

RIVO ALTO RESIDENCE

FINAL SUBMITTAL 11/05/2018



40 W. RIVO ALTO DRIVE. MIAMI BEACH, FL. 33139

SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE REPLACING EXISTING PRE-1942 BUILDING. PROPOSED RESIDENCE IS A TWO-STORY W/ UNDERSTORY.

REQUEST OF WAIVERS

- BUILDING USE: UNDERSTORY AREAS AT GROUND LEVEL
- UNIT SIZE: VOLUME OF 2ND FLOOR EXCEEDS THE PERMITTED 70% BY 1.03%.

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RIVO ALTO RESIDENCE
40 W. RIVO ALTO DR.
MIAMI BEACH, FL. 33139
CLIENT: RIVO ALTO DEVELOPMENTS, LLC

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11/05/2018

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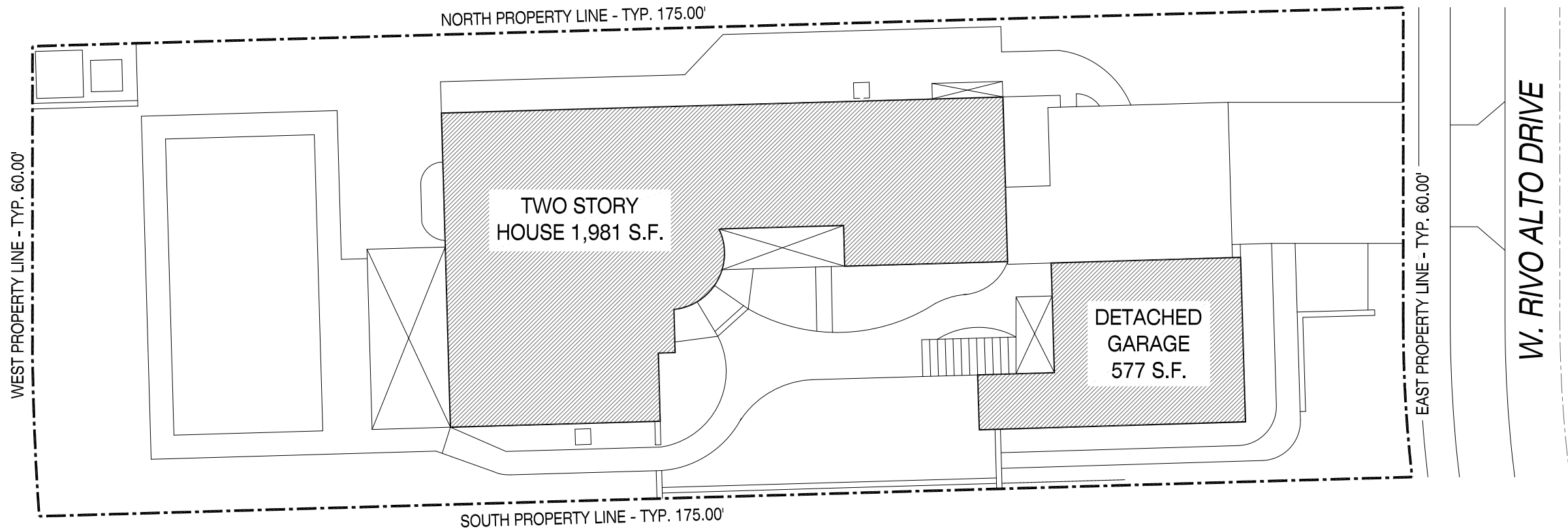
**COVER &
INDEX OF
DRAWINGS**

REVISION	DATE
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SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET

COVER



1

EXIST. LOT COVERAGE PLAN

1/16"=1'-0"

EXISTING LOT COVERAGE CALCULATION

LOT AREA	10,500 Sq. Ft.
1ST FLOOR	1,981 Sq. Ft.
GARAGE	577 Sq. Ft.
TOTAL LOT COVERAGE	2,558 Sq. Ft.
EXIST. PERCENTAGE	24.36%

 HATCH DENOTES AREA FLOOR
COUNTED IN COVERAGE

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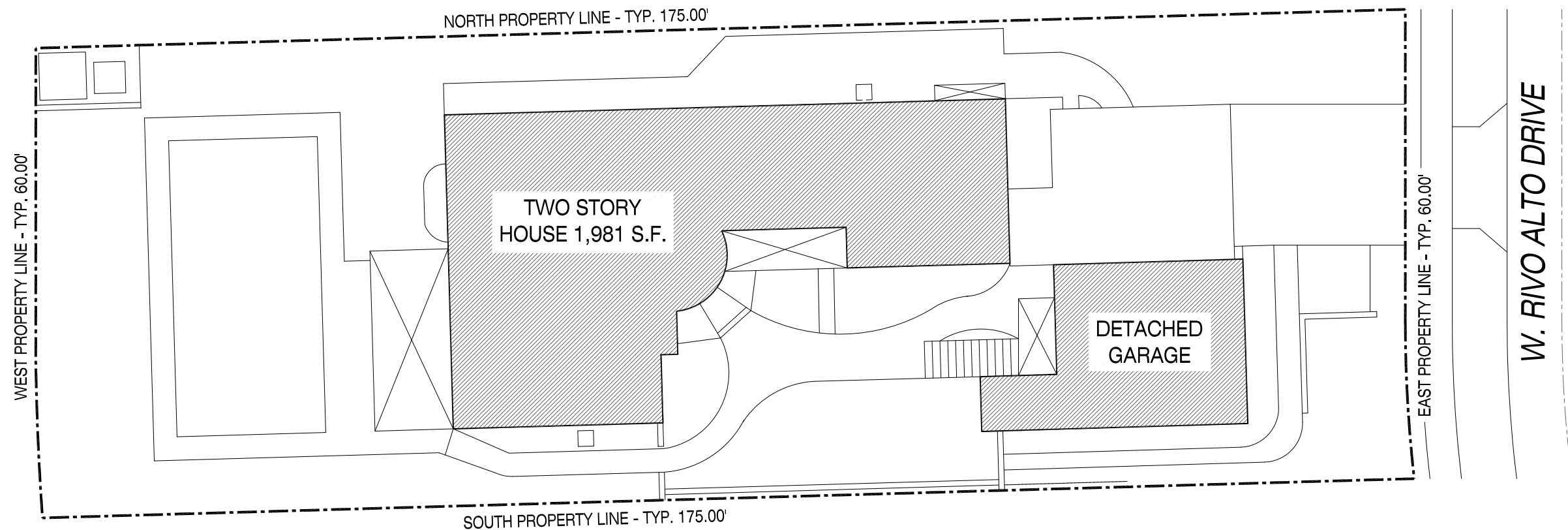
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EXIST. LOT
COVERAGE
PLAN

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EX-1.0

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1

EXIST. UNIT SIZE PLAN

1/16"=1'-0"



