

REQUEST FOR DRB APPROVAL FOR:
ESTEFANO ISAIAS RESIDENCE

2324 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140

FINAL DRB SUBMITAL
JANUARY 2, 2018



CLIENT

ESTEFANO ISAIAS
2324 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

ARCHITECT

CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAYNE BLVD. SUITE 201
MIAMI, FL 33138
(305) 434-8338

LANDSCAPE ARCHITECT

ROSENBERG GARDNER DESIGN
17670 NW 18th Avenue, Suite 214
Miami, FL 33205
(305) 392-1016

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY
LOCATED AT 2324 NORTH BAY ROAD, MIAMI BEACH, FL.

WAIVERS:

1. REQUEST FOR WAIVER TO EXCEED THE 10% SECOND
TO FIRST FLOOR RATIO.
2. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS
FOR THE OPEN-SPACE COURTYARD.

ESTEFANO ISAIAS RESIDENCE

2324 NORTH BAY ROAD
MIAMI, FLORIDA 33140

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.

1841

date:

08/03/2018

revised:

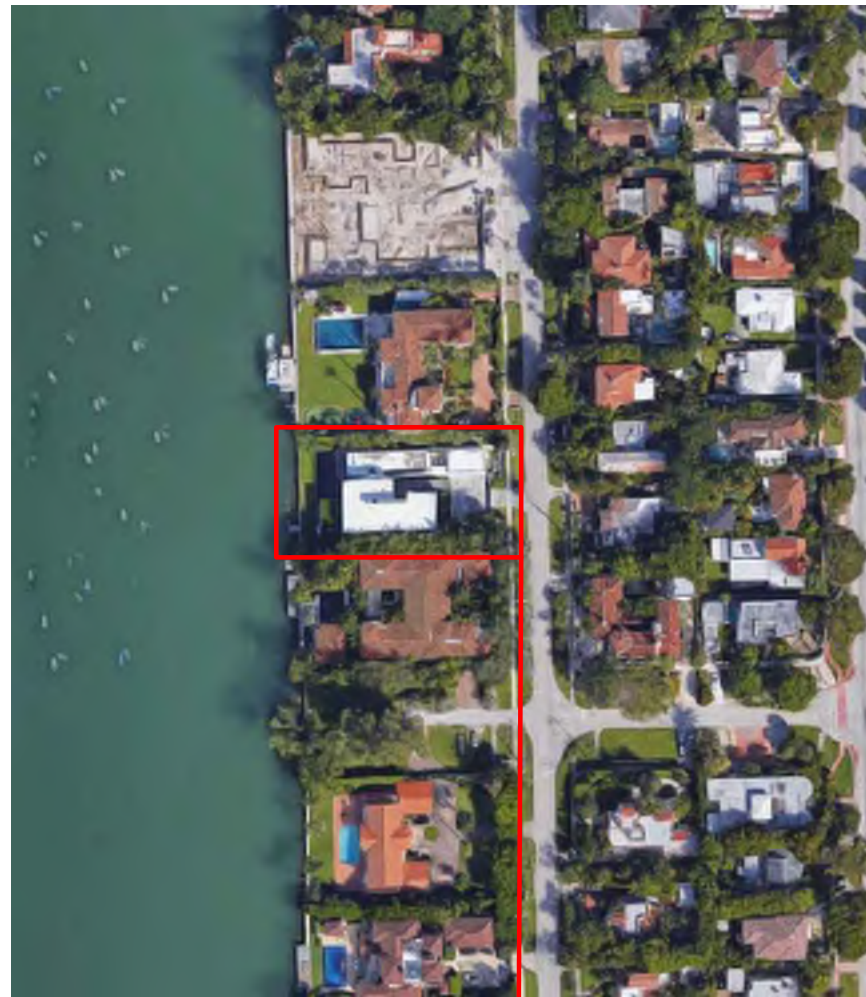
sheet no.

C-0.0

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ESTEFANO ISAIAS RESIDENCE

2324 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140

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DILDO RESIDENCE
316 WEST DILDO DR.
MIAMI BEACH, FLORIDA 33139

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
1825

date:
08/20/2018

revised:

sheet no.

C-0.1

September 24th, 2018

City of Miami Beach
Planning Department, second floor
1700 Convention Center Drive
Miami Beach, Florida 33139

Re: Proposed second floor addition to existing residence designed and constructed in 2011 located at 2324 North Bay Road. Design Review Board.

Members of the Design Review Board,

In 2011 we designed a single-family residence which was constructed at 2324 North Bay Road in Miami Beach. At the time the residence was designed, and then subsequently approved by the DRB, the zoning code for the City of Miami Beach as it pertains to single family residences was different that it is today. This residence was always designed with consideration of a future addition to accommodate an expanding family. The south side of the residence was designed as a two-story structure, while the north side was designed as a one-story structure with the knowledge that a second floor would eventually be constructed over it to accommodate additional children’s bedrooms for a future family. The entire one-story structure was designed to accommodate two stories from the very beginning.

The addition over the north side of the residence does not affect the lot coverage of the existing residence. What has changed during that time was how lot coverage is calculated. The code now states that any exterior area facing the front or the rear that has three contiguous walls must be counted as lot coverage, even if it’s open air. Due to this code change the existing lot coverage would now be calculated at 33.9%. This area will not change, as the proposed addition goes directly over the existing first floor which has already been taken into consideration when calculating the lot coverage using today’s approved methods. The lot coverage will not change at all with the new proposed addition, as it will remain the same.

The unit size has increased. Before the proposed addition, the unit size was 37% of the lot size. With the proposed new addition, the unit size increases to 48.2% of the lot size. This percentage is less than the maximum 50% allowed.

The height of the residence from the finished first floor to the top of the roof remains at 26’-4” and will not increase. The finished floor is at +8.0’ NGVD. There is no addition to the first floor, only the second floor will be added on to. Since today’s code requires FEMA Base Flood plus 1’, the actual height in today’s code would be 25’-4”. At FEMA plus 5’, with a 24’ roof height, the allowable roof would be at a 29’-0” height, which would be substantially higher than the roof as it currently exists.

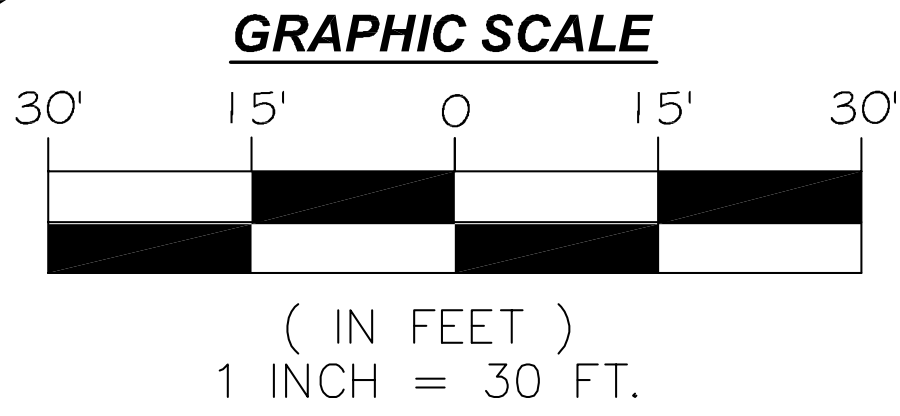
The front and rear yard requirements for pervious area remains the same, as no work is being done to them. The existing pervious areas are fully compliant with today’s code. We have included the originally approved landscape plans for this project which was constructed. Nothing will change with the landscaping, and it will remain the same.

The one waiver we are requesting is the first floor to second floor ratio. By code, one is allowed a 70% ratio that if exceeded, a waiver from the DRB must be obtained. Because we must count two story spaces now, and because this was designed in a semi “upside-down” residence theme, the new second to first floor ratio is 97.4%. We have provided renderings to show that the front of the residence has very wide open spaces and a courtyard, and there is good movement in the design of the architecture which we feel make this design palatable.

We are looking forward to presenting this project with the goal of obtaining the one waiver approval we need from the DRB.

Sincerely,

Ralph Choeff, President
Choeff Levy Fischman PA



MAP OF BOUNDARY SURVEY

LOCATION MAP
SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST
LYING AND BEING IN MIAMI-DADE COUNTY FLORIDA
(NOT TO SCALE)



LB No. 7633
PROFESSIONAL SURVEYORS AND MAPPERS
1435 S.W. 87th AVENUE, SUITE "201"
MIAMI, FL 33174
PHONE: (305) 556-4002 FAX: (305) 556-4003
WWW.LMSURVEYING.COM
EMAIL-LANDMARKSURVEYING@HOTMAIL.COM

LEGAL DESCRIPTION:

LOT 2, BLOCK 12, OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

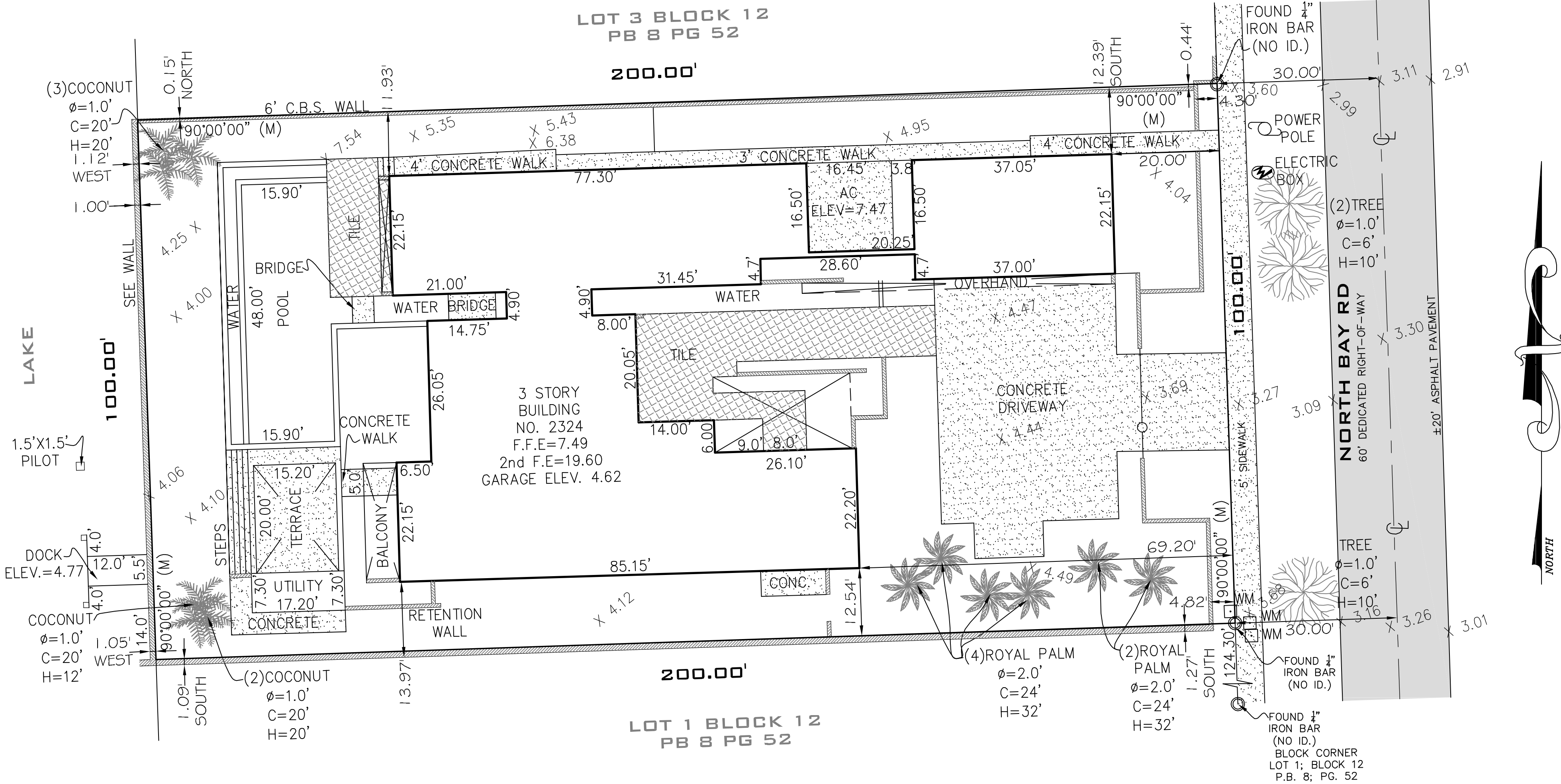
CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

— ESTAFANO ISAIAS

SURVEYOR'S NOTES:

- 1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION: PROVIDED BY CLIENT.
- 2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
- 3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
- 4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.51FAC), IS "RESIDENTIAL".THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
- 5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
- 6.) TYPE OF SURVEY: BOUNDARY SURVEY
- 7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29)
- 8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT
- 9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
- 10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- 11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- 14.) WALL TIES ARE TO THE FACE OF THE WALL.
- 15.) FENCE OWNERSHIP NOT DETERMINED.
- 16.) BEARINGS REFERENCED TO LINE NOTED AS B.R.
- 17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
- 18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- 19.) THE SOURCES OF DATE USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "AMENDED PLAT OF SUNSET LAKE SUBDIVISION" RECORDED IN PLAT BOOK 8, AT PAGE 52.
- 20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 30 FEET OR SMALLER.



PROPERTY ADDRESS:


FOLIO NO. 02-3227-008-0680

2324 N BAY RD
MIAMI BEACH, FL 33140-4261

AREA OF PROPERTY: 20,000 SQUARE FEET AND/OR
0.459 ACRES MORE OR LESS

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.050 THROUGH 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, PURSUANT TO CHAPTER 4202, FLORIDA STATUTE.

SIGNED  FOR THE FIRM
ARTURO MENDIGUTIA, P.S.M. P.S.M. No. 5844-STATE OF FLORIDA
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA
LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR
REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT
WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES AND/OR NOT VALID WITHOUT AN
AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

ALL BEARINGS AND DISTANCES SHOWN
HEREON ARE RECORD AND MEASURED
UNLESS OTHERWISE NOTED.

MAP OF BOUNDARY SURVEY

FLOOD ZONE:		AE	
ELEVATION:		8.0 FEET	
COMMUNITY:		120651	
PANEL:		12086C0317	
DATE OF FIRM:		09-11-2009	
SUFFIX:		L	
ORIGINAL FIELD WORK SURVEY DATE		09-22-2018	
BENCH MARK:		N/A	
ELEVATION:		N/A	
DATE	DRAWN BY		SCALE
09-24-2018	J.FEE		1"=30'
REVISION / UPDATE OF SURVEY			
DATE		DESCRIPTION	
N/A		N/A	
JOB No.			
1809-135			

DESIGN REVIEW BOARD

City of Miami Beach, Florida

MEETING DATE: July 6, 2010

FILE NO: 22823

PROPERTY: 2324 North Bay Road

LEGAL: Lot 2, Block 12, Amended Plat of Sunset Lake Subdivision, According to the Plat Thereof, as Recorded in Plat Book 8, Page 52, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for the construction of a new 2-story home, which replace on existing 2-story pre-1942 architecturally significant home, to be demolished.

ORDER

The applicant, Estotano Solos, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is not consistent with Design Review Criteria 3-7, 10 & 12 in Section 118-25 of the Miami Beach Code.
- B. The project would be consistent with the criteria and requirements of section 118-25 if the following conditions are met:
 1. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
 - a. In accordance with Section 142-108(d)(1) of the City Code, a demolition permit for the existing home shall not be issued until a full building permit for new construction has been issued.
 - b. The design of the north and south elevations of the main home shall be further developed and detailed, including the introduction of additional tonestration to help visually break-up the massing at these elevations, in a manner to be reviewed and approved by staff.
 - c. The design of the south elevation of the proposed cabana structure shall be further developed and detailed to include added fenestration or the

CERTIFICATION
 THIS IS TO CERTIFY THAT THE ATTACHED DOCUMENT IS A TRUE AND ACCURATE COPY OF THE ORIGINAL FILED IN THE OFFICE OF THE PLANNING DEPARTMENT, CITY OF MIAMI BEACH
 Signed: *[Signature]* 7-8-10
 Notary Public, State of Florida
 My Commission Expires: 01/25/2014
 Printed Name: *[Signature]*
 My Commission Expires: (Date)
 This document contains 5 pages.

introduction of a solid veneer, such as the limestone proposed elsewhere in the home, in a manner to be reviewed and approved by staff.

- d. Manufacturers drawings and Dade County product approval numbers for all new windows, doors and glass shall be required, prior to the issuance of a building permit.
- e. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on the revised roof plan and shall be screened from view, in a manner to be approved by staff.
- f. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.

2. A revised landscape plan, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location, and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:

- a. Street trees shall be required within the street at the front of the property, in a manner to be reviewed and coordinated by staff.
- b. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
- c. The utilization of root barriers and/or structural soil, as applicable, shall be clearly delineated on the revised landscape plan.
- d. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures; such fixtures and devices shall not be permitted within any required yard or any area fronting the street or sidewalk. The location of backflow preventors, siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.
- e. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms; such transformers and vault rooms, and all other related devices and fixtures, shall not be permitted within any required yard or any area fronting the street or sidewalk. The location of any exterior transformers, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.

[Signature]

- f. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect for the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.
3. The final exterior surface color scheme, including color samples, shall be subject to the review and approval of staff and shall require a separate permit.
4. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
5. The applicant may be required to submit a separate analysis for water and sewer requirements, at the discretion of the Public Works Director, or designee. Based on a preliminary review of the proposed project, the following may be required by the Public Works Department:
 - e. Remove/replace sidewalks, curbs and gutters on all street frontages, if applicable. Unless otherwise specified, the standard color for city sidewalks is red, and the standard curb and gutter color is grey.
 - f. Mill/resurface asphalt in rear alley along property, if applicable.
 - g. Provide underground utility service connections and on-site transformer location, if necessary.
 - h. Provide back-flow prevention devices on all water services.
 - i. Provide on-site, self-contained storm water drainage for the proposed development.
 - j. Meet water/sewer concurrency requirements including a hydraulic water model analysis and gravity sewer system capacity analysis as determined by the Department and the required upgrades to water and sewer mains servicing this project.
 - k. Payment of City utility impact fees for water meters/services.
 - l. Provide flood barrier ramps to underground parking or minimum slab elevation to be at highest adjacent crown road elevation plus 8".
 - m. Right-of-way permit must be obtained from Public Works.
 - n. All right-of-way encroachments must be removed.
 - o. All planting/landscaping in the public right-of-way must be approved by the Public Works and Parks Departments.
6. The project shall comply with any landscaping or other sidewalk/street improvement standards as may be prescribed by a relevant Urban Design Master Plan approved prior to the completion of the project and the issuance of a Certificate of Occupancy, in a manner to be reviewed and coordinated by staff.

7. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
8. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
9. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
10. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph B of the Findings of Fact (Condition Nos. 1-10, inclusive) ~~hereof~~, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Design Review Board, as determined by staff, entitled "Residence for Mr. Estefano Leisee", as prepared by Ralph Choeff Architect, dated 3-19-2010, modified in accordance with the conditions set forth in this Order and staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of Design Review Approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Design Review Approval was granted, the Design Review Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 178 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. If the Full Building Permit should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Design Review

Approval will expire and become null and void.

In accordance with Section 116-254 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code.

Dated this 7th day of JULY, 2010.

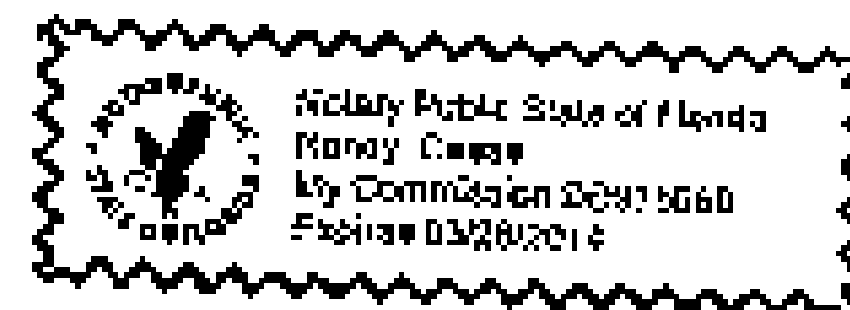
DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: [Signature]
THOMAS R. MOONEY, AICP
DESIGN AND PRESERVATION MANAGER
FOR THE CHAIR

22823

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 7 day of July, 2010 by Thomas R. Mooney, Design and Preservation Manager, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.



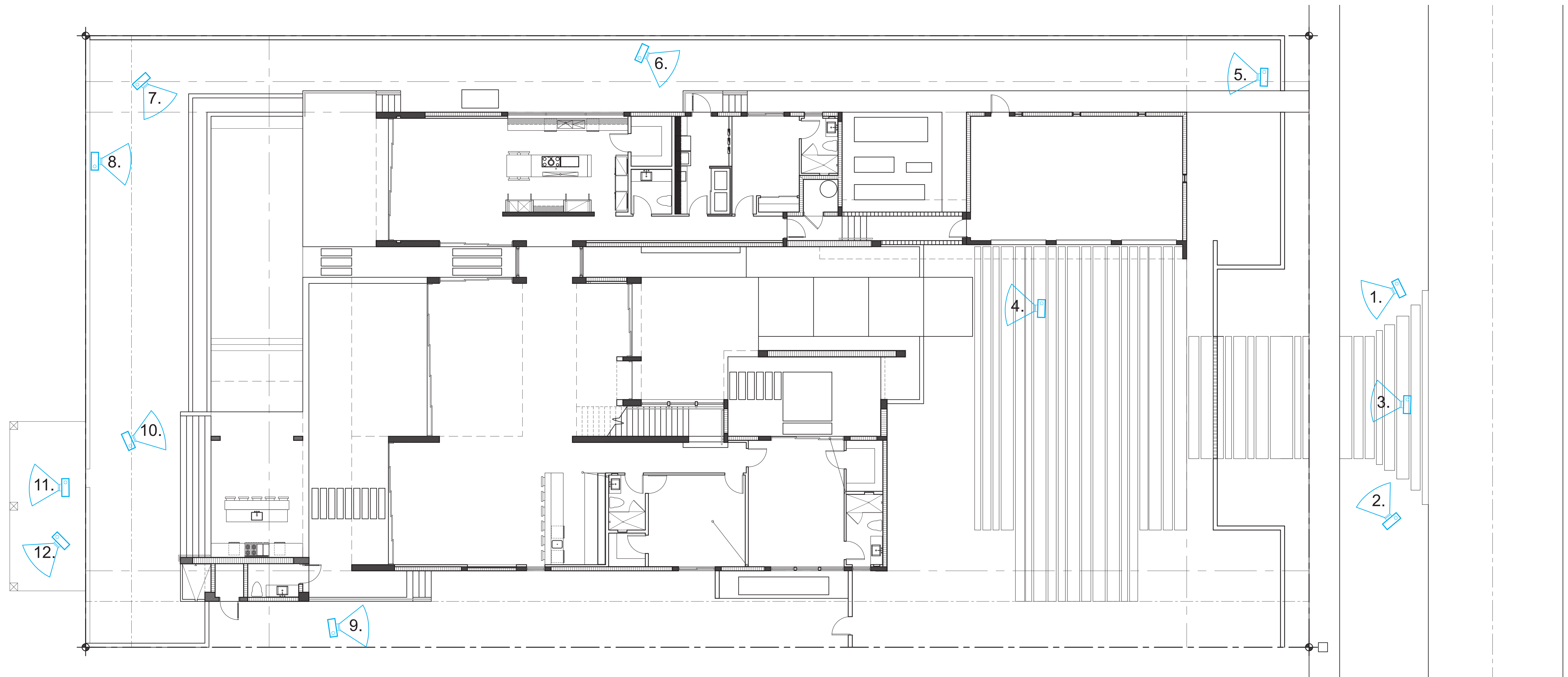
[Signature]
NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 3/28/2014

Approved As To Form: [Signature]
Legal Department: July 6, 2010

Filed with the Clerk of the Design Review Board on 7-7-10 (RE)

EX-PLANSORRBDRB150013RB1022823.JUL10.docx

[Signature]





PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



PHOTOGRAPH 4



PHOTOGRAPH 5



PHOTOGRAPH 6



PHOTOGRAPH 7



PHOTOGRAPH 8



PHOTOGRAPH 9



PHOTOGRAPH 10



PHOTOGRAPH 11



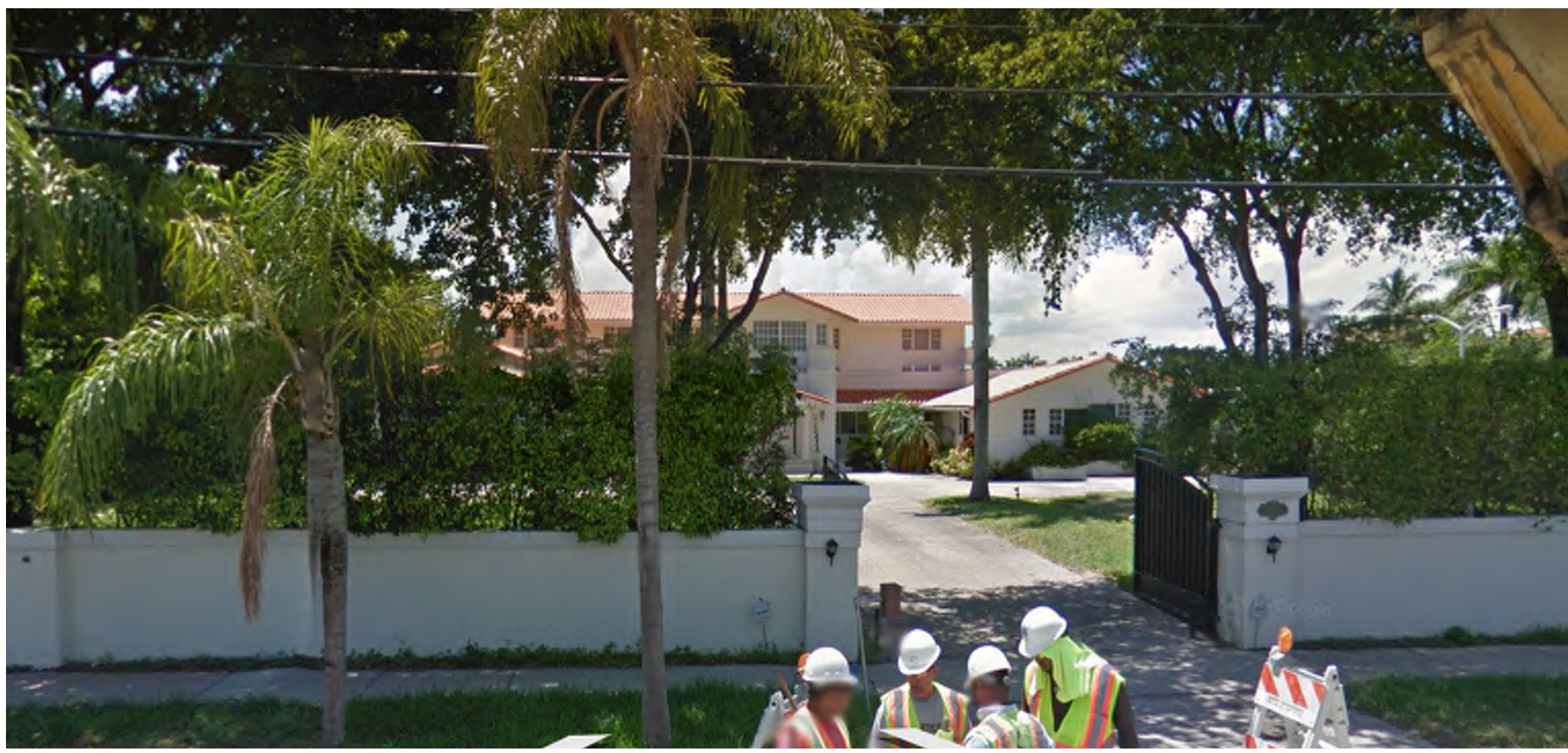
PHOTOGRAPH 12



SITE (2324 NORTH BAY RD.)



