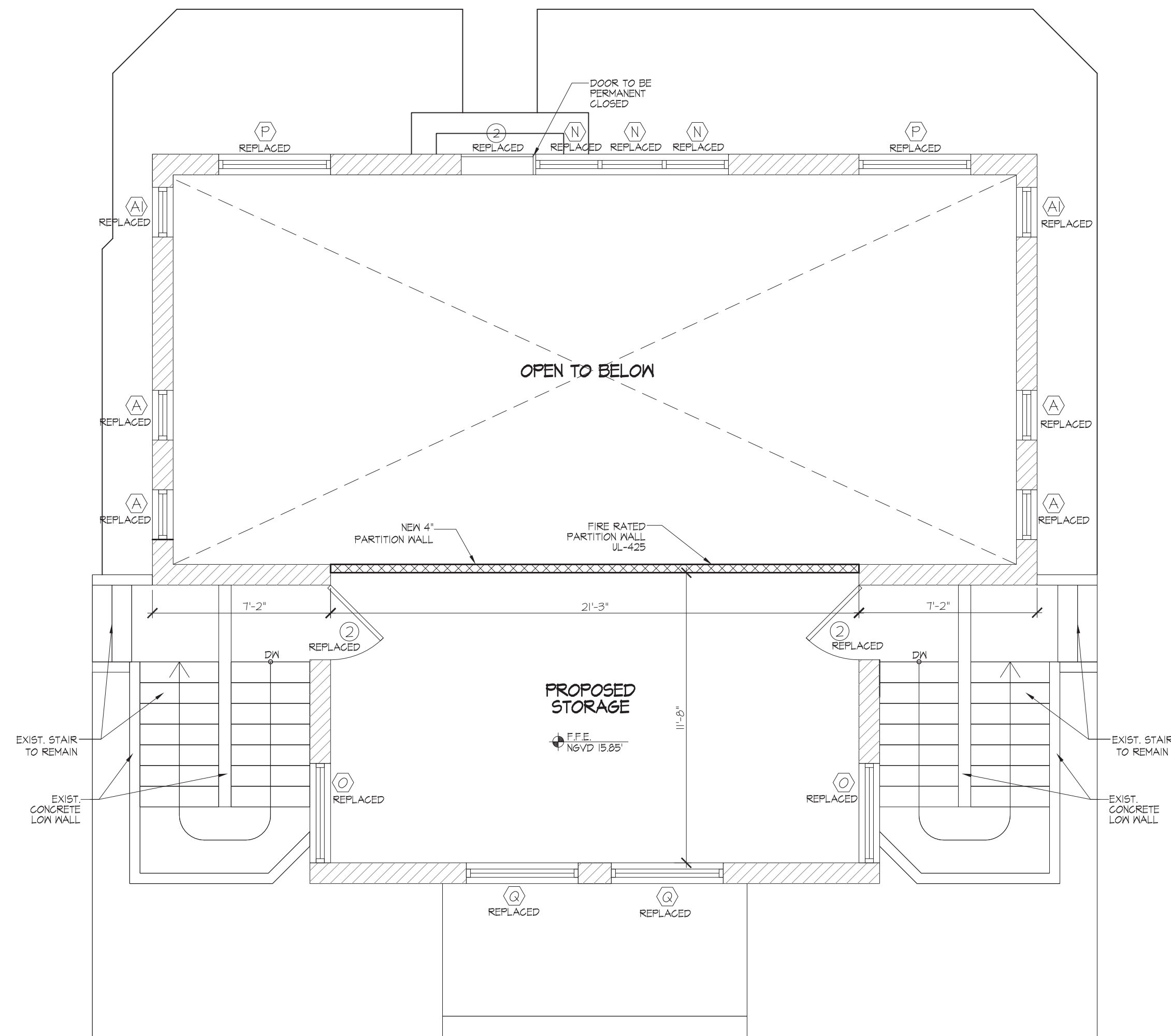




PROPOSED FIRST FLOOR PLAN

BUILDING 3 - BAR

SCALE: 1/4" = 1'-0"