EXISTING UNIT SIZE CALCULATION

LOT AREA	10,500 Sq. Ft.
1ST FLOOR A/C GARAGE (AFTER EXCLUDING 500 S.F.)	1,981 Sq. Ft. 577 Sq. Ft.
TOTAL UNIT SIZE	2,558 Sq. Ft.
EXIST. PERCENTAGE	24.36%

HATCH DENOTES AREA
COUNTED IN UNIT SIZE

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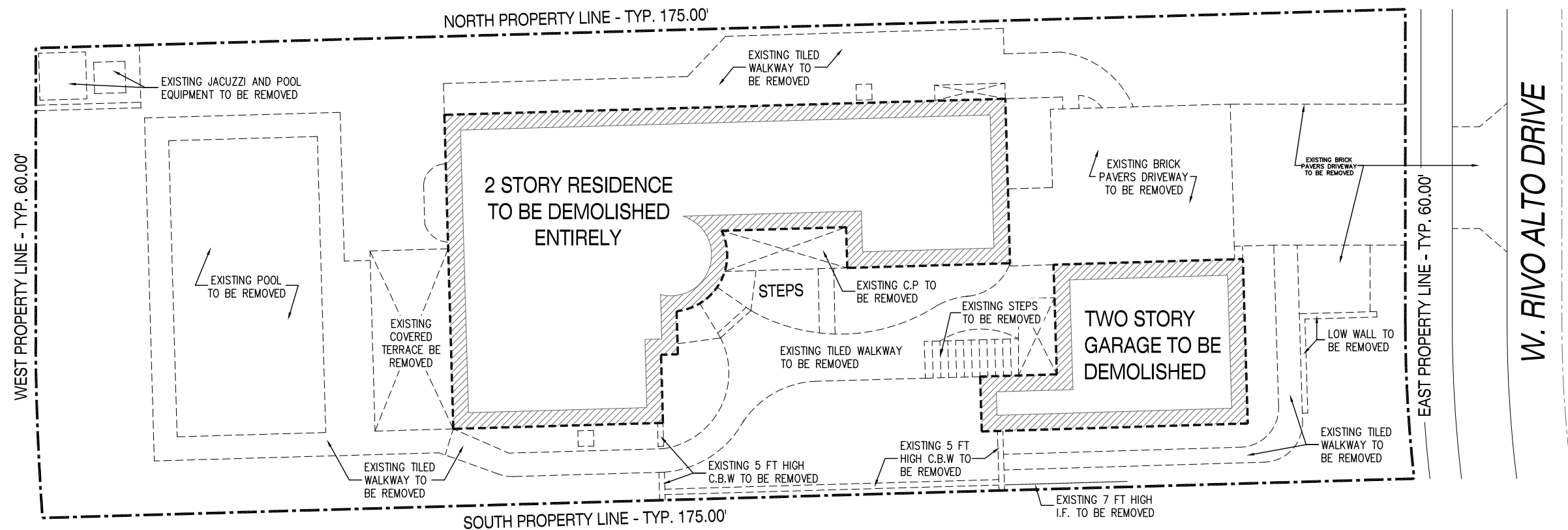
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EXIST.
UNIT SIZE
PLAN

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EX-1.1



1 DEMOLITION PLAN 1/16"=1'-0"

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
- CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
- CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
- MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
- CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
- UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
- CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

DEMOLITION NOTES

- SCOPE OF DEMOLITION ENTAILS ENTIRE HOUSE + DETACHED GARAGE.
- REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, POOL, POOL DECK, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
- MAINTAIN AND PROTECT ALL EXISTING TREES.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.