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



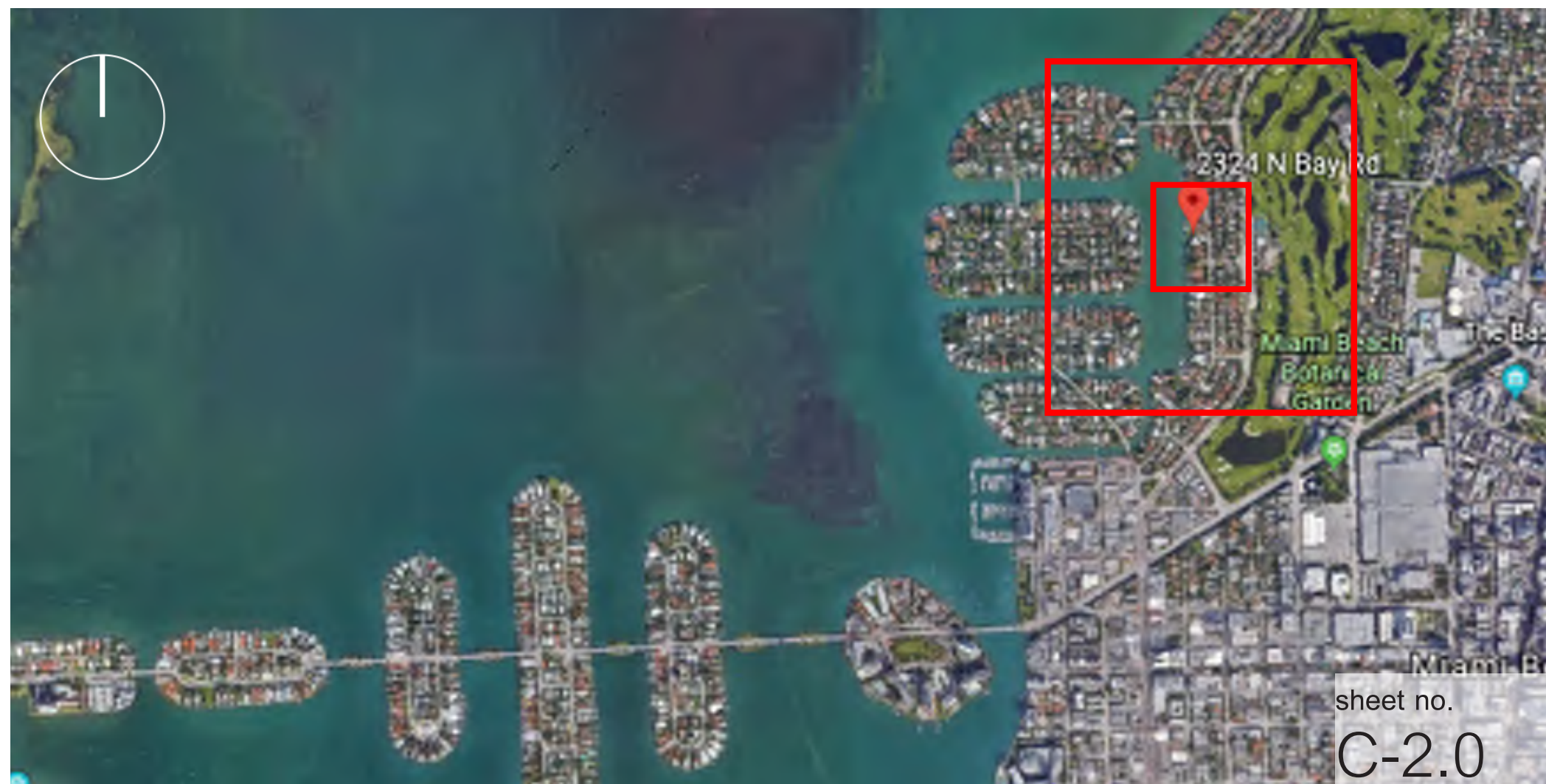
AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



RESIDENCE 6





SUBJECT PROPERTY 1 (2324 NORTH BAY ROAD)



RESIDENCE 1



RESIDENCE 3



AERIAL PHOTOGRAPH WITH PROPOSED RESIDENCE INSERTED



AERIAL PHOTOGRAPH WITH PROPOSED RESIDENCE INSERTED

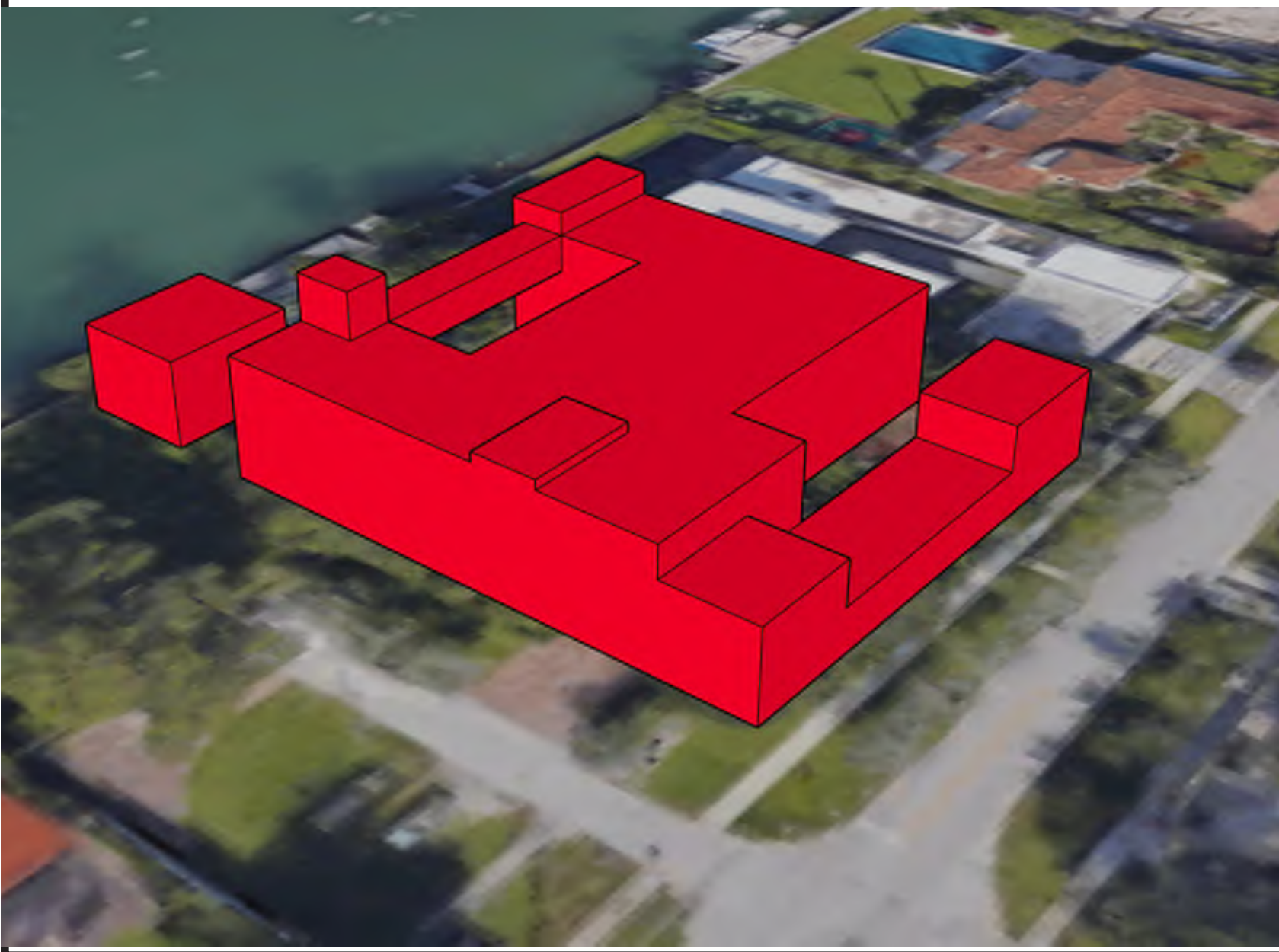




LOCATION MAP

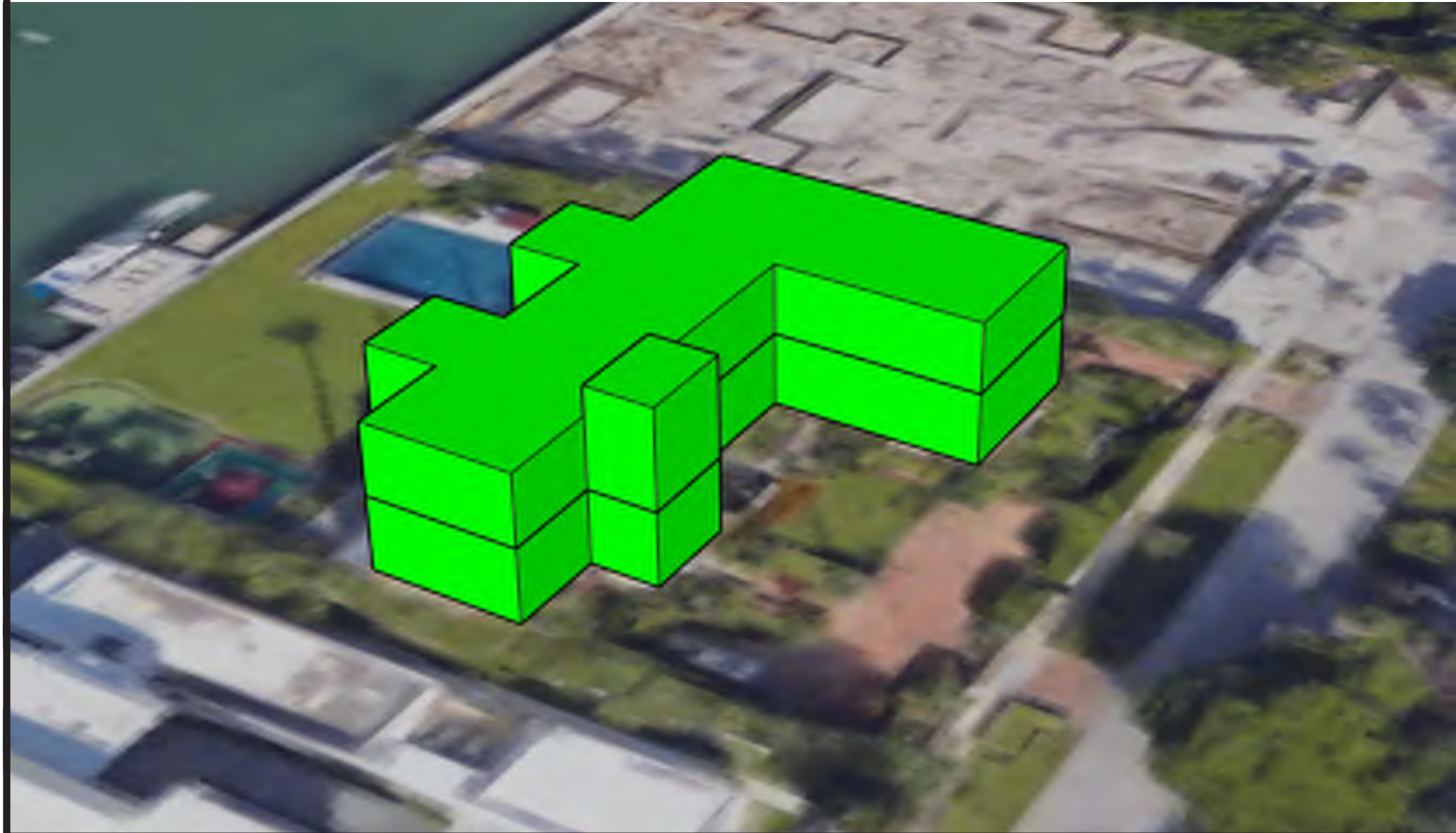
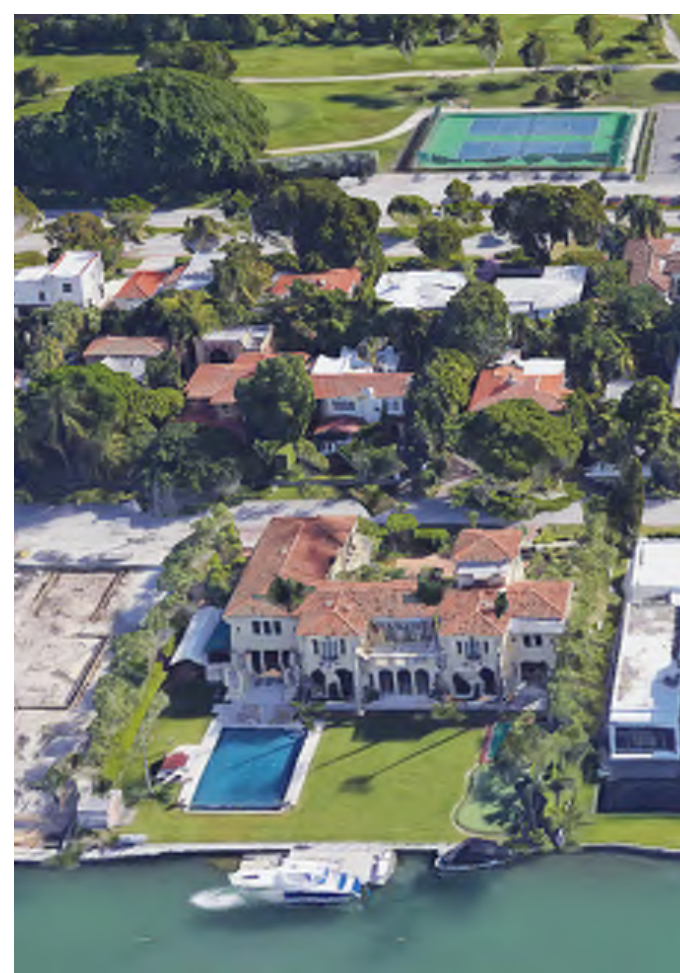
RESIDENCE 1

ADJACENT PROPERTY - 2318 N BAY ROAD
 LOT SIZE: 24,860 SQ. FT.
 AREA: 14,212 SQ. FT.
 APPROXIMATE LOT COVERAGE: 57.2 %
 APP. FIRST-SECOND FLOOR RATIO: 78.5%



RESIDENCE 3

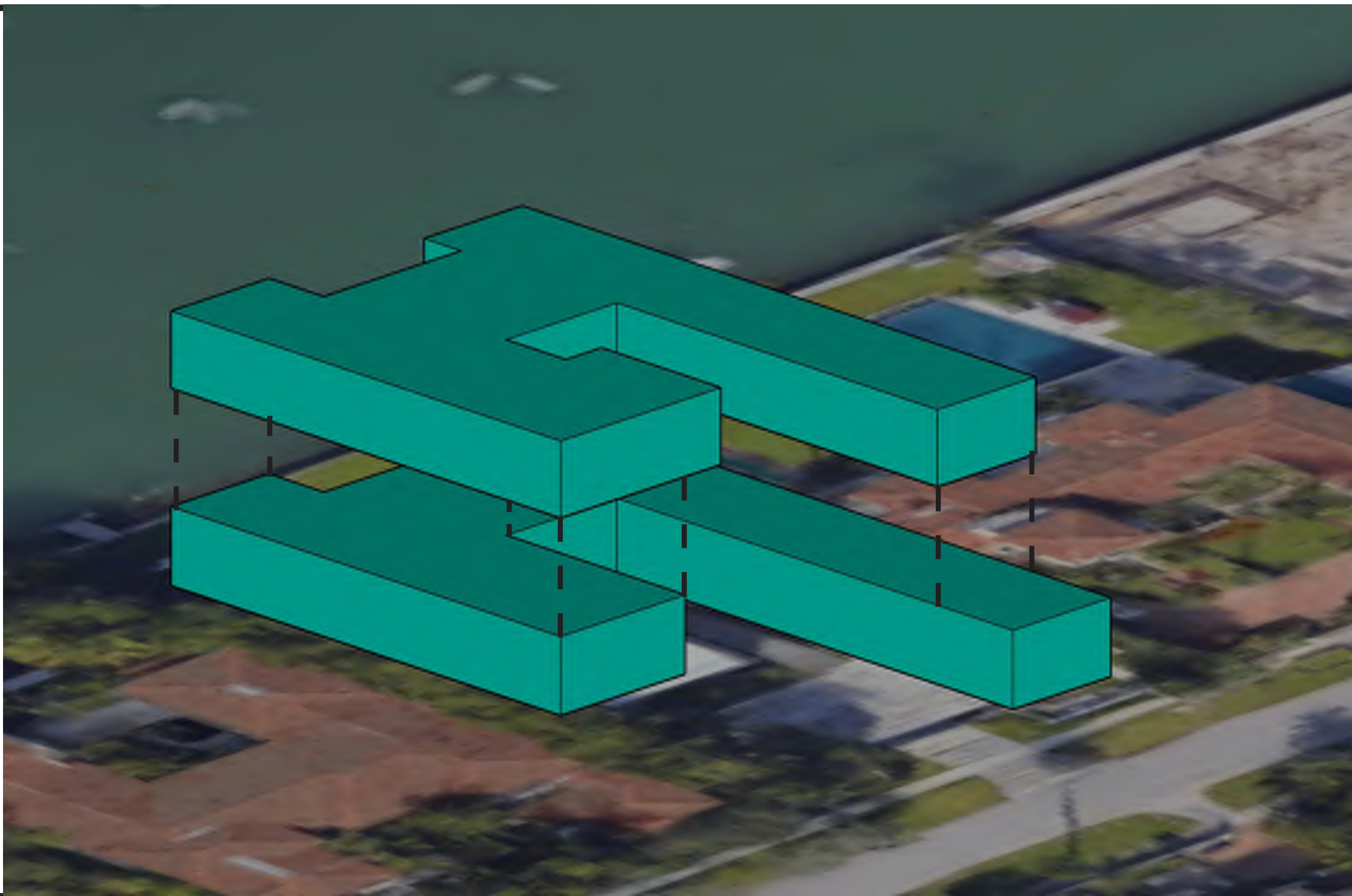
ADJACENT PROPERTY: 2344 N BAY ROAD
 LOT SIZE: 30,000 SQ. FT.
 AREA: 9,631 SQ. FT.
 APPROXIMATE LOT COVERAGE: 32.1%
 FIRST-SECOND FLOOR RATIO: 88.7



MASSING STUDIES

PROPOSED RESIDENCE SITE

2324 N BAY ROAD
 LOT SIZE: 20,000 SQ. FT.
 AREA: 6,786
 LOT COVERAGE: 33.9%
 FIRST-SECOND FLOOR RATIO: 97.4%



ITEM #	New Construction Floodplain Management Data		
1	Flood Zone:	AE +8	
2	FIRM Map Number	12086C0317L	
3	Base Flood Elevation (BFE):	8.00' NGVD	
4	Proposed Flood Design Elevation:		
5	Crown of Road Elevation:		
6	Classification of Structure:	Category II	
7	Building Use:	Single-Family Residence	

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET EXISTING CONDITIONS					
ITEM #	Zoning Information				
1	Address:	2324 North Bay Road Miami Beach, FL 33140 Legal Description: LOT 2, BLOCK 12, OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA			
2	Folio number(s):	02-3227-008-0680			
3	Board and file numbers :				
4	Year built:	2015	Zoning District:	RS-2	
5	Based Flood Elevation:	AE 8.00	CMB grade value in NGVD:	+3.22' NGVD	
6	Adjusted grade (Flood+Grade/2):	+5.61' NGVD	Free board:	+1'	
7	Lot Area:	20,000 SF			
8	Lot width:	100'	Lot Depth:	200'	
9	Max Lot Coverage SF and %:	6,000 SF (30%)	Lot Coverage SF and %:	6,786 SF (33.5%)	
10	Front Yard Open Space SF and %:	1,451 SF (72.5%)	Rear Yard Open Space SF and %:	2,301 SF (76.7%)	
11	Max Unit Size SF and %:	10,000 SF (50%)	Unit Size SF and %:	7,509 SF (37.5%)	
12	First Floor Unit Size:	4,871 SF	Second Floor Unit Size:	2,530 SF	
13	Cabana Unit Size:	108 SF			
14	Second to First Floor Ratio (not to exceed 70%, unless granted a waiver)	58.2%	Second Floor Volumetric	2,530 SF	
			First Floor Volumetric	5,371 SF	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" (28')	26'-4"	26'-4"	
18	Setbacks:				
19	Front First level:	20'-0"	20'-0"	20'-0"	
20	Front Second level:	30'-0"	48'-11"	41'-6"	
21	Side 1:	12'-6"	12'-6"	12'-6"	
22	Side 2 or (facing street):	12'-6"	12'-6"	12'-6"	
23	Rear:	30'-0"	43'-6"	43'-6"	
	Accessory Structure Side 1:		7'-6"	7'-6"	
24	Accessory Structure Side 2 or (facing street) :		N/A	N/A	
25	Accessory Structure Rear:		19'-6"	19'-6"	
26	Sum of Side yard :	25'-0"	25'-0"	25'-0"	
27	Located within a Local Historic District?		Yes or no		
28	Designated as an individual Historic Single Family Residence Site?		Yes or no		
29	Determined to be Architecturally Significant?		Yes or no		
Notes:					

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET PROPOSED CONDITIONS					
ITEM #	Zoning Information				
1	Address:	2324 North Bay Road Miami Beach, FL 33140 Legal Description: LOT 2, BLOCK 12, OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA			
2	Folio number(s):	02-3227-008-0680			
3	Board and file numbers :				
4	Year built:	2015	Zoning District:	RS-2	
5	Based Flood Elevation:	AE 8.00	CMB grade value in NGVD:	+3.22' NGVD	
6	Adjusted grade (Flood+Grade/2):	+5.61' NGVD	Free board:	+1'	
7	Lot Area:	20,000 SF			
8	Lot width:	100'	Lot Depth:	200'	
9	Max Lot Coverage SF and %:	6,000 SF (30%)	Lot Coverage SF and %:	6,786 SF (33.5%)	
10	Front Yard Open Space SF and %:	1,451 SF (72.5%)	Rear Yard Open Space SF and %:	2,301 SF (76.7%)	
11	Max Unit Size SF and %:	10,000 SF (50%)	Unit Size SF and %:	9,636 SF (48.2%)	
12	First Floor Unit Size:	4,871 SF	Second Floor Unit Size:	4,657 SF	
13	Cabana Unit Size:	108 SF			
14	Second to First Floor Ratio (not to exceed 70%, unless granted a waiver)	97.4% WAIVER REQUESTED	Second Floor Volumetric	5,234 SF	
			First Floor Volumetric	5,371 SF	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" (28')	26'-4"	26'-4"	
18	Setbacks:				
19	Front First level:	20'-0"	20'-0"	20'-0"	
20	Front Second level:	30'-0"	48'-11"	41'-6"	
21	Side 1:	12'-6"	12'-6"	12'-6"	
22	Side 2 or (facing street):	12'-6"	12'-6"	12'-6"	
23	Rear:	30'-0"	43'-6"	43'-6"	
	Accessory Structure Side 1:		7'-6"	7'-6"	
24	Accessory Structure Side 2 or (facing street) :		N/A	N/A	
25	Accessory Structure Rear:		19'-6"	19'-6"	
26	Sum of Side yard :	25'-0"	25'-0"	25'-0"	
27	Located within a Local Historic District?		Yes or no		
28	Designated as an individual Historic Single Family Residence Site?		Yes or no		
29	Determined to be Architecturally Significant?		Yes or no		
Notes:					

ESTEFANO ISAIAS RESIDENCE

2324 NORTH BAY ROAD
MIAMI, FLORIDA 33140

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.

1841

date:
08/03/2018

revised:

sheet no.