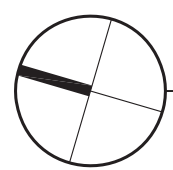
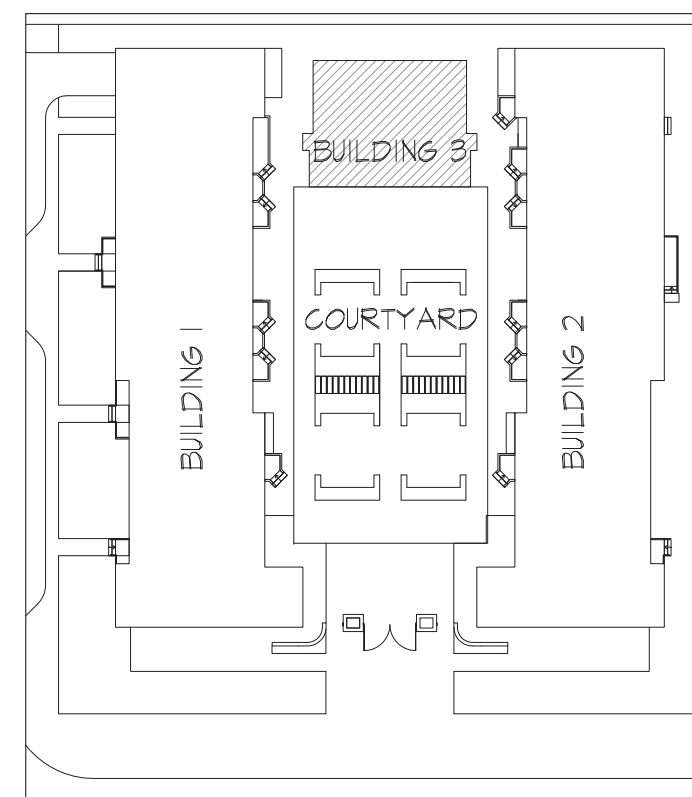


PROPOSED SECOND FLOOR PLAN

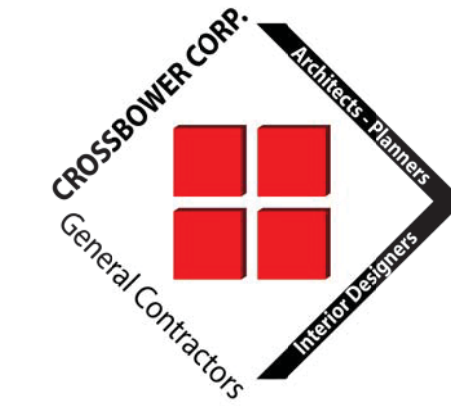
BUILDING 3 - BAR

SCALE: 1/4" = 1'-0"

WALL LEGEND:	
	NEW PARTITION WALL
	NEW C.M.U. WALL
	EXISTING TO REMAIN



KEY PLAN

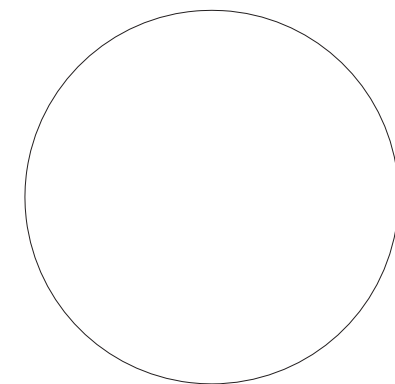


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CHRISTIAN BALLESTROS  
• AR 14201 • ID 4319 • C.C.C. 47236  
crossbow@crossbow.net

PROFESSIONAL SEAL



PROJECT NAME

ALTON ROAD  
RESTAURANTS  
& PATIO

PROJECT ADDRESS

835, 845 & 855 ALTON ROAD  
MIAMI BEACH, FL 33139

REVISION

Project No: 2015-152  
Scale: AS NOTED  
Date: 03-16-2016  
Drawn: E.T./J.V.  
Checked: J.V.  
CADD File: 835 ALTON RD ARCH PB 04-17-16.dwg

