

# 312 OCEAN PARK

Miami Beach, Florida

DEVELOPER

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FINAL SUBMITTAL  
12/10/2018

LANDSCAPE ARCHITECT

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The BIM Server: RAI - BIM Server 2/1/18 - 304 OCEAN DRIVE MODEL 1 - 1888 - 12/2/18



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Project

# 312 OCEAN PARK

304-312 Ocean Drive, Miami Beach, FL 33139, USA

Revisions

Owner Information

MULTIPLAN

312  
OCEAN PARK  
SOUTH BEACH

Consultant

Luis O. Revuelta

AR-0007972

PLANNING & ZONING  
FINAL SUBMITTAL

Date

12/10/2018

Scale

AS SHOWN

Project No.

1816

Sheet Name

INDEX OF DRAWINGS

Sheet No.

A-001

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A

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312 OCEAN PARK - MIAMI BEACH					
Zoning Information					
1	Address:	304-312 Ocean Drive			
2	Board and File Numbers:	HPB18-0249			
3	Folio Number(s):	02-4203-003-0510 and 02-4203-003-0500			
4	Year Constructed:	N/A	Zoning District:	R-PS3 Medium/High Density	
5	Based Flood Elevation:	8'-0" N.G.V.D.	Grade value in NGVD:	7.59' N.G.V.D.	
6	Adjusted grade (Flood+4')	12.0' N.G.V.D.	Lot Area:	11,657 SF (0.2676 ac.)	
7	Lot width:	100.04'	Lot Depth:	116.5'	
8	Minimum Unit Size	1,067 SF	Average Unit Size	1,620 SF	
9	Existing use:	N/A	Proposed use:	Residential	
Building Data		Maximum		Proposed	Deficiencies
10	Height	50'-0"		49'-6"	
11	Number of Stories	4			
12	FAR	20,399 SF		20,396 SF	
13	Gross square footage			32,750 SF	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A		10	
Setbacks		Required		Proposed	Deficiencies
	At Grade Parking:				
24	Front Setback (OCEAN DRIVE)	5 feet		65 feet	
25	Side Setback (NORTH YARD)	5 feet		7.5 feet	
27	Side Setback facing street (3RD ST.)	5 feet		5 feet	
28	Rear Setback (OCEAN CT. ALLEY)	Nonoceanfront lots 5 feet;		5 feet	
	Pedestal:				
29	Front Setback (OCEAN DRIVE)	5 feet		5 feet	
30	Side Setback (NORTH YARD)	7.5 feet		7.5 feet	
32	Side Setback facing street (3RD ST.)	5 feet		5 feet	
33	Rear Setback (OCEAN CT. ALLEY)	Nonoceanfront lots 10% of lot depth.	11.65'	5 feet	Reduction of 6.65' of Required 11.65'
	Tower:				
34	Front Setback:	N/A			
35	Side Setback:	N/A			
36	Side Setback:	N/A			
37	Side Setback facing street:	N/A			
38	Rear Setback:	N/A			
Parking		Required		Proposed	Deficiencies
39	Parking district	District No. 1			
40	Total # of parking spaces	20 spaces		20 spaces	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	see chart below			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	see chart below			
43	Parking Space Dimensions	A standar perpendicular parking space shall have a width of not less than eight and one-half feet and a length of not less than 18 feet, or when located outdoors, 16 feet with two feet of pervious overhang, in place of wheel stops and defined by continuous concrete curb, for a total length of 18 feet. The provision of having a two-foot pervious area overhang in standard parking spaces may be waived at the discretion of the planning and zoning director in those instances where said overhang is not pratical. In no instance, however, shall the length of any standard off-street parkind space be less than 18 feet, unless otherwise provided for under sections 130-101, 130-251, 130-281, 130-69 and 130-61(2) herein.		8'-6" x 18'-0"	
44	Parking Space configuration (450, 600, 900, Parallel)			900	
45	ADA Spaces	1		1	
46	Tandem Spaces			12	
47	Drive aisle width	Drives shall have a minimum width of 22 feet for two-way traffic and 11 feet for one-way traffic. For those grade level parking areas with less than ten parking spaces, inclusive of those parking areas underneath building or structure, the curb-cut and driveway entrance shall have a minimum width of 12 feet.		22'-0"	
48	Valet drop off and pick up			YES	
49	Loading zones and Trash collection areas	N/A			
50	Bicycle Parking / Racks	see chart below		14	
PARKING SPACES CALCULATION					
LV.	NUMBER OF PARKING SPACES	UNIT SIZE [SF]	NUMBER OF UNITS	REQUIRED PARKING SPACES	PROPOSED PARKING SPACES
1	1.5 SPACES / UNIT	500 - 900			
	1.75 SPACES / UNIT	1,000 - 1,200	2	3.5	4
	2 PSACES / UNIT	> 2,000	8	16	16
	TOTAL			19.5	20
BICYCLE PARKING CALCULATION					
LV.		NUMBER OF UNITS	REQUIRED SPACES	SPACES PROVIDED	PROPOSED SPACES
1	SHORT TERM SPACES	10	4	4	4
	LONG TERM SPACES	10	1 / UNIT	10	10
	TOTAL				14