A-0.2

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ARCHITECTURE + DESIGN

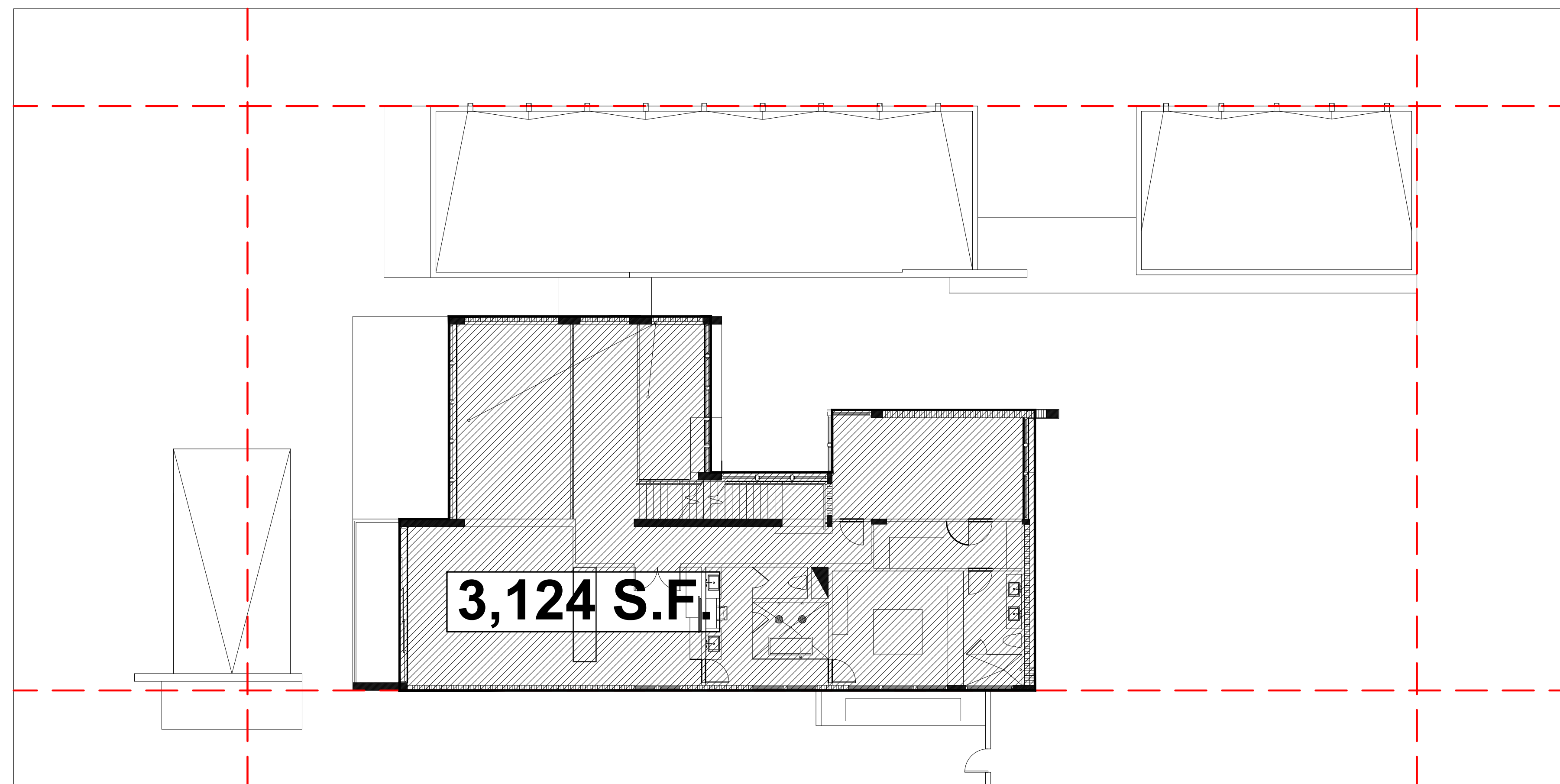
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www.clarchitects.com
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EXISTING
SECOND / FIRST FLOOR RATIO :

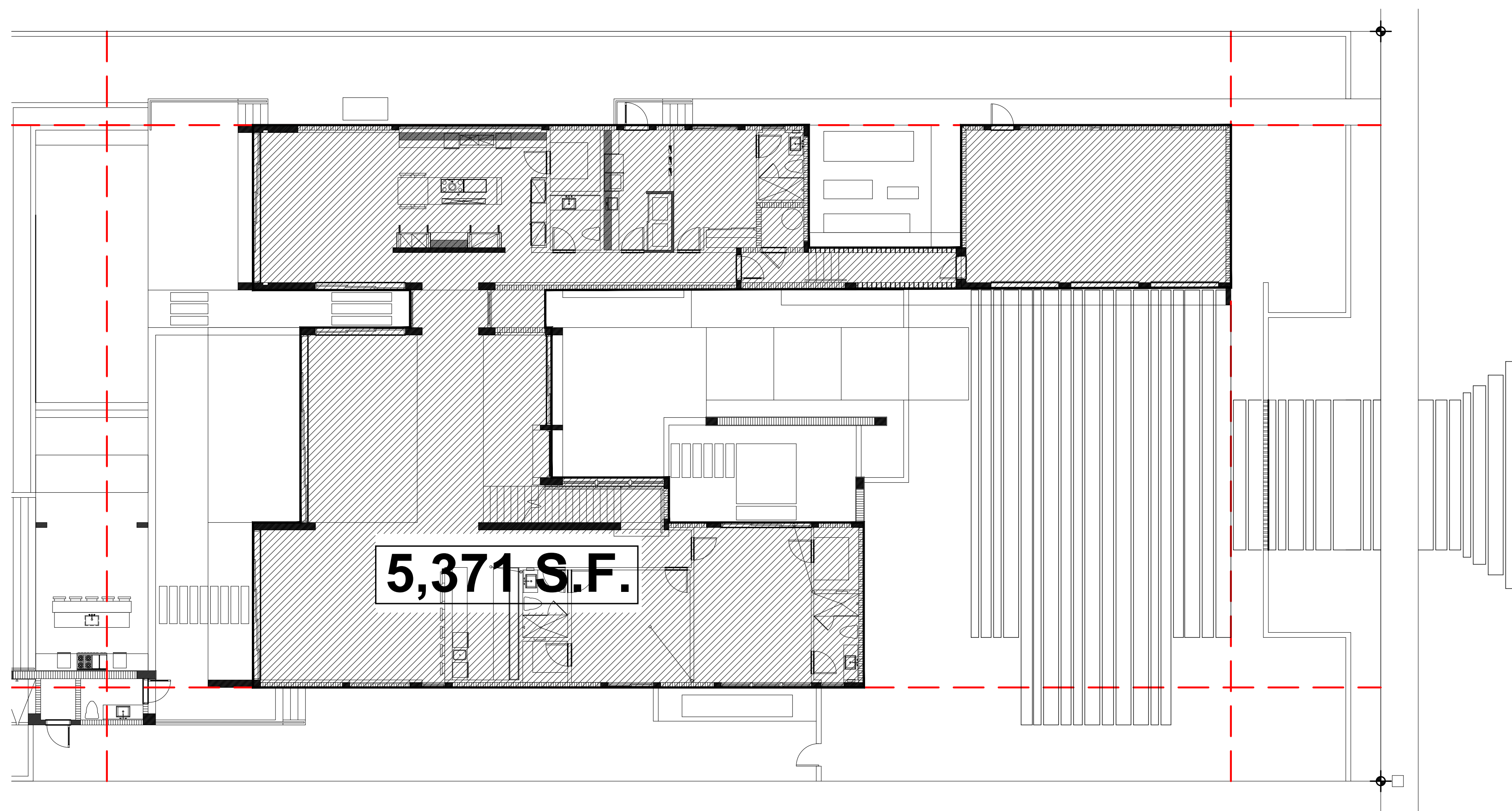
LOT SIZE: 20,000 S.F.

FIRST FLOOR 5,371 S.F.
SECOND FLOOR 3,124 S.F.

SECOND FLOOR IS (58.2 %)

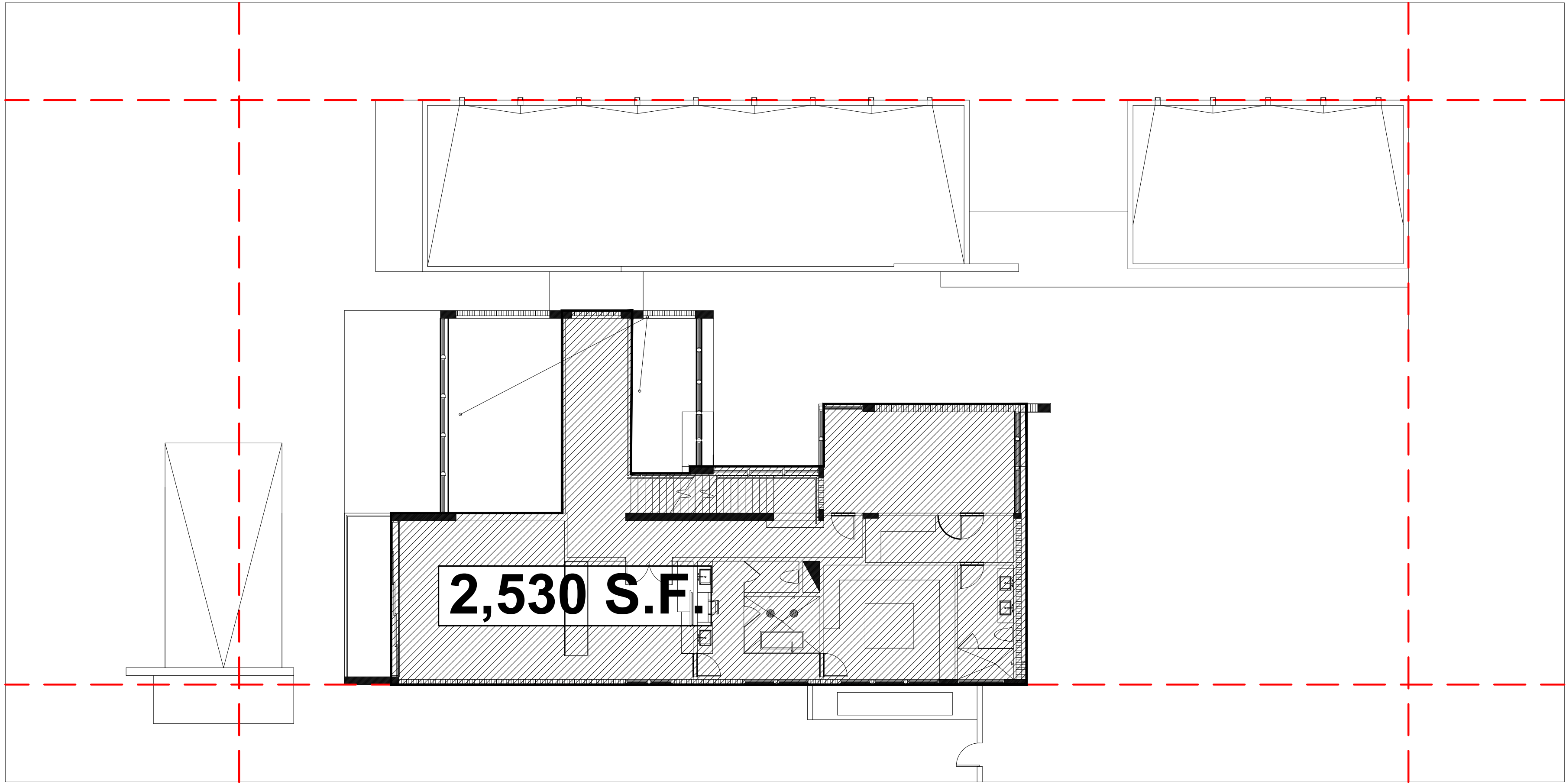


2 SECOND FLOOR
A-6.0 SCALE 3/32" = 1'-0" N

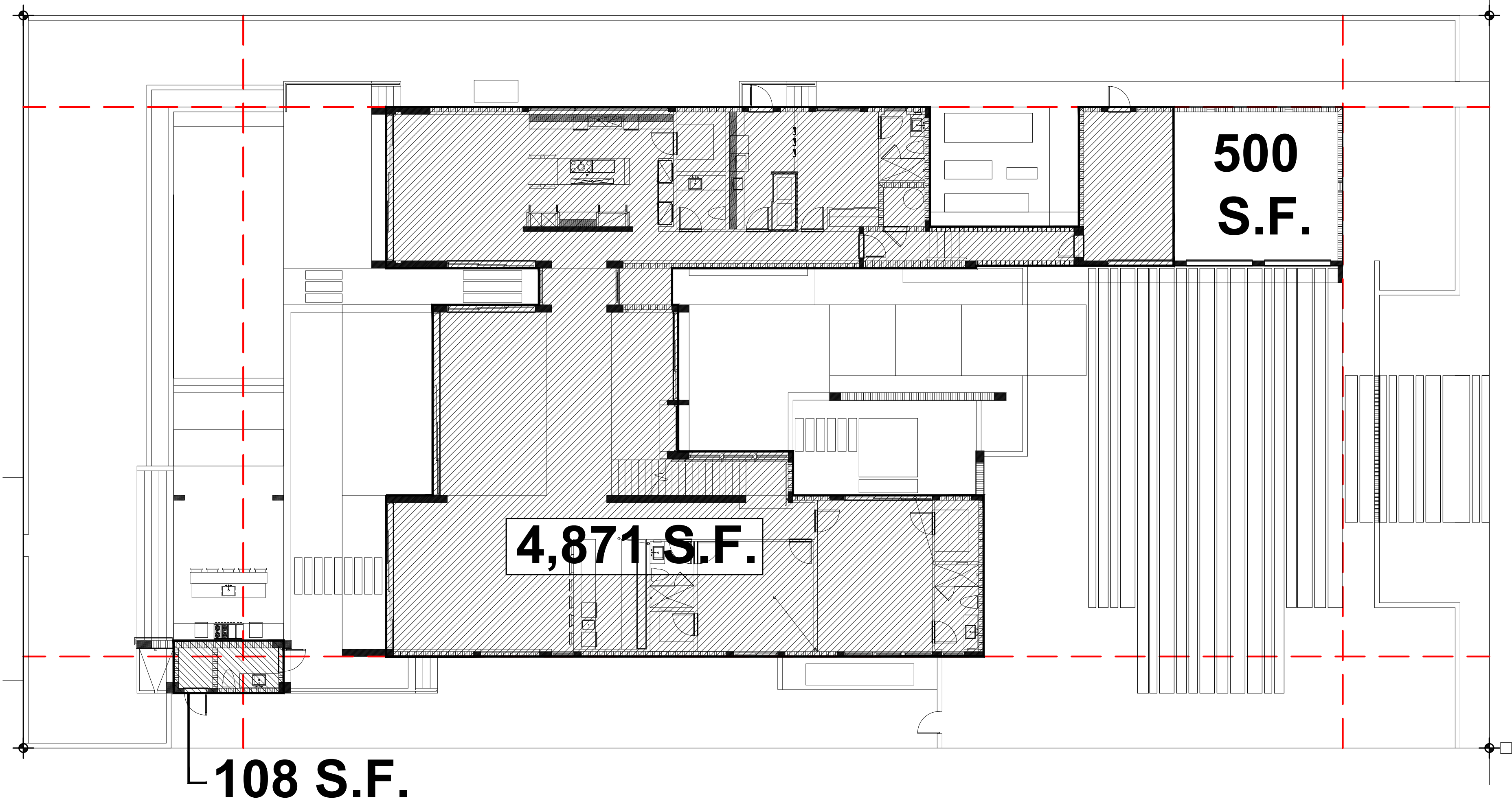


1 FIRST FLOOR
A-6.0 SCALE 3/32" = 1'-0" N

EXISTING



2 SECOND FLOOR
A-B/J SCALE 3/32" = 1'-0" N



1 FIRST FLOOR
A-B/J SCALE 3/32" = 1'-0" N

EXISTING
UNIT SIZE :

LOT SIZE:	20,000 S.F.
FIRST FLOOR	4,871 S.F.
CABANA	108 S.F.
SECOND FLOOR	2,530 S.F.
TOTAL	7,509 S.F.
UNIT / LOT SIZE	(37.5%)

ESTEFANO ISAIAS RESIDENCE
2324 NORTH BAY ROAD
MIAMI, FLORIDA 33140

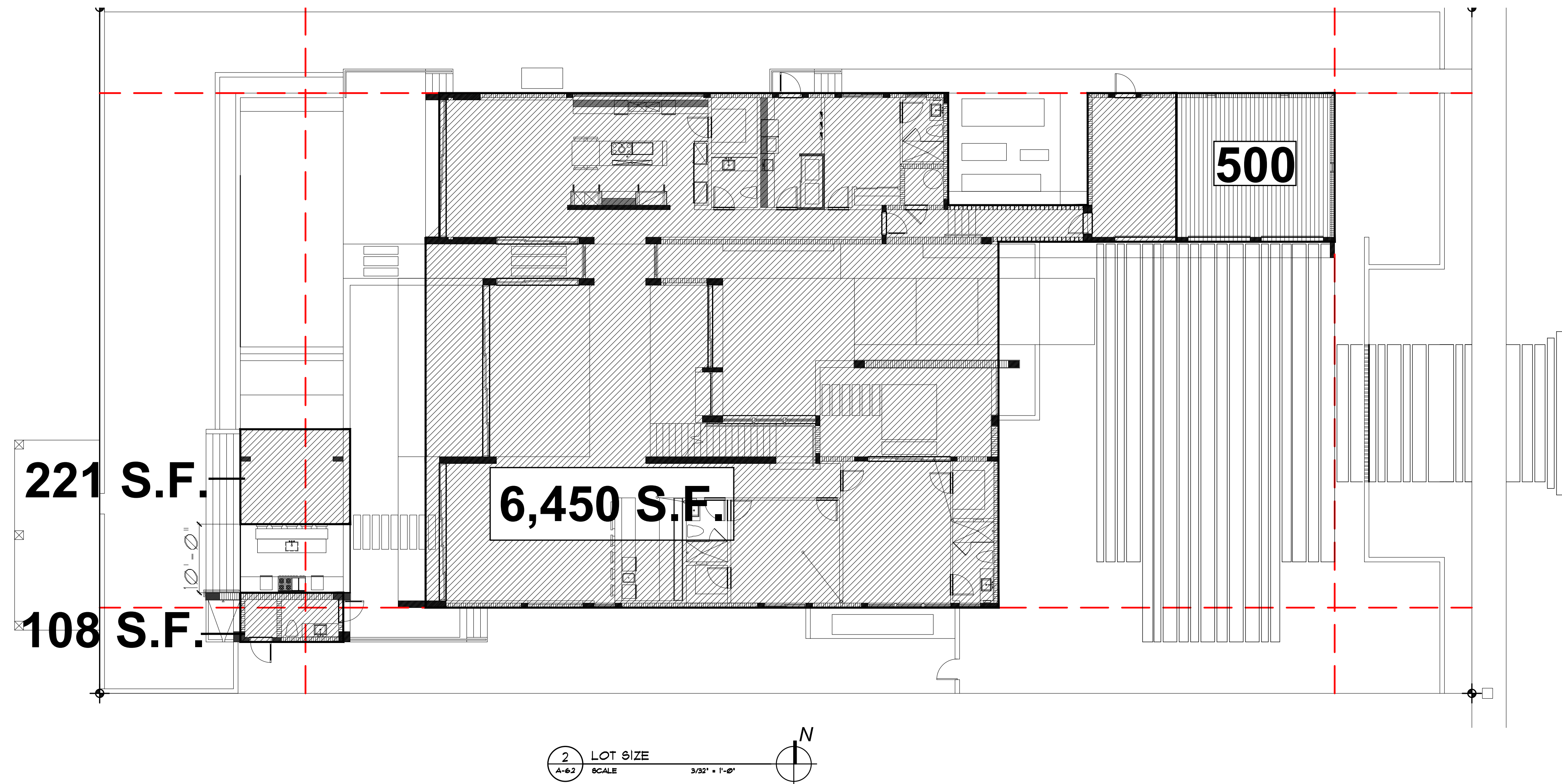
seal

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AA26003009
comm no.
1841
date:
08/03/2018
revised:

sheet no.
A-1.1

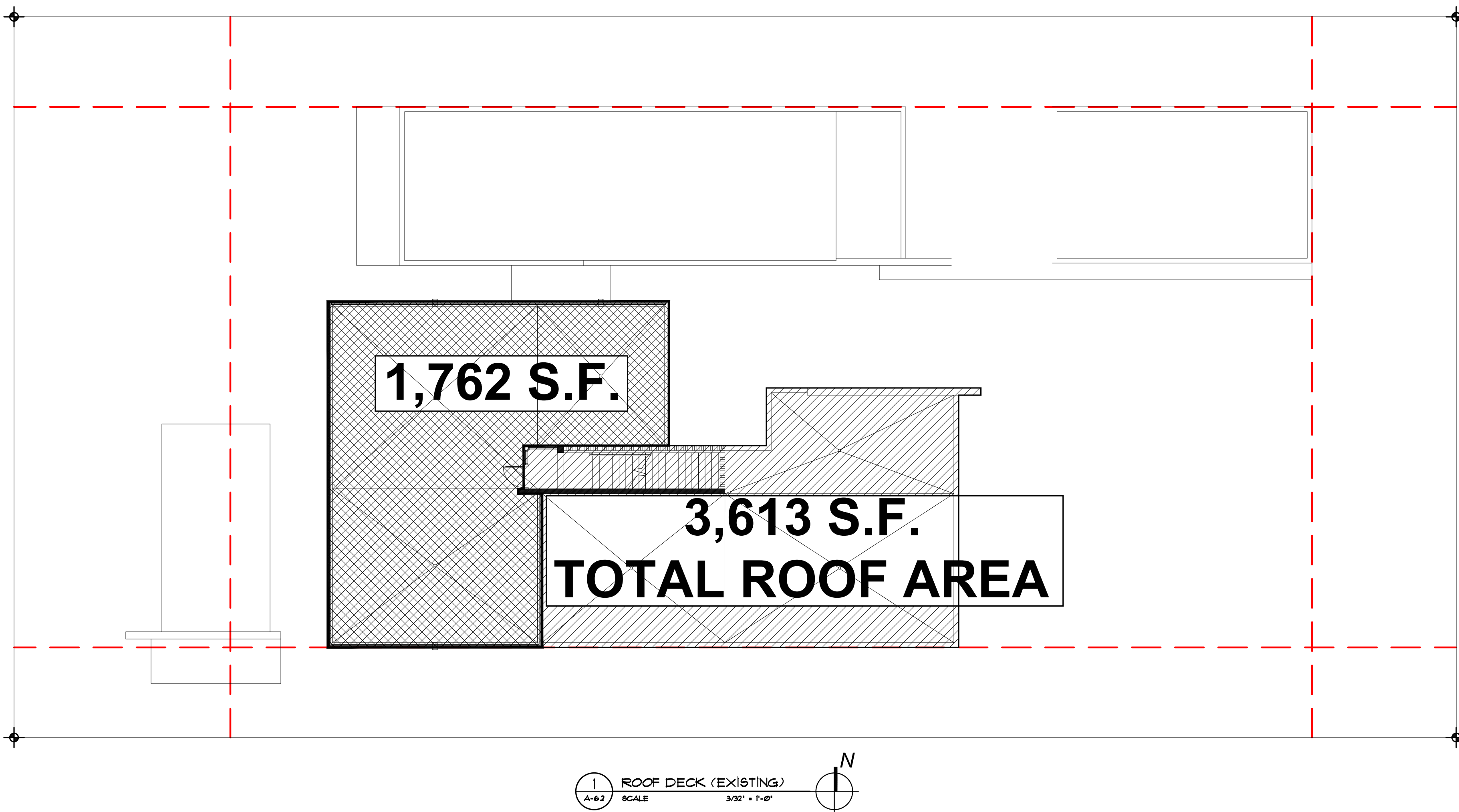
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EXISTING



LOT SIZE

LOT COVERED (EXISTING FOOTPRINT) : 6,786 SQ. FT. (33.9 %)



ROOFING LOUNGE AREA - EXISTING

UPPER LEVEL ROOF. 3,163 S.F.
(TAKEN TO OUTSIDE EDGE OF A/C SPACE BELOW)

ROOF DECK AREA : 1,762 S.F. (55.1 %)

EXISTING

LEGEND

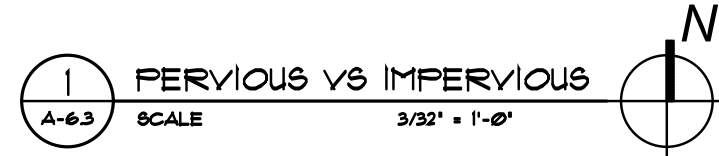
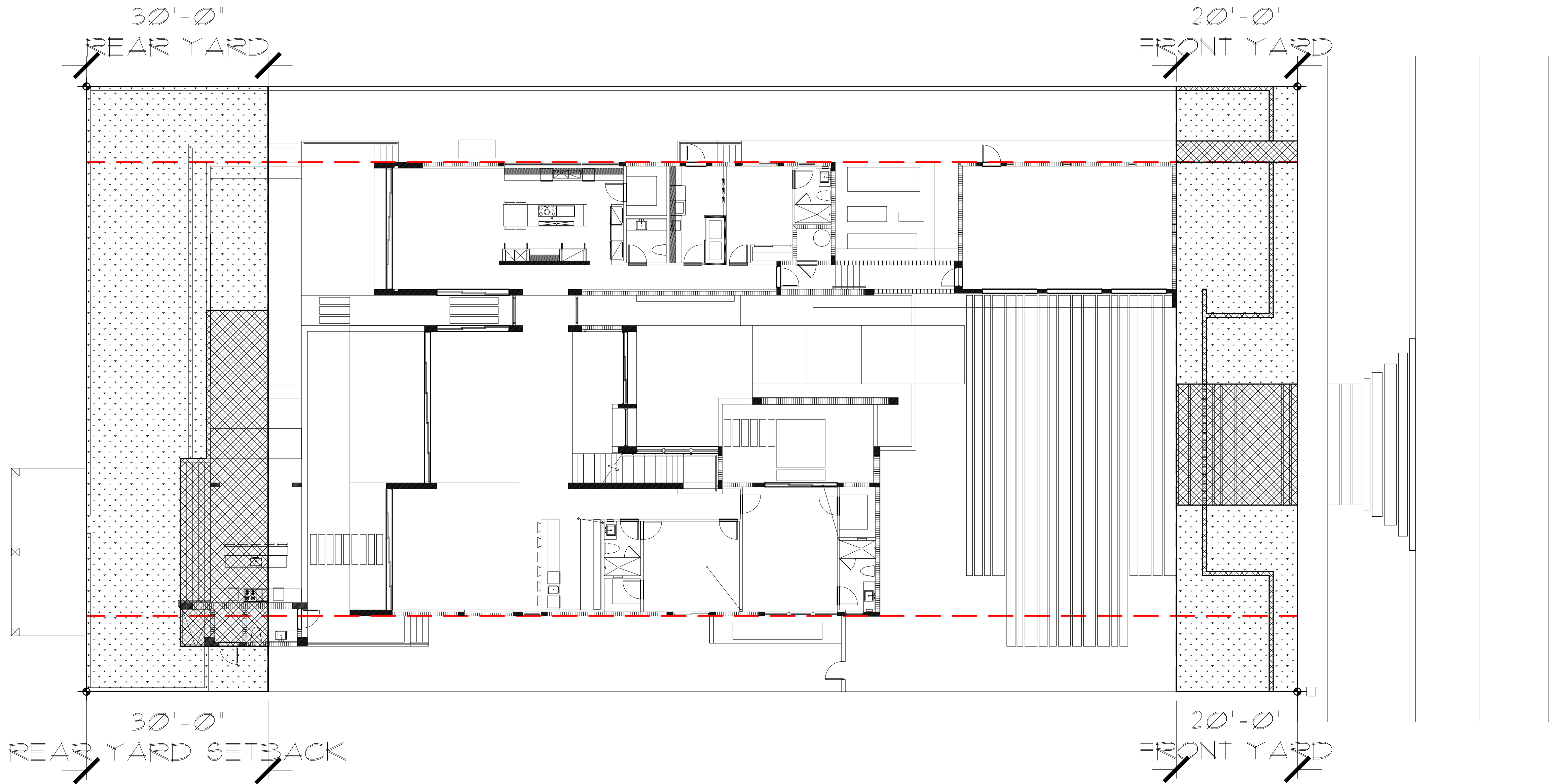
- IMPERVIOUS AREA
- PERVIOUS / LANDSCAPE AREA

EXISTING
FRONT YARD CALCULATIONS

AREA:	2,000 S. F.	100%
IMPERVIOUS AREA:	549 S. F.	27.5 %
PERVIOUS AREA:	1,451 S. F.	72.5%

REAR YARD CALCULATIONS

AREA:	3,000 S. F.	100 %
IMPERVIOUS AREA:	699 S. F.	23.3 %
PERVIOUS AREA:	2,301 S. F.	76.7 %



EXISTING

ESTEFANO ISAIAS RESIDENCE
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seal

