

CITY OF MIAMI BEACH

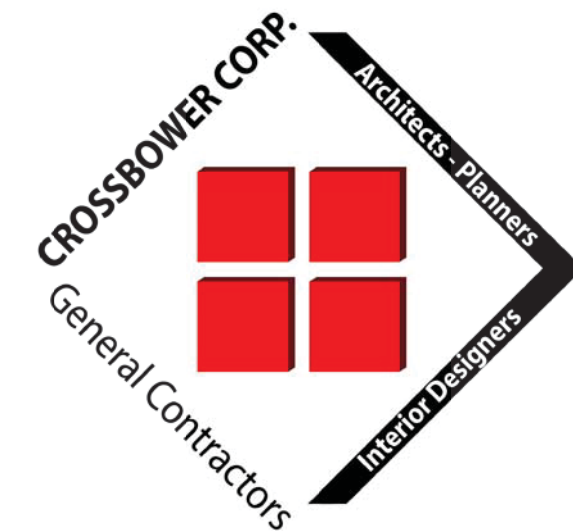
ALTON ROAD

RESTAURANTS & PATIO

835, 845 & 855 ALTON ROAD MIAMI BEACH FLORIDA 33139



ARCHITECT



CROSS BOWER CORP.
GENERAL CONTRACTOR
CONSTRUCTION MANAGEMENT
ARCHITECTURE
PANING ■ INTERIOR DESIGN
ENGINEERING

■ ■ ■ ■
3247 N.E. 168 STREET
NORTH MIAMI BEACH, FL.33160
PH: 786-955 8504
FAX: 866-300 5184

CHRISTIAN BALLESTEROS
■ AR.14201 ■ ID.4319 ■ CGC.47236 ■
crossbower@crossbower.net

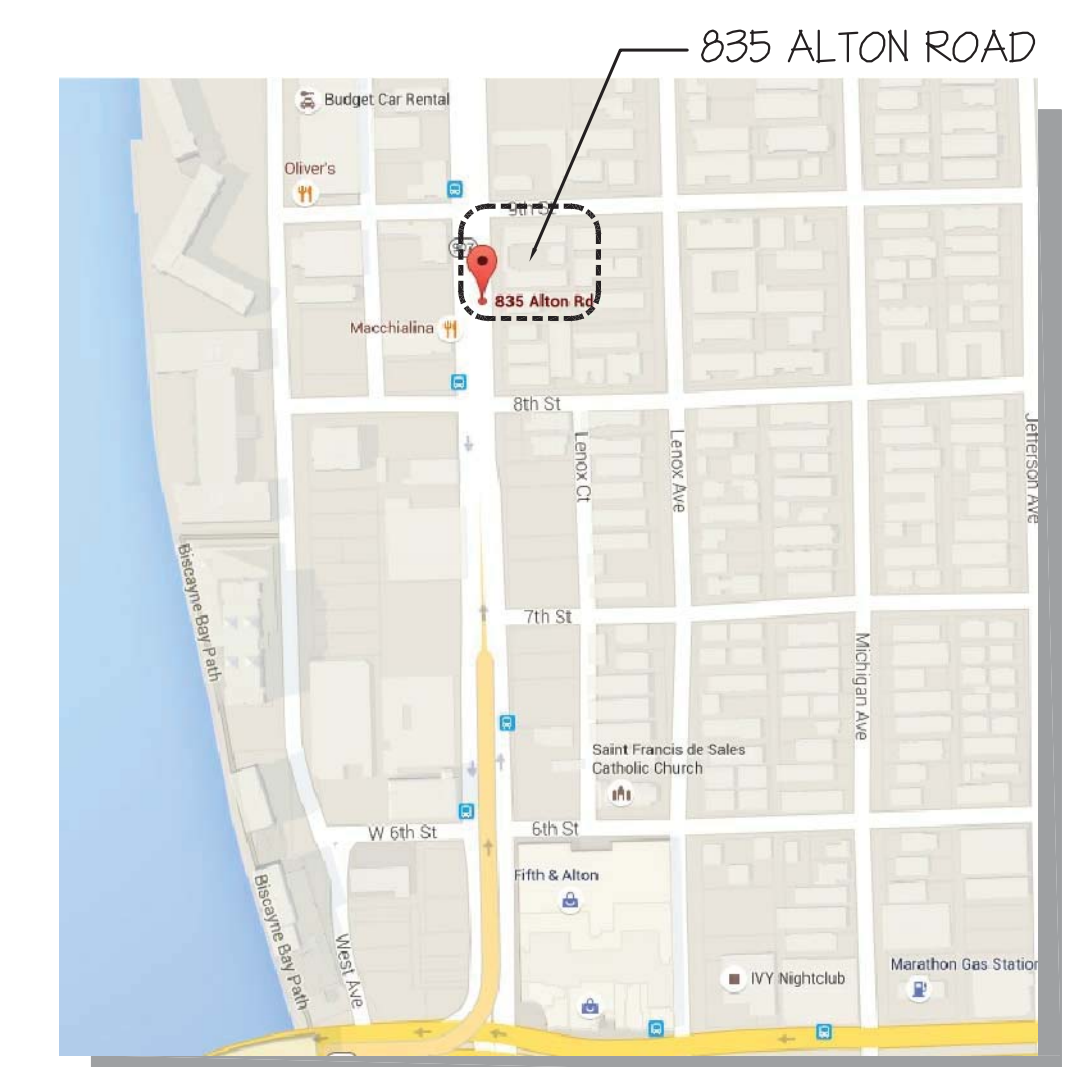
LANDSCAPE ARCHITECT

JUNCAL DESIGN STUDIO
Casto Miguel Juncal
LA 6667184
20449 SW 93 AVE.
CUTLER BAY, FL 33189
PH: 786 955 8504

OWNER

DIT GLOBAL, INC.
1198 Biscayne Blvd. Suite 401
Miami, FL 33161

FINAL SUBMITTAL
MAY 4TH, 2016



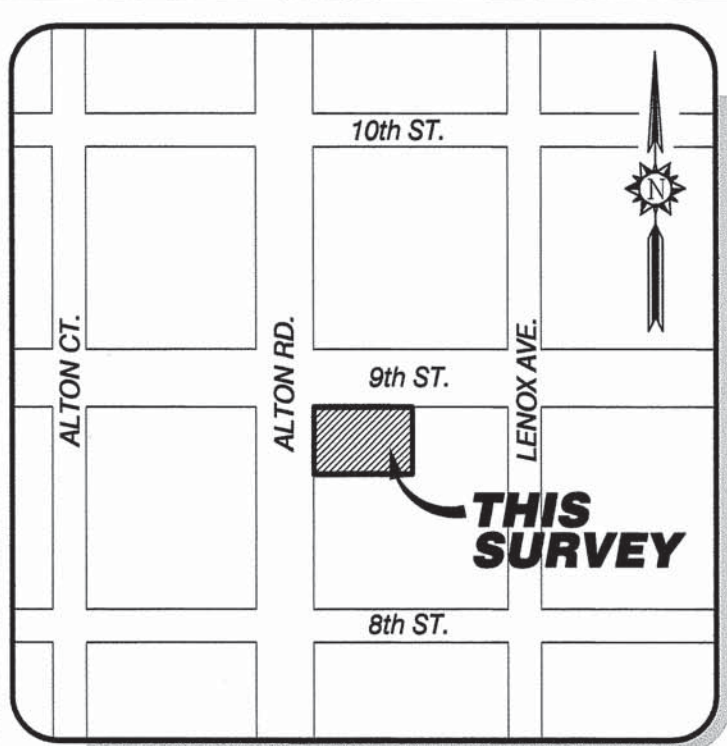
SCOPE OF WORK

CONDITIONAL USE FOR NEW RESTAURANTS

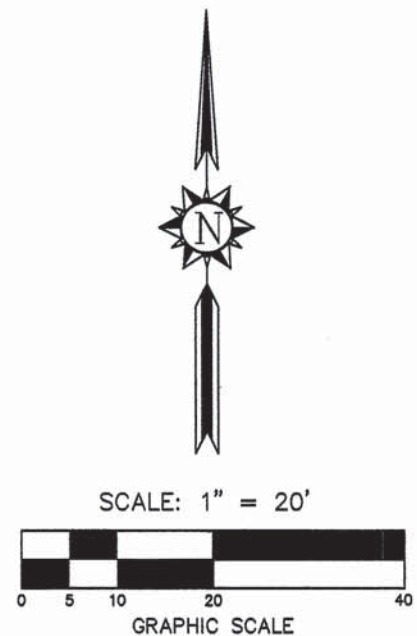
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Location Map
NOT TO SCALE