ZONING DATA

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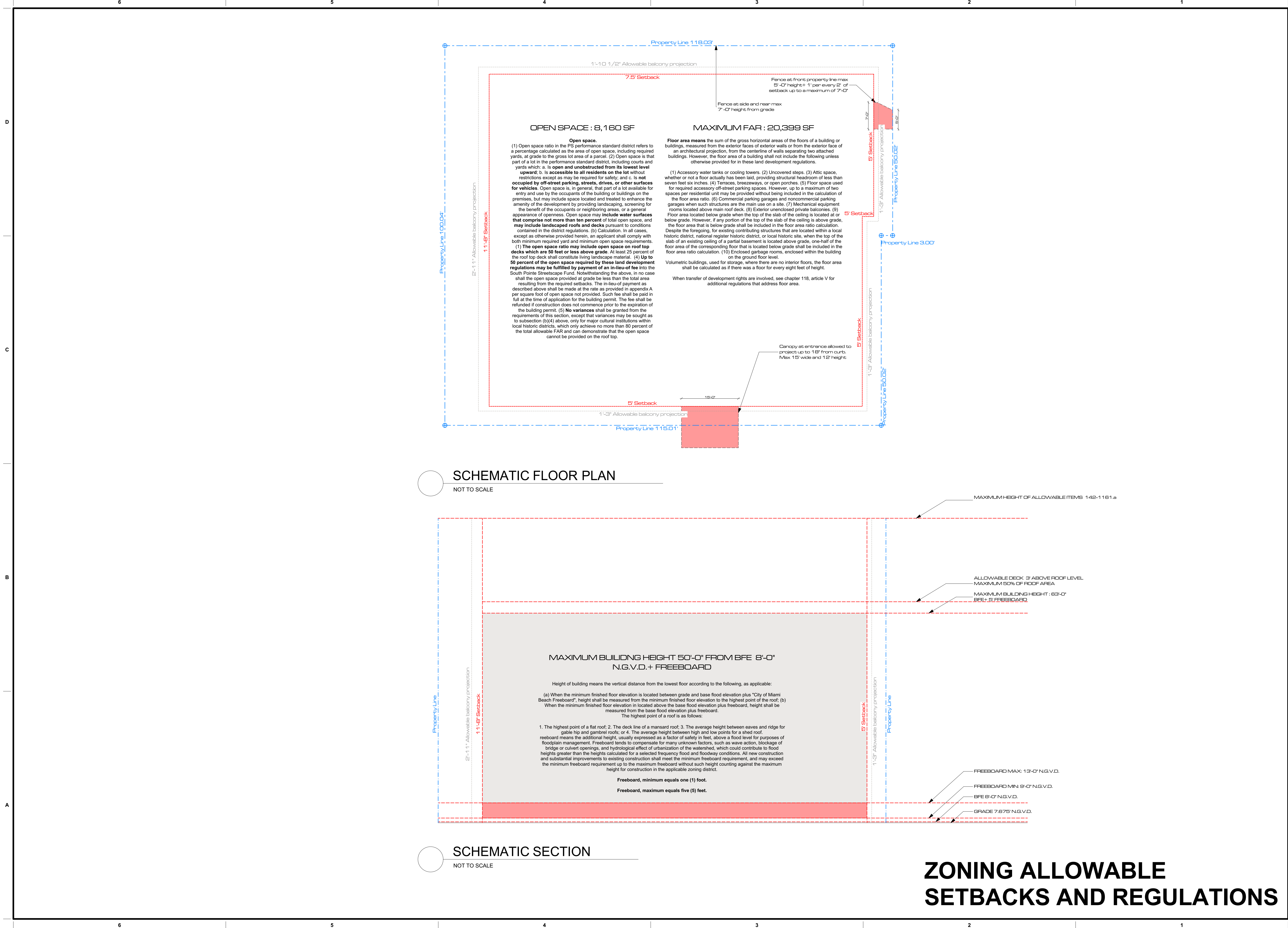
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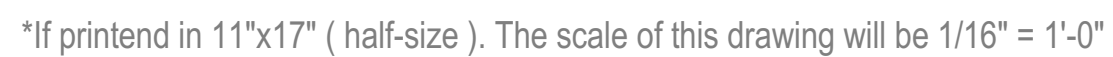
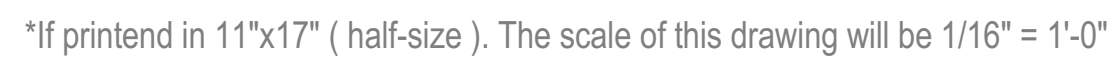