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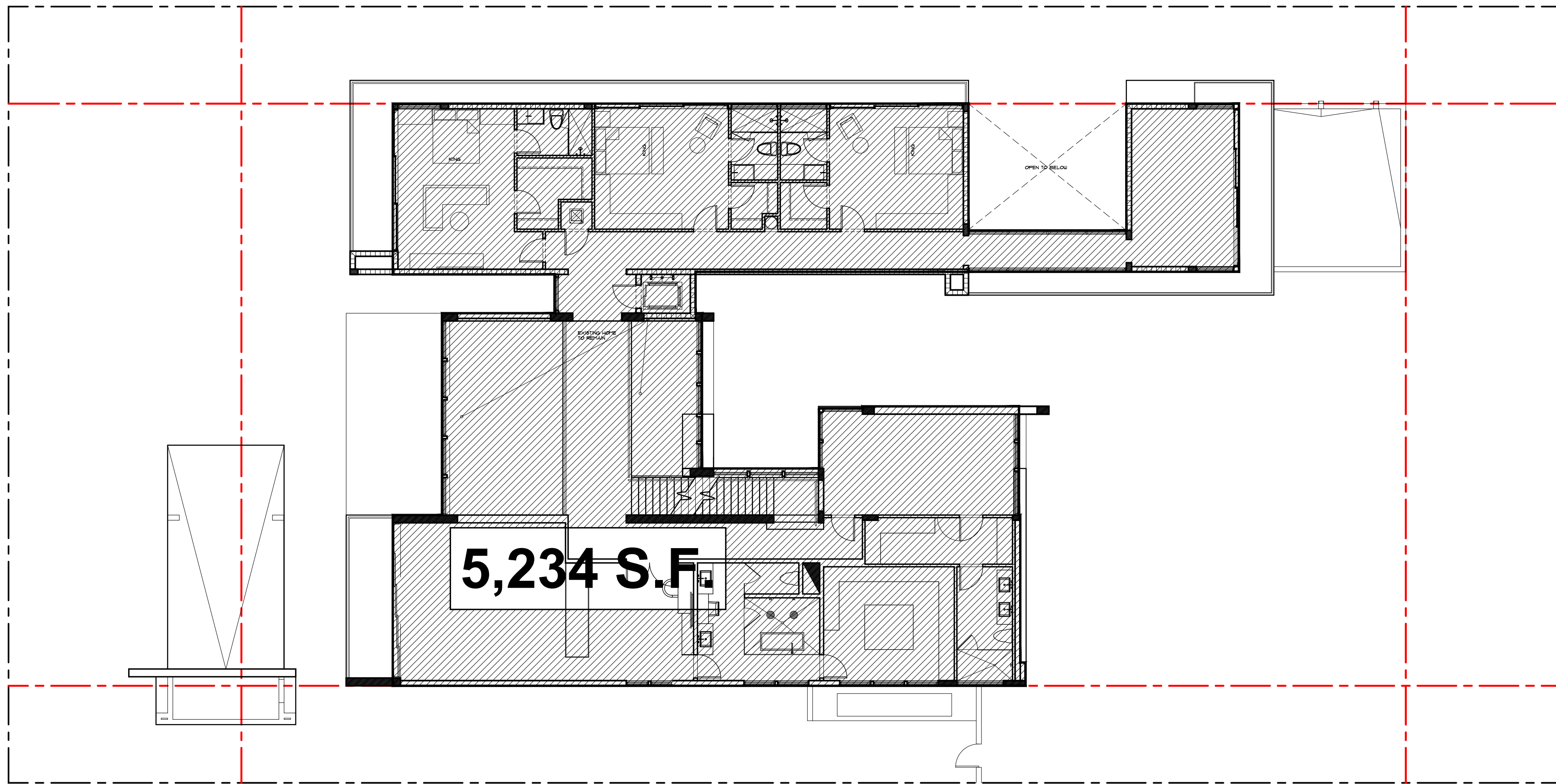
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08/03/2018

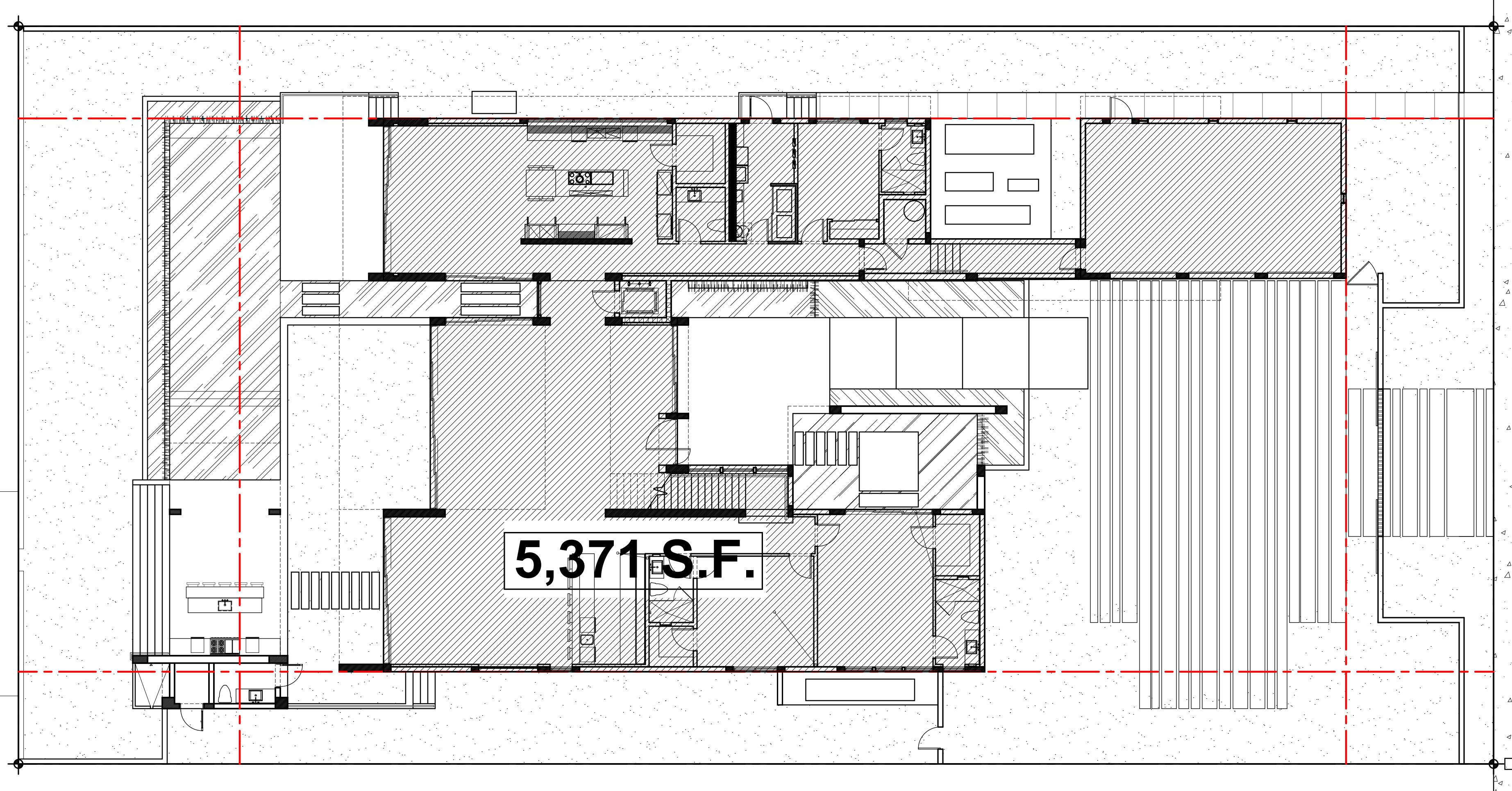
revised:

sheet no.

A-1.3



2 SECOND FLOOR
A-09 SCALE 3/32" = 1'-0" N



1 FIRST FLOOR
A-08 SCALE 3/32" = 1'-0" N

SECOND / FIRST FLOOR RATIO :

LOT SIZE: 20,000 S.F.

FIRST FLOOR 5,371 S.F.
SECOND FLOOR 5,234 S.F.

SECOND FLOOR IS (97.4 %)

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date:
08/03/2018

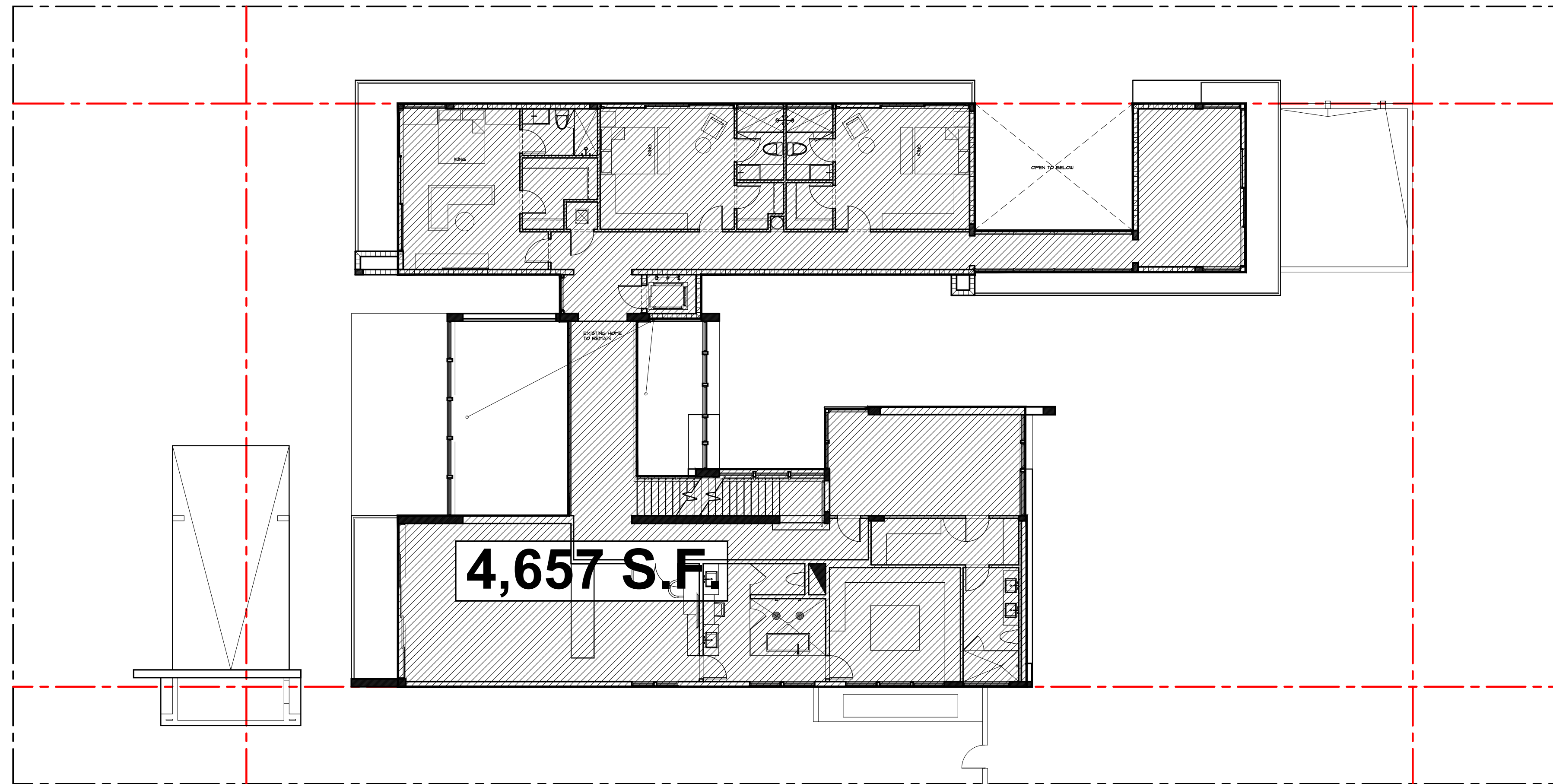
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PROPOSED

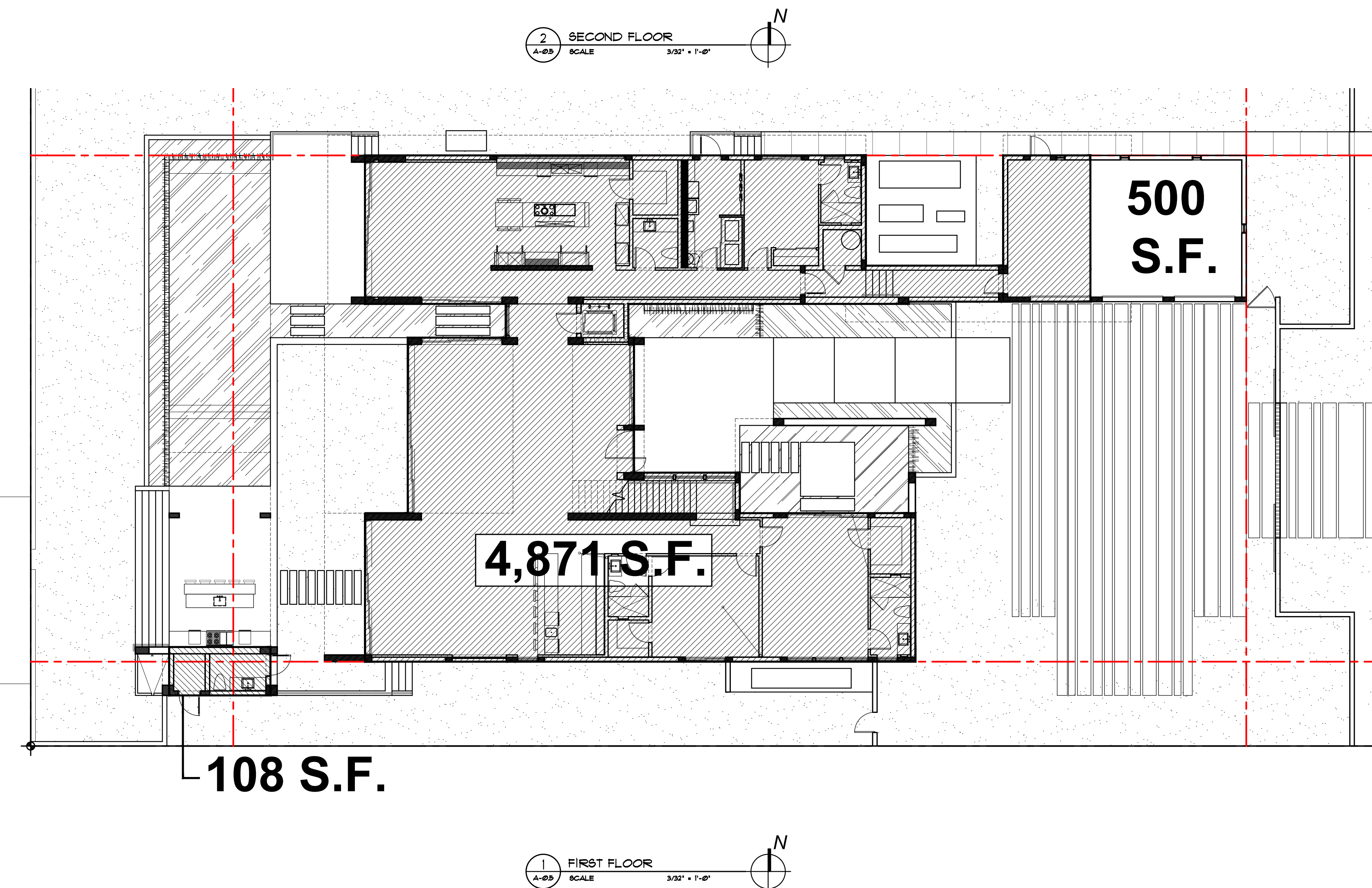
A-2.0

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UNIT SIZE :

LOT SIZE:	20,000 S.F.
FIRST FLOOR	4,871 S.F.
CABANA	108 S.F.
SECOND FLOOR	4,657 S.F.
TOTAL	9,636 S.F.
UNIT / LOT SIZE	(48.2%) (50% MAX.)



PROPOSED

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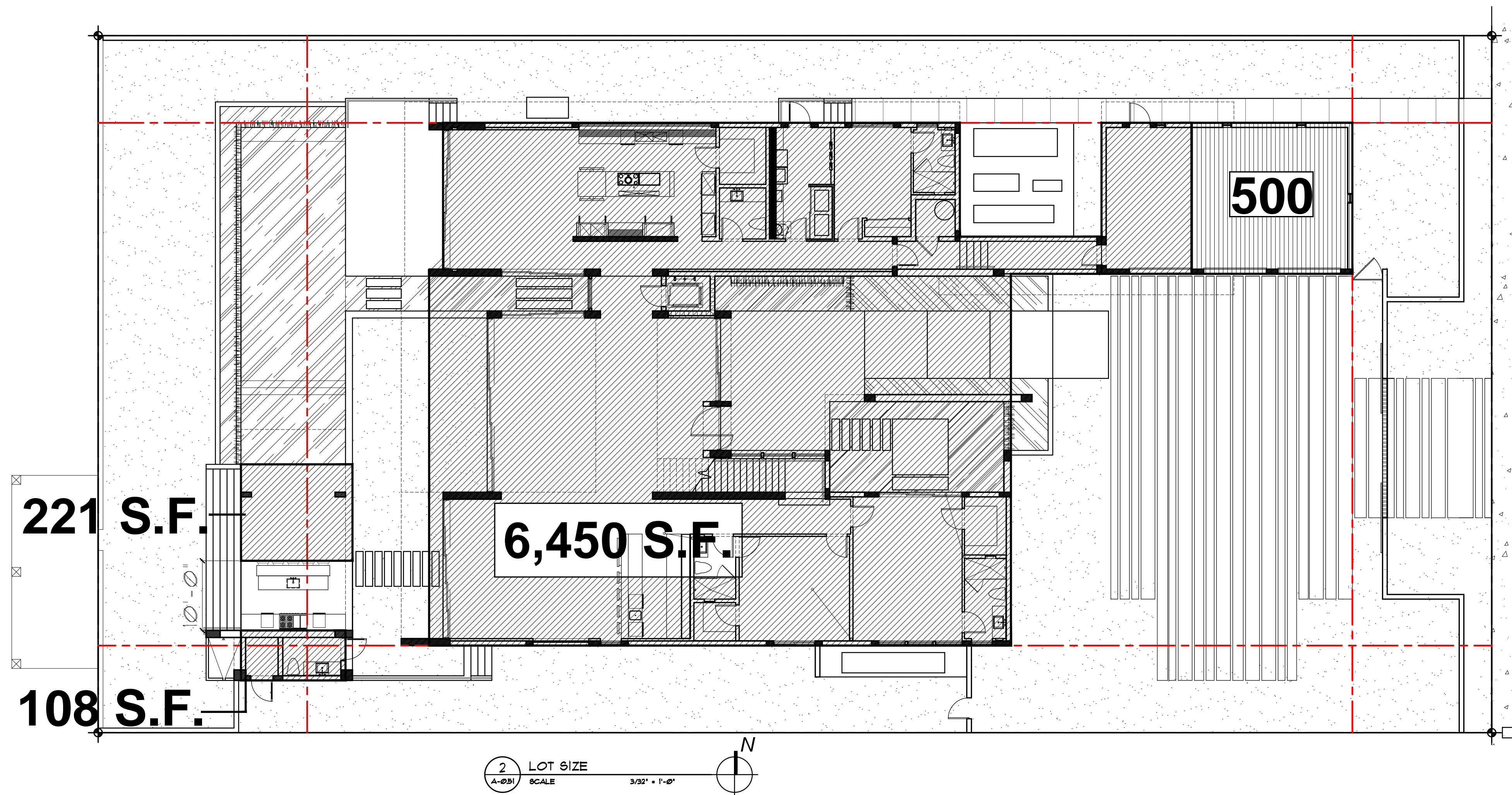
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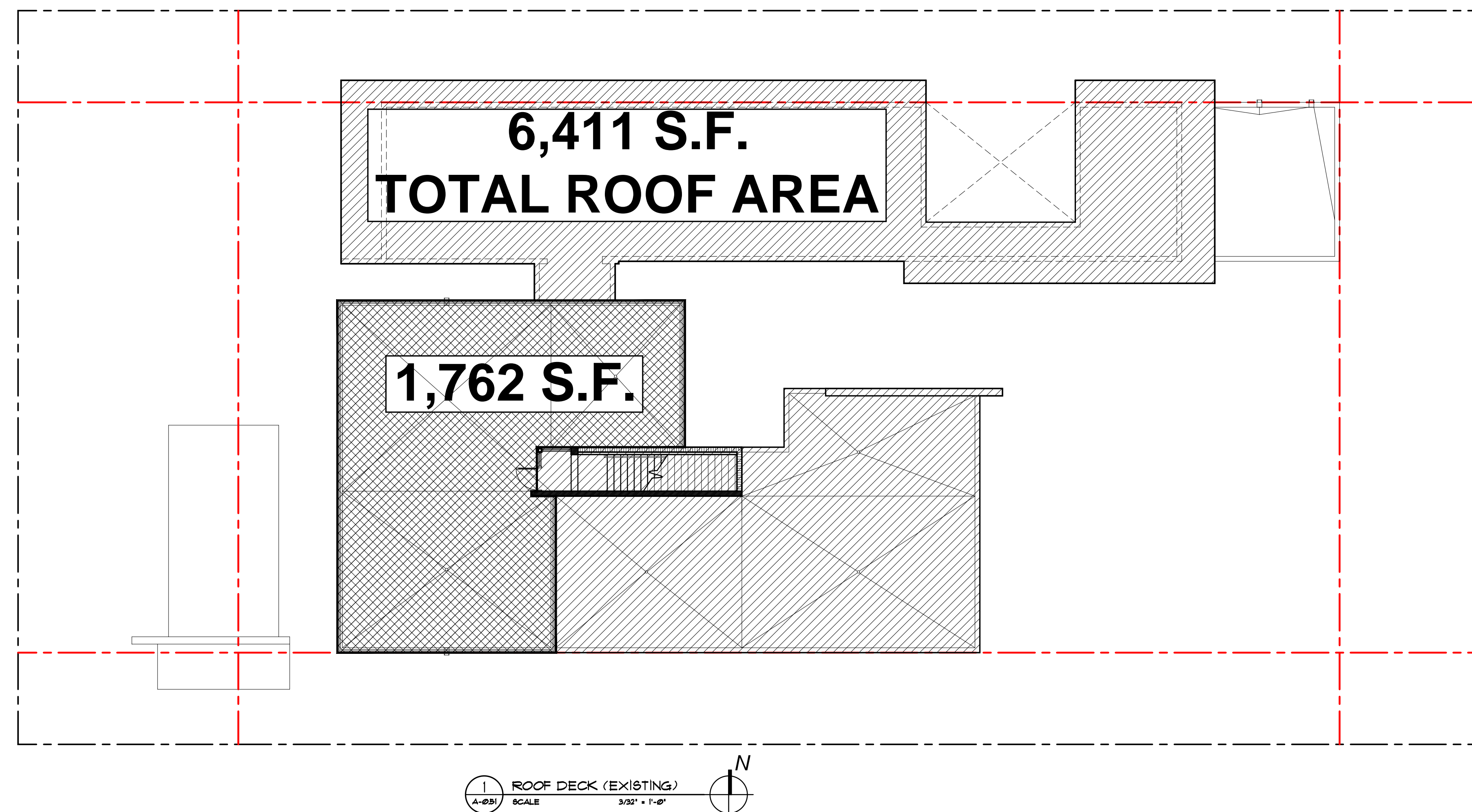
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LOT SIZE : - SAME AS EXISTING

LOT COVERED (EXISTING FOOTPRINT) : 6,786 SQ. FT. (33.9 %)



ROOFING LOUNGE AREA - SAME AS EXISTING

UPPER LEVEL ROOF. 6,411 S.F.
(TAKEN TO OUTSIDE EDGE OF A/C SPACE BELOW)

ROOF DECK AREA : 1,762 S.F. (27.4 %)

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A-2.2

LEGEND

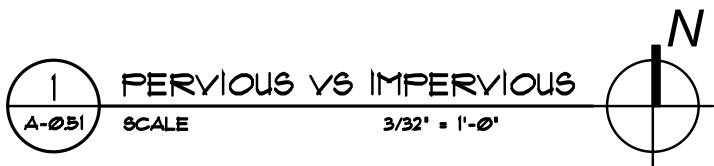
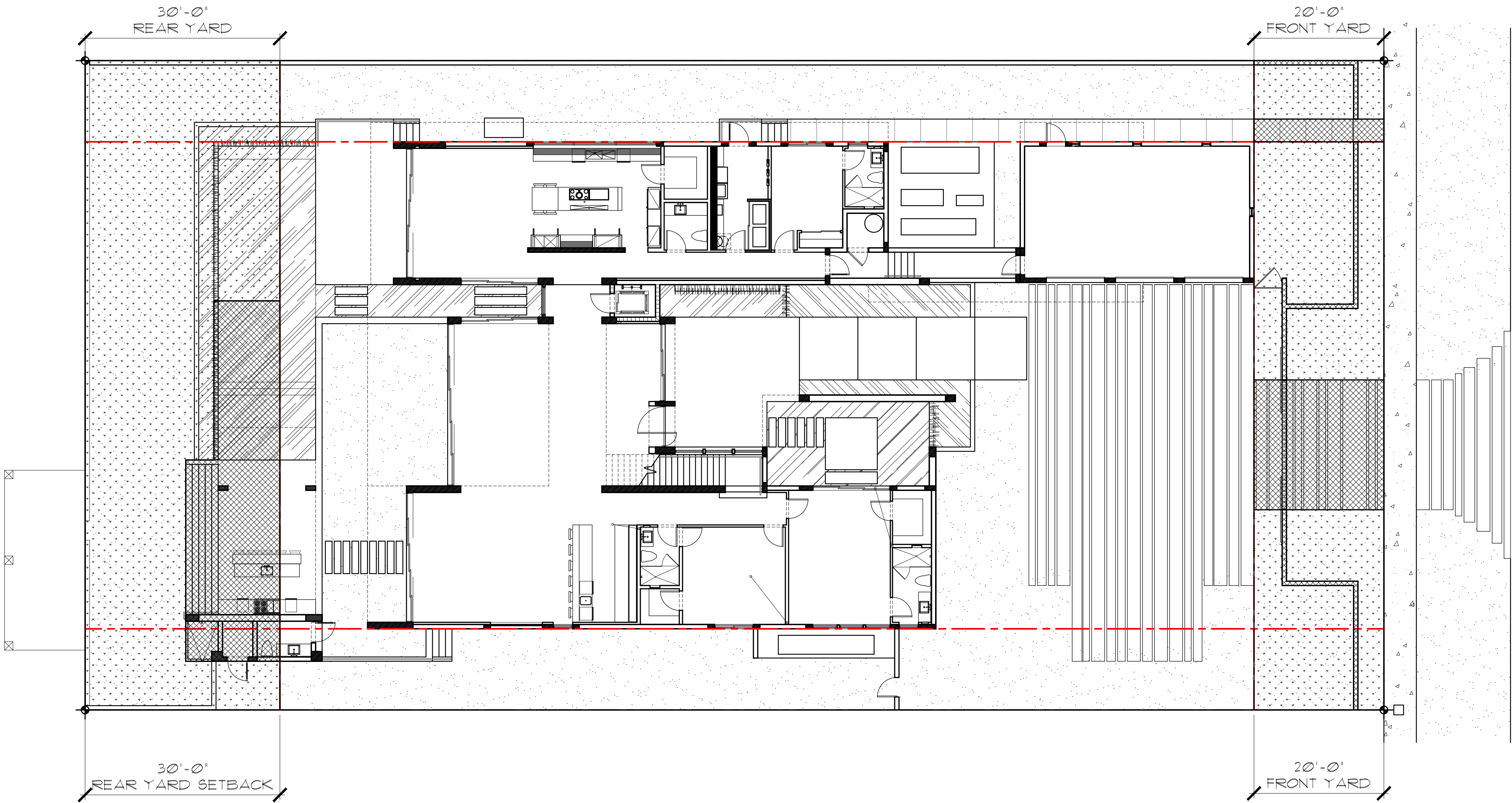
- IMPERVIOUS AREA
- PERVIOUS / LANDSCAPE AREA

FRONT YARD CALCULATIONS - SAME AS EXISTING

AREA:	2,000 S. F.	100%
IMPERVIOUS AREA:	549 S. F.	27.5 %
PERVIOUS AREA:	1,451 S. F.	72.5%

REAR YARD CALCULATIONS - SAME AS EXISTING

AREA:	3,000 S. F.	100 %
IMPERVIOUS AREA:	699 S. F.	23.3 %
PERVIOUS AREA:	2,301 S. F.	76.7 %



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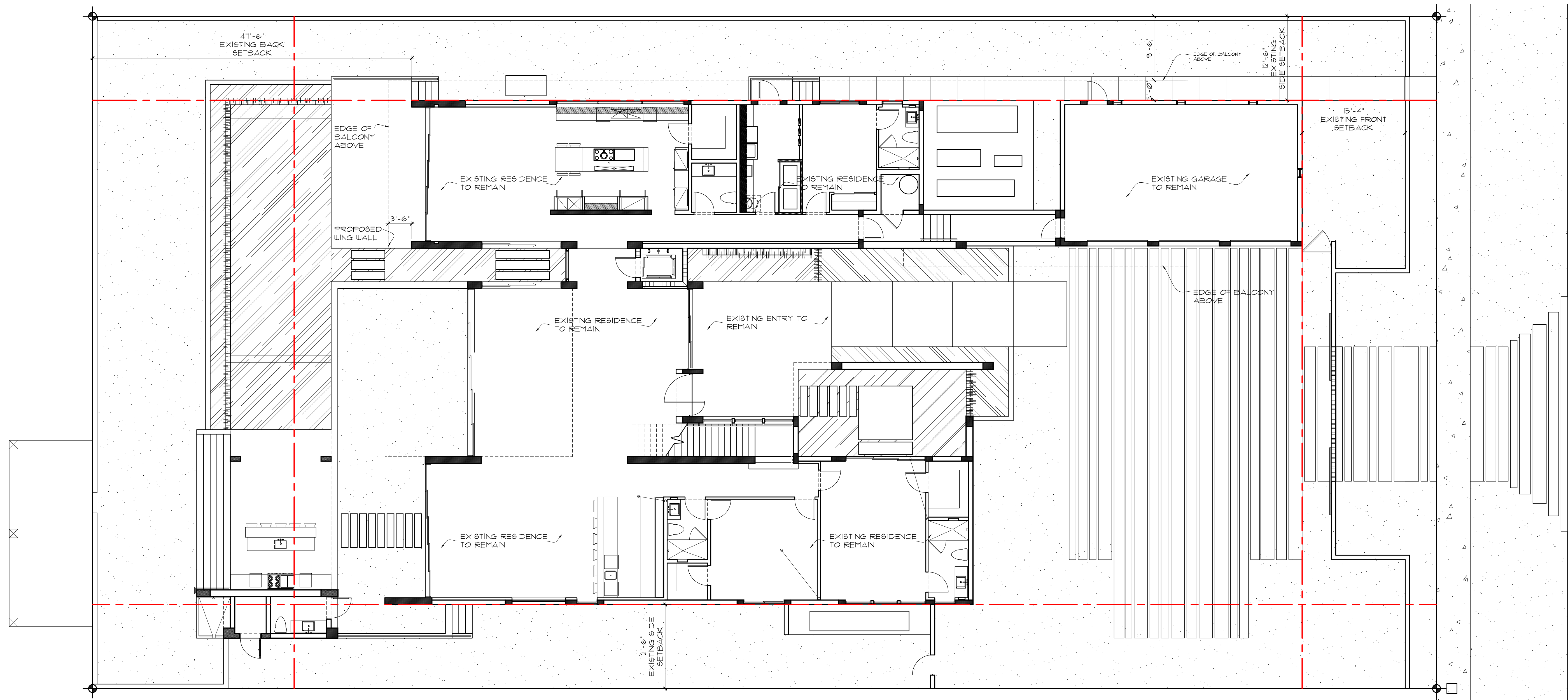
date:
08/03/2018

revised:

sheet no.