DRAWN

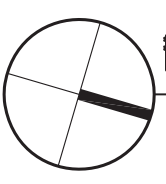
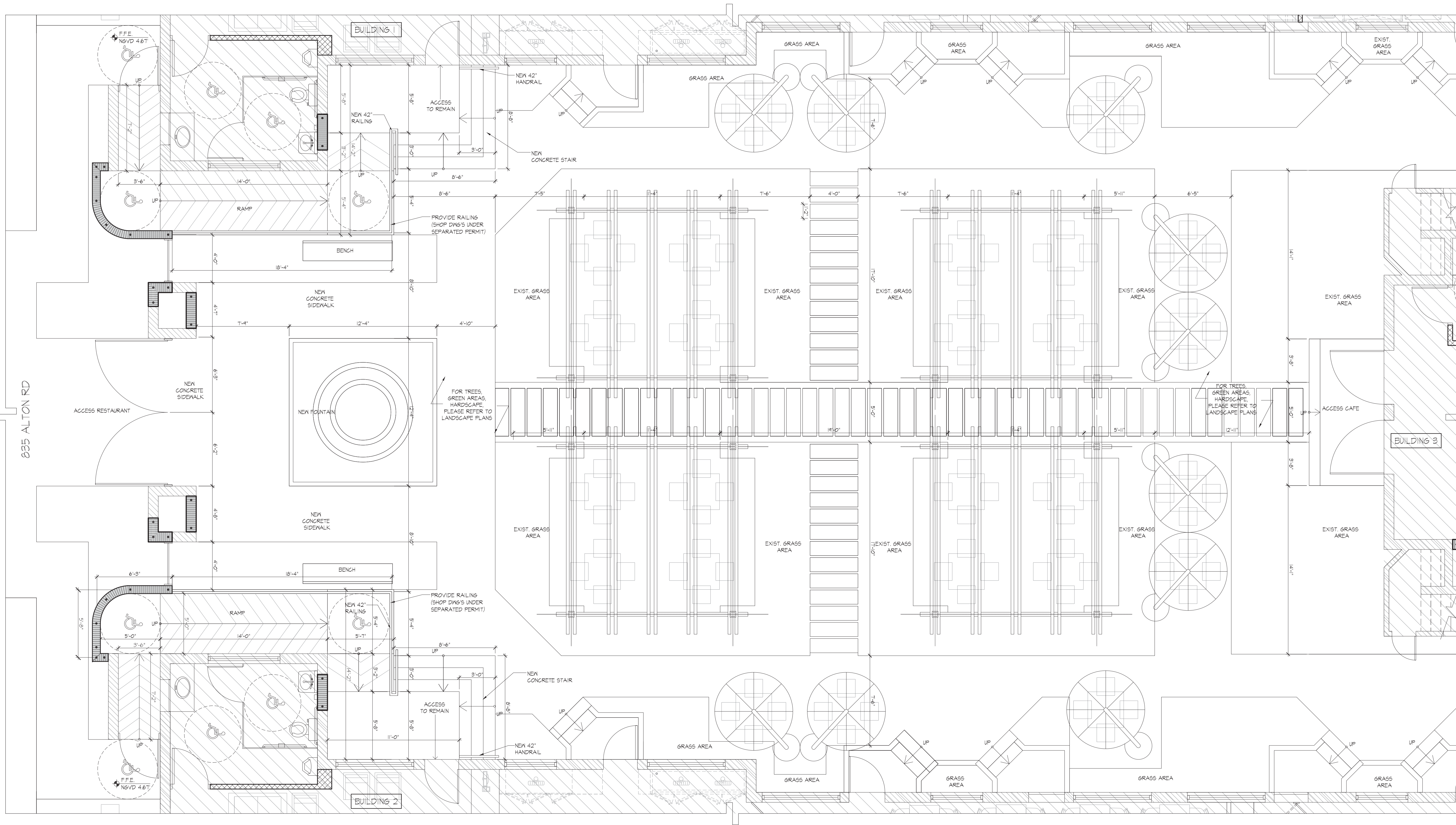
DRAWING TITLE

BUILDING 3  
FLOOR PLAN

SHEET NO.