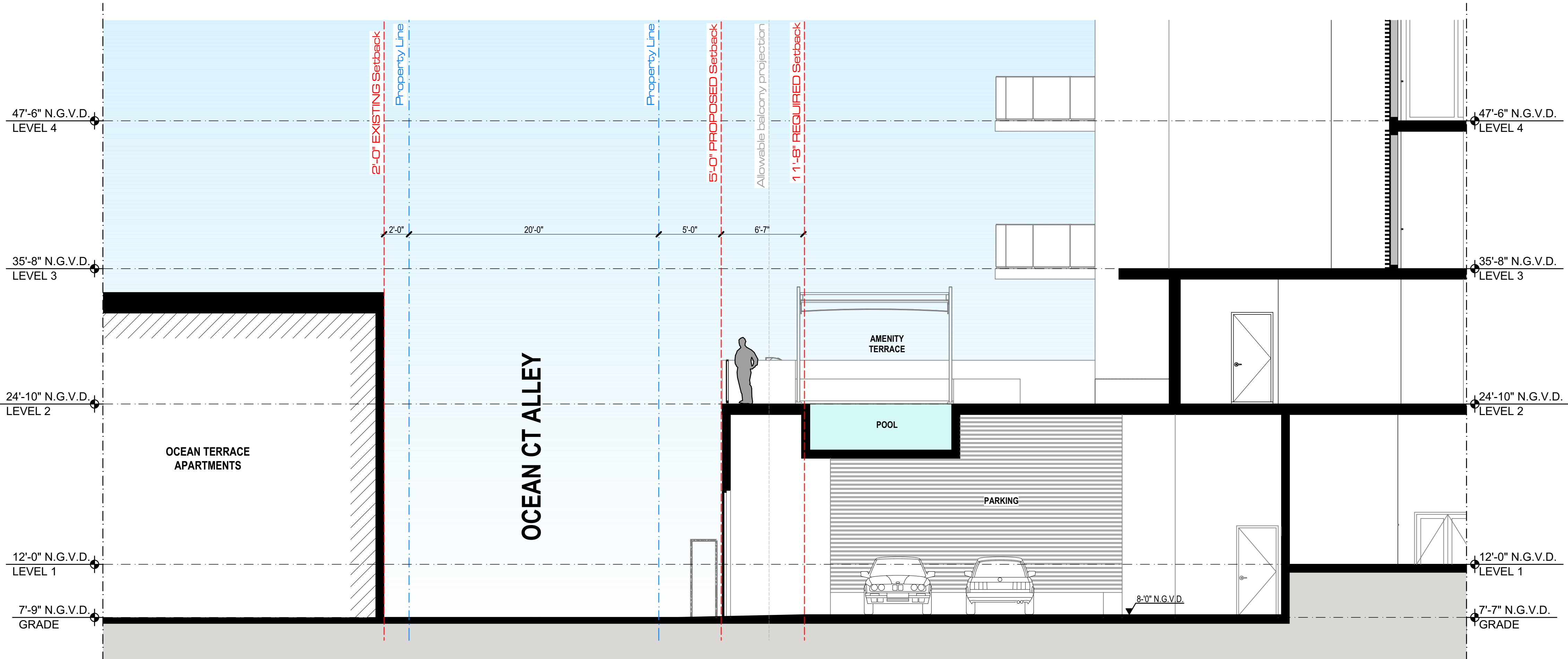






## VARIANCE / WAIVER DIAGRAM (1/2)

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**1 ALLEY SECTION**  
SCALE: 3/16" = 1'-0"  
0 4' 8' 12'