FRONT VIEW RENDERING / 3D PERSPECTIVE

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**FRONT
RENDERING**

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SHEET
3D-1



REAR VIEW RENDERING / 3D PERSPECTIVE

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**REAR
RENDERING**

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SHEET
3D-2



FRONT VIEW RENDERING, NIGHT / 3D PERSPECTIVE



REAR VIEW RENDERING, NIGHT / 3D PERSPECTIVE



NEIGHBORHOOD CONTEXTUAL VIEW



REVISION	DATE



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW

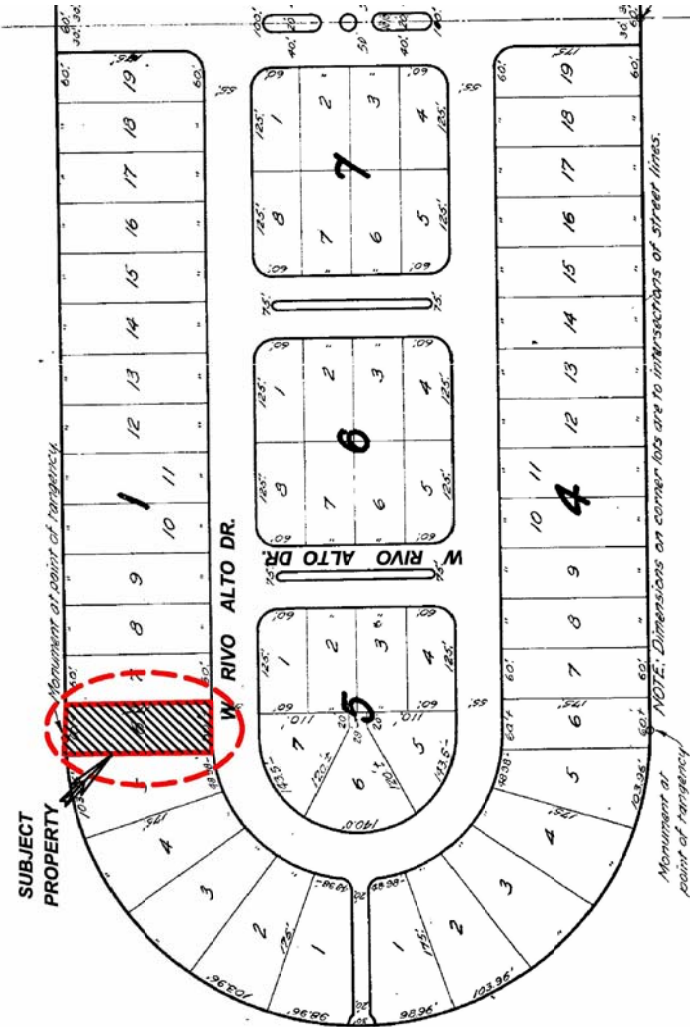


PERSPECTIVE VIEW

REVISION	DATE

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	40 W RIVO ALTO DR. MIAMI BEACH. 33139			
2	FOLIO NUMBER(S):	02-3233-001-0060			
3	BOARD AND FILE NUMBERS:				
4	YEAR BUILT:	1934	ZONING DISTRICT:	RS-3	
5	BASED FLOOD ELEVATION:	+9.0' NGVD	GRADE VALUE IN N.G.V.D:	+4.21' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.61' NGVD	FREE BOARD:	+14.0' NGVD (+5')	
7	LOT AREA:	10,500 S.F.			
8	LOT WIDTH:	60'-0"	LOT DEPTH:	175'-0"	
9	MAX. LOT COVERAGE SF AND %:	3,150 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	2,879 SF (27.42%)	
10	EXISTING LOT COVERAGE SF AND %:		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:		
11	FRONT YARD OPEN SPACE SF AND %:	1,395 SF (77.50%)	REAR YARD OPEN SPACE SF AND %:	1,163 SF (73.84%)	
12	MAX. UNIT SIZE SF AND %:	5,250 SF (50%)	PROPOSED UNIT SIZE SF AND %:	5,246 SF (49.96%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:		PROPOSED FIRST FLOOR UNIT SIZE:	2,786 SF	
14	EXISTING SECOND FLOOR UNIT SIZE:		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE : TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	2,359 SF (71.03%)	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,359 SF (71.03%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A	
16A			GROSS AREA:	5,175 SF	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT.		24 FT.	SEE ELEVATION SHEETS
18	SETBACKS:				
19	FRONT FIRST LEVEL:	30 FT.	N/A	39'-3"	
20	FRONT SECOND LEVEL:	30 FT.	N/A	54'-8"	
21	SIDE 1 - NORTH:	7'-6"		7'-6"	
22	SIDE 2 - SOUTH:	7'-6"		8'-0"	
23	REAR:	26'-3"		36'-2"	
24	ACCESSORY STRUCTURE SIDE 1:	N/A	N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK

- NEW SINGLE FAMILY RESIDENCE REPLACING EXISTING PRE-1942 BUILDING. PROPOSED RESIDENCE IS A TWO-STORY W/ UNDERSTORY.

REQUEST OF WAIVERS

- BUILDING USE: UNDERSTORY AREAS AT GROUND LEVEL
- UNIT SIZE: VOLUME OF 2ND FLOOR EXCEEDS THE PERMITTED 70% BY 1.03%.

APPLICABLE CODES

- 2017 FLORIDA BUILDING CODE RESIDENTIAL
- CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-3)

LEGAL DESCRIPTION

LOT 6, BLOCK 1, RIVO ALTO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE PLAT BOOK 7, PAGE 74, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, AND ALSO AN 8 FOOT STRIP OF LAND CONTIGUOUS TO THE WESTERLY BOUNDARY LINE OF SAID LOT 6, BLOCK 1 LYING BETWEEN THE WESTERLY EXTENSION OF THE NORTHERLY BOUNDARY LINE OF SAID LOT 6, BLOCK 1 AND THE SOUTHERLY BOUNDARY LIVE OF SAID LOT 6, BLOCK 1 RIVO ALTO, ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 7, PAGE 74 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

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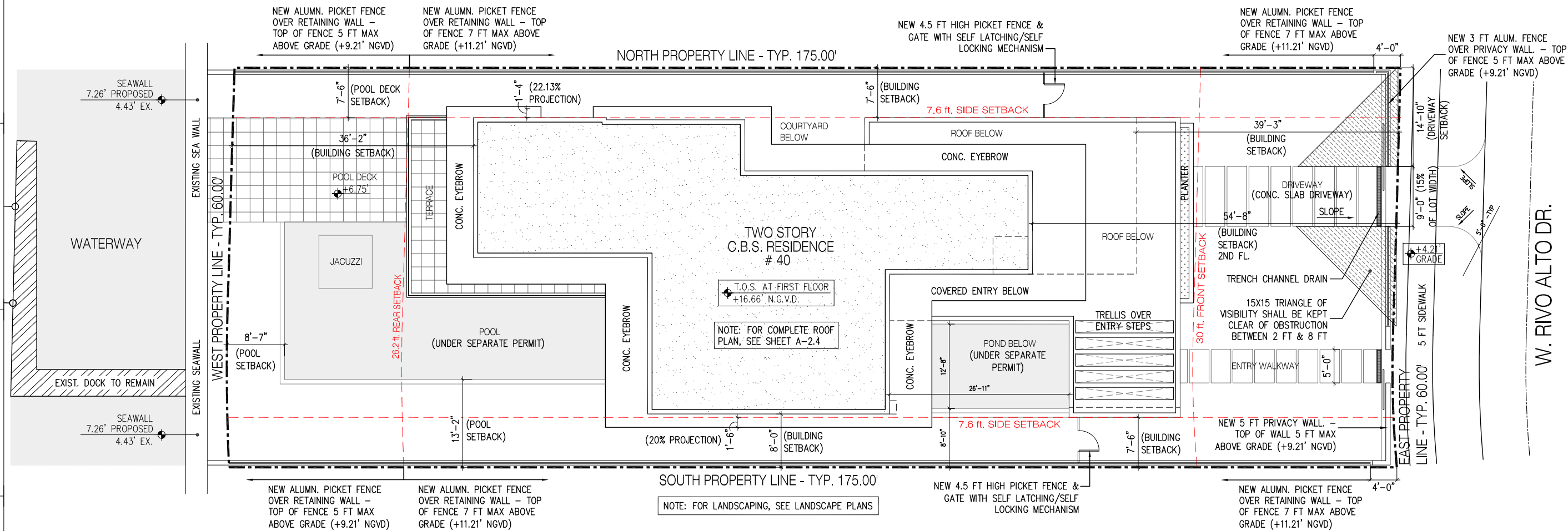
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LOCATION
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SHEET