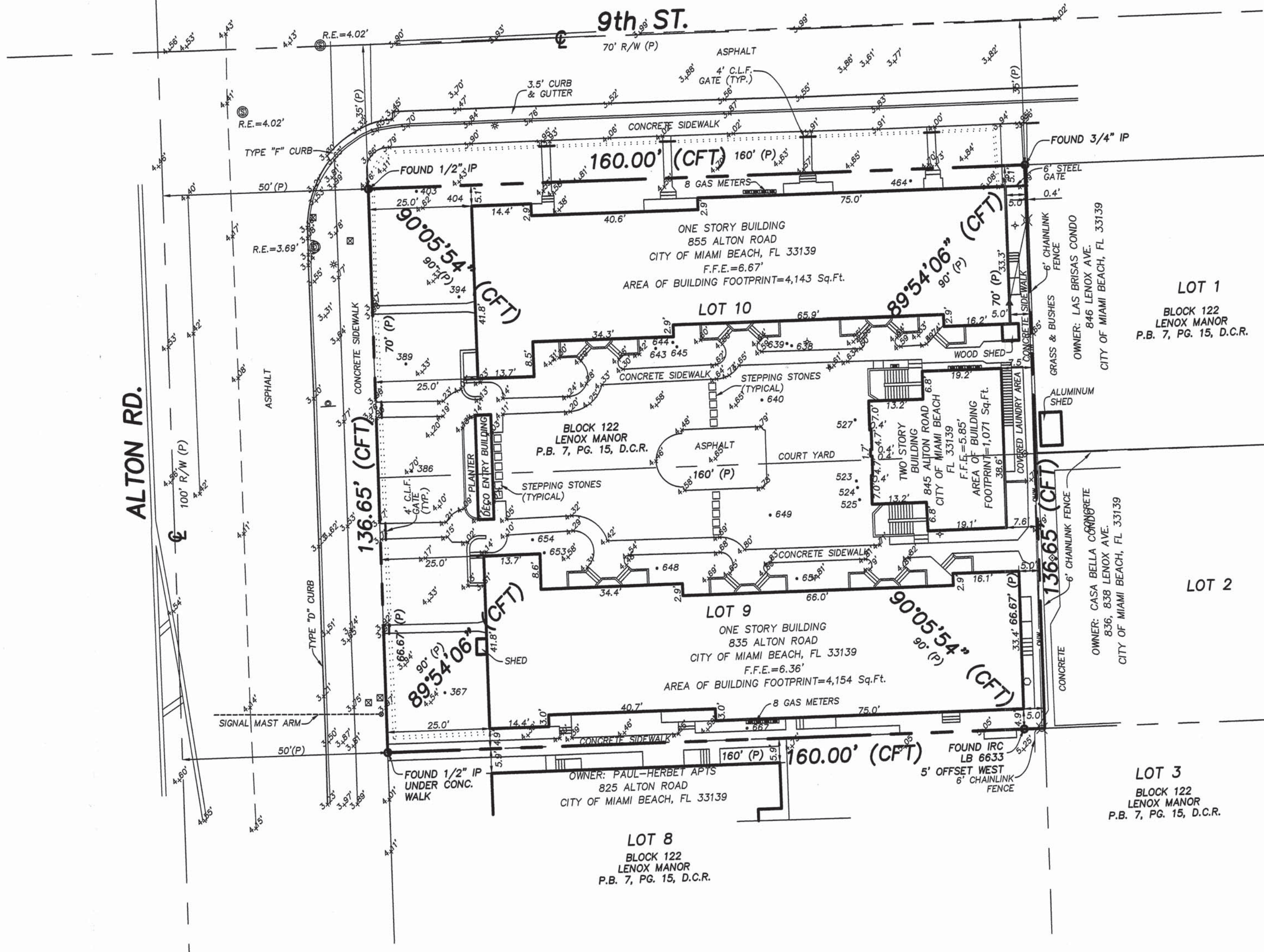
TREE TABLE		
NUMBER	TYPE	SIZE
367	FICUS	30"
386	SOLITARY PALM	4"
389	SOLITARY PALM	3"
394	SOLITARY PALM	3"
403	SCHFELERA	18"
404	SOLITARY PALM	3"
464	STUMP	N/A
523	SOLITARY PALM	4"
524	SOLITARY PALM	4"
525	SOLITARY PALM	4"
527	SOLITARY PALM	3"
536	SOLITARY PALM	4"
639	SOLITARY PALM	4"
640	UNKNOWN	24"
643	CABBAGE PALM	15"
644	SOLITARY PALM	5"
645	SOLITARY PALM	4"
648	SOLITARY PALM	4"
649	UNKNOWN	24"
651	STUMP	N/A
653	UNKNOWN	3"
654	UNKNOWN	3"
667	CABBAGE PALM	18"

LEGEND:

D.C.R.	MIAMI-DADE COUNTY RECORDS
O.R.B.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
P.G.	PAGE
L.B.	LICENSED BUSINESS
F.F.E.	FINISHED FLOOR ELEVATION
⊙	CENTERLINE
(P)	PER PLAT
(CFT)	PER CALCULATED FIELD TRAVERSE
N/D	NAIL AND DISK
IP	IRON PIPE
IRC	IRON ROD AND CAP
LB	LICENSE BUSINESS
PCP	PERMANENT CONTROL POINT
C.L.F.	CHAIN LINK FENCE
Sq.Ft.	SQUARE FEET
⊕	GAS METER
▲	ELECTRIC METER
⊗	WOOD POWER POLE
⊙	METAL LIGHT POLE
⊕	CLEANOUT
⊙	TELEPHONE SERVICE BOX
⊕	WATER METER
⊕	BACKFLOW PREVENTER
⊕	SIGN
⊕	VALVE
⊕	FIRE HYDRANT
⊕	WIRE PULL BOX
⊕	SANITARY SEWER MANHOLE
⊕	STORM SEWER MANHOLE
⊕	CONCRETE LIGHT POLE
—OHV—	OVERHEAD WIRES
5	SURFACE ELEVATION
668	TREE NUMBER 668 - SEE TREE TABLE



DATE: Jan 28, 2016 - 2:30pm EST
FILE: F:\Archived Project Directory\ARCHIVED RECENT PROJECTS\MISC\13-7992-835 Alton Road Miami-Beach\06-6874.dwg



LEGAL DESCRIPTION:

LOTS 9 AND 10, BLOCK 122, LENOX MANOR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

APPLICABLE RESTRICTIONS OF RECORD AND ZONING/BUILDING CODES:

THE PROPERTY IS LOCATED WITHIN DISTRICT CD-2 (COMMERCIAL, MEDIUM INTENSITY). CITY OF MIAMI BEACH.

DIVISION 5. CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT

SEC 142-301. PURPOSE
THE CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT PROVIDES FOR COMMERCIAL ACTIVITIES, SERVICES, OFFICES AND RELATED ACTIVITIES WHICH SERVE THE ENTIRE CITY.

SEC 142-302. MAIN PERMITTED USES.
THE MAIN PERMITTED USES IN THE CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT ARE COMMERCIAL USES, APARTMENTS, APARTMENT/HOTELS; HOTELS; AND USES THAT SERVE ALCOHOLIC BEVERAGES AS LISTED IN ARTICLE V, DIVISION 4 OF THIS CHAPTER (ALCOHOLIC BEVERAGES). BARS, DANCE HALLS, OR ENTERTAINMENT ESTABLISHMENTS (AS DEFINED IN SECTION 114-1 OF THIS CODE) ARE PROHIBITED ON PROPERTIES GENERALLY BOUNDED BY PURDY AVENUE ON THE WEST, 20TH STREET ON THE NORTH, ALTON ROAD ON THE EAST AND DADE BOULEVARD ON THE SOUTH.

SEC 142-303. CONDITIONAL USES.
THE CONDITIONAL USES IN THE CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT ARE ADULT CONGREGATE LIVING FACILITIES; FUNERAL HOME; NURSING HOMES; RELIGIOUS INSTITUTION; PAWNSHOPS; VIDEO GAME ARCADES; PUBLIC AND PRIVATE INSTITUTIONS; SCHOOLS; ANY USE SELLING GASOLINE; OUTDOOR ENTERTAINMENT ESTABLISHMENT; NEIGHBORHOOD IMPACT ESTABLISHMENT; OPEN AIR ENTERTAINMENT ESTABLISHMENT; AND STORAGE AND/OR PARKING OF COMMERCIAL VEHICLES ON A SITE OTHER THAN THE SITE AT WHICH THE ASSOCIATED COMMERCE, TRADE OR BUSINESS IS LOCATED. SEE SECTION 142-1103.