\*If printend in 11"x17" ( half-size ). The scale of this drawing will be 3/32" = 1'-0"

# VARIANCE / WAIVER DIAGRAM (2/2)

## 312 OCEAN PARK

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# 312

## OCEAN PARK

SOUTH BEACH

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Sheet Name  
VARIANCE / WAIVER DIAGRAM  
(2/2)

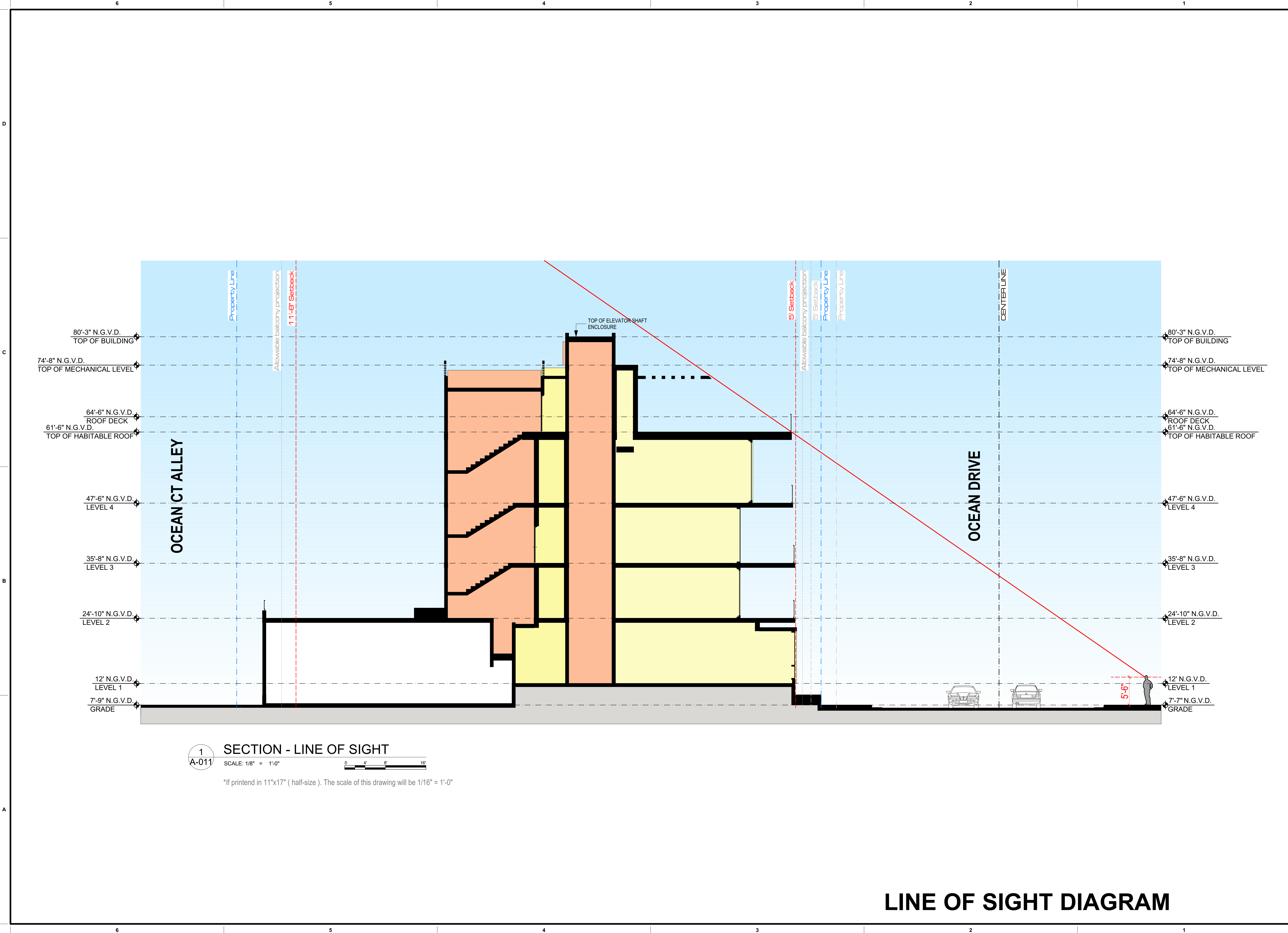
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1  
A-011

SECTION - LINE OF SIGHT

SCALE: 1/8" = 1'-0"



\*If printend in 11"x17" ( half-size ). The scale of this drawing will be 1/16" = 1'-0"

LINE OF SIGHT DIAGRAM

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1816  
Sheet Name  
LINE OF SIGHT DIAGRAM  
Sheet No.