A-1.0



1 SITE PLAN
1/16"=1'-0"

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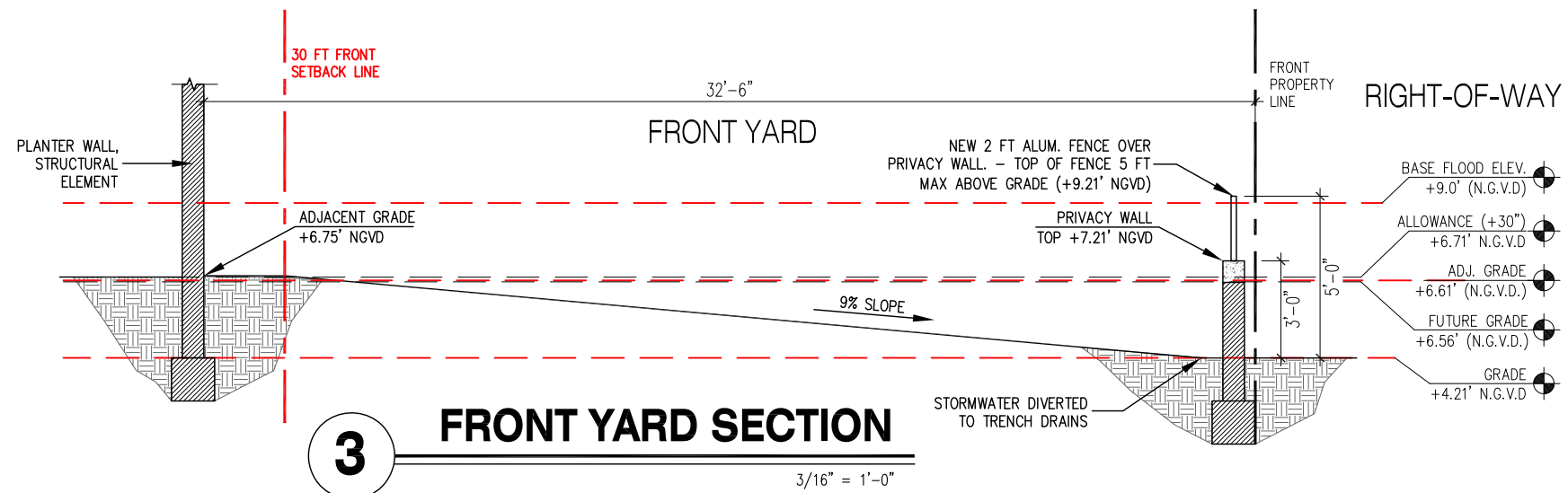
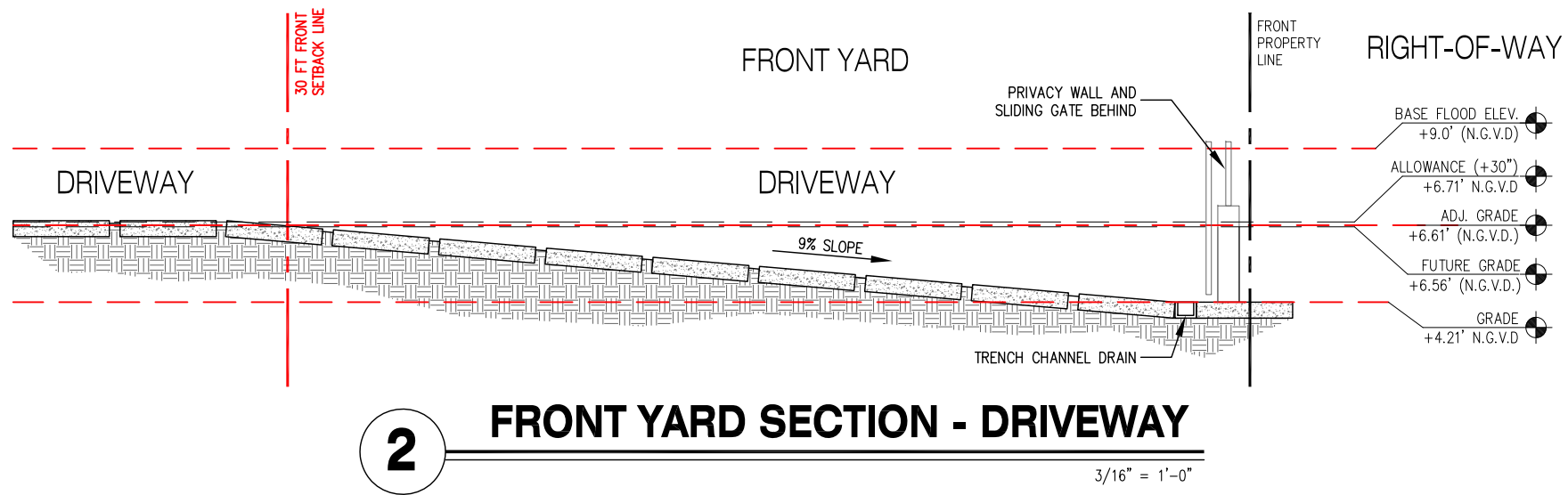
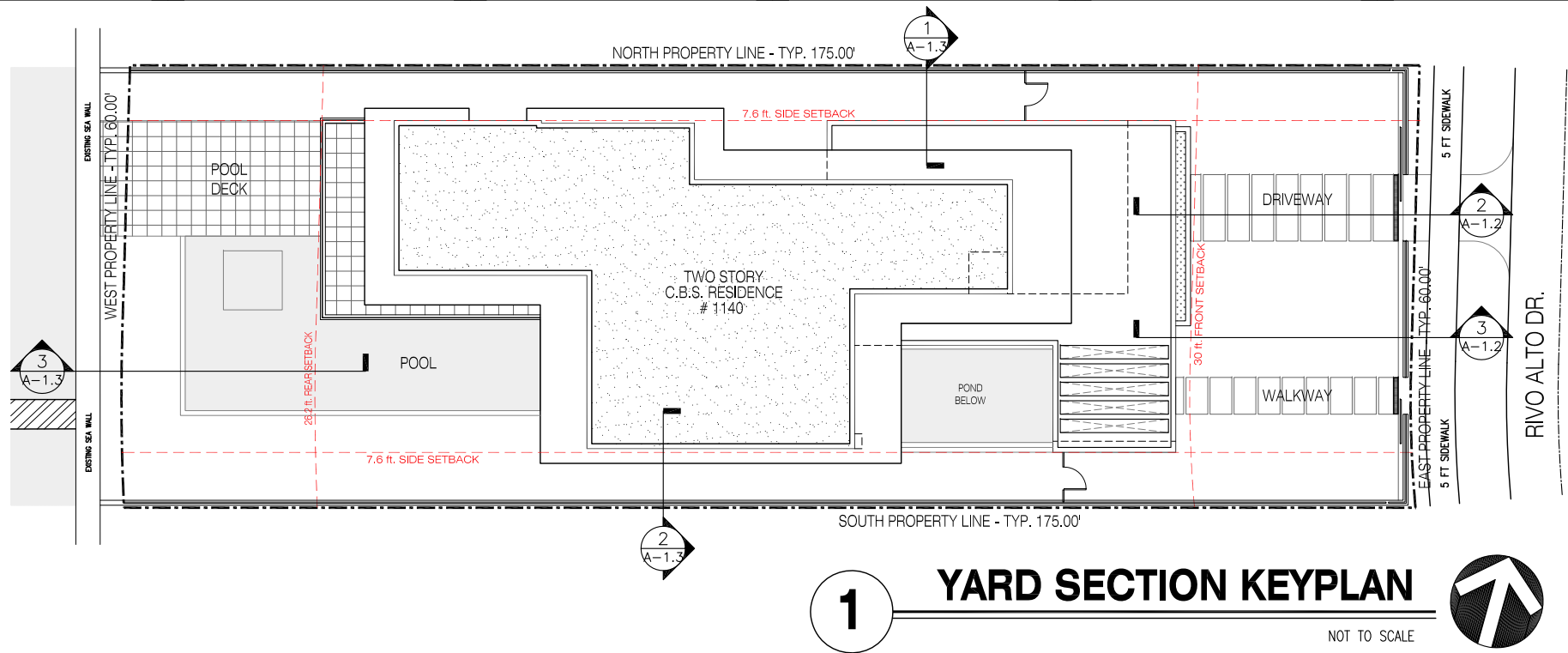
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SITE PLAN