A-2.3

PROPOSED



SITE PLAN
SCALE: 1/8"=1'-0"

LANDSCAPING NOTE

ALL EXISTING LANDSCAPE TO REMAIN

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MIAMI, FLORIDA 33140

seal

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AA26003009

comm no.

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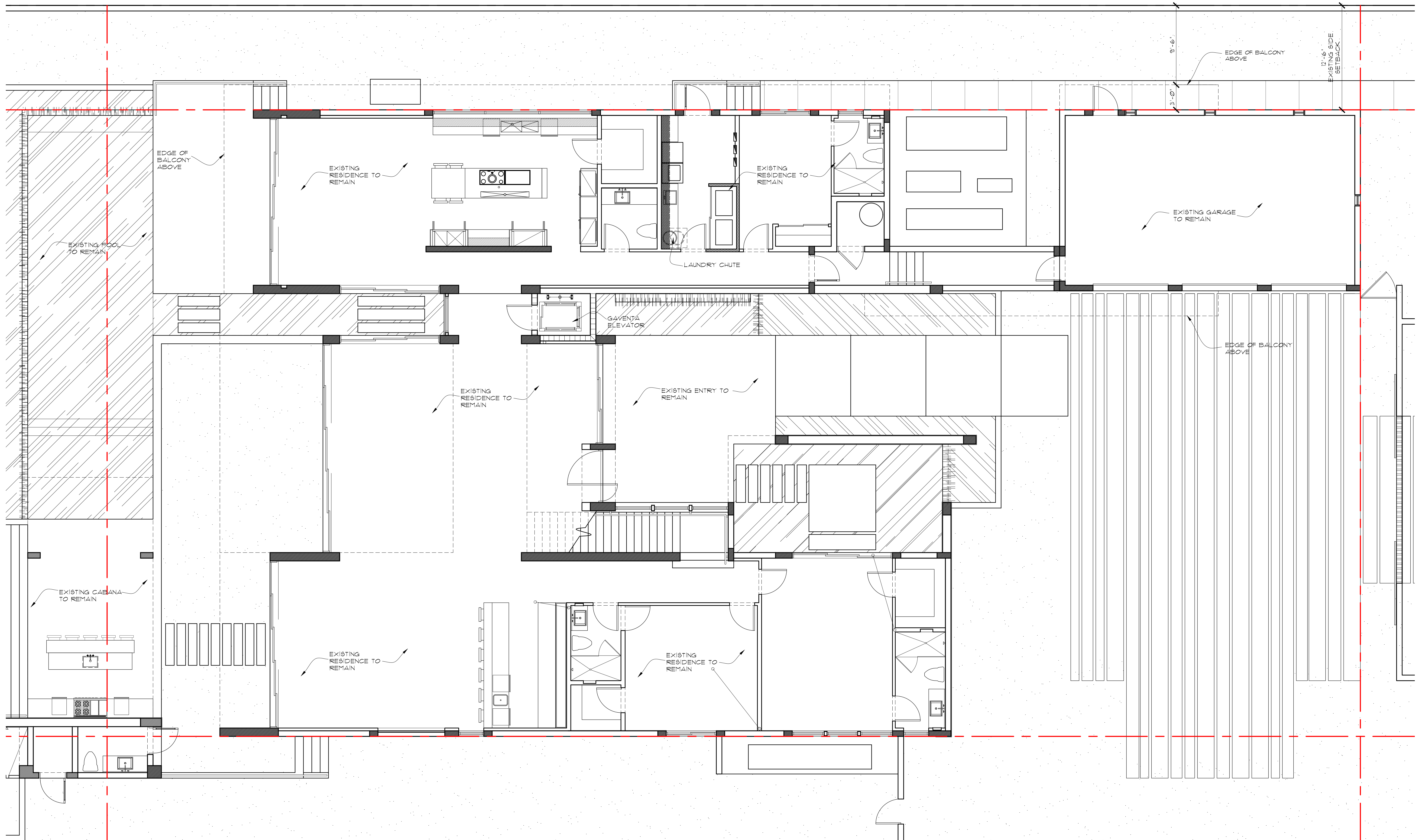
date:
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sheet no.

A-3.0

PROPOSED



FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"

PROPOSED



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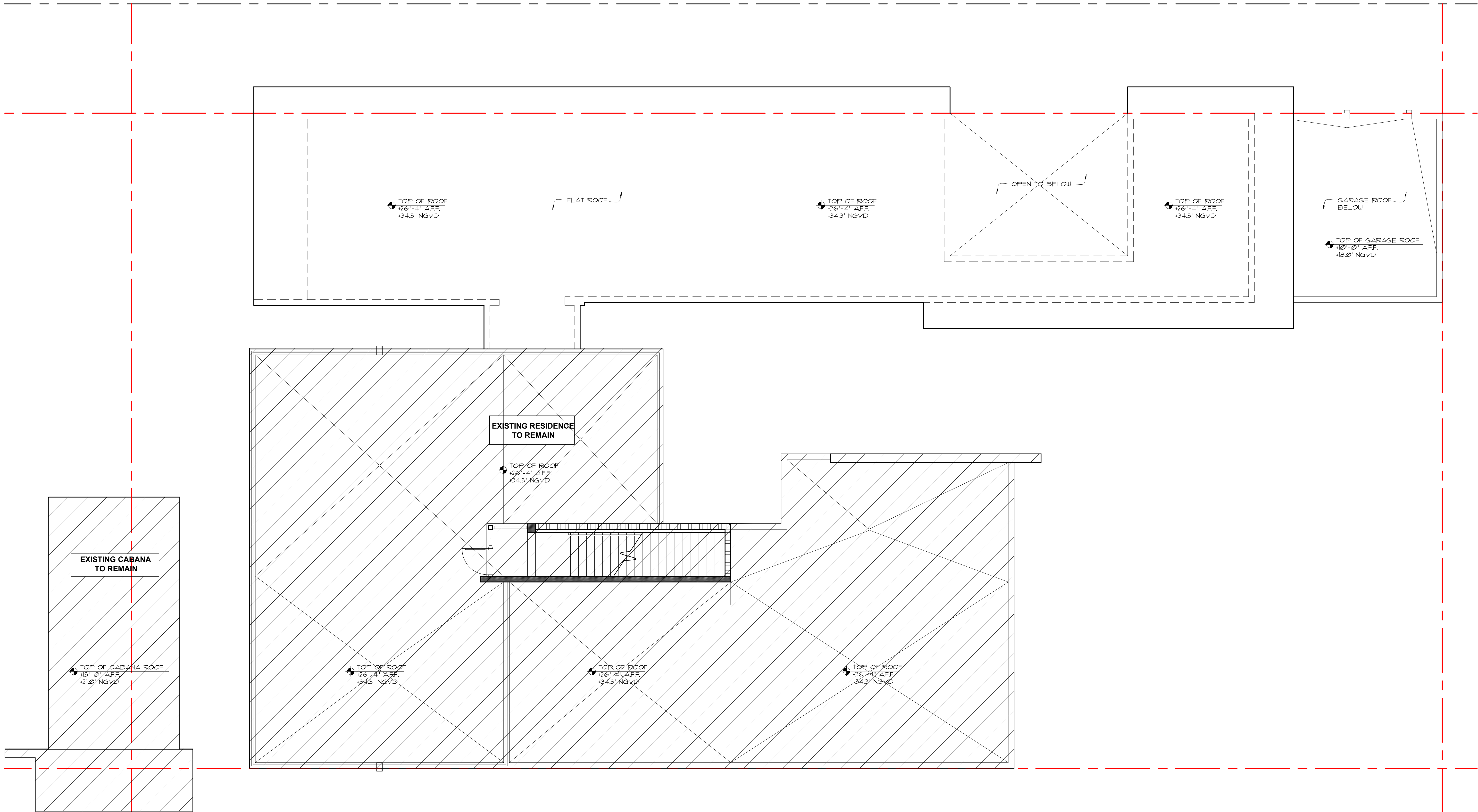
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08/03/2018

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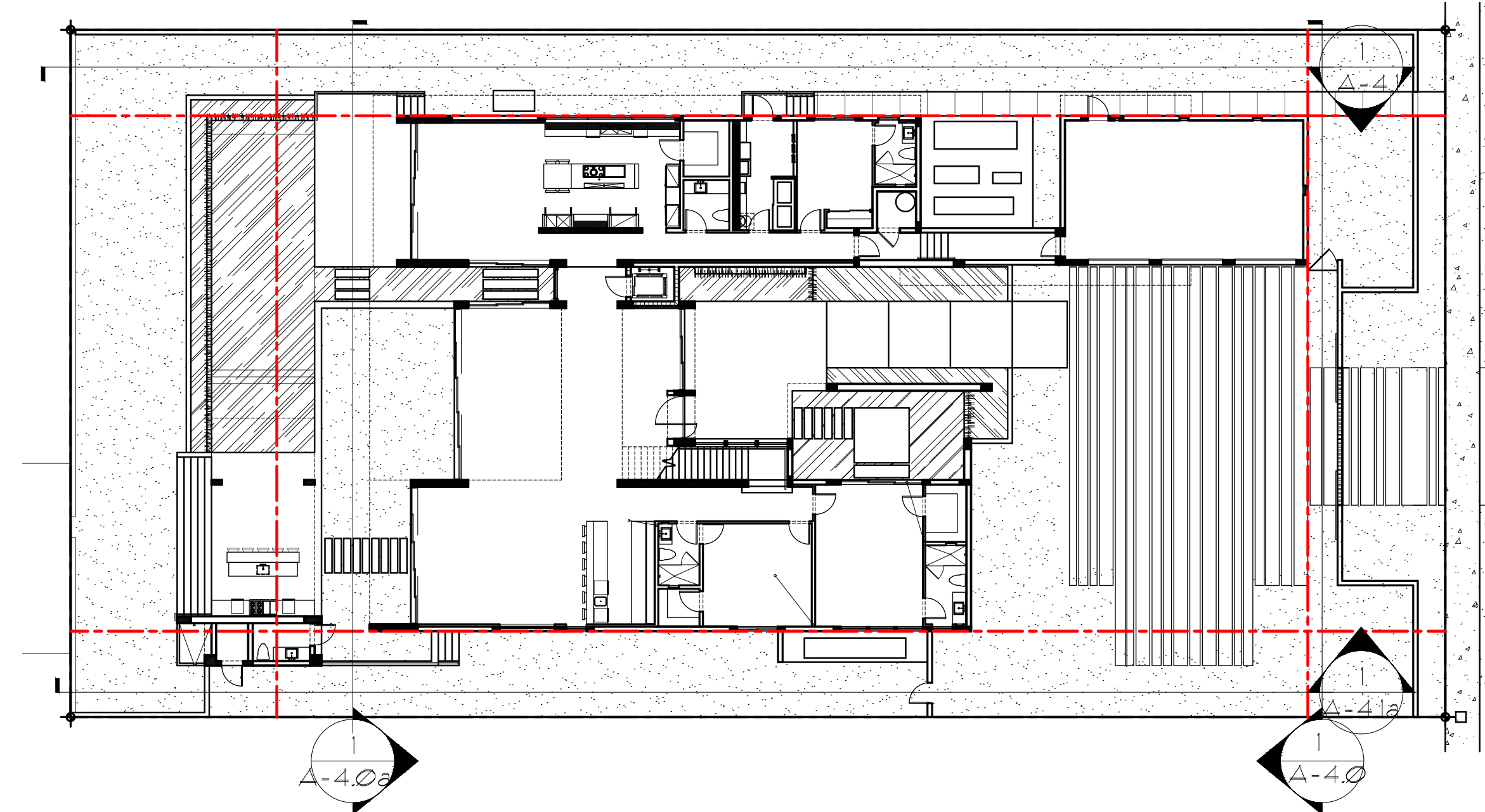
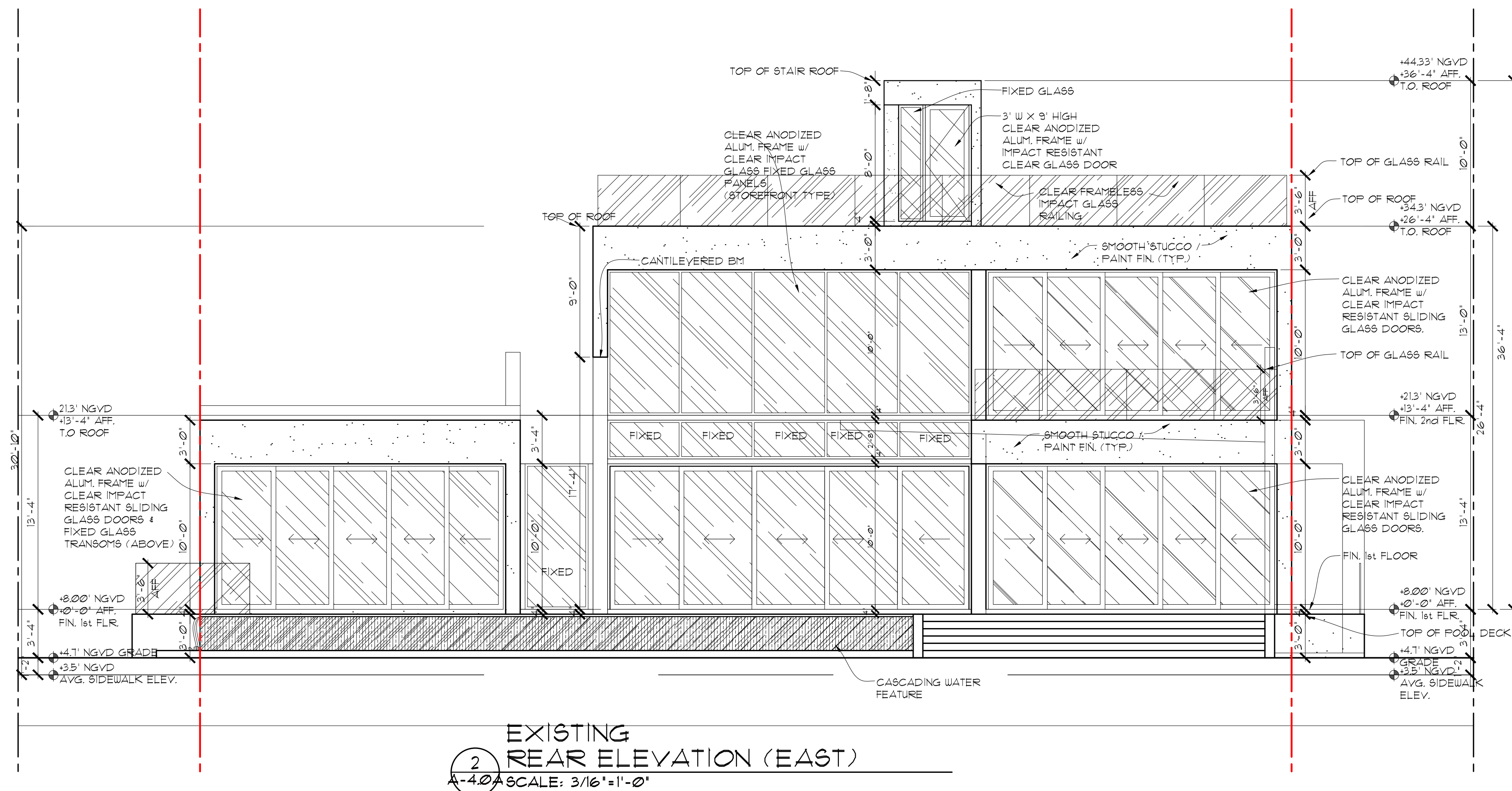
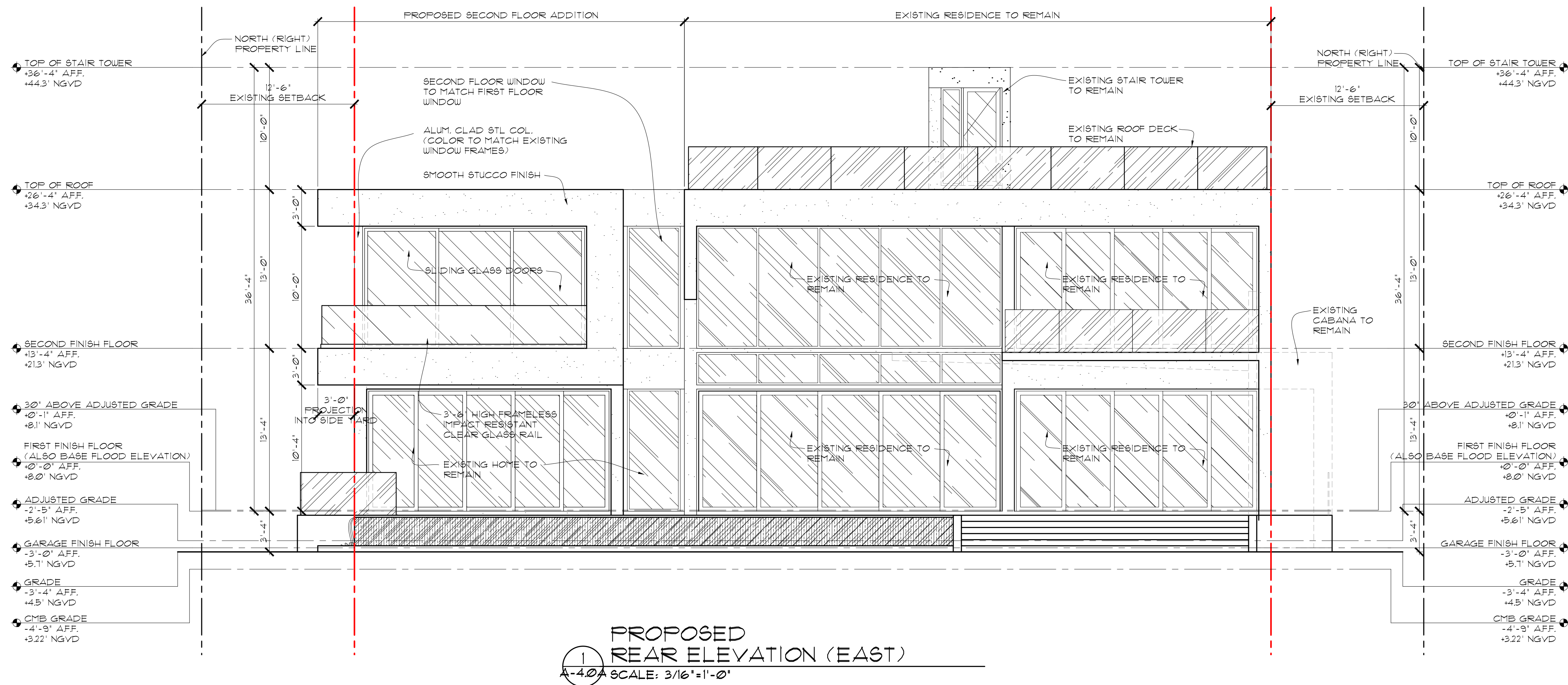
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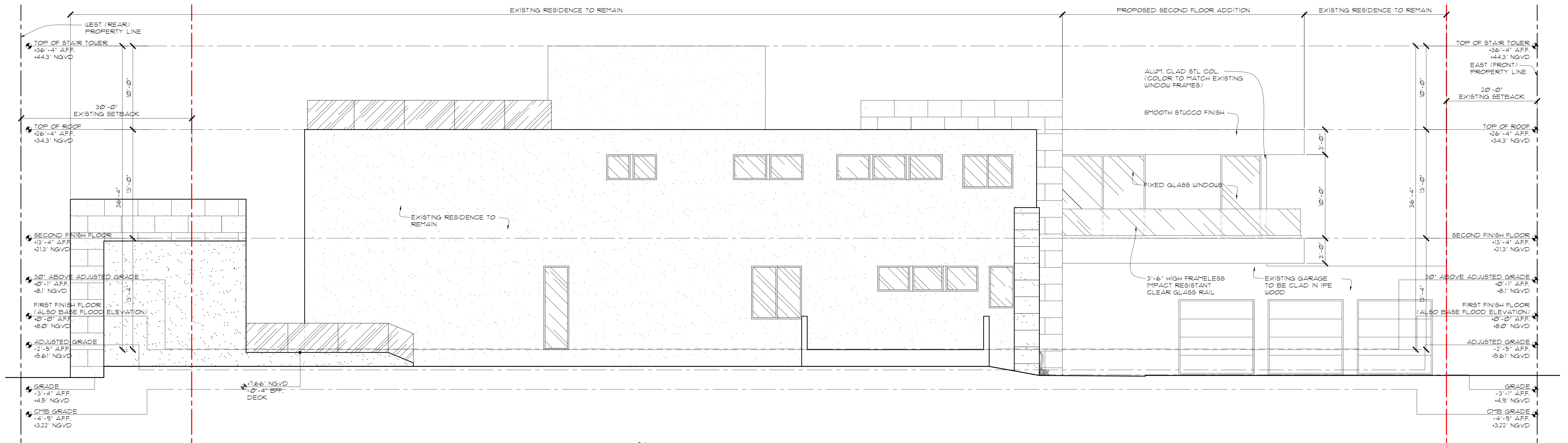
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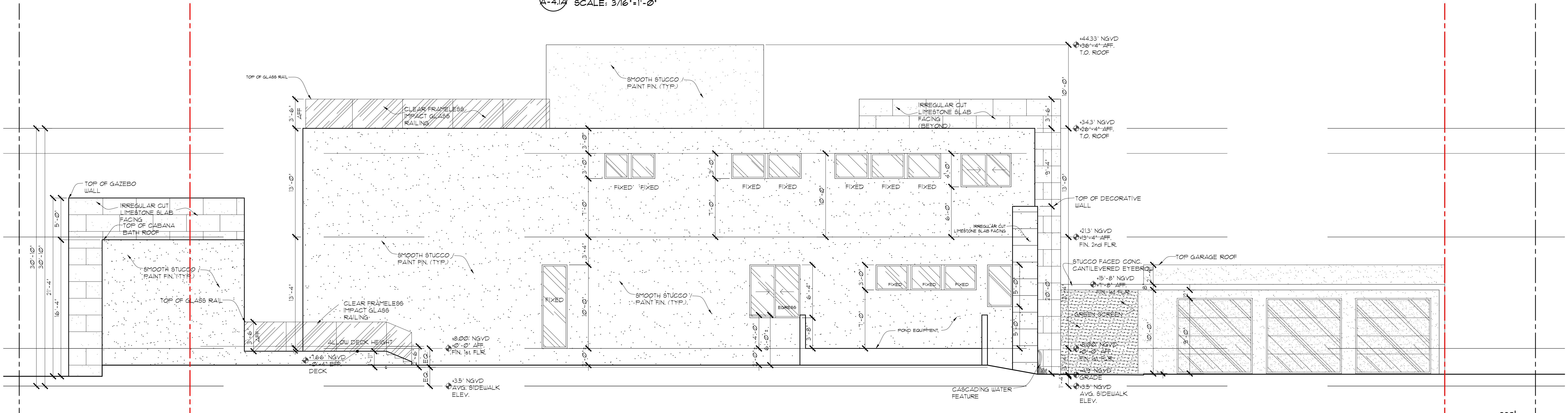