SEC 142-306. DEVELOPMENT REGULATIONS.
THE DEVELOPMENT REGULATIONS IN THE CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT ARE AS FOLLOWS:

- MAXIMUM FLOOR AREA RATIO: 1.5
- MINIMUM LOT AREA (SQUARE FEET): COMMERCIAL--NONE, RESIDENTIAL--7,000
- MINIMUM LOT WIDTH (FEET): COMMERCIAL--NONE, RESIDENTIAL--50
- MAXIMUM BUILDING HEIGHT (FEET): 50 (EXCEPT AS PROVIDED IN SECTION 142-1161)
- MAXIMUM NUMBER OF STORIES: 5 (EXCEPT AS PROVIDED IN SECTION 142-1161)

SEC 142-307. SETBACK REQUIREMENTS.
(A) THE SETBACK REQUIREMENTS FOR THE CD-2 COMMERCIAL, MEDIUM INTENSITY DISTRICT ARE AS FOLLOWS:

	FRONT	SIDE, INTERIOR	SIDE, FACING A STREET	REAR
AT GRADE PARKING LOT ON THE SAME LOT	5 FEET	5 FEET	5 FEET	5 FEET IF ABUTTING AN ALLEY 0 FEET
SUBTERRANEAN	0 FEET	0 FEET	0 FEET	0 FEET
PEDESTAL AND TOWER (NON-OCEANFRONT)	0 FEET	10 FEET WHEN ABUTTING A RESIDENTIAL DISTRICT, OTHERWISE NONE	10 FEET WHEN ABUTTING A RESIDENTIAL DISTRICT, UNLESS SEPARATED BY A STREET OR WATERWAY, OTHERWISE NONE.	5 FEET 10 FEET WHEN ABUTTING A RESIDENTIAL DISTRICT, UNLESS SEPARATED BY A STREET OR WATERWAY IN WHICH CASE IT SHALL BE 0 FEET

(B) THE TOWER SETBACK SHALL NOT BE LESS THAN THE PEDESTAL SETBACK.

(C) PARKING LOTS AND GARAGES: IF LOCATED ON THE SAME LOT AS THE MAIN STRUCTURE THE ABOVE SETBACKS SHALL APPLY. IF PRIMARY USE THE SETBACKS ARE LISTED IN SUBSECTION 142-1132(N).

(D) MIXED USE BUILDINGS: CALCULATION OF SETBACKS AND FLOOR AREA RATIO:
(1) SETBACKS, WHEN MORE THAN 25 PERCENT OF THE TOTAL AREA OF A BUILDING IS USED FOR RESIDENTIAL OR HOTEL UNITS, ANY FLOOR CONTAINING SUCH UNITS SHALL FOLLOW THE RM-1, 2, 3 SETBACK REGULATIONS.
(2) FLOOR AREA RATIO, WHEN MORE THAN 25 PERCENT OF THE TOTAL AREA OF A BUILDING IS USED FOR RESIDENTIAL OR HOTEL UNITS, THE FLOOR AREA RATIO RANGE SHALL BE AS SET FORTH IN THE RM-2 DISTRICT.

THIS INFORMATION WAS OBTAINED FROM HTTP://WWW.MUNICODE.COM. THIS INFORMATION IS SUBJECT TO THE REVIEWER'S INTERPRETATION.

THE ABOVE STATEMENT IS NOT AN INDICATION OF THE PROPER SETBACKS FOR THIS SITE BY STONER & ASSOCIATES, INC. FOR MORE INFORMATION ABOUT SETBACKS AND ZONING FOR THIS SITE CONTACT
CITY OF MIAMI BEACH
PLANNING AND ZONING DEPARTMENT
1700 CONVENTION CENTER DRIVE, MIAMI BEACH, FLORIDA 33139
TELEPHONE: 305-673-7550, FAX: 305-673-7559

SURVEY NOTES:

- THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE PROPERTY SHOWN HEREON IS LOCATED WITHIN FLOOD ZONE AE, EL. 8, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12088C0319 L, COMMUNITY NUMBER 120651, EFFECTIVE DATE SEPTEMBER 11, 2005.
- THE PROPERTY CONTAINS AN AREA OF 0.502 ACRES (21,864 SQUARE FEET) MORE OR LESS.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
- THE ELEVATIONS SHOWN HEREON ARE BASED UPON BAY DATUM, ESTABLISHED FROM CITY OF MIAMI BEACH BENCHMARK NO. 8-04-R, DESCRIBED AS FOLLOWS: PK NAIL AND DISC, LOCATED AT THE NE QUADRANT OF 8TH ST. AND MICHIGAN AVE. ELEVATION = 4.64'.
- THIS FIRM HAS IDENTIFIED VARIOUS TYPES OF TREES LOCATED ON THIS SITE BASED ON COMMON KNOWLEDGE OF TREE SPECIES. A QUALIFIED LANDSCAPE ARCHITECT SHOULD BE EMPLOYED FOR POSITIVE IDENTIFICATION OF TREE SPECIES. TREE DIAMETERS ARE APPROXIMATE AND WERE MEASURED AT BREAST HEIGHT. ONLY TREES 3 CALIPER INCHES IN DIAMETER OR LARGER WERE LOCATED AND SHOWN ON THE SURVEY. HEDGES AND GROUND COVER WERE NOT LOCATED AND ARE NOT SHOWN. EXOTIC TREES SUCH AS MALALEUCA, BRAZILIAN PEPPER AND AUSTRALIAN PINE WERE NOT LOCATED OR SHOWN HEREON.
- THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THE SURVEYOR DID NOT INSPECT THE PROPERTY SHOWN HEREON FOR ENVIRONMENTAL HAZARDS.
- EXTERIOR BUILDING DIMENSIONS ARE AT GROUND LEVEL. BUILDING TIES ARE TO THE EXTERIOR WALLS. ARCHITECTURAL DETAILS MAY NOT BE SHOWN ON THE SURVEY.
- AT THE TIME OF SURVEY THERE WAS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- AT THE TIME OF SURVEY THERE WAS NO EVIDENCE OF SITE BEING USED AS SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. SUBSURFACE UTILITIES, FOUNDATIONS AND ENCROACHMENTS WERE NOT LOCATED AND ARE NOT SHOWN HEREON. THIS SITE COULD HAVE UNDERGROUND INSTALLATIONS THAT ARE NOT SHOWN HEREON. BEFORE DESIGN, CONSTRUCTION OR EXCAVATION, CONTACT SUNSHINE STATE ONE CALL OF FLORIDA (1-800-432-4770) AND THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION OF UTILITIES.
- THE PARCEL SHOWN HEREON IS BASED UPON THE PLAT OF LENOX MANOR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, AT PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. STONER & ASSOCIATES, INC., DID NOT SEARCH THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA FOR OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER MATTERS AFFECTING THE PROPERTY BEING SURVEYED. THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY STONER & ASSOCIATES, INC. (S&A). S&A HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. S&A MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT S&A DIRECTLY FOR VERIFICATION OF ACCURACY.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

THIS SURVEY IS CERTIFIED TO:

DIT GLOBAL, INC., A FLORIDA CORPORATION
NEW WAVE LEADERS 2015-B LP ITS SUCCESSORS AND/OR ASSIGNS, ATIMA
MILESTONE TITLE COMPANY
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

CERTIFICATE:

THIS IS TO CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DATE: FEBRUARY 6, 2014.