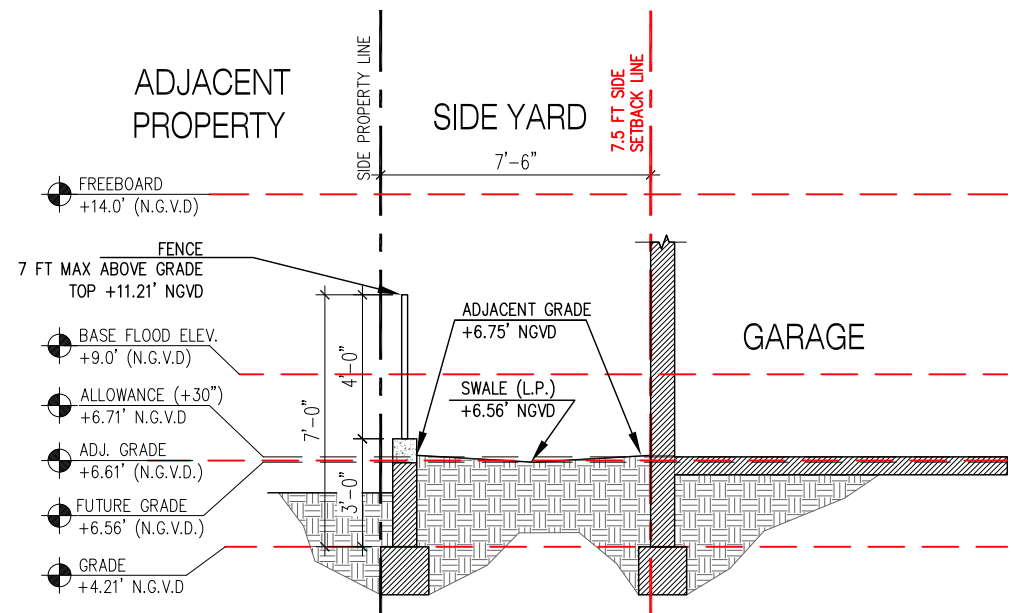
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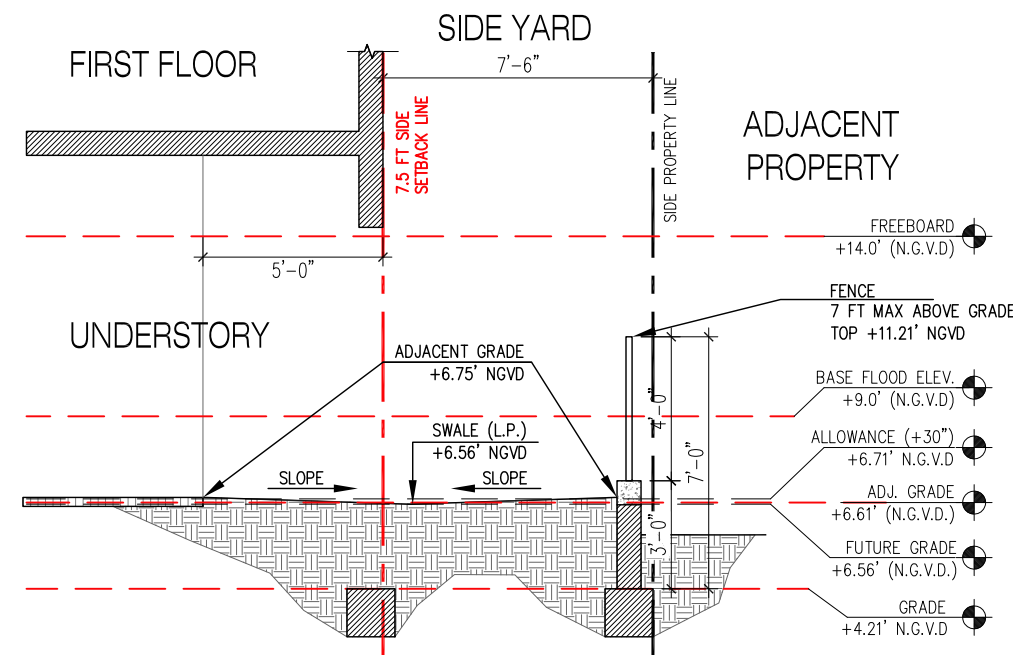
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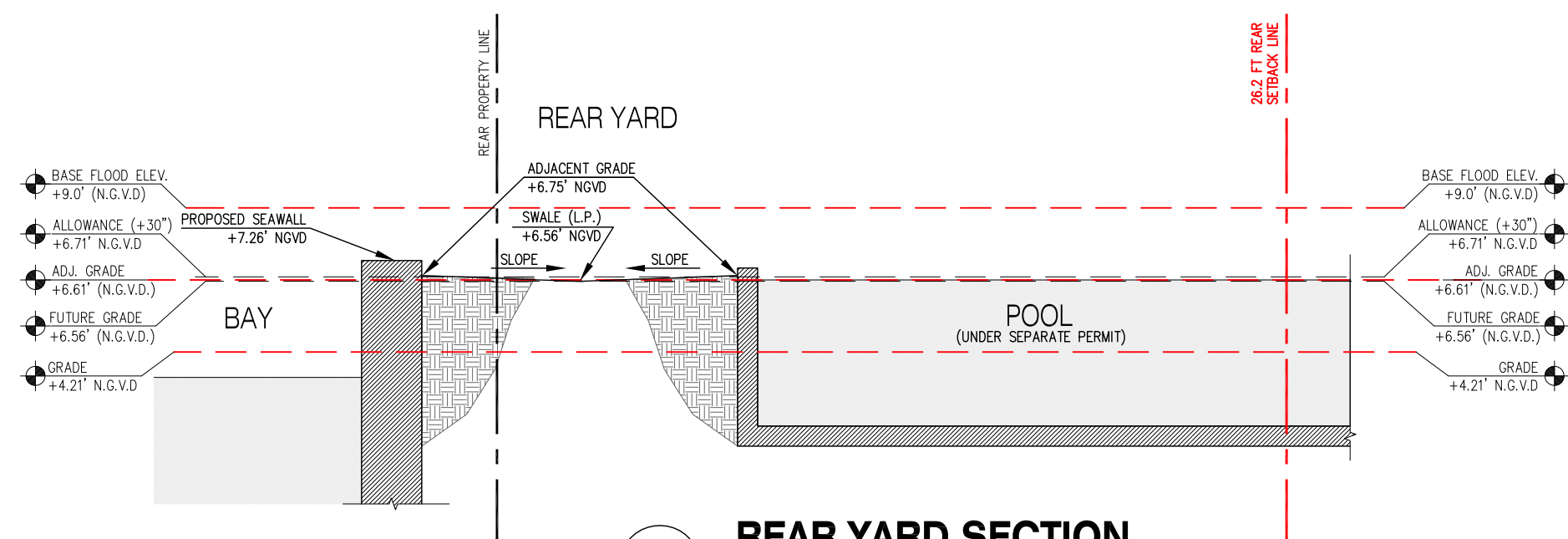
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2 SIDE YARD SECTION (NORTH) 3/16" = 1'-0"