A-9

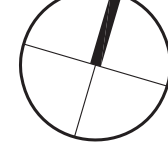
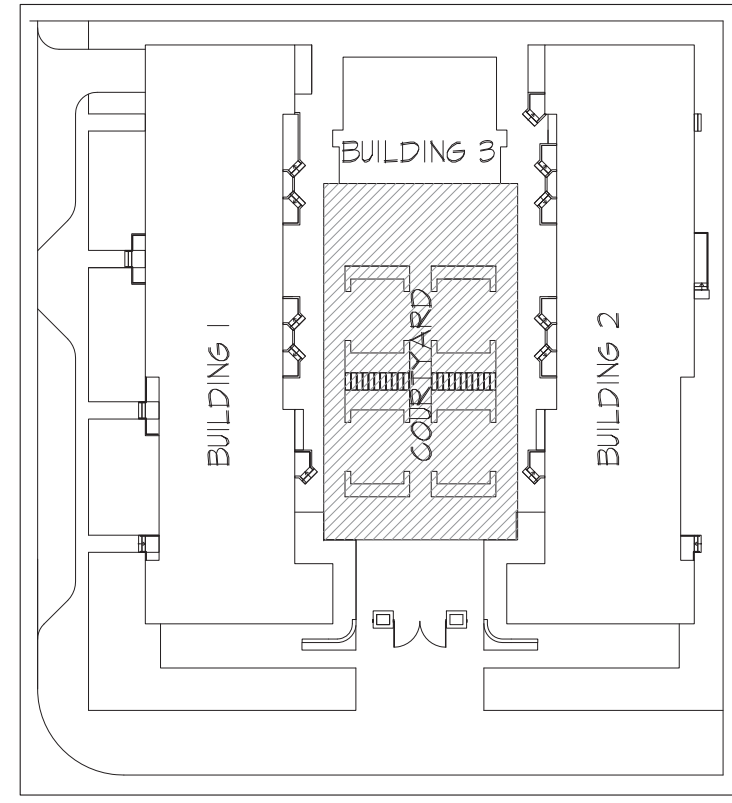




PROPOSED COURTYARD FLOOR PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND:	
	NEW PARTITION WALL
	NEW C.M.U. WALL
	EXISTING TO REMAIN



KEY PLAN

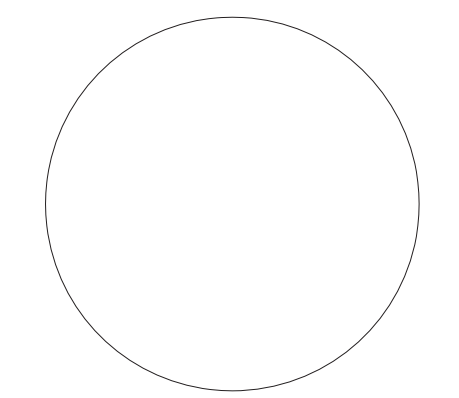


CROSSBOWER CORP.

GENERAL CONTRACTOR  
CONSTRUCTION MANAGEMENT  
ARCHITECTURE  
PLANNING • INTERIOR DESIGN  
ENGINEERING

3247 N.E. 168 STREET  
NORTH MIAMI BEACH, FL 33160  
PH: 786-955 8504  
FAX: 866-300 5184  
CHRISTIAN BALLESTEROS  
• AR 14201 • ID 4319 • C.C. 47256  
crossbower@crossbower.net

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MIAMI BEACH, FL 33139

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DRAWN

DRAWING TITLE

COURTYARD  
FLOOR PLAN

SHEET NO.