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AA26003009



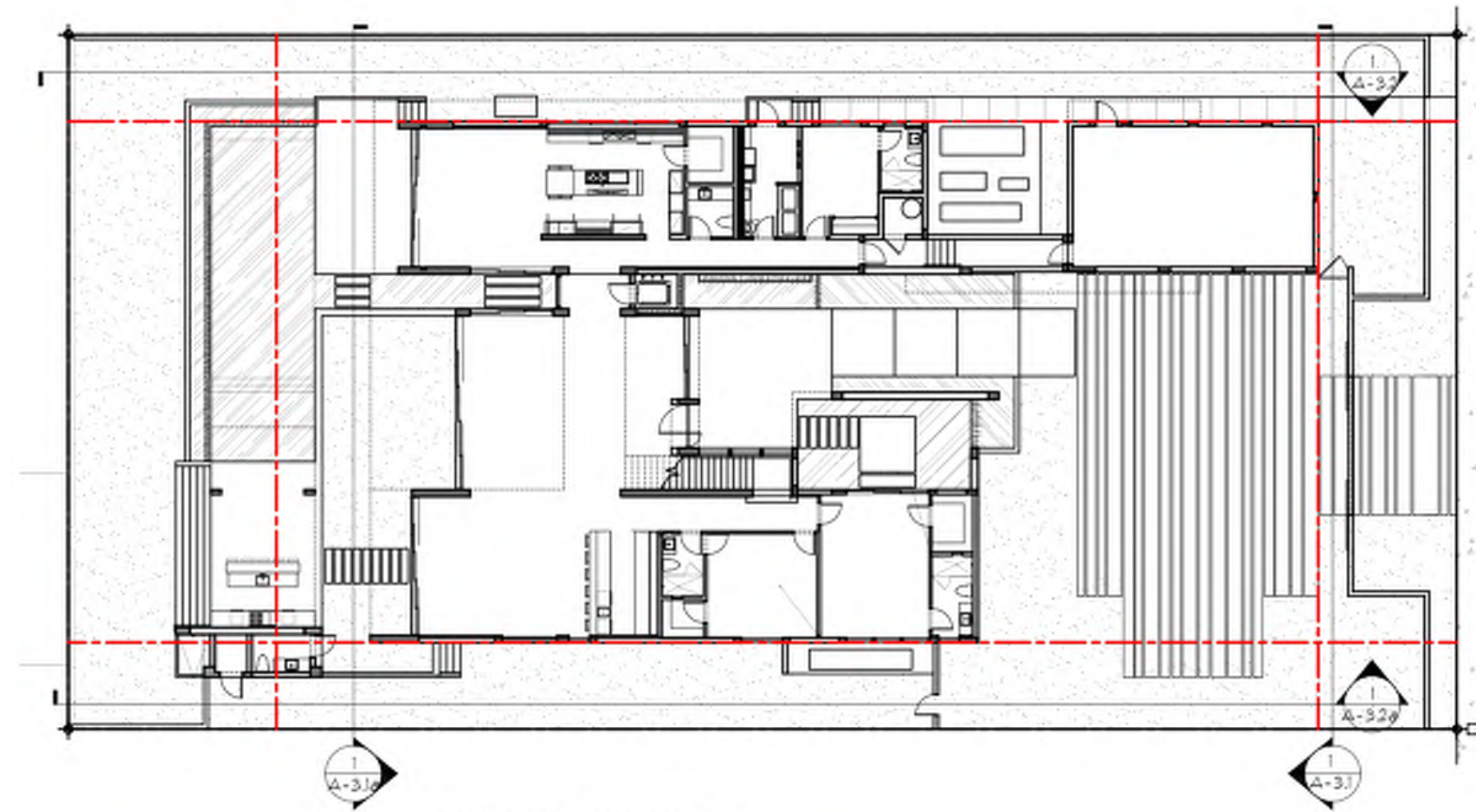


1
A-4.1A
PROPOSED
SIDE ELEVATION (SOUTH)
SCALE: 3/16"=1'-0"

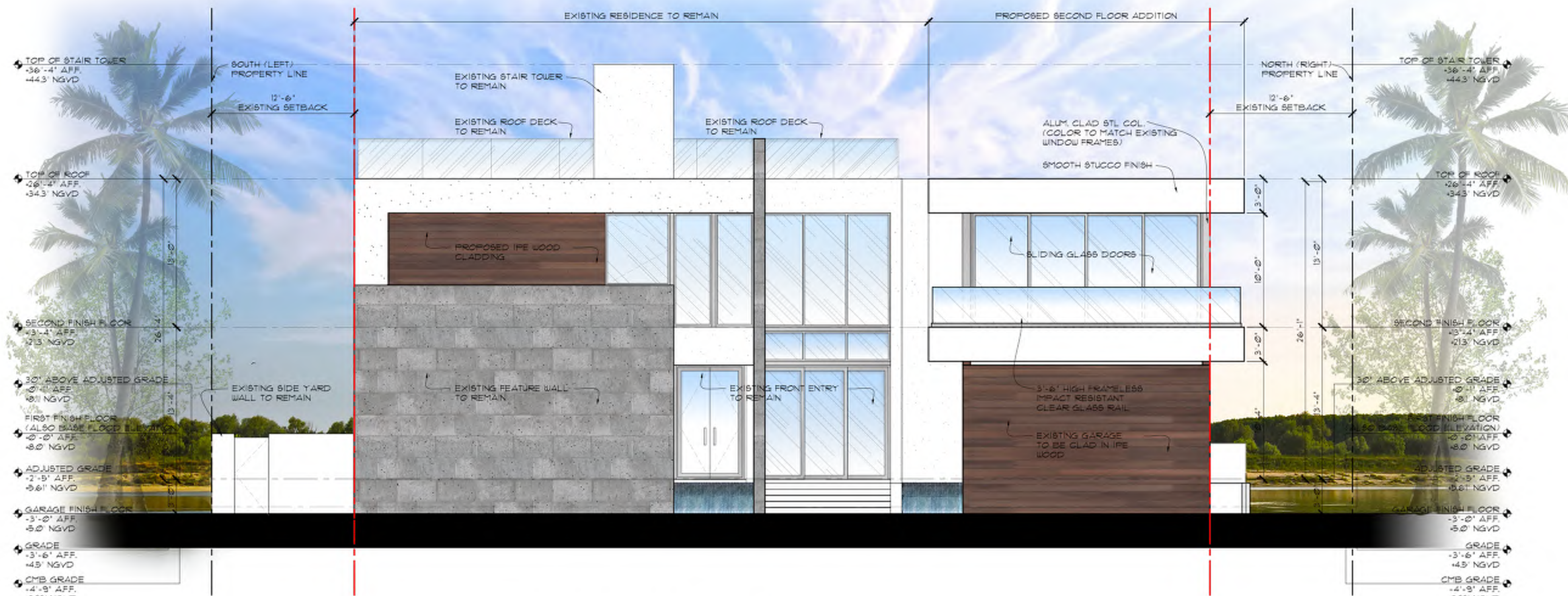


2
A-4.1A
EXISTING
SIDE ELEVATION (SOUTH)
SCALE: 3/16"=1'-0"

EXISTING/ PROPOSED



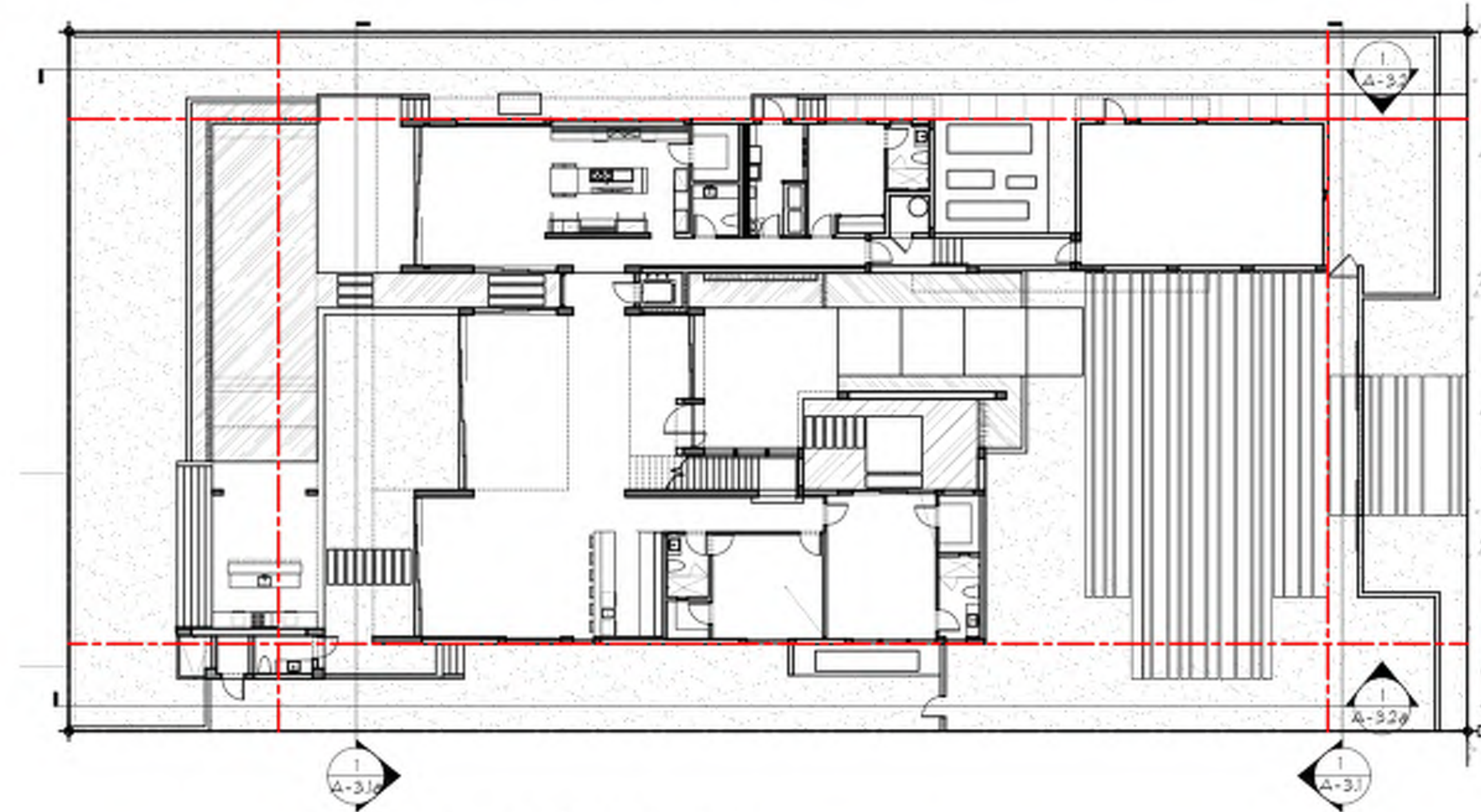
KEY LOCATION MAP
SCALE: N.T.S.



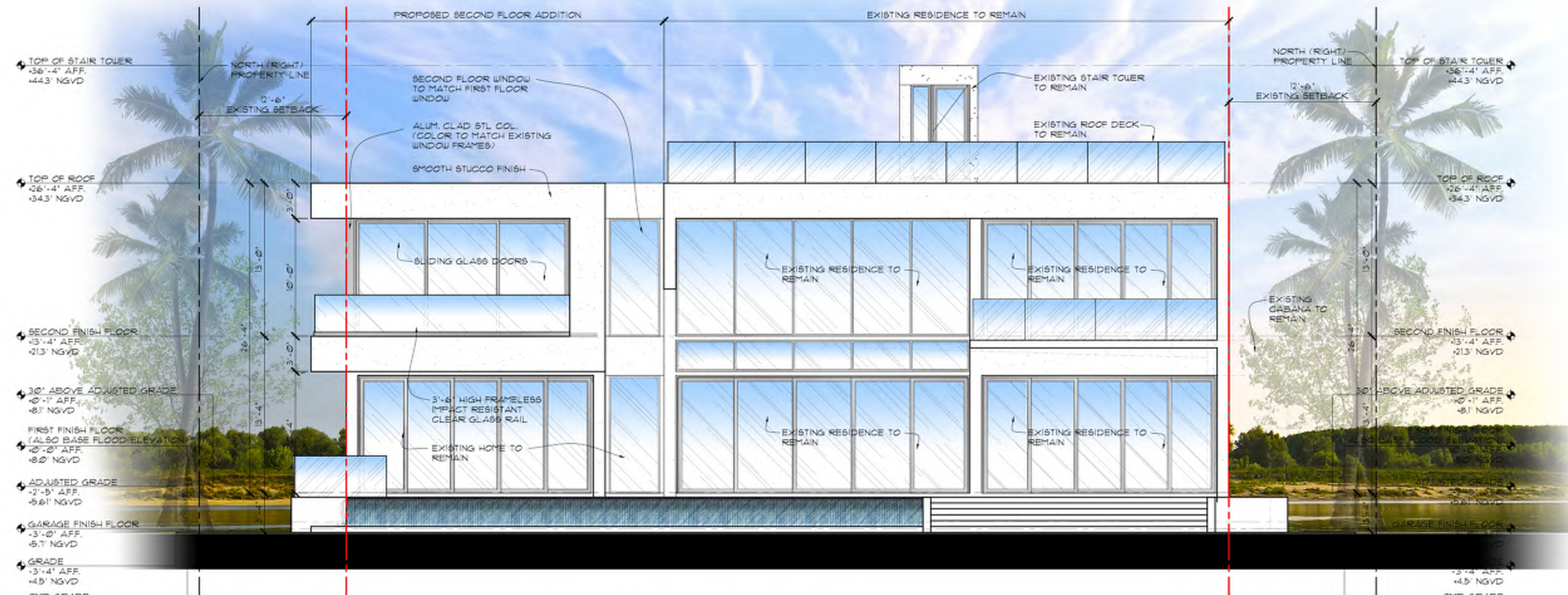
2 FRONT ELEVATION (WEST)
SCALE: 3/16"=1'-0"

seal

PROPOSED



KEY LOCATION MAP
SCALE: N.T.S.



REAR ELEVATION (EAST)
SCALE: 3/16"=1'-0"

seal

PROPOSED

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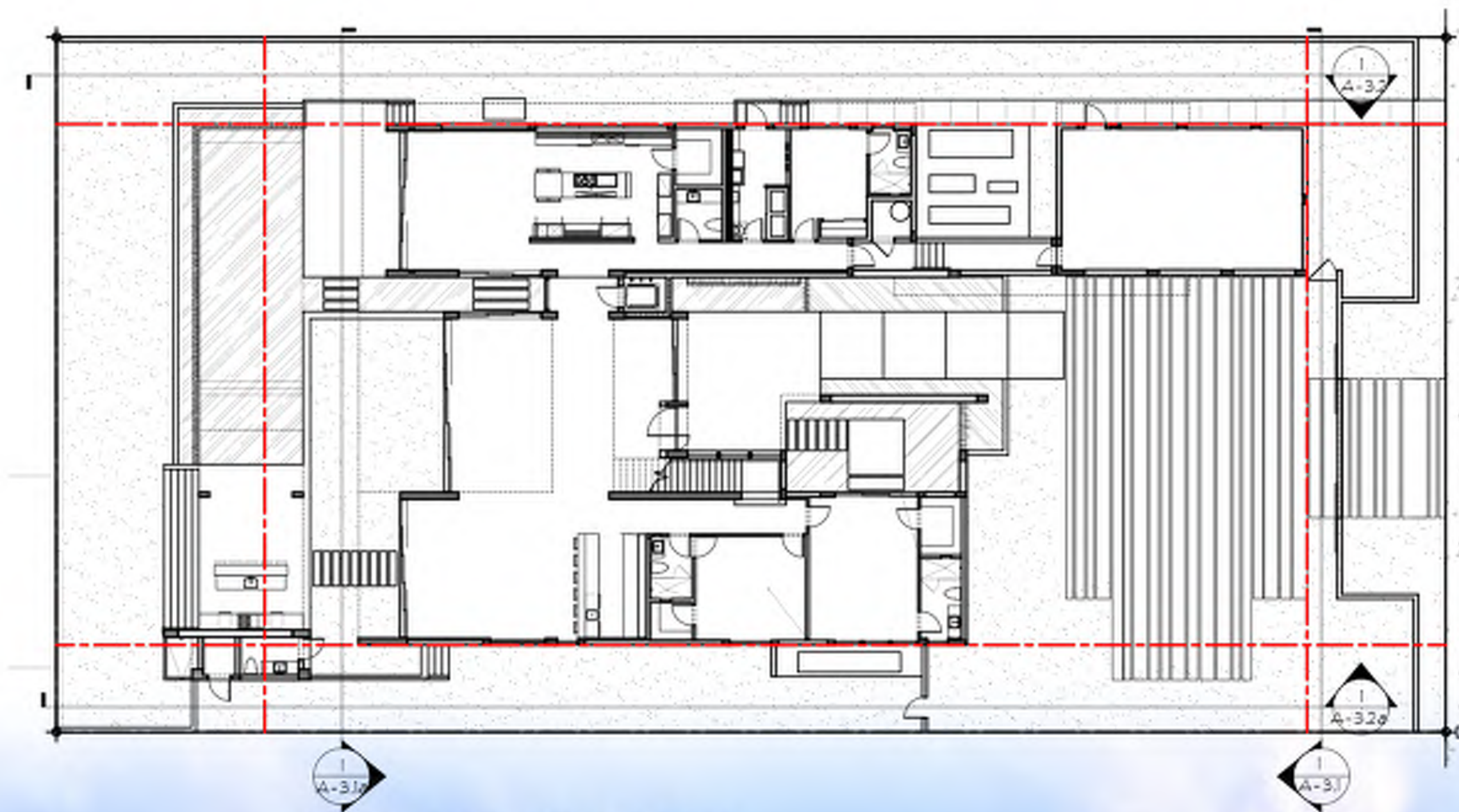
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date: 08/03/2018

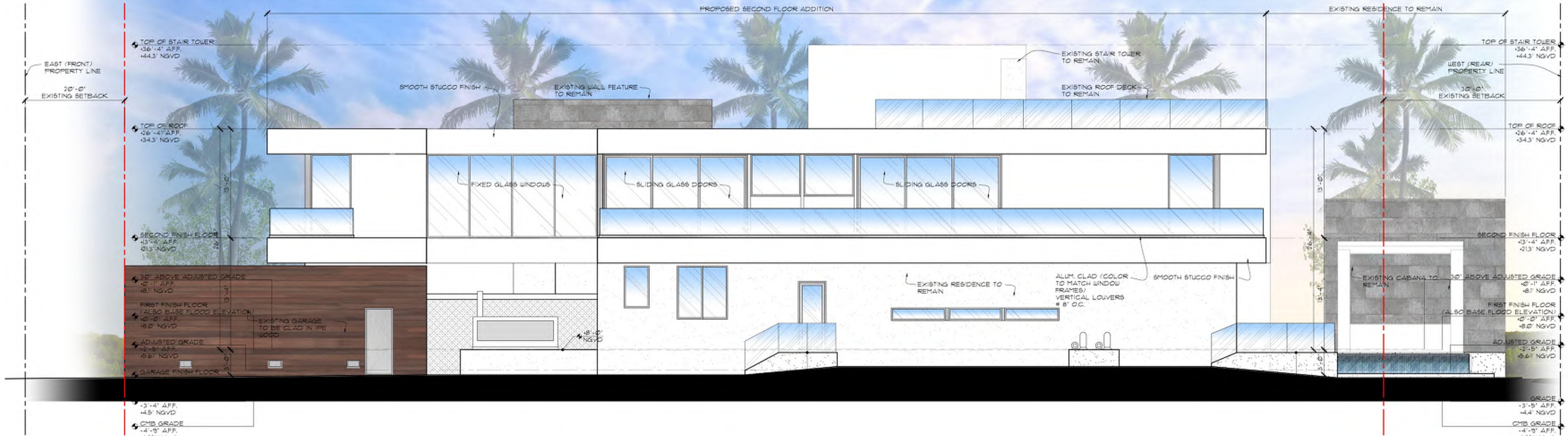
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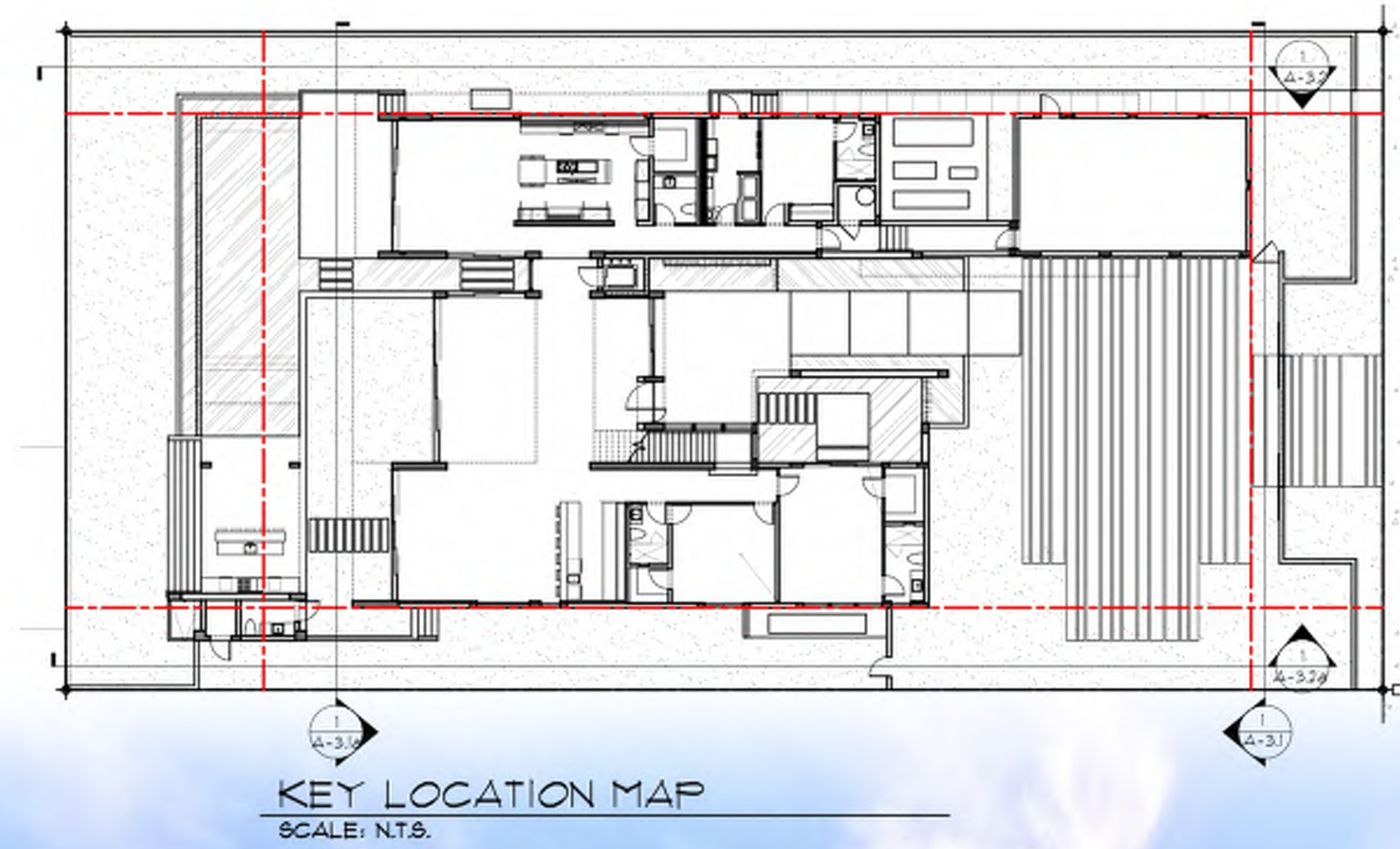
Ralph Choeff
registered architect
AR0009679
AA26003009



KEY LOCATION MAP
SCALE: N.T.S.



FRONT ELEVATION (WEST)
SCALE: 3/16"=1'-0"



ALLOWED
SECOND / FIRST FLOOR RATIO :

LOT SIZE: 20,000 S.F.

FIRST FLOOR 5,371 S.F.
SECOND FLOOR 3,760 S.F.

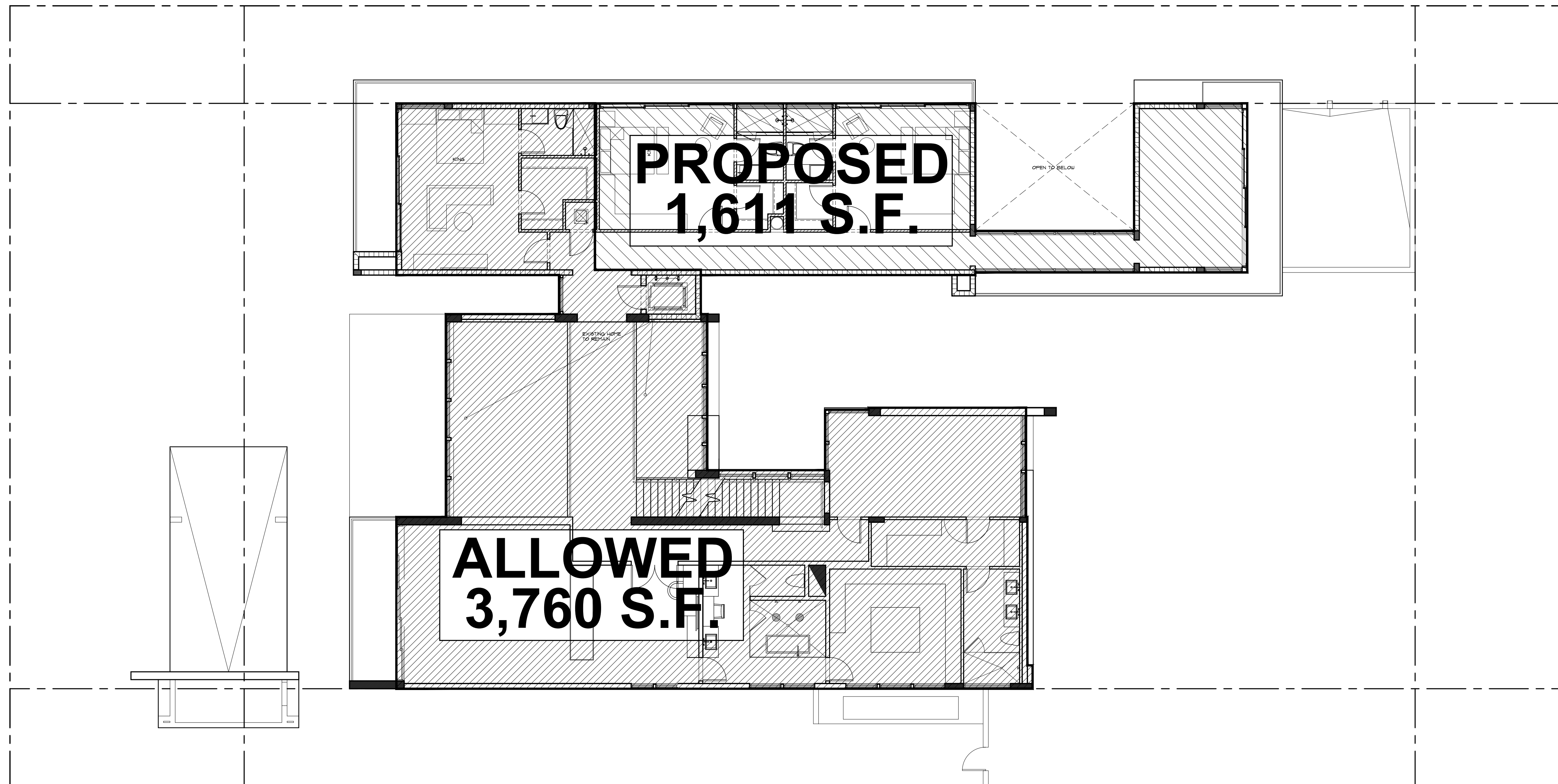
SECOND FLOOR IS 70.0 %

WAIVER REQUESTED
PROPOSED:
SECOND / FIRST FLOOR RATIO :

LOT SIZE: 20,000 S.F.