1 SIDE YARD SECTION (SOUTH) 3/16" = 1'-0"



3 REAR YARD SECTION 3/16" = 1'-0"

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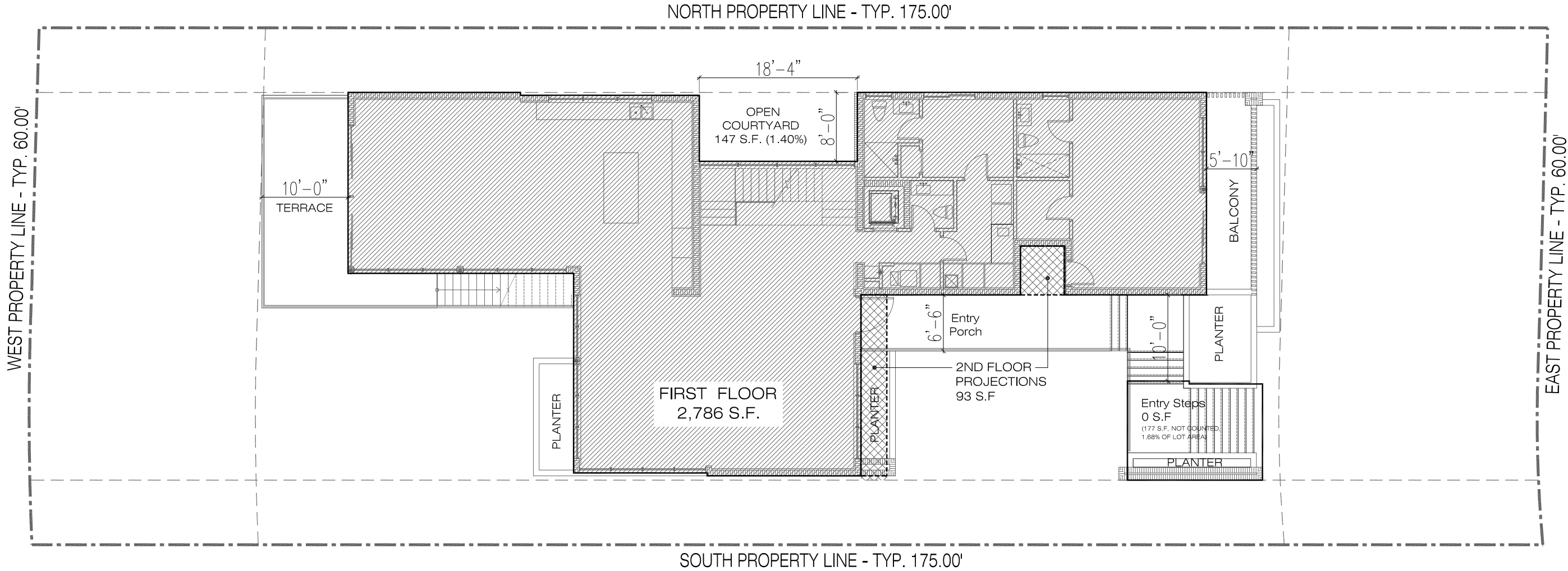
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DRAWING TITLE
YARD SECTIONS

Table with 2 columns: REVISION, DATE. Multiple empty rows for revisions.

SCALE: AS SHOWN
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SHEET
A-1.3

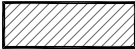


BUILDING VOLUME CALCULATION

FIRST FLOOR AREAS	
1ST FLOOR	2,786 S.F.
GARAGE	535 S.F.
TOTAL FIRST FLOOR VOLUME	3,321 S.F.
TOTAL SECOND FLOOR VOLUME	2,359 S.F.
SECOND FLOOR VOLUME RATIO TO FIRST FLOOR VOLUME	71.03 %

LOT COVERAGE CALCULATION

TOTAL LOT AREA	10,500 S.F.
MAX COVERAGE (30%)	3,150 S.F.
AREAS INCLUDED IN COVERAGE	
1ST FLOOR	2,786 S.F.
2ND FLOOR PROJECTION	93 S.F.
ENTRY STEPS (177 S.F. - EXCLUDED, 1.68% OF LOT AREA)	0 S.F.
TOTAL LOT COVERAGE	2,879 S.F.
PERCENTAGE PROPOSED	27.42 %



HATCH DENOTES AREA AT FIRST FLOOR COUNTED IN COVERAGE

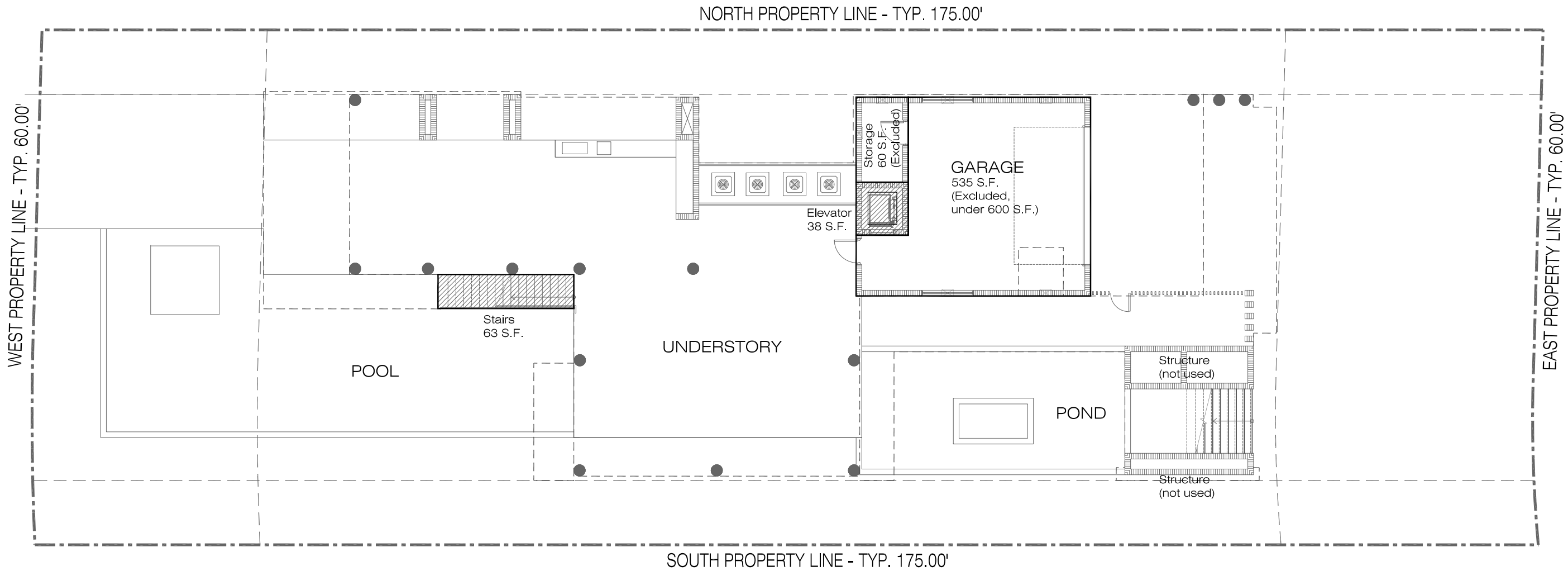


HATCH DENOTES AREA AT SECOND FLOOR COUNTED IN COVERAGE

LOT COVERAGE
SHADED DIAGRAM

NOT TO SCALE





UNIT SIZE CALCULATION

TOTAL LOT AREA	10,500 S.F.
MAX UNIT SIZE (50%)	5,250 S.F.
GROUND FLOOR	
GARAGE (535 S.F. EXCLUDED)	0 S.F.
STORAGE (60 S.F. EXCLUDED)	0 S.F.
REAR STAIRS	63 S.F.
ELEVATOR	38 S.F.
FIRST FLOOR	2,786 S.F.
SECOND FLOOR	2,359 S.F.
TOTAL UNIT SIZE	5,246 S.F.
PERCENTAGE PROPOSED	49.96 %