RICHARD G. CRAWFORD, JR.
PROFESSIONAL SURVEYOR AND MAPPER NO. 5731
STATE OF FLORIDA
STONER AND ASSOCIATES, INC. L.B. 6633

NO.	REVISION	DATE	BY
1.	UP-DATE SURVEY (JOB# 13-7992)	11/12/13	DRL
2.	UP-DATE CERTIFICATION - NO SITE VISIT	01/28/16	RCG

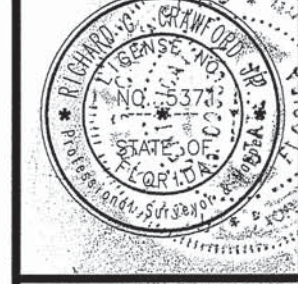
TEL: (954) 585-0987
FAX: (954) 585-3927

STONER & ASSOCIATES, Inc.
SURVEYORS - MAPPERS
and
Mapping & Business Inc. 6633

4341 S.W. 62nd AVENUE TOWN OF DAVE, FLORIDA 33314

BOUNDARY AND TOPOGRAPHIC SURVEY
835, 845, 855 ALTON ROAD
(LOTS 9-10, BLOCK 122, P.B. 7, PG. 15, D.C.R.)
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

DATE OF SURVEY: 4/13/06	DRAWN: WDLR	CHECKED: JDLR	FIELD BOOK: 77
77 FIELD DATA COLLECTOR			



PROJECT
06-6874

SHEET NO.
1 of 1



AERIAL VIEW 1 (ALTON ROAD)
(FROM NORTH)



AERIAL VIEW 2 (9TH STREET)
(FROM NORTHEAST)



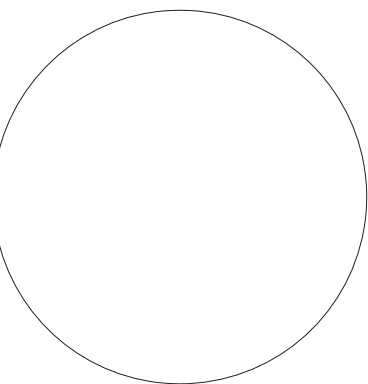
CROSSBOWER CORP.

GENERAL CONTRACTOR
CONSTRUCTION MANAGEMENT
ARCHITECTURE
PLANING • INTERIOR DESIGN
ENGINEERING

3247 N.E. 168 STREET
NORTH MIAMI BEACH, FL 33160
PH: 786-955 8504
FAX: 866-300 5184

CHRISTIAN BALLESTEROS
• AR 14201 • ID 4319 • CGC 47236 •
crossbower@crossbower.net

PROFESSIONAL SEAL



PROJECT NAME

ALTON ROAD
RESTAURANTS
& PATIO

PROJECT ADDRESS

835, 845 & 855 ALTON ROAD
MIAMI BEACH, FL 33139

REVISION

Project No: 2015-152
Scale: AS NOTED
Date: 03-31-2016
Drawn: E.T./S.V.
Checked: J.V.
CADD File: 835 ALTON RD SITE PB 04-17-16.dwg

DRAWN

DRAWING TILE

LOCATION
PLAN

SHEET NO.

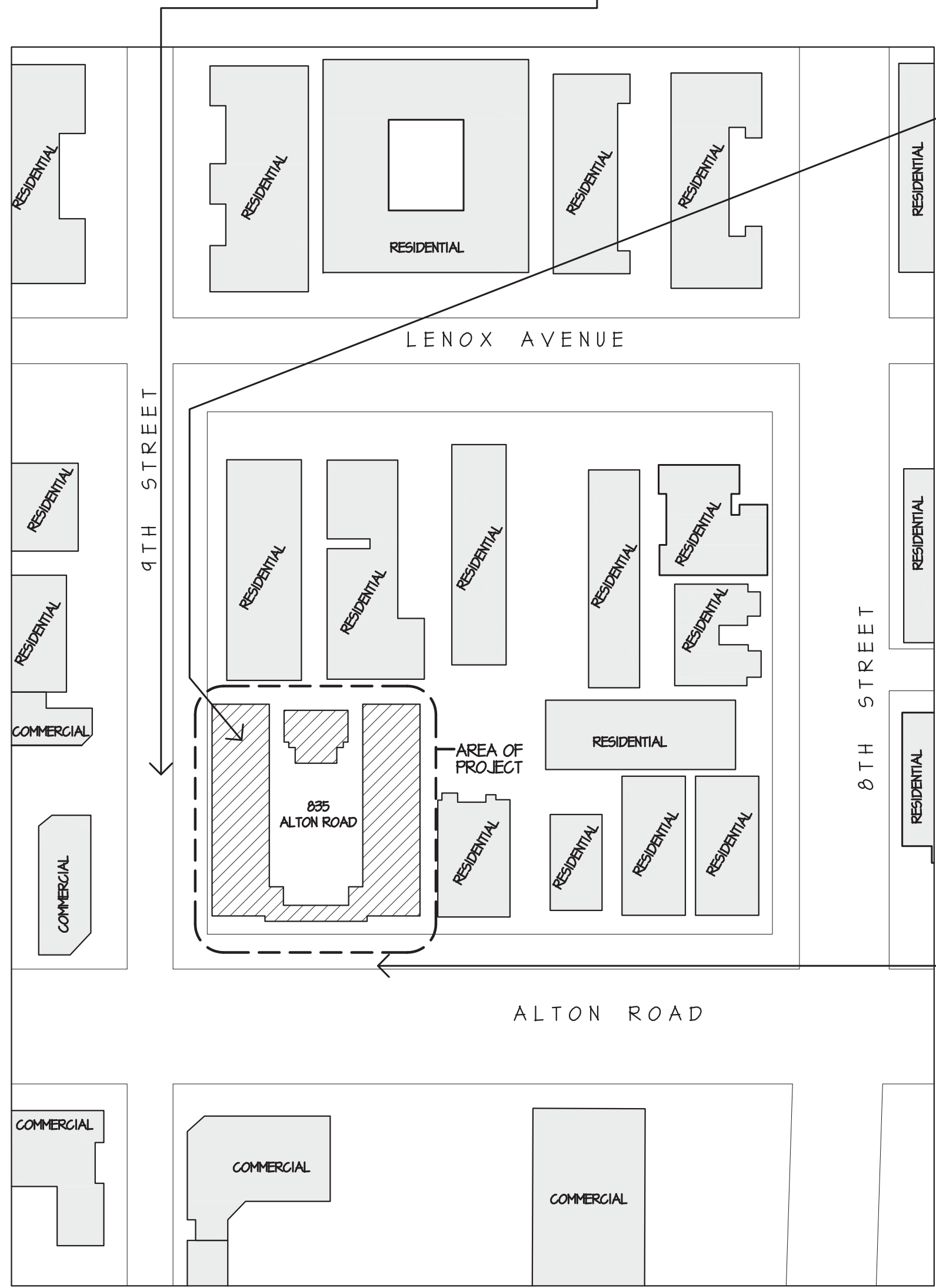
LP-1



AERIAL VIEW 3 (FROM EAST LOOKING AT WEST)



AERIAL VIEW 4 (FROM NORTH-EAST LOOKING AT SOUTH-WEST)



LOCATION SITE PLAN
N.T.S.

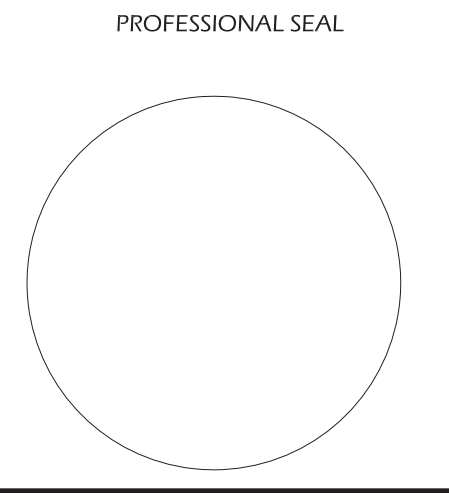


AERIAL VIEW 5 (FROM SOUTH LOOKING AT NORTH)



CROSSBOW CORP.
GENERAL CONTRACTOR
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ARCHITECTURE
PLANNING • INTERIOR DESIGN
ENGINEERING

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crossbow@crossbow.net



PROJECT NAME
**ALTON ROAD
RESTAURANTS
& PATIO**

PROJECT ADDRESS
835, 845 & 855 ALTON ROAD
MIAMI BEACH, FL 33139

REVISION

Project No: 2015-152
Scale: AS NOTED
Date: 03-31-2016
Drawn: E.T./S.V.
Checked: J.V.
CADD File: 835 ALTON RD SITE PB 04-27-16.dwg