A-011

# 312 OCEAN PARK

## visions

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FINAL SUBMITTAL**

Date \_\_\_\_\_

2/10/2018

**Scale**

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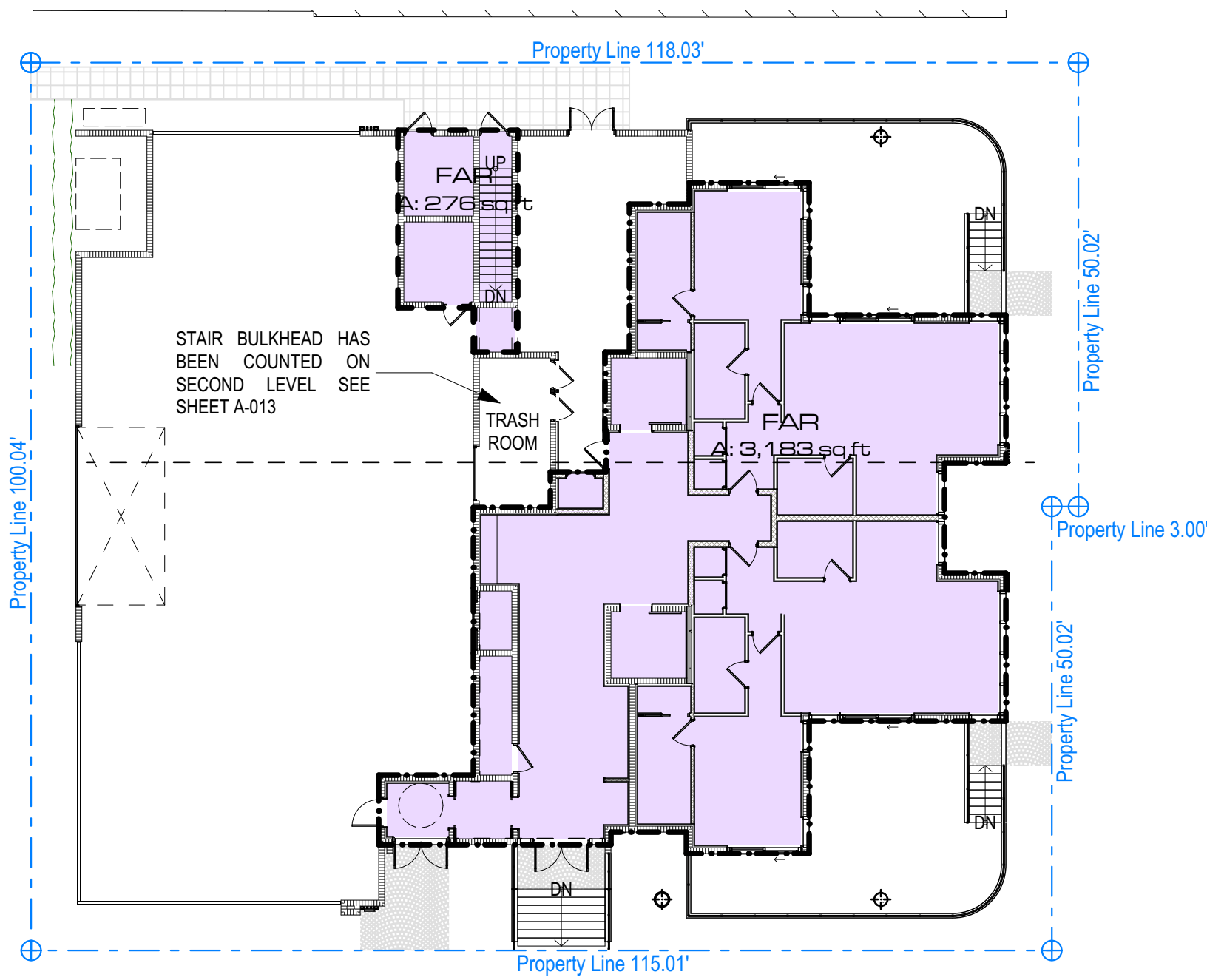
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## RELATIONS