 HATCH DENOTES AREA COUNTED IN UNIT SIZE

GROUND FLOOR
UNIT SIZE DIAGRAM

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MIAMI BEACH, FL. 33139
CLIENT: RIVO ALTO DEVELOPMENTS, LLC

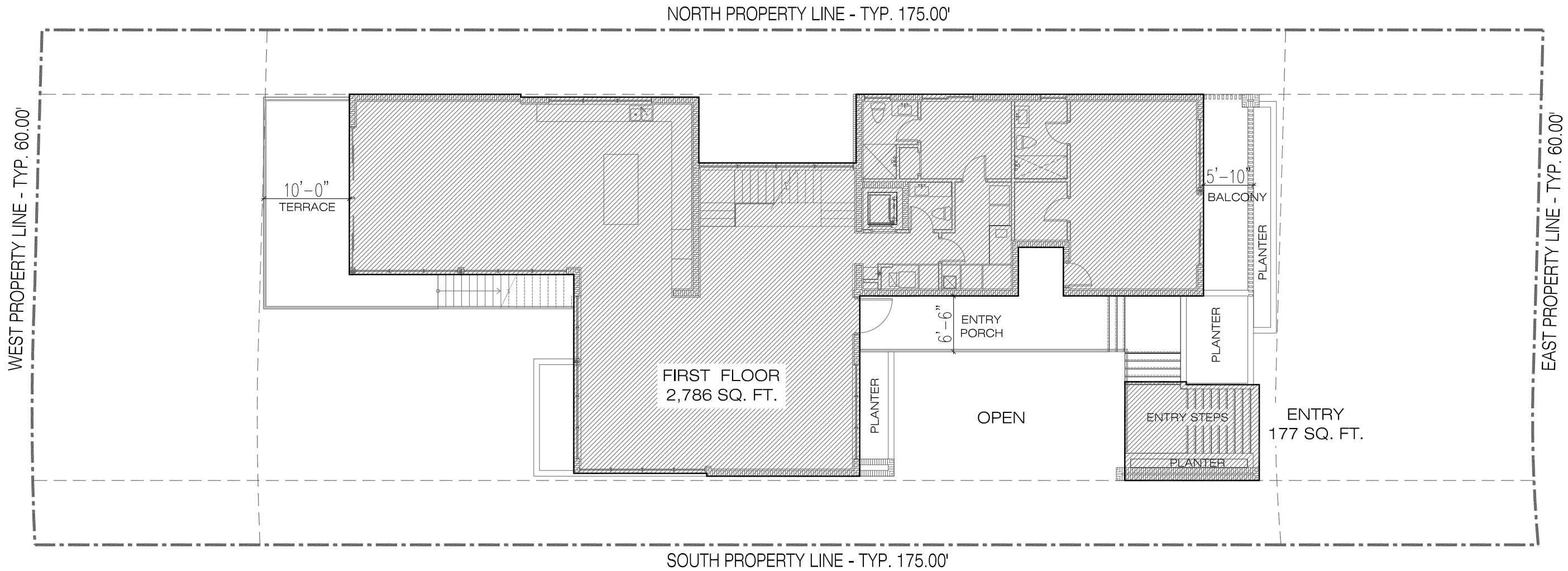
FINAL
SUBMITTAL
11/05/2018

DRAWING TITLE
UNIT
SIZE
DIAGRAM

REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET
A-1.5



UNIT SIZE CALCULATION

TOTAL LOT AREA	10,500 S.F.
MAX UNIT SIZE (50%)	5,250 S.F.
<u>GROUND FLOOR</u>	
GARAGE (535 S.F. EXCLUDED)	0 S.F.
STORAGE (60 S.F. EXCLUDED)	0 S.F.
REAR STAIRS	63 S.F.
ELEVATOR	38 S.F.
<u>FIRST FLOOR</u>	2,786 S.F.
<u>SECOND FLOOR</u>	2,359 S.F.
TOTAL UNIT SIZE	5,246 S.F.
PERCENTAGE PROPOSED	49.96 %

 HATCH DENOTES AREA COUNTED IN UNIT SIZE

FIRST FLOOR
UNIT SIZE DIAGRAM

NOT TO SCALE



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11/05/2018

DRAWING TITLE
UNIT
SIZE
DIAGRAM

REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET
A-1.6

WEST PROPERTY LINE - TYP. 60.00'

NORTH PROPERTY LINE - TYP. 175.00'

EAST PROPERTY LINE - TYP. 60.00'

SECOND FLOOR
2,359 SQ. FT.

OPEN

ROOF
BELOW

OPEN

OPEN
CONC.
TRELLIS
BELOW

10'-0"
TERRACE

SOUTH PROPERTY LINE - TYP. 175.00'

UNIT SIZE CALCULATION

TOTAL LOT AREA	10,500 S.F.
MAX UNIT SIZE (50%)	5,250 S.F.
<u>GROUND FLOOR</u>	
GARAGE (535 S.F. EXCLUDED)	0 S.F.
STORAGE (60 S.F. EXCLUDED)	0 S.F.
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 HATCH DENOTES AREA
COUNTED IN UNIT SIZE