DRAWN

DRAWING TITLE
**SURROUNDING
PICTURES**

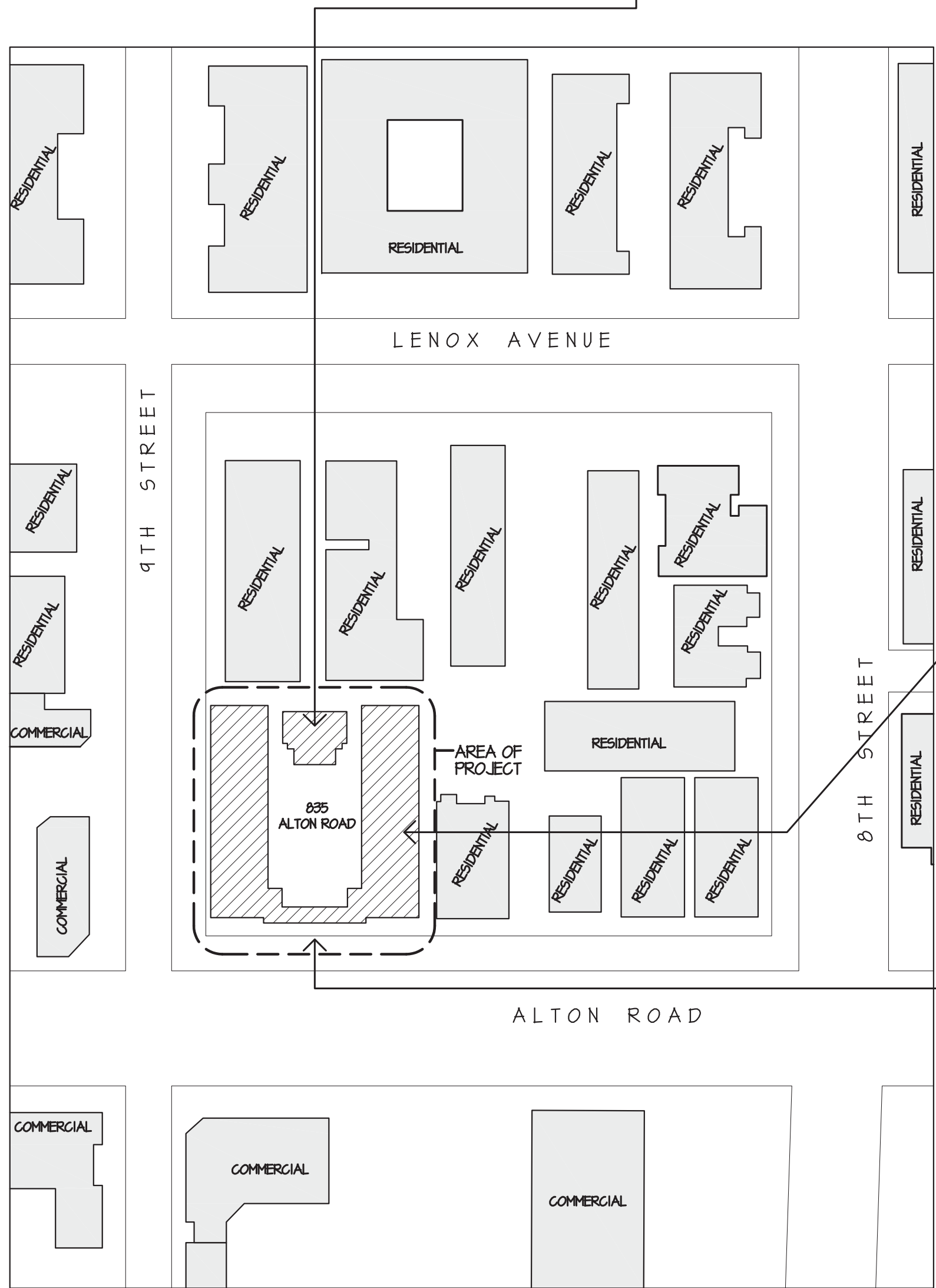
SHEET NO.
LP-2



AERIAL VIEW 6 (COURTYARD FROM EAST LOOKING AT WEST)



AERIAL VIEW 7 (COURTYARD FROM SOUTH LOOKING AT NORTH)



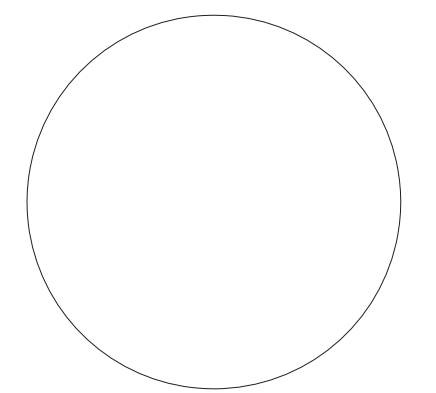
AERIAL VIEW 8 (COURTYARD FROM TOP)



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CONSTRUCTION MANAGEMENT
ARCHITECTURE
PLANNING • INTERIOR DESIGN
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PROFESSIONAL SEAL



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& PATIO

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835, 845 & 855 ALTON ROAD
MIAMI BEACH, FL 33139

REVISION

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DRAWN

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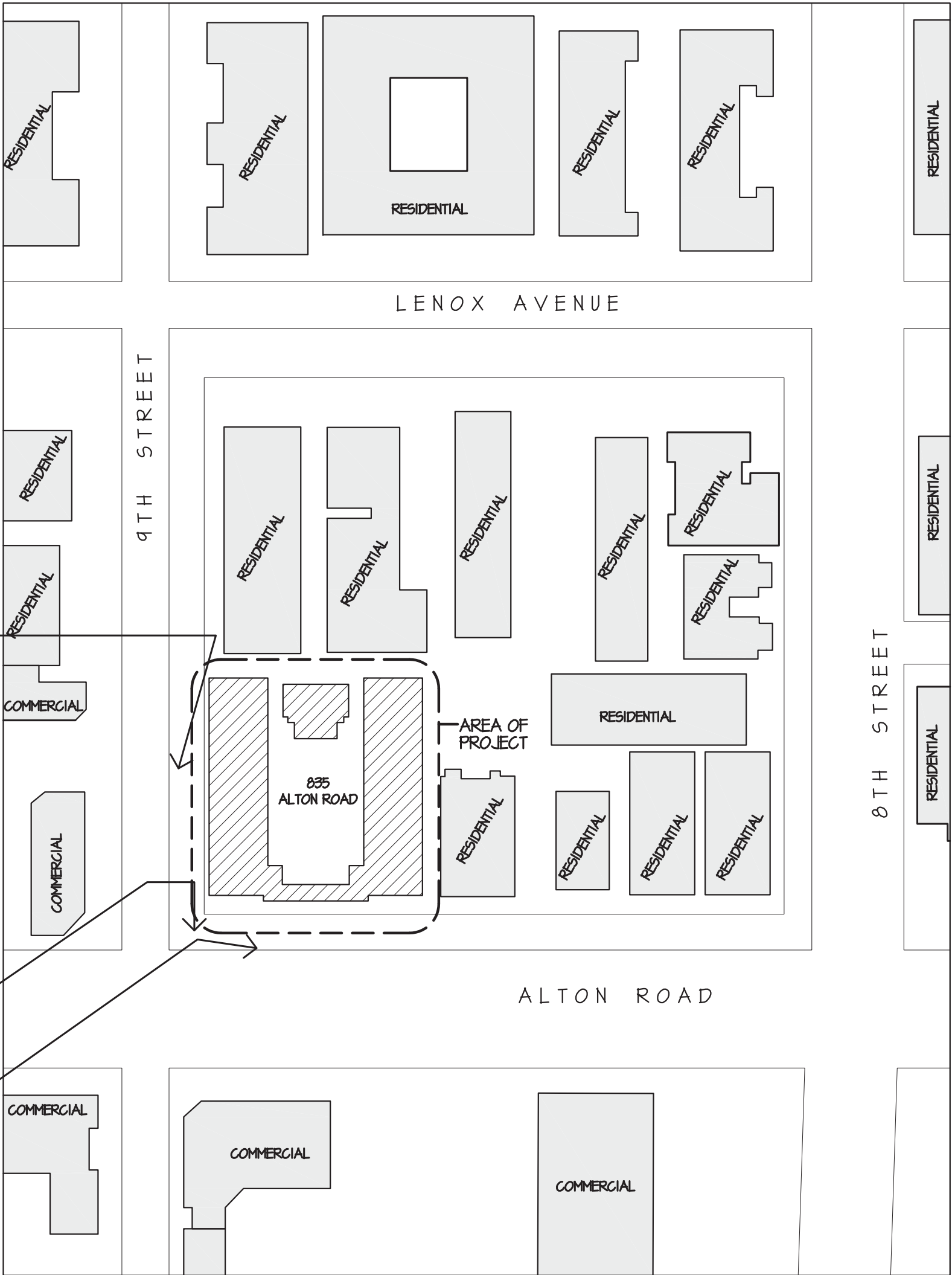
COURTYARD
PICTURES

SHEET NO.

LP-3



STREET VIEW A (FROM 9TH STREET SIDEWALK LOOKING AT WEST)



LOCATION SITE PLAN
N.T.S.