A-10



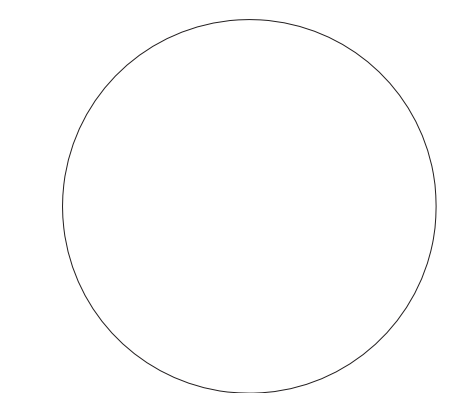


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GENERAL CONTRACTOR  
CONSTRUCTION MANAGEMENT  
ARCHITECTURE  
PLANNING • INTERIOR DESIGN  
ENGINEERING

3247 N.E. 168 STREET  
NORTH MIAMI BEACH, FL 33160  
PH: 786-955 8504  
FAX: 866-300 5184  
CHRISTIAN BALLESTEROS  
• AR 14201 • ID 4319 • CGC 47236  
crossbower@crossbower.net

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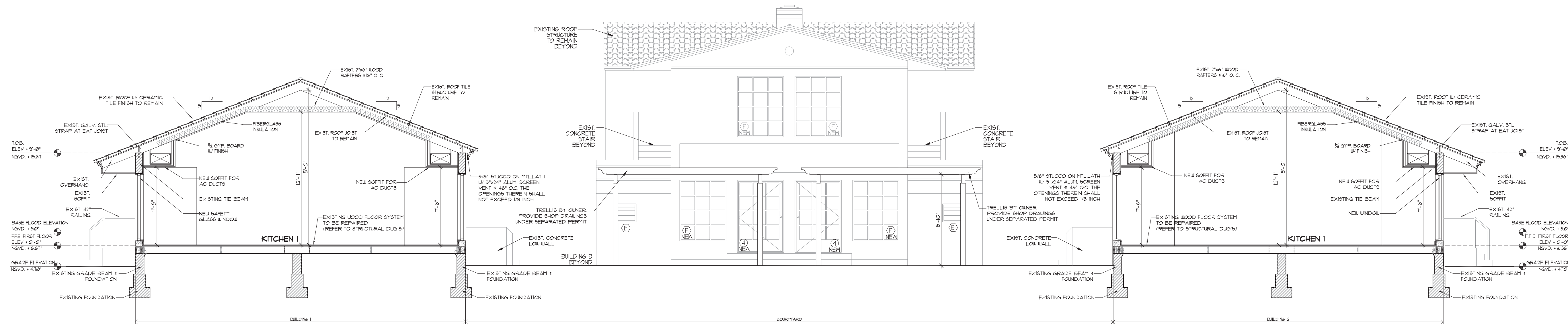
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BUILDING  
SECTION