FIRST FLOOR 5,371 S.F.
SECOND FLOOR 5,234 S.F.

SECOND FLOOR IS 97.4 %



1
A-7.0
SCALE
3/32" = 1'-0"
SECOND TO FIRST FLOOR RATIO
WAIVER DIAGRAM
N

PROPOSED

ESTEFANO ISAIAS RESIDENCE
2324 NORTH BAY ROAD
MIAMI, FLORIDA 33140

seal

Ralph Choeff
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AR0009679
AA26003009

comm no.

1841

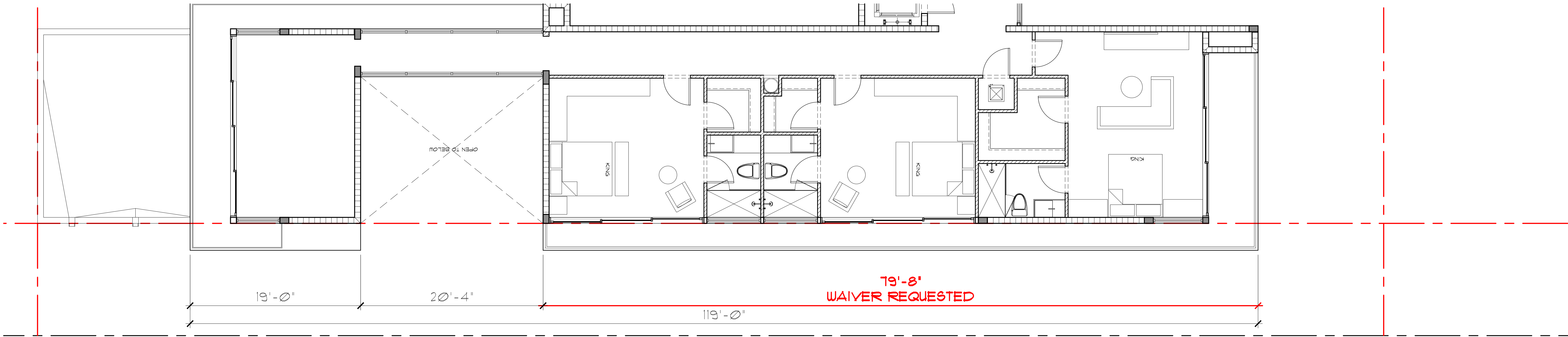
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08/03/2018

revised:

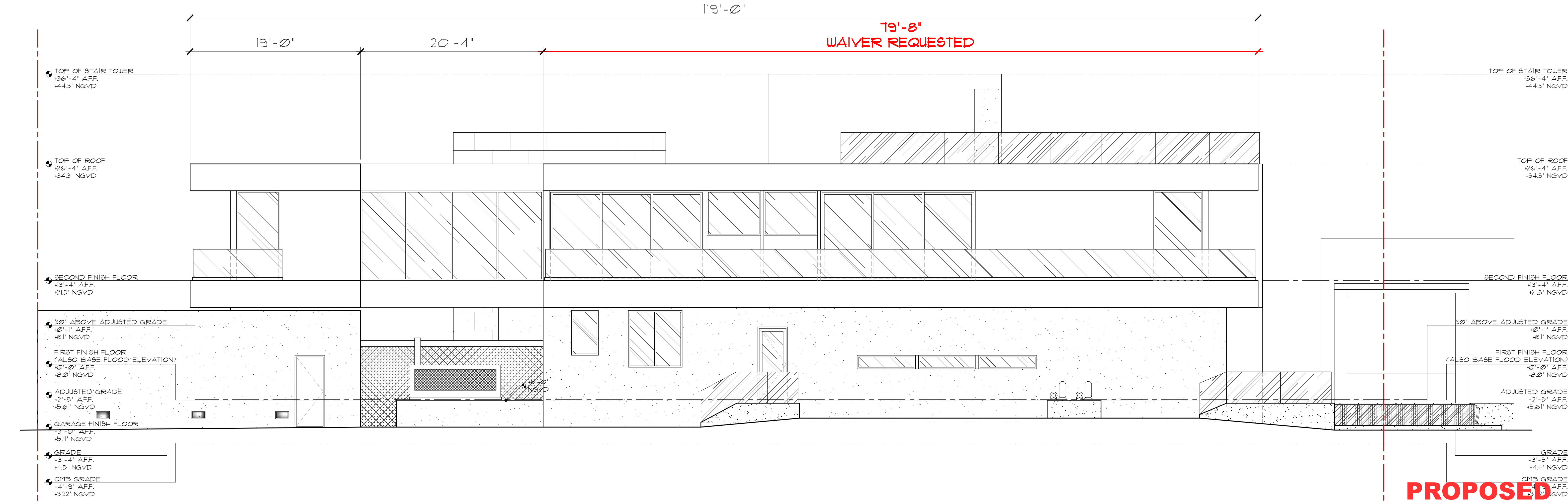
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A-7.0

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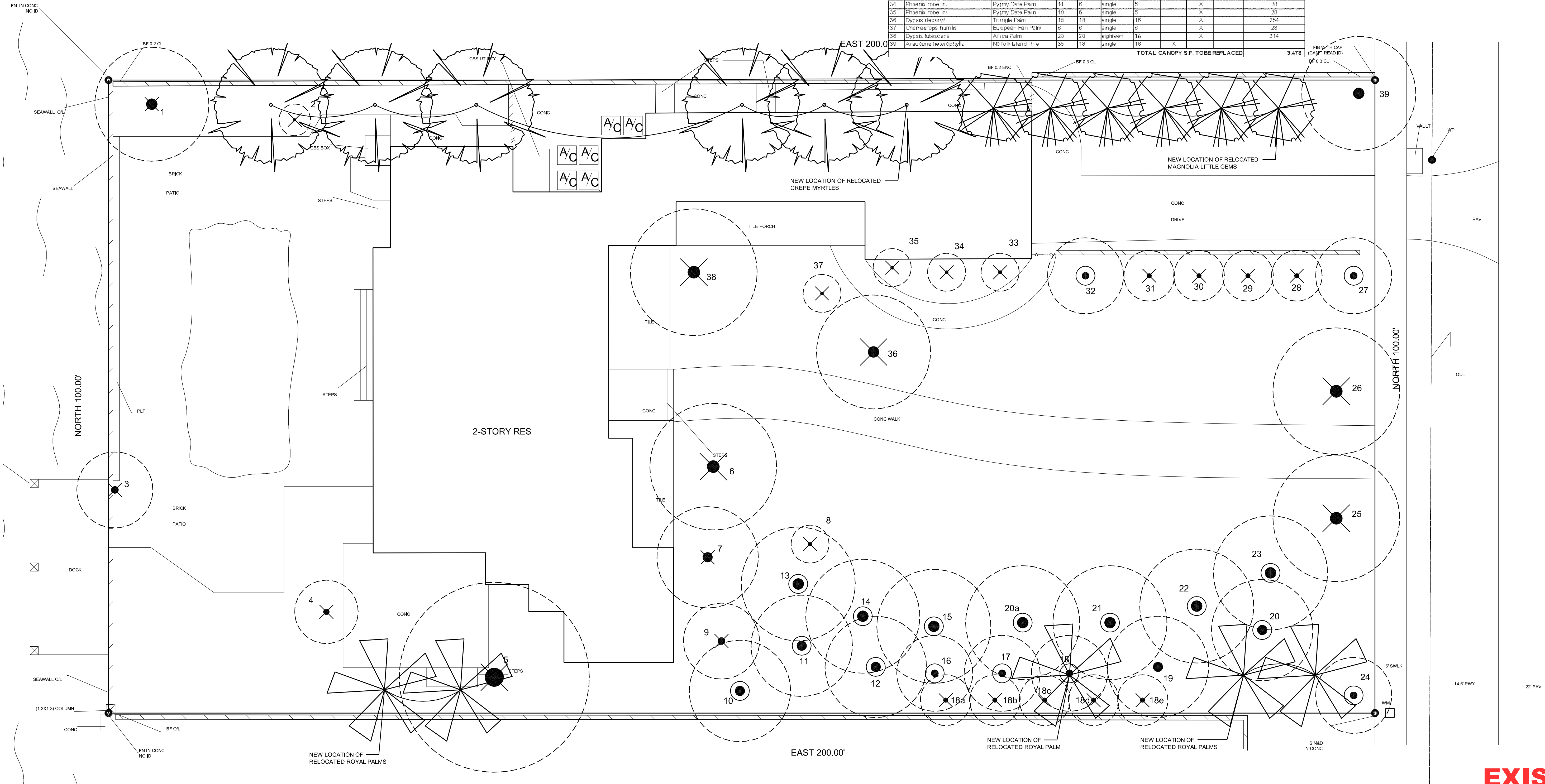
1
A-1J
WAIVER DIAGRAM
60' ELEVATION
SCALE 3/32" = 1'-0"
N



2
A-1J
WAIVER DIAGRAM
60' ELEVATION
SCALE 3/32" = 1'-0"

NOTE:
ALL EXISTING LANDSCAPE TO REMAIN AS EXISTING.
ALL LANDSCAPE LIGHTING AND SPRINKLER SYSTEMS
TO REMAIN AS EXISTING.

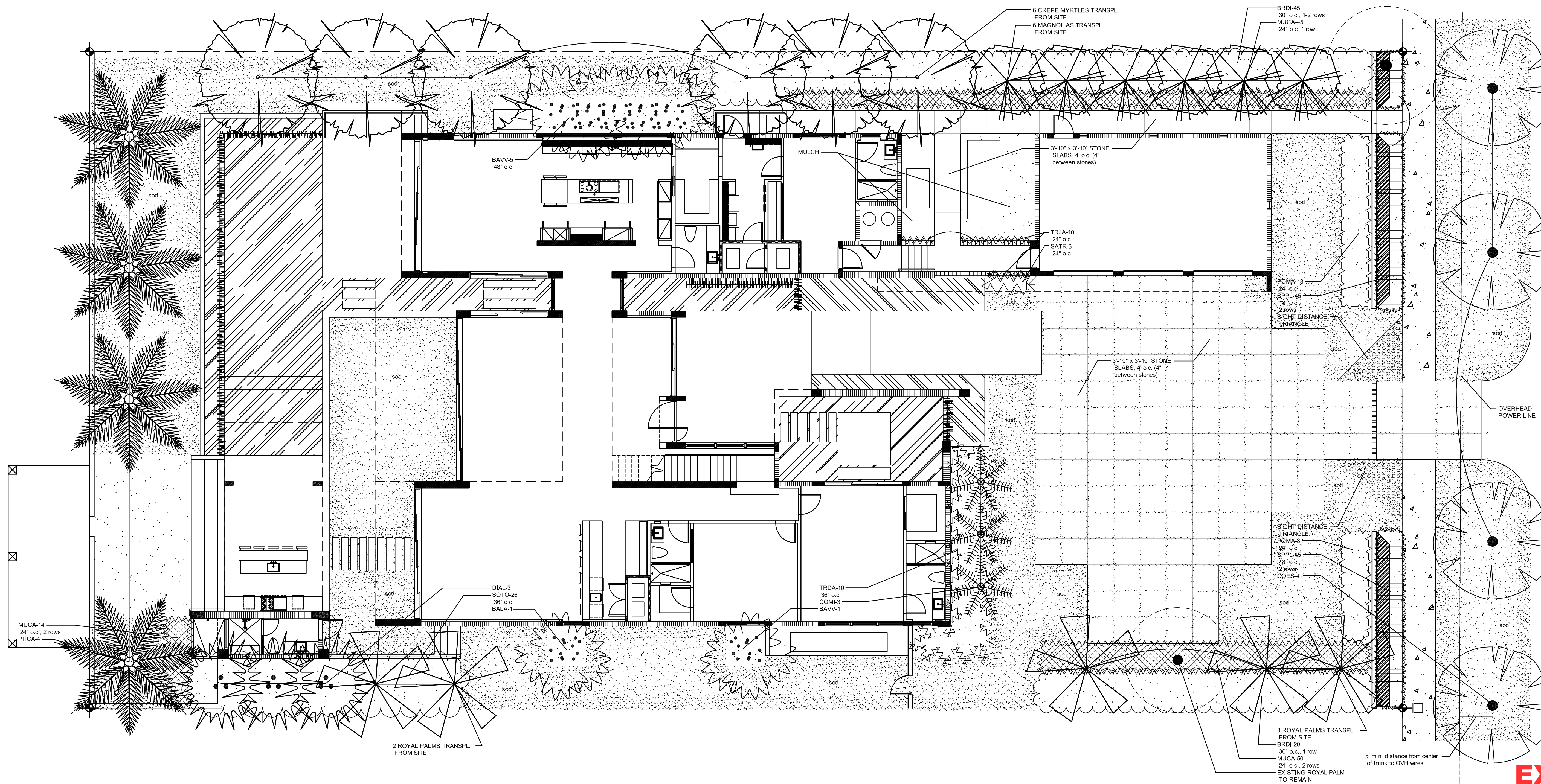
EXISTING TREE DISPOSITION LIST										
KEY	BOTANICAL NAME	COMMON NAME	HT. (ft.)	SPD. (ft.)	SIZE	DISPOSITION	MITIGATION			
					Trunks (e.a.)	REMAIN	REMOVE	TRANSPL.	S.F. CANOPY	
1	Nerium oleander	Oleander	12	18	four		X		254	
2	Adonis m'fieri	Christmas Palm	18	5	single		X		29	
3	Casuarina equisetiformis	Australian Pine	12	12	single		X		Exempt by Ordinance	
4	Vetelia montgomeryana	Montgomery Palm	18	10	single		X		79	
5	Plumeria speciosa	Frang. Palm	25	50	double		X		707	
6	Phoenix robelini	Pyrm. Date Palm	16	20	single		X		314	
7	Tabea caribaea	Shaker Trumpet Tree	20	18	single		X		201	
8	Chamaecyparis humilis	European Fan Palm	6	8	single		X		28	
9	Phoenix robelini	Pyrm. Date Palm	10	12	single		X		113	
10	Roystonea regia	Royal Palm	30	20	single			X		
11	Roystonea regia	Royal Palm	50	20	single			X		
12	Roystonea regia	Royal Palm	40	20	single			X		
13	Lagerstromia indica	Crape Myrtle	16	14	multi			X		
14	Lagerstromia indica	Crape Myrtle	16	14	multi			X		
15	Lagerstromia indica	Crape Myrtle	16	14	multi			X		
16	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	20	12	single			X		
17	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	20	12	single			X		
18	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	20	12	single			X		
18a	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
18b	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
18c	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
18d	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
18e	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
19	Roystonea regia	Royal Palm	40	20	single		X			
20	Roystonea regia	Royal Palm	30	20	single			X		
20a	Roystonea regia	Royal Palm	30	20	single			X		
21	Lagerstromia indica	Crape Myrtle	16	14	multi			X		
22	Lagerstromia indica	Crape Myrtle	16	14	multi			X		
23	Lagerstromia indica	Crape Myrtle	16	14	multi			X		
24	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	20	12	single			X		
25	Phoenix carolinensis	Canary Island Date Palm	18	20	single		X		314	
26	Phoenix carolinensis	Canary Island Date Palm	18	20	single		X		314	
27	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	20	12	single			X		
28	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
29	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
30	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
31	Ligustrum japonicum	Wax Leaf Privet	8	8	multi		X		50	
32	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	20	12	single			X		
33	Phoenix robelini	Pyrm. Date Palm	14	8	single		X		28	
34	Phoenix robelini	Pyrm. Date Palm	14	8	single		X		28	
35	Phoenix robelini	Pyrm. Date Palm	10	6	single		X		28	
36	Dysois decaryi	Triangle Palm	18	18	single		X		254	
37	Chamaecyparis humilis	European Fan Palm	6	8	single		X		28	
38	Dysois tiliaceus	Araca Palm	30	20	single		X		314	
39	Araucaria heterophylla	Norfolk Island Pine	35	18	single		X			
TOTAL CANOPY S.F. TO BE REPLACED									3,478	



EXISTING TREE DISPOSITION PLAN
SCALE: 1/8"=1'-0"

EXISTING

NOTE:
ALL EXISTING LANDSCAPE TO REMAIN AS EXISTING.
ALL LANDSCAPE LIGHTING AND SPRINKLER SYSTEMS
TO REMAIN AS EXISTING.



PLANTING PLAN
SCALE: 1/8"=1'-0"

EXISTING

LANDSCAPE SPECIFICATIONS
PART 1 - GENERAL

1.1 SCOPE

A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which are a part of this document.

1.2 CONTRACTOR QUALIFICATIONS

A. Landscape Installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNLGA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in Miami-Dade County.

1.3 INVESTIGATION OF UTILITIES

A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).

1.4 SUBSTITUTIONS

A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.

1.5 PLANT SIZES

A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. When plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.

1.6 PLANT QUALITY

A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.

B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.

C. CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.

1.7 PLANT QUANTITY

A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.

1.8 UNIT PRICES

A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.

1.9 SUBMITTALS

A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.

B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. Ft.) for approval by the Landscape Architect prior to delivery to the site.

1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC

A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.

B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.

C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.

1.11 MAINTENANCE PRIOR TO ACCEPTANCE

A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".

1. Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until all plant installation is complete and accepted. Maintenance shall include watering all plants, weeding, mulching, pest and disease control, lightening and repairing of guys, repair of braces, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant saucer, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.

2. Turf Areas: Begin maintenance of turf immediately following the placement of sod and continue until sod installation is complete and accepted. Maintenance shall include but not be limited to, watering, leveling, mowing, weed and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery practice.

3. Re-setting or straightening trees and palms:

The Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-set trees within 48 hours.

1.12 ACCEPTANCE OF INSTALLATION

A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice requesting such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.

1.13 GUARANTEE

A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.

1.14 REPLACEMENT

A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.

1. Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.

2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.

PART 2 - MATERIALS

2.1 PLANTING SOIL

A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.

B. Soil for Sodded Areas: shall be coarse lawn sand.

2.2 FERTILIZER

A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal. Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for sod and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.

2.3 WATER

A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.

2.4 MULCH

A. Mulch shall be shredded Melaleuca mulch (Florimulch) as manufactured by Forestry Resources, Inc., or equal.

2.5 ROOT BARRIER MATERIAL

A. When specified in the plans, root barrier material shall be Biobarrier (19.5 inch width) Roemay or approved equal.

B. Install per details in the plans.

PART 3 - INSTALLATION PROCEDURES

3.1 LAYOUT

A. Verify location of all underground utilities and obstructions prior to excavation.

3.2 HERBICIDE TREATMENT

A. In all areas infected with weed and/or grass growth, a systemic herbicide, such as Roundup, shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.

3.3 PLANT PIT EXCAVATION AND BACKFILLING

A. Trees: See the Planting and Bracing Details and notes.

B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.

C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curb and pavements as shown in the plans.

D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.

3.4 WATERING

A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.

AMOUNT OF WATER PER APPLICATION

For trees up to 5 inch caliper - 5 gallons
From 5 to 6 inch caliper - 25 gallons
9 inch and up caliper - 50 gallons

FREQUENCY OF WATER

Daily for the first week
3 times per week for weeks 2 - 5
2 times per week for weeks 6 - 8
1 time per week for weeks 9 - 12

B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.

C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrub, sod, and groundcover for the time specified above, after installation of each section of the planting installed.

3.5 FERTILIZING

A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing after planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the following rates:

1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.

2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.

3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.

4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.

3.6 MULCHING

A. Spread mulch two (2) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.

3.7 GUYING AND BRACING

A. See the details bound herewith or made part of the plans.

3.8 SODDING

A. Provide a blanket of lawn sand as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

B. Place sod on moistened soil, with edges tightly fitted, in staggered rows at right angles to slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing.

C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.

D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.

E. Apply fertilizer to the sod as specified in Section 3.5.

F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod.

PLANT BED PREPARATION NOTES

1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with Round-up prior to beginning soil preparation.

2. In all shrub and groundcover beds, prepare soil as described for either condition, over the entire area to be planted:

Condition A:

If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb.

Condition B:

Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil into the existing soil to a depth of 18 inches. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway.

For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 1 inch in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.

SPACING OF PLANTS (SEE PLANT SPACING DETAIL)

1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.

PROTECTION OF PLANTS

1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

NOTE: ALL EXISTING LANDSCAPE TO REMAIN AS EXISTING. ALL LANDSCAPE LIGHTING AND SPRINKLER SYSTEMS TO REMAIN AS EXISTING.

ROSENBERG
GARDNER
DESIGN

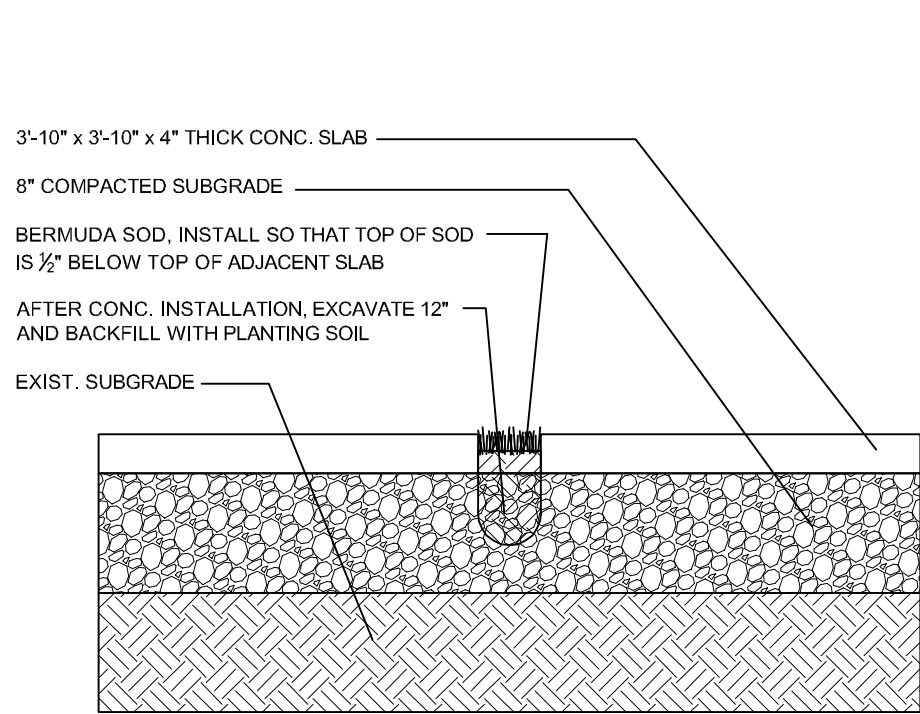


LANDSCAPE ARCHITECTURE
LAND PLANNING
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P.O. Box 102000
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PLANT LIST				
KEY	PLANT NAME	QTY.	UT.	SIZE
BALA	Bambusa Lako ..East Timor Black Bamboo	1	ea.	25 gallon cans, 16-18" tall, 5-6 culms per pot
BAVV	Bambusa vulgaris vitata ..Golden Hawaiian Bamboo	6	ea.	25 gallon cans, 16-18" tall, 5-6 culms per pot
BRDI	Brenia disticha ..Snow on the Mountain	65	ea.	7 gallon cans, 3'-4" tall x 30" spread
COES	Conocarpus erectus "Sericeus" ..Silver Buttonwood	4	ea.	10" tall x 4' spread, standards
COMI	Coccothrinax miraguama	3	ea.	14" tall overall, matched
DIAL	Dictyosperma alba ..Hurricane Palm	3	ea.	14" tall overall, double trunks, both heads same height
MUCA	Muhlenbergia capillaris ..Muhly Grass	109	ea.	3 gallon cans, full
PHCA	Phoenix canariensis ..Canary Island Date Palm	4	ea.	30' tall overall, 15' CT, matched
POMA	Podocarpus macrophyllus ..Maki Yew	21	ea.	7 gallon cans, 3'-4" tall x 30" spread
SATR	Sanseveina trifasciata ..Snake Plant	3	ea.	3 gallon cans, full
SOTO	Sophora tomentosa ..Necklace Pod	26	ea.	10 gallon cans, 3' x 3'
SPPL	Spathyglottis plicata ..Ground Orchid	90	ea.	3 gallon cans, full, purple flower
TRDA	Tripsacum dactyloides ..Fakahatchee Grass	10	ea.	3 gallon cans, full
TRJA	Trachelospermum jasminoides ..Confederate Jasmine	10	ea.	3 gallon cans, trellised
sod	Celebration Bemmuda Planting Soil	as eq.	s f.	solid sod
	70% Silica Sand	as eq.	c y.	
	30% Everglades Muck	as eq.	c y.	
	Shredded Maleluca Mulch	as eq.	c y.	