STREET VIEW B (FROM CORNER SIDEWALK LOOKING AT WEST)



STREET VIEW C (FROM ALTON ROAD SIDEWALK LOOKING AT SOUTH)

CROSSBOWER CORP.
General Contractors

DESIGN-BUILD

GENERAL CONTRACTOR

CONSTRUCTION MANAGEMENT

ARCHITECTURE

PLANNING • INTERIOR DESIGN

ENGINEERING

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MIAMI BEACH, FL 33139

REVISION

Project No: 2015-152

Scale: AS NOTED

Date: 03-31-2016

Drawn: E.T./S.V.

Checked: J.V.

CADD File: 835 ALTON RD SITE PB 04-26-16.dwg

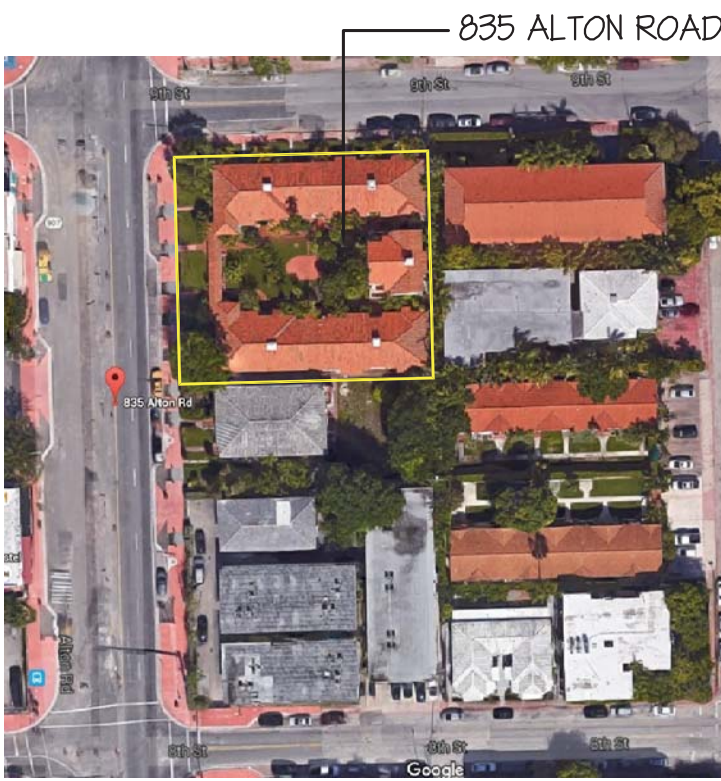
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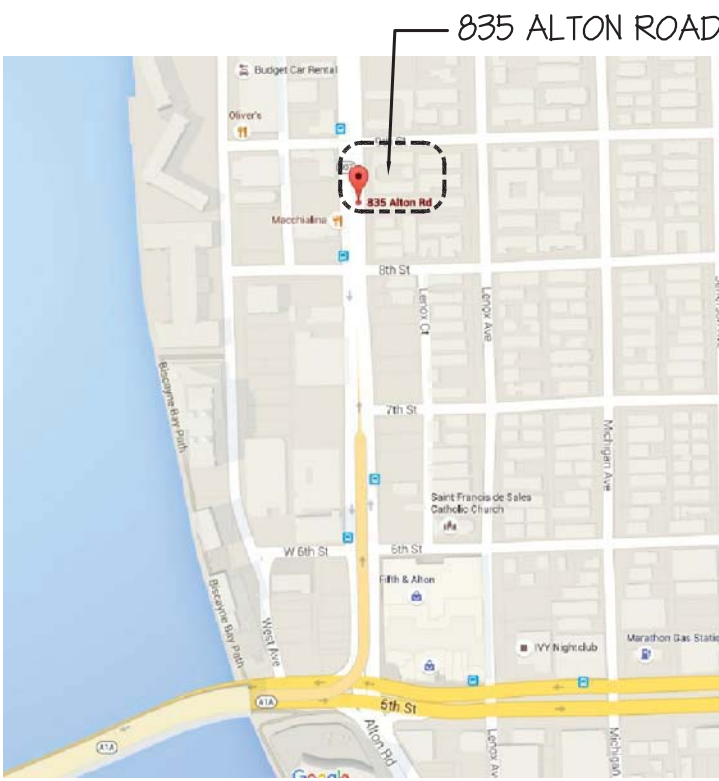
SURROUNDING
PICTURES

SHEET NO.

LP-4



AERIAL VIEW
N. T. S.



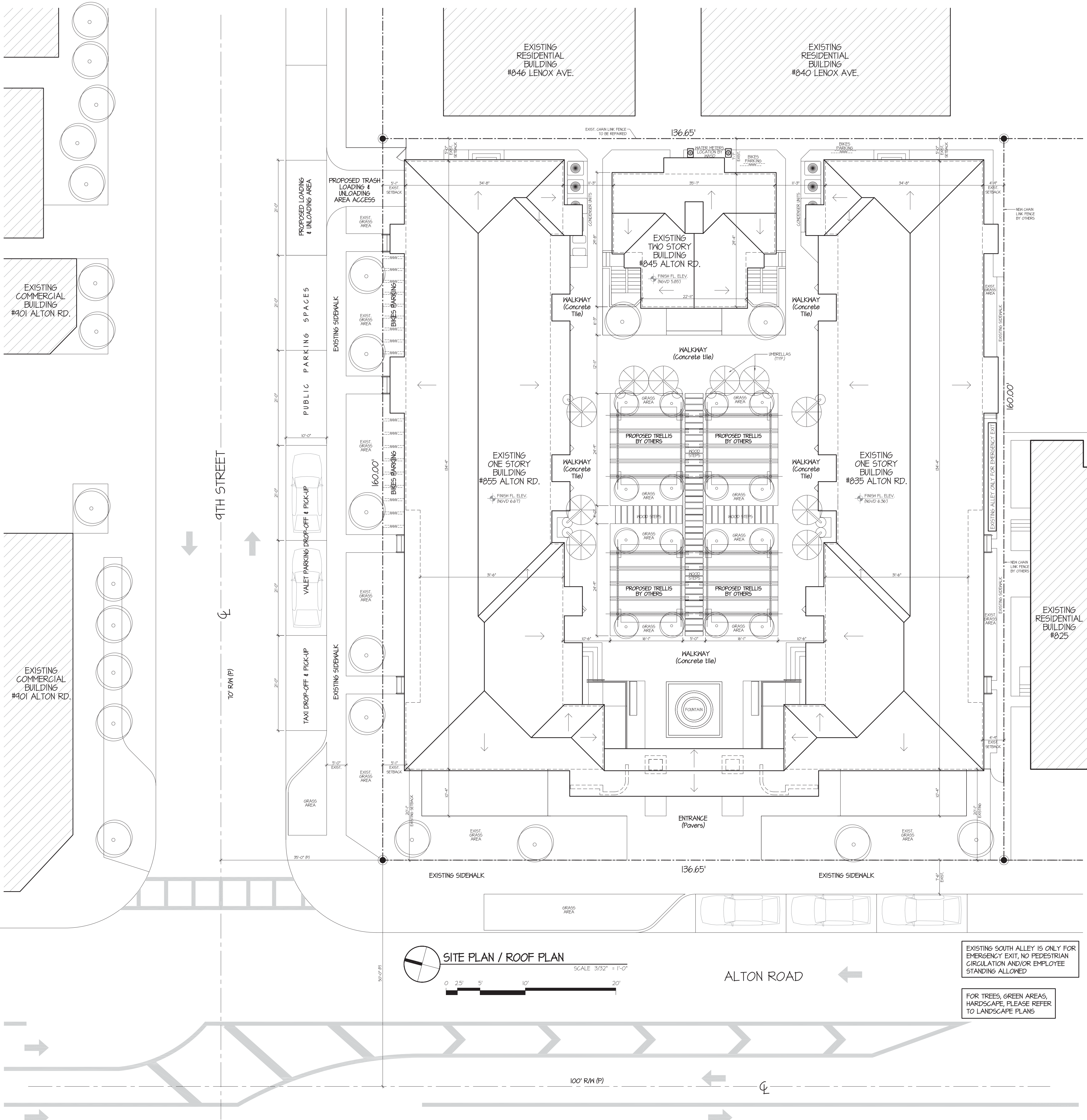
LOCATION
N. T. S.