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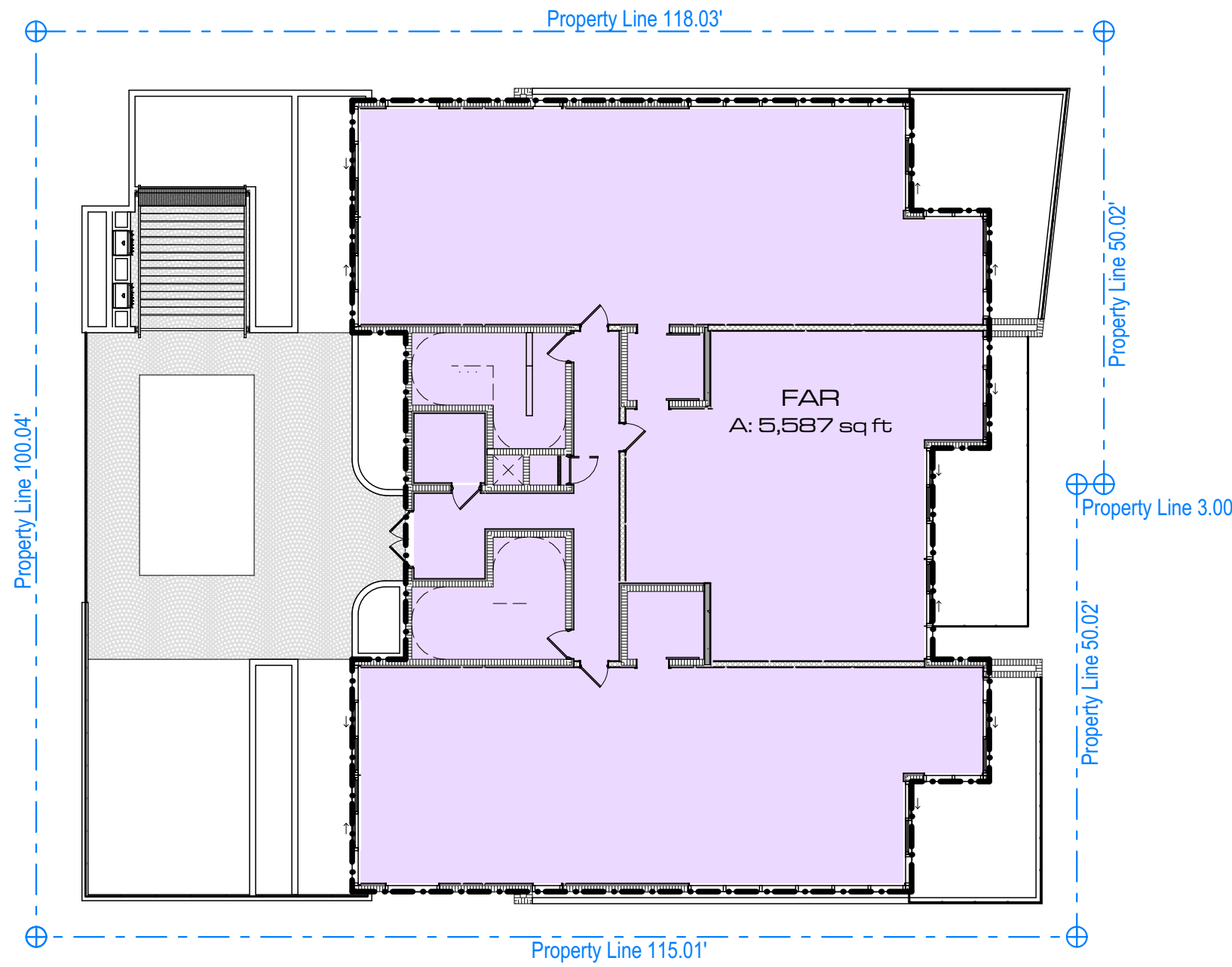
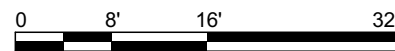
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**1** FAR LEVEL 1  
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