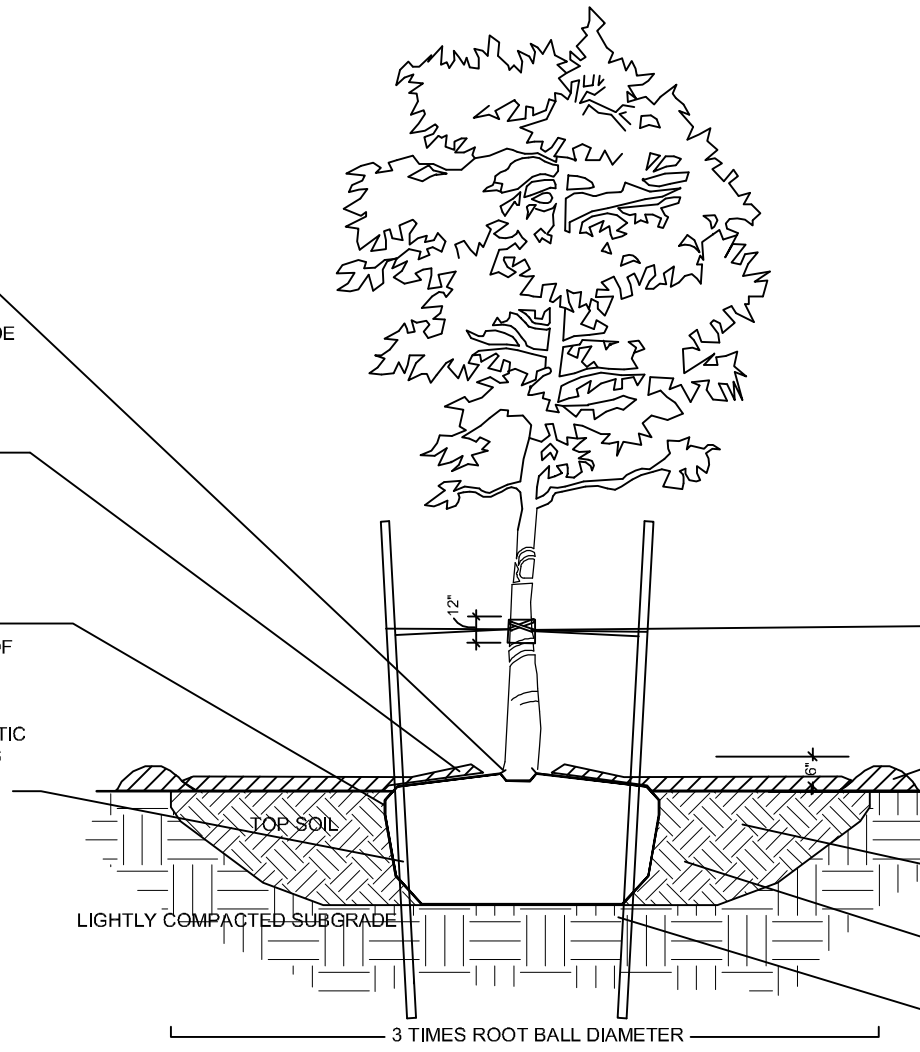
LANDSCAPE LEGEND

	Required	Required
Site Trees	3	12
Street Trees	4	4
Shrubs	70	234
Natives	3 trees 21 shrubs	6 trees 145 shrubs



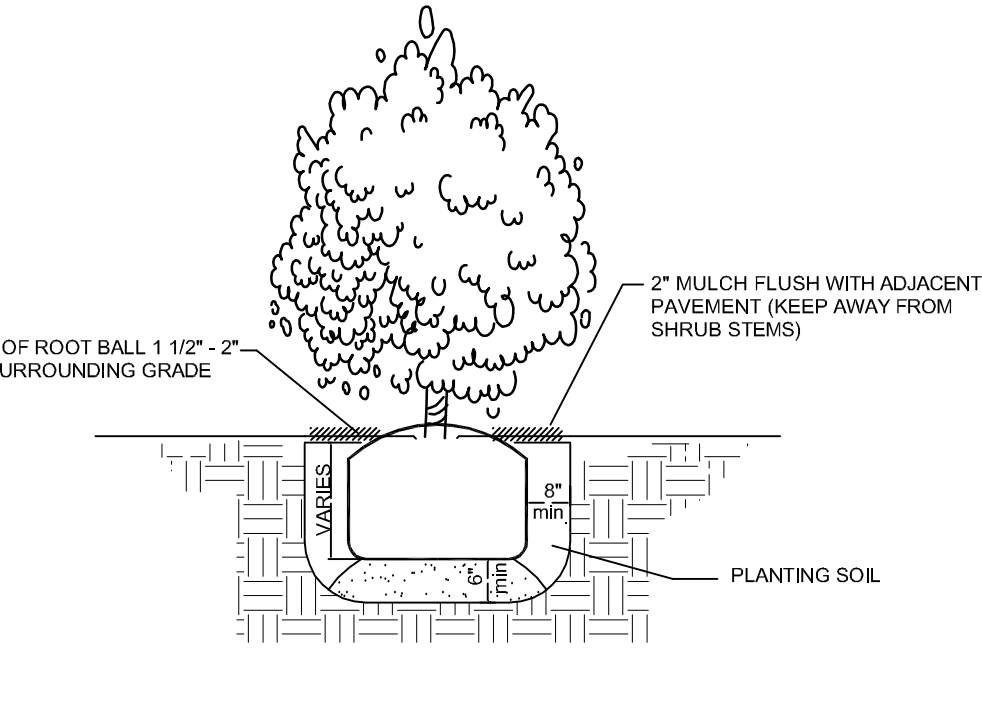
SECTION THRU SLAB & SOD DRIVEWAY

N.T.S.



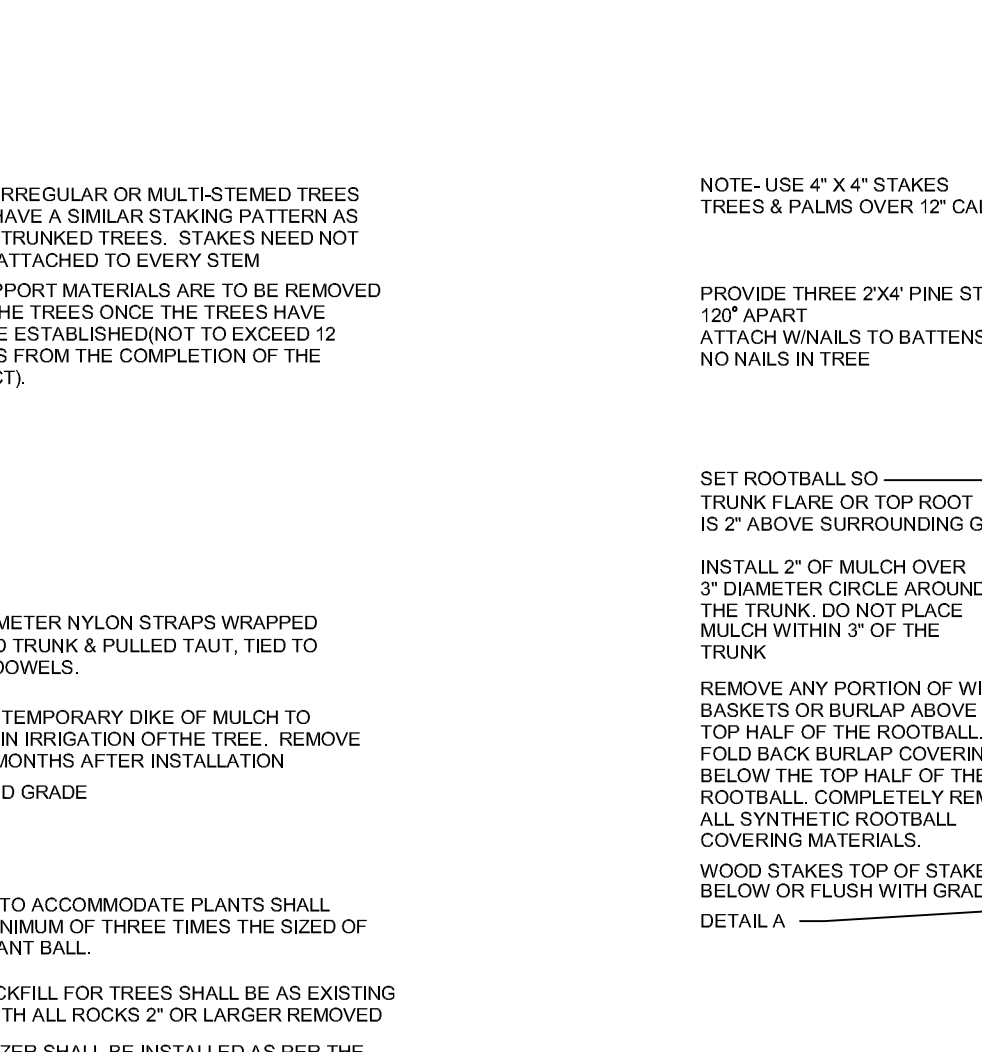
PLANTING & BRACING DETAIL
UNDER 3 1/2" CALIPER

N.T.S.



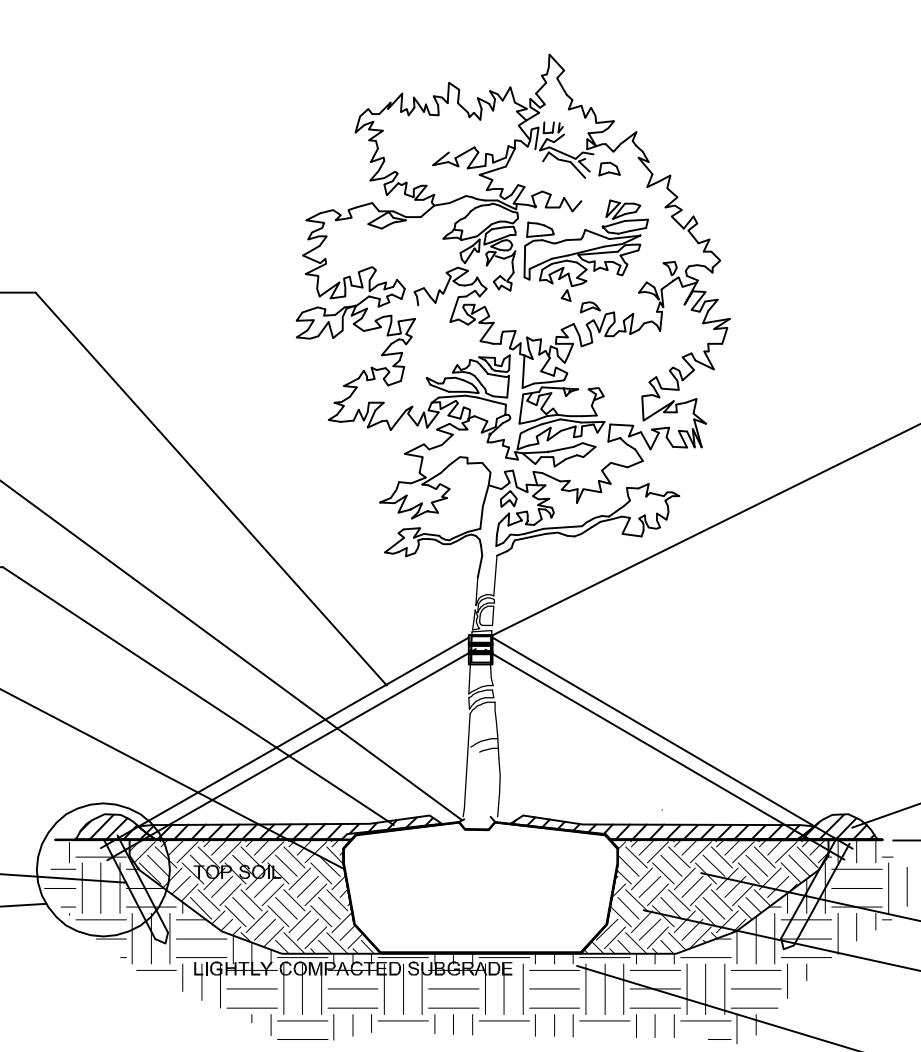
SHRUB INSTALLATION DETAIL

N.T.S.



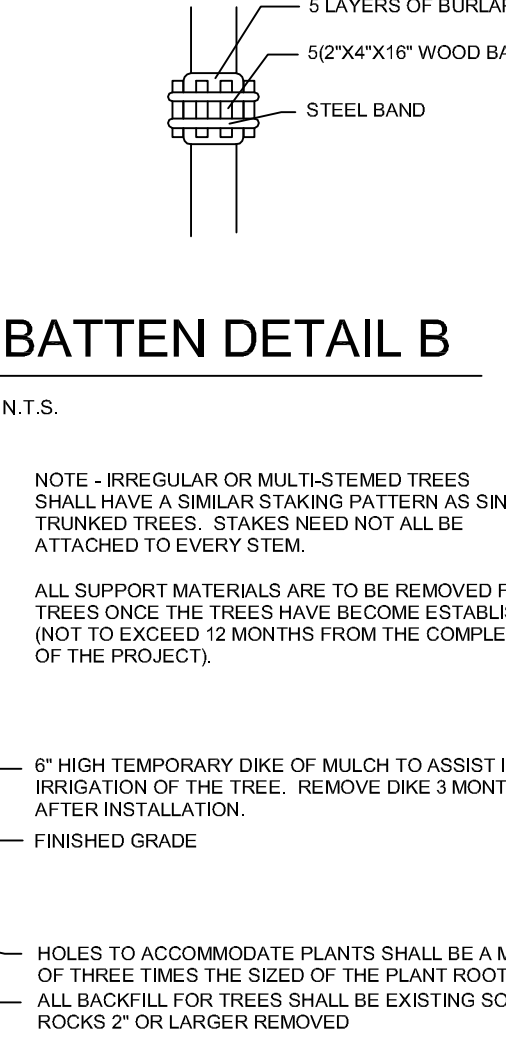
SHRUB SPACING DIAGRAM

N.T.S.



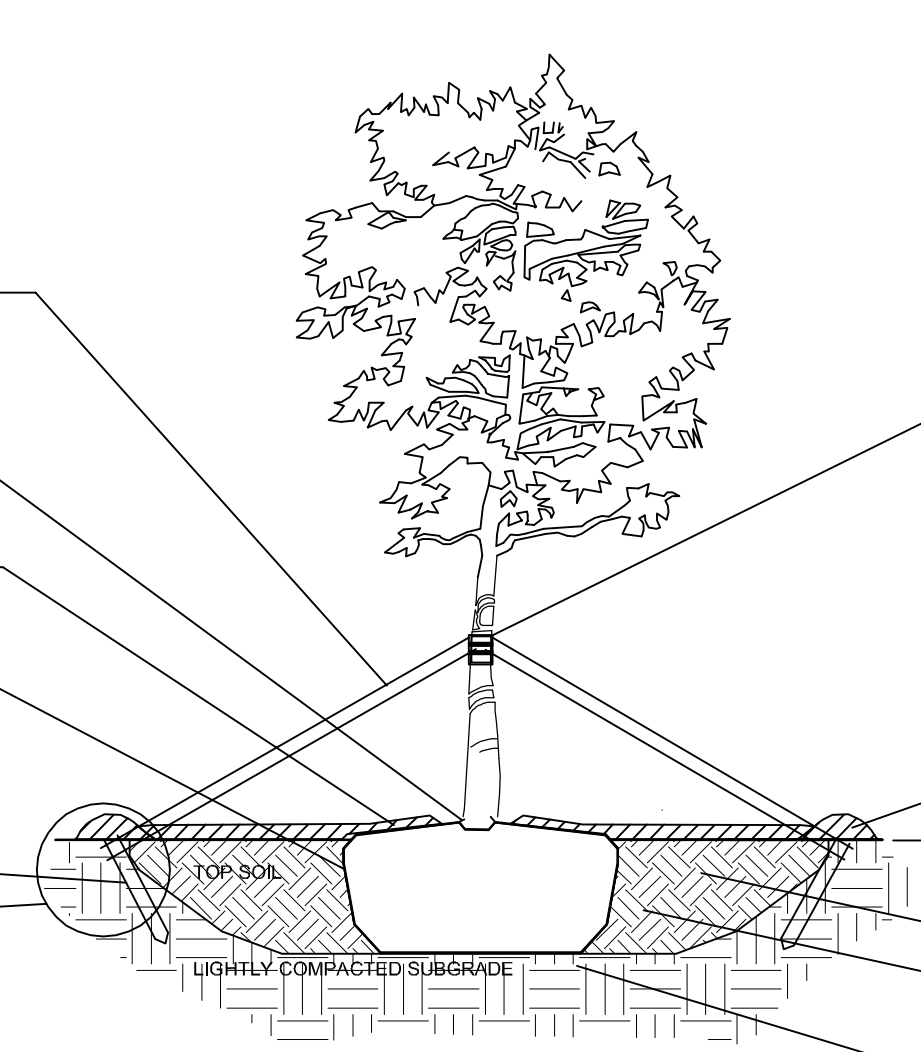
BATTEN DETAIL B

N.T.S.



PLANTING & BRACING DETAIL
OVER 3 1/2" CALIPER

N.T.S.



EXISTING LANDSCAPE SPECIFICATIONS AND PLANT LIST

SCALE: N.T.S.

ralphchoeff architect p.a.
architecture · interiors

RESIDENCE FOR:
MR. ESTEFANO ISAIAS

2324 NORTH BAY ROAD MIAMI BEACH, FL 33140

comm no.
1006

date:
10-12-10

revised:
11-24-10
Permit Revisions

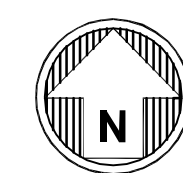
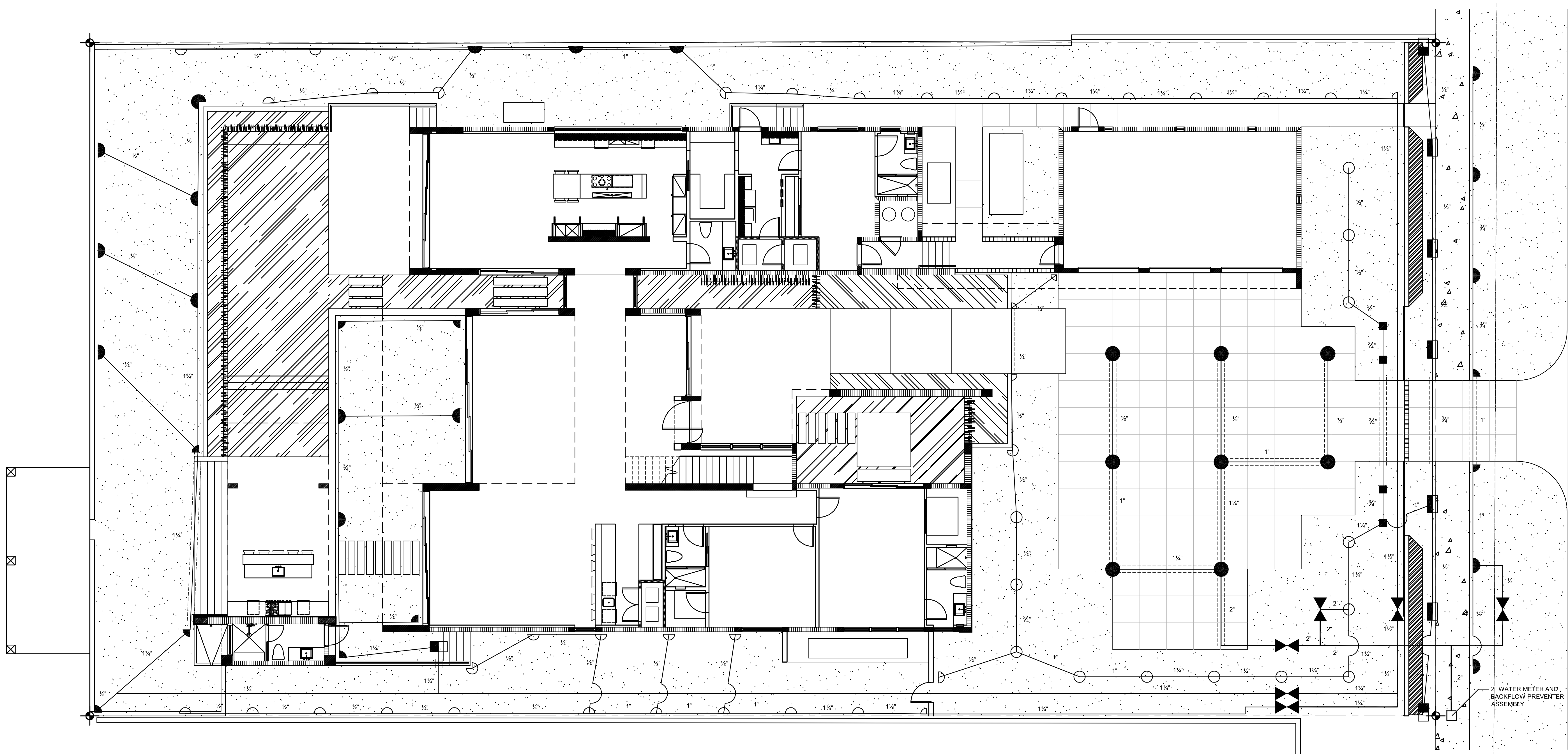
sheet no.
L-1.3

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8425 biscayne blvd, suite 201
miami, florida 33138

NOTE:
ALL EXISTING LANDSCAPE TO REMAIN AS EXISTING.
ALL LANDSCAPE LIGHTING AND SPRINKLER SYSTEMS
TO REMAIN AS EXISTING.



IRRIGATION PLAN
SCALE: 1/8\"=1'-0"

EXISTING

RESIDENCE FOR:
MR. ESTEFANO ISAIAS
2324 NORTH BAY ROAD MIAMI BEACH, FL 33140

comm no.
1006

date:
10-12-10

revised:
11-24-10
Permit Revisions

sheet no.
L-2.1

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2324 NORTH BAY ROAD MIAMI BEACH, FL 33140

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L-2.2

EXISTING

EXISTING

N.T.S.

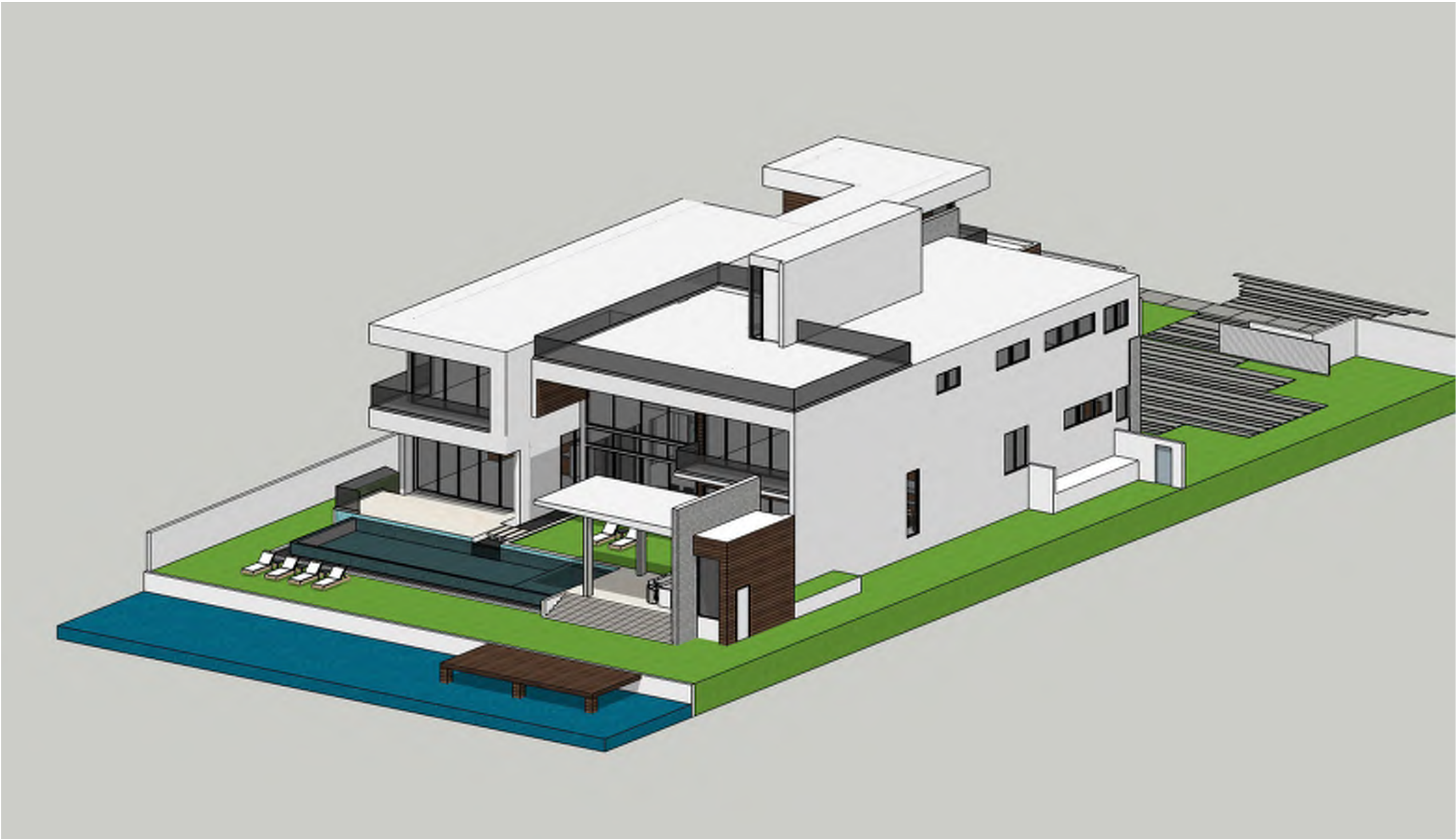
NOTE:
ALL EXISTING LANDSCAPE TO REMAIN AS EXISTING.
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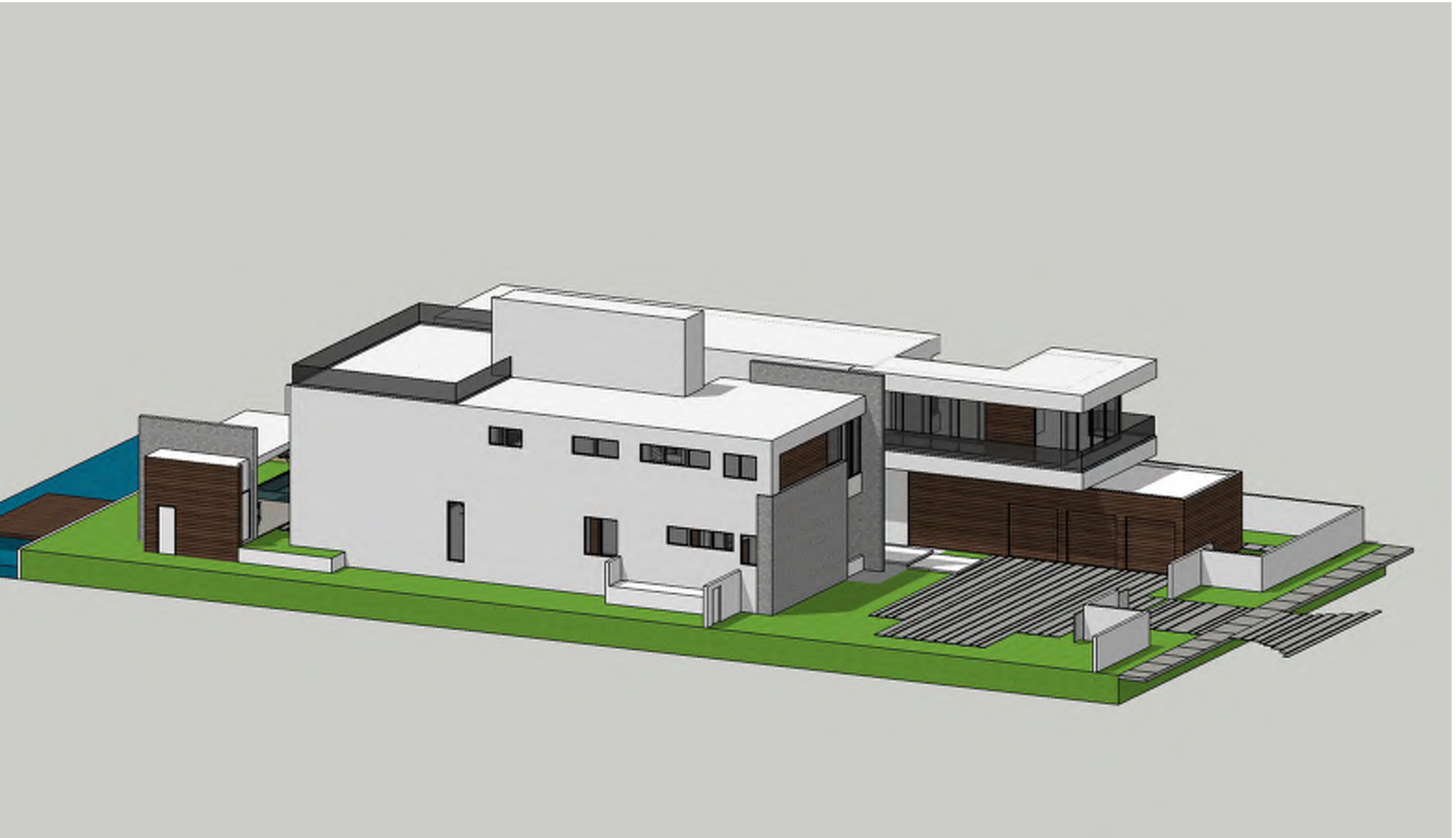
NORTHWEST BIRD'S EYE VIEW



NORTHEAST BIRD'S EYE VIEW



SOUTHEAST BIRD'S EYE VIEW



SOUTHWEST BIRD'S EYE VIEW



PROPOSED FRONT (WEST) RENDERING



EXISTING FRONT (WEST) RENDERING



PROPOSED BACK (EAST) RENDERING



EXISTING BACK (EAST) RENDERING