ZONING LEGEND		
ZONING CLASSIFICATION: CD-2 (COMMERCIAL - MEDIUM INTENSITY)		
EXISTING LAND USE: RESIDENTIAL		
PROPOSED USES: RESTAURANTS & BOUTIQUE		
CONSTRUCTION REQUIREMENTS		
CONSTRUCTION TYPE: V-B		
OCCUPANCY: ASSEMBLY (A-2) (RESTAURANTS) MERCANTILE (M) (BOUTIQUE - STORE)		
AREAS		
GROSS LAND AREA: 21,864 S.F. (0.50 ACRES)		
TOTAL BUILDING AREA: 9,819 S.F. (44.91%)		
TOTAL OPEN AREA: 12,045 S.F. (55.09%)		
SETBACKS		
FRONT SETBACK	ALLOWED	EXISTING
REAR SETBACK		20'-1"
SIDE STREET SETBACK		5'-0"
SIDE INTERIOR SETBACK		5'-1"
		4'-4"

LEGAL DESCRIPTION
LOT 4 & 10, BLOCK 122, "LENOX MANOR", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 7, PAGE 15, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CONSTRUCTION REQUIREMENTS
CONSTRUCTION TYPE: V-B
OCCUPANCY: ASSEMBLY (A-2) & MERCANTILE (M)
LEVEL 2 ALTERATION
UNPROTECTED - UNSPRINKLED
CONSTRUCTION TYPE: V-B
FLAME SPREAD RATING CLASSIFICATION OF INT. FINISHES
EXITS CLASS A
ACCESS TO EXITS CLASS A OR B
OTHER SPACES CLASS B OR C
AS PER TABLE 603.4, FBC 2014

APPLICABLE CODES
- FBC 2014 BUILDING
- FBC 2014 EXISTING BUILDING
- FLORIDA FIRE PREVENTION CODE 2014 INCLUDING NFPA 2012 EDITION.



CROSSBOW CORP.
GENERAL CONTRACTOR
CONSTRUCTION MANAGEMENT
ARCHITECTURE
PLANNING • INTERIOR DESIGN
ENGINEERING

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CHRISTIAN BALLESTEROS
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PROJECT NAME
**ALTON ROAD
RESTAURANTS
& PATIO**

PROJECT ADDRESS
**835, 845 & 855 ALTON ROAD
MIAMI BEACH, FL 33139**

REVISION

Project No: 2015-152
Scale: AS NOTED
Date: 03-31-2016
Drawn: E.T./S.V.
Checked: J.V.
CADD File: 835 ALTON RD SITE PB 04-27-16.dwg

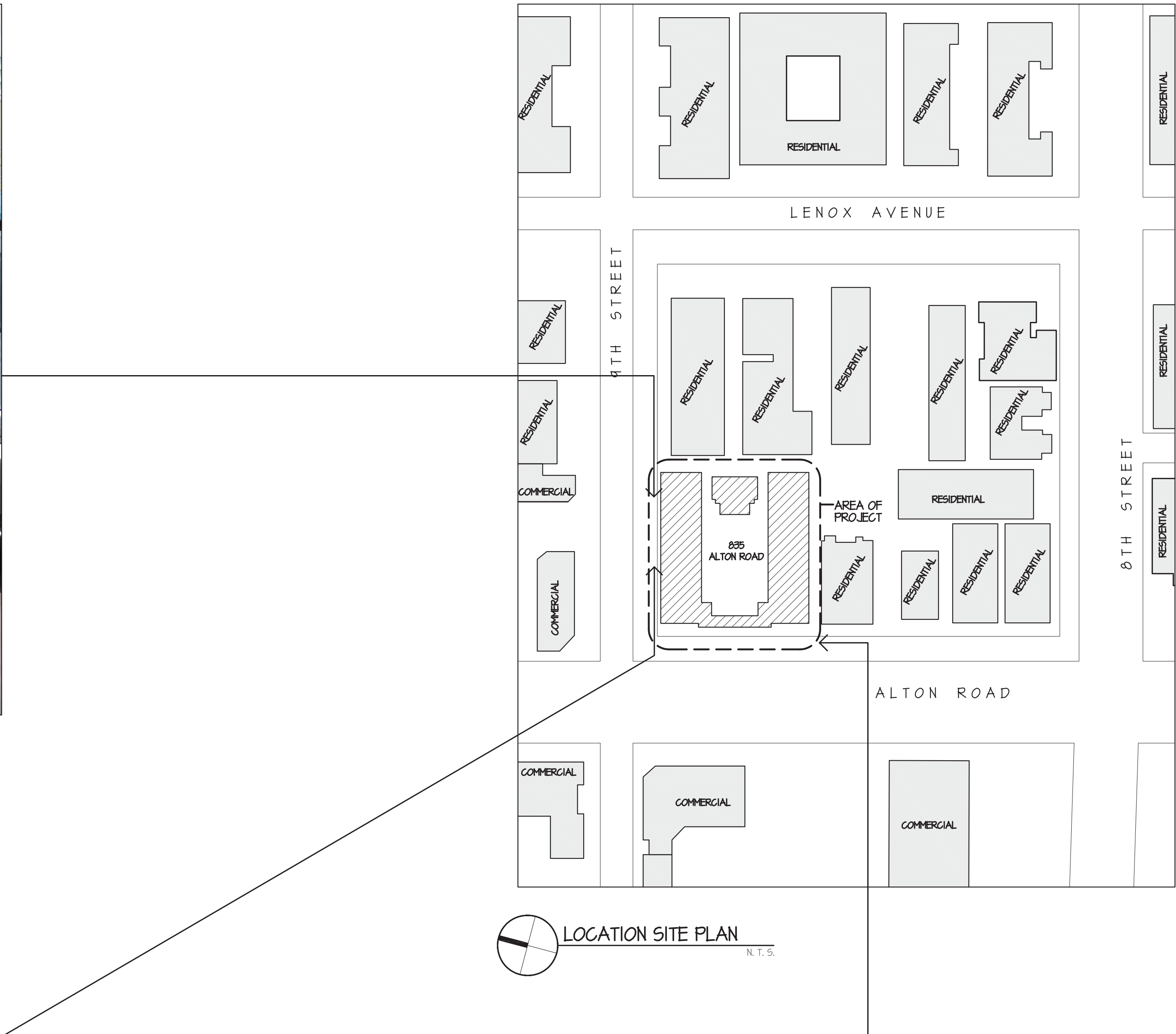
DRAWN

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SITE PLAN

SHEET NO.
SP-1



STREET VIEW 1 (9TH STREET)



STREET VIEW 2 (9TH STREET)



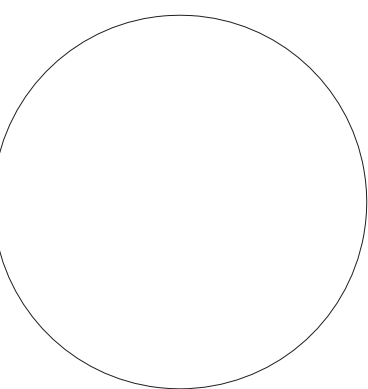
STREET VIEW 3 (ALTON ROAD)