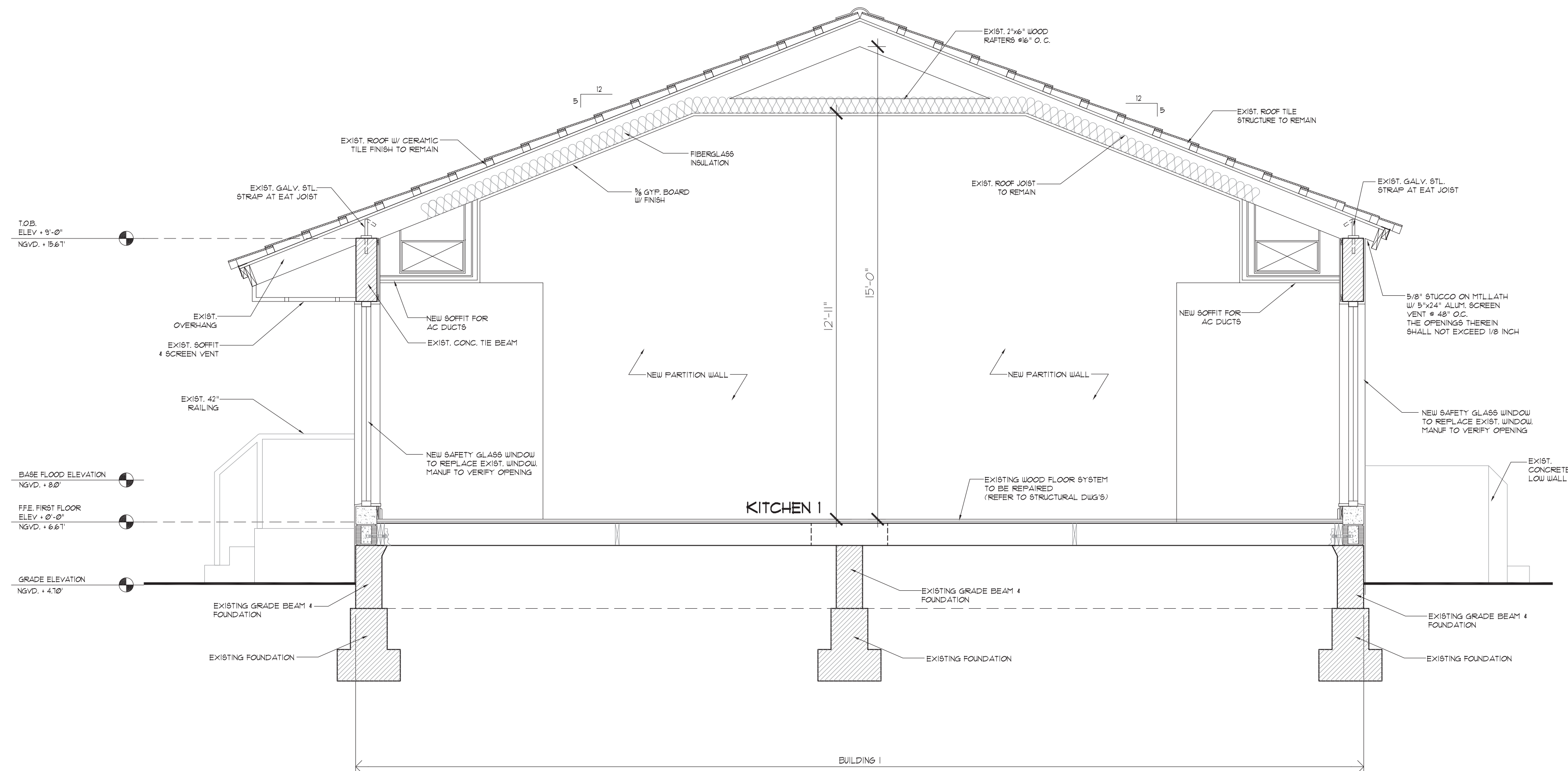
SHEET NO.

A-11



SECTION "A" - ELEVATION

SCALE: 3/16" = 1'-0"