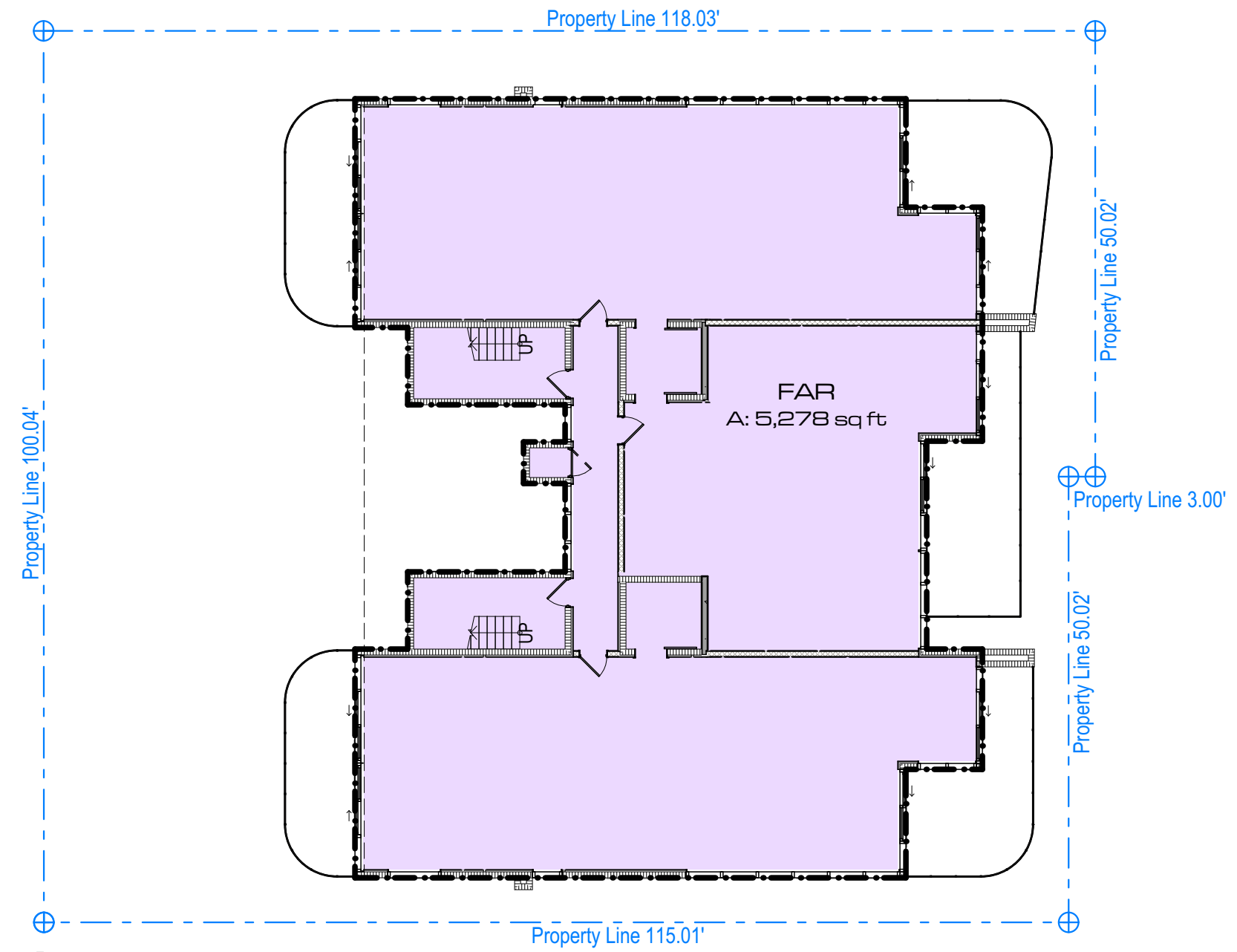
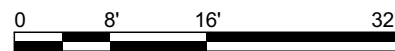
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**2** FAR LEVEL 2  
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

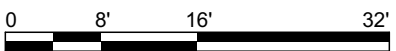
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**3** FAR LEVEL 3  
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

\*If printend in 11"x17" ( half-size ). The scale of this drawing will be  $\frac{1}{32}'' = 1'-0''$



FLOOR AREA RATIO		
Floor (Story)	Name	Measured Area
LEVEL 1		
	FAR	276
	FAR	3,183
		3,459 sq ft
LEVEL 2		
	FAR	5,587
		5,587 sq ft
LEVEL 3		
	FAR	5,278
		5,278 sq ft
LEVEL 4		
	FAR	5,257
		5,257 sq ft
TOP OF HABITABLE ROOF		
	FAR	112
	FAR	112
	FAR	591
		815 sq ft
TOTAL		20,396 sq ft