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PROFESSIONAL SEAL



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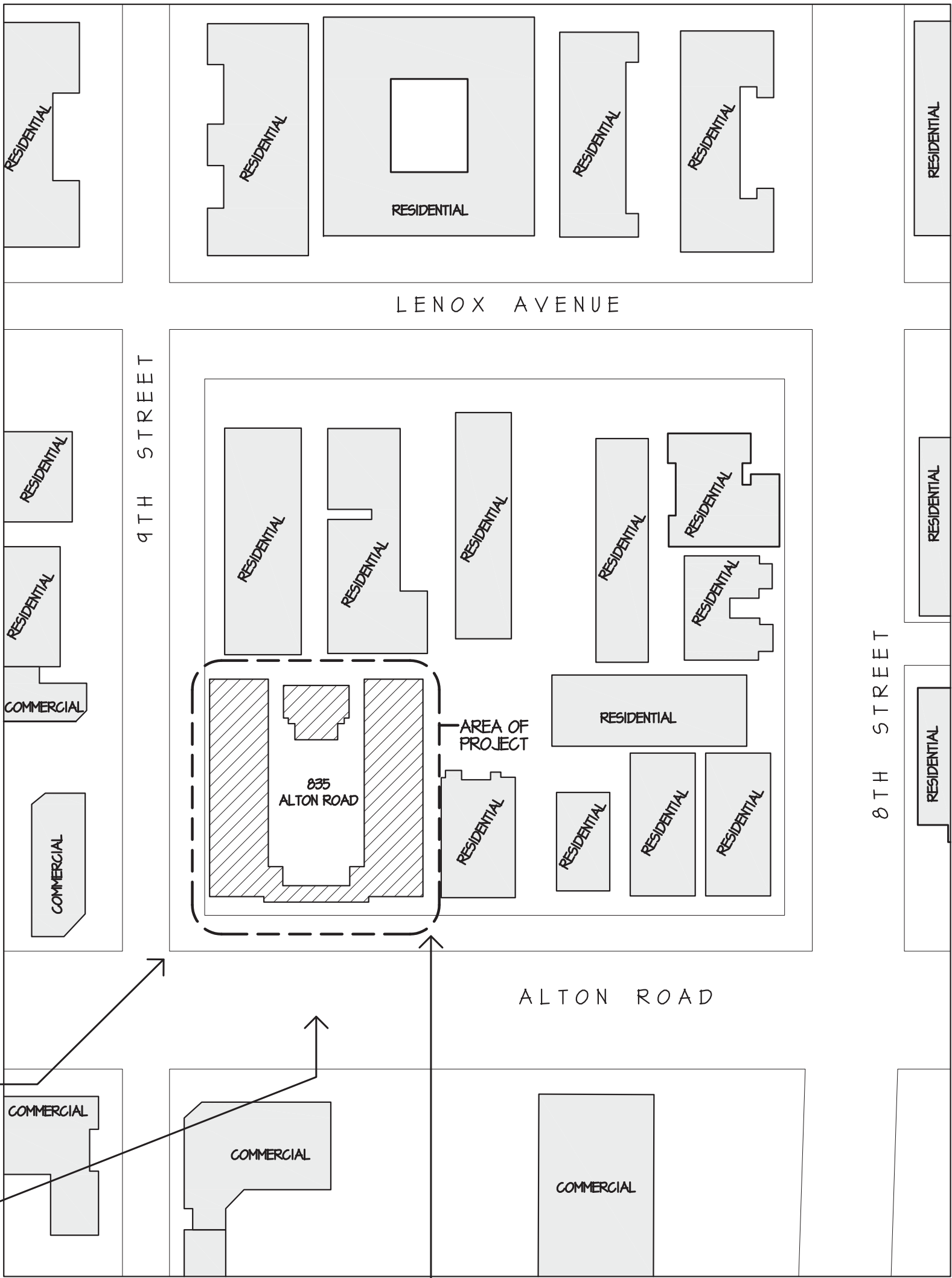
BUILDING
PICTURES

SHEET NO.

SP-1.2



STREET VIEW 4 (ALTON ROAD)



LOCATION SITE PLAN
N.T.S.



STREET VIEW 5 (ALTON ROAD)



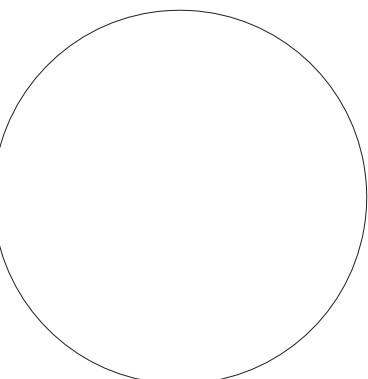
STREET VIEW 6 (ALTON ROAD)



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BUILDING
PICTURES

SHEET NO.

SP-1.3



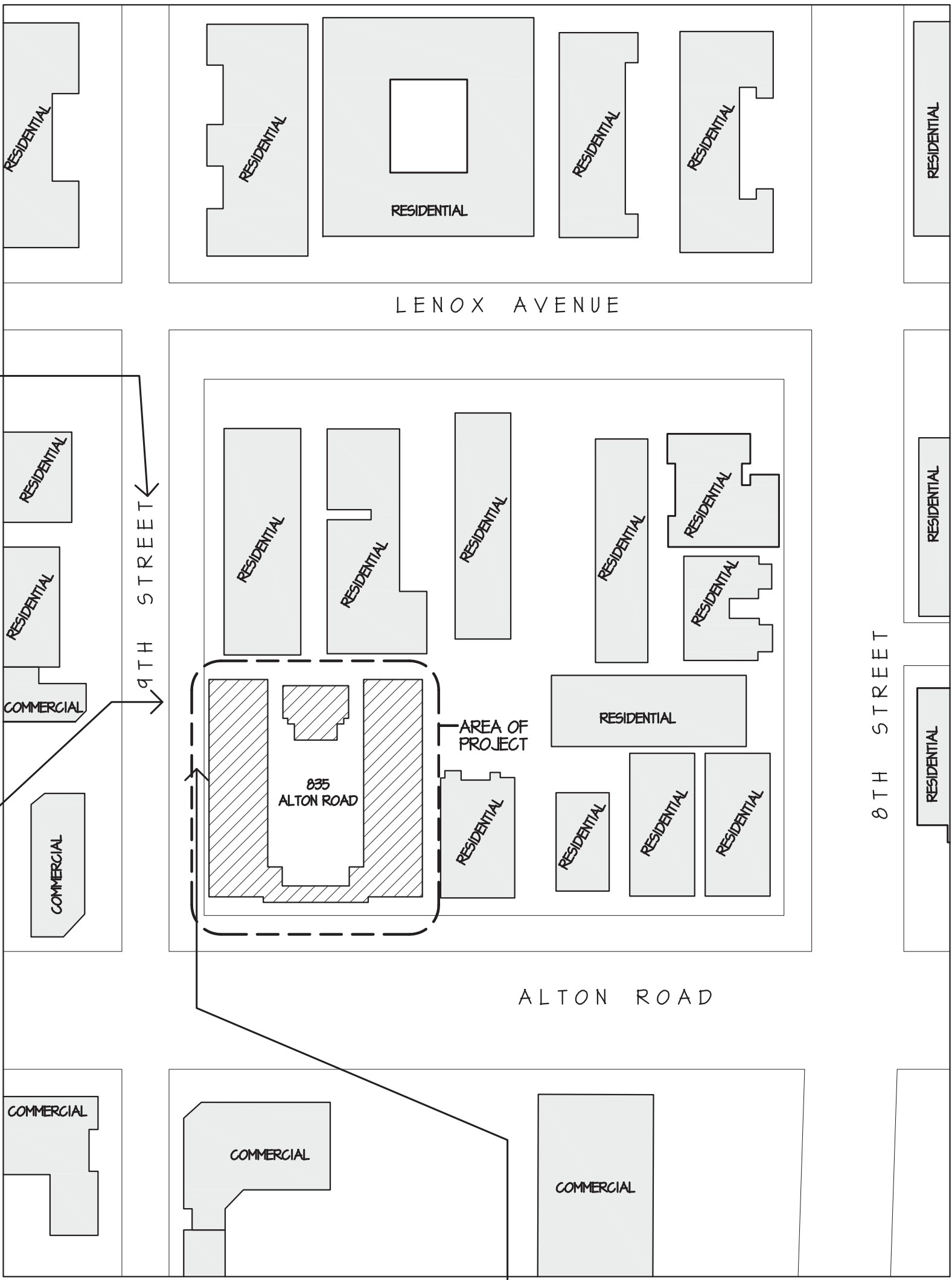
STREET VIEW 7 (PROPOSED LOADING AREA FROM EAST LOOKING AT WEST OF 9TH STREET)



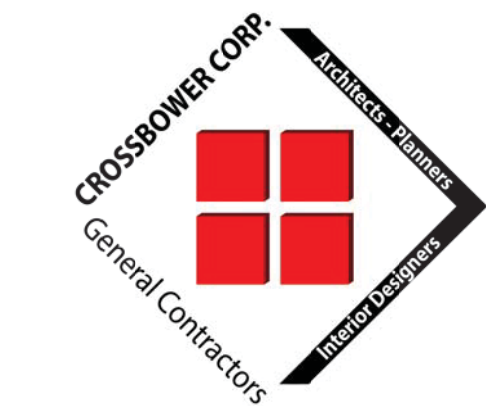
STREET VIEW 8 (PROPOSED LOADING AREA FROM NORTH LOOKING AT SOUTH OF 9TH STREET)



STREET VIEW 9 (PROPOSED LOADING AREA FROM 9TH STREET SIDEWALK LOOKING TO EAST)



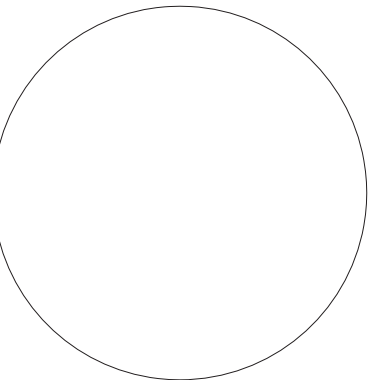
LOCATION SITE PLAN
N.T.S.



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DRAWING TILE

LOADING AREA
PICTURES

SHEET NO.

SP-1.3A