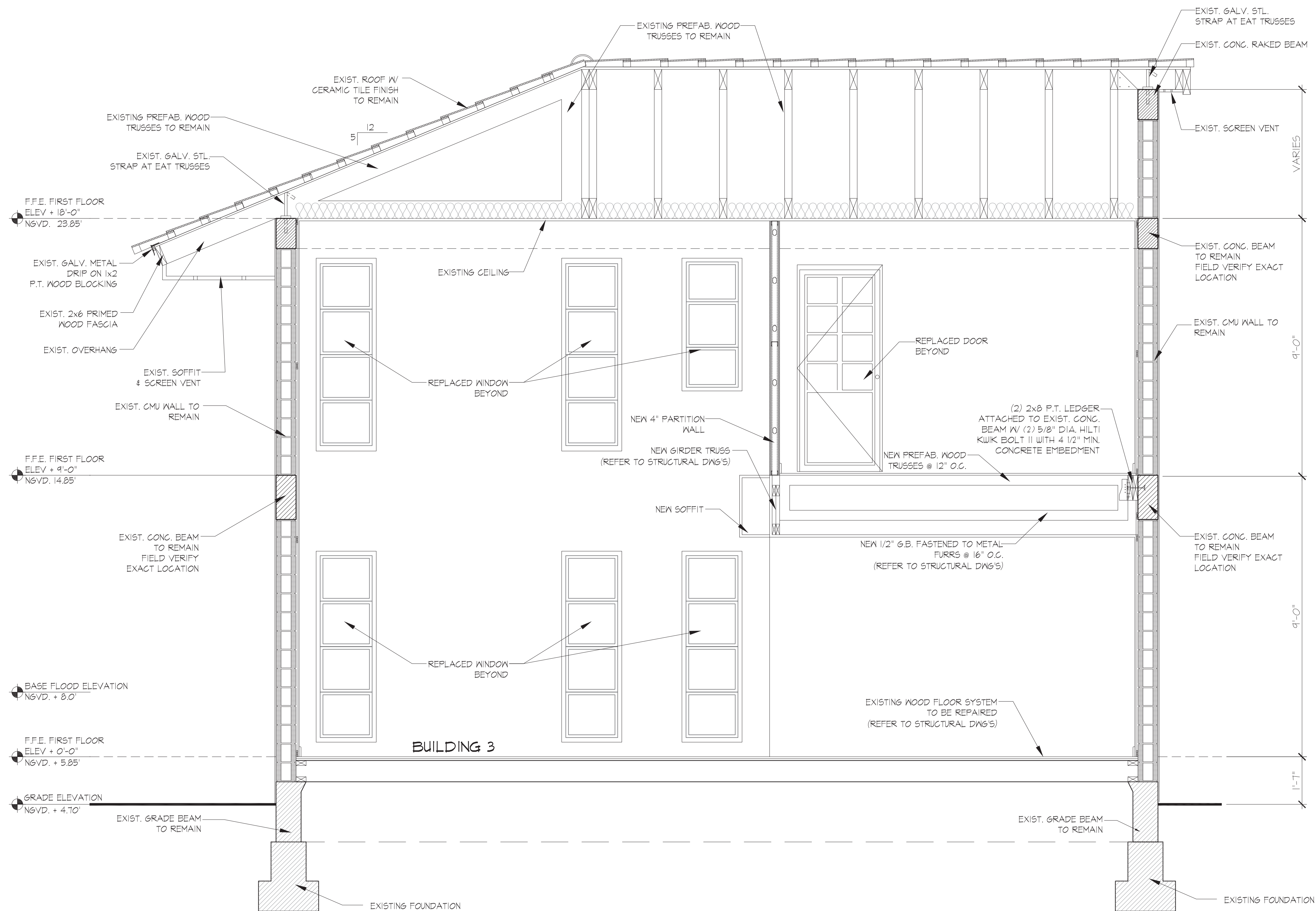
SECTION "B"

BUILDING 1

KITCHEN

SCALE: 3/8" = 1'-0"





SECTION "I"  
BUILDING 3  
SCALE: 1/2" = 1'-0"



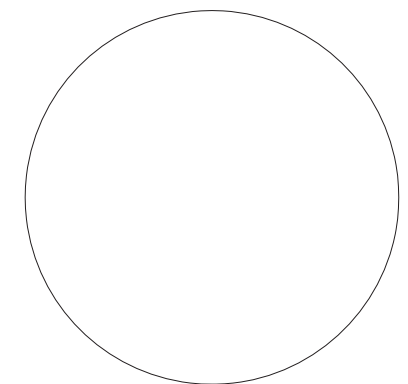
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CONSTRUCTION MANAGEMENT  
ARCHITECTURE  
PLANING • INTERIOR DESIGN  
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CADD File:

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DRAWN

DRAWING TILE

BUILDING 3  
SECTION

SHEET NO.

A-12