MAX. FAR 20,399 SF

Property Line 118.03'

Property Line 100.04'

Property Line 115.01'

Property Line 50.02'

Property Line 50.02'

Property Line 3.00'

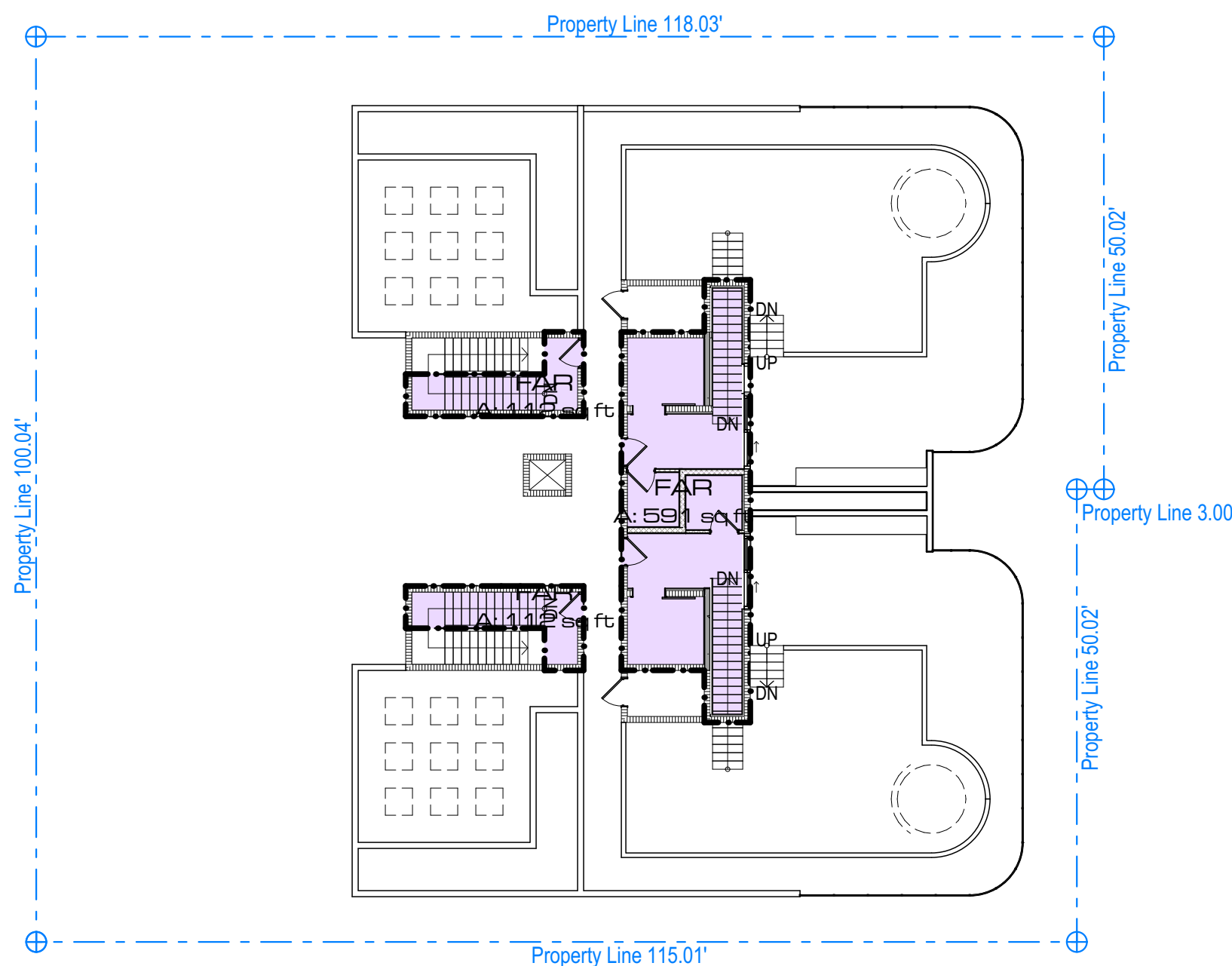
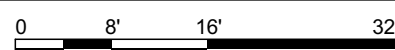
FAR

A. 5,607 sq. ft.

**4 FAR LEVEL 4**  
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

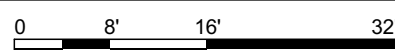
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5 FAR TOP OF HABITABLE ROOF  
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

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## FAR CALCULATIONS