SECOND FLOOR
UNIT SIZE DIAGRAM

NOT TO SCALE



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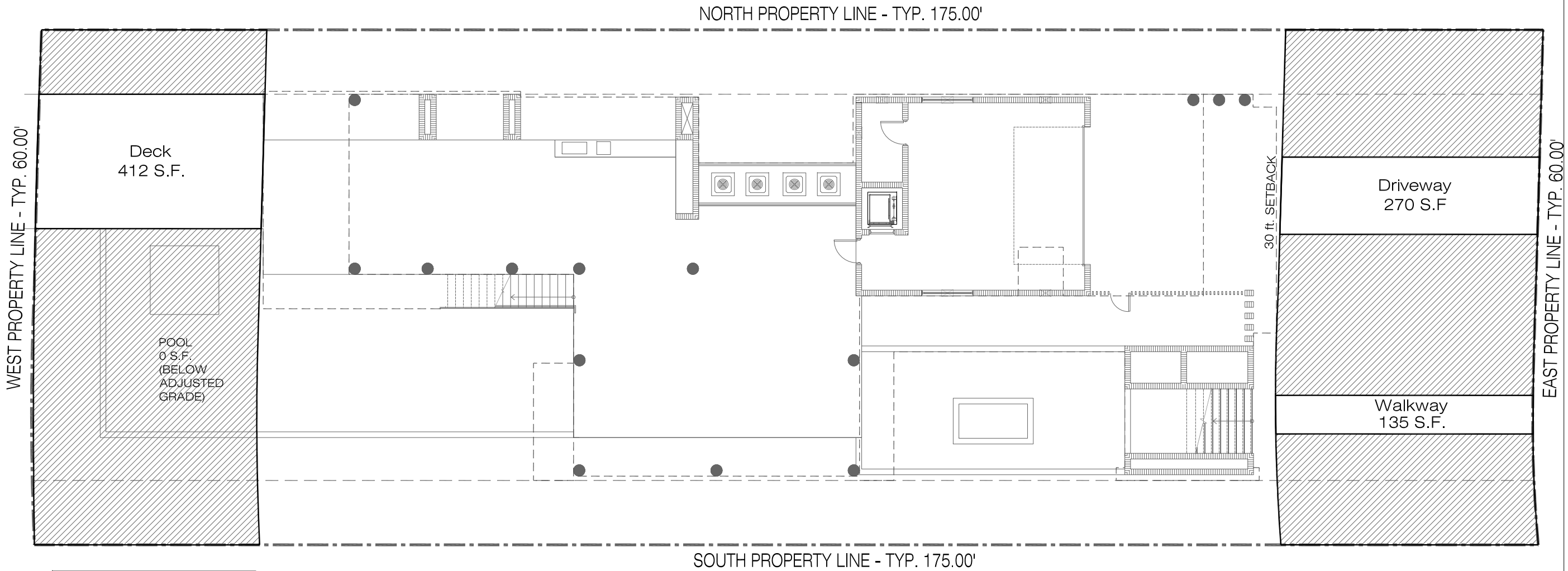
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DRAWING TITLE
UNIT
SIZE
DIAGRAM

REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET
A-1.7



REAR YARD
TOTAL: 1,575 S.F.

FRONT YARD
AREA: 1,800 S.F.

REAR YARD
OPEN SPACE DIAGRAM

NOT TO SCALE



REAR YARD - PERVIOUS OPEN SPACE

REAR YARD TOTAL AREA		1,575 S.F.
REAR YARD PERVIOUS OPEN SPACE MIN. - 70%		1,102.5 S.F.
IMPERVIOUS AREAS		
POOL DECK		412 S.F.
TOTAL IMPERVIOUS AREAS (TO BE EXCLUDED FROM OPEN SPACE)		412 S.F.
PERVIOUS OPEN SPACE		
REAR YARD AREA IMPERVIOUS AREAS		1,575 S.F. - 412 S.F.
TOTAL REAR YARD OPEN SPACE		1,163 S.F.
PERCENTAGE OF OPEN SPACE		73.84%

HATCH DENOTES
PERVIOUS OPEN SPACE

FRONT YARD
OPEN SPACE DIAGRAM

NOT TO SCALE



FRONT YARD - PERVIOUS OPEN SPACE
PER UNDERSTORY ORDINANCE

FRONT YARD TOTAL AREA		1,800 S.F.
FRONT YARD PERVIOUS OPEN SPACE MIN. - 70%		1,260 S.F.
IMPERVIOUS AREAS		
DRIVEWAY		270 S.F.
WALKWAY		135 S.F.
TOTAL IMPERVIOUS AREAS (TO BE EXCLUDED FROM OPEN SPACE)		405 S.F.
PERVIOUS OPEN SPACE		
FRONT YARD AREA IMPERVIOUS AREAS		1,800 S.F. - 405 S.F.
TOTAL FRONT YARD OPEN SPACE		1,395 S.F.
PERCENTAGE OF OPEN SPACE		77.50%

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11/05/2018

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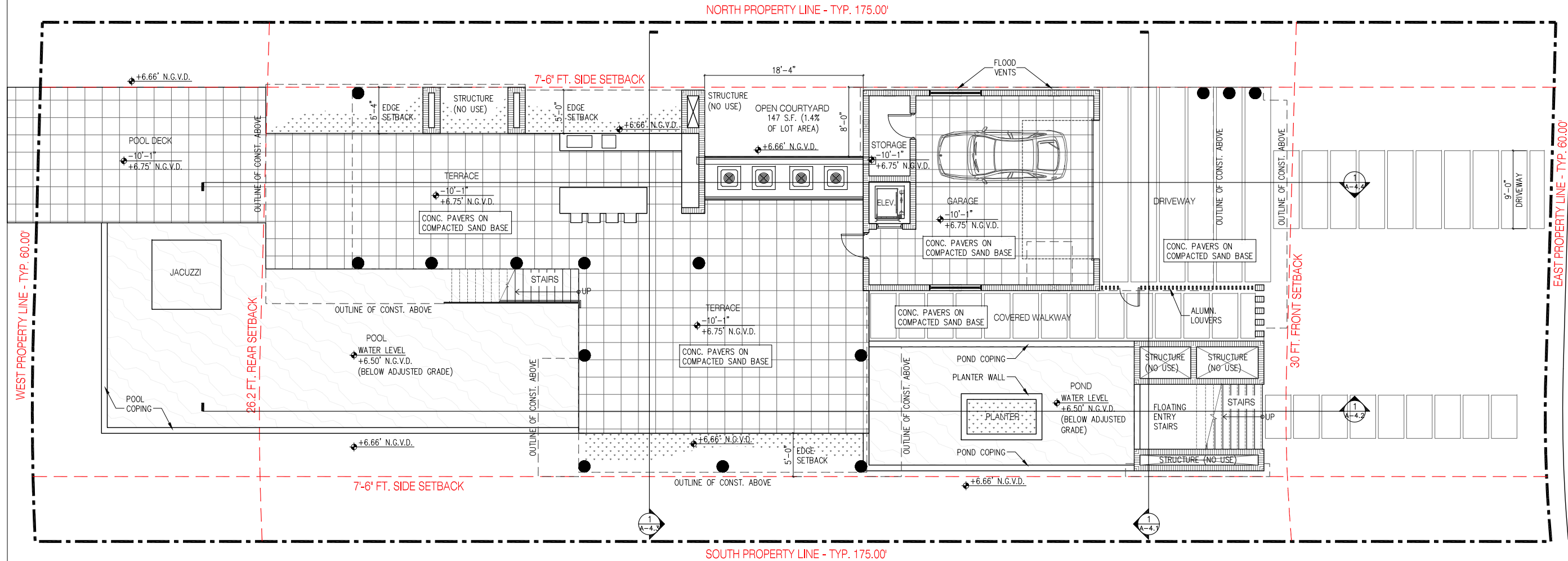
OPEN
SPACE
DIAGRAM

REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET

A-1.8



WALL LEGEND	
	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
	CONCRETE COLUMN

1

GROUND FLOOR PLAN
(UNDERSTORY)

3/32"=1'-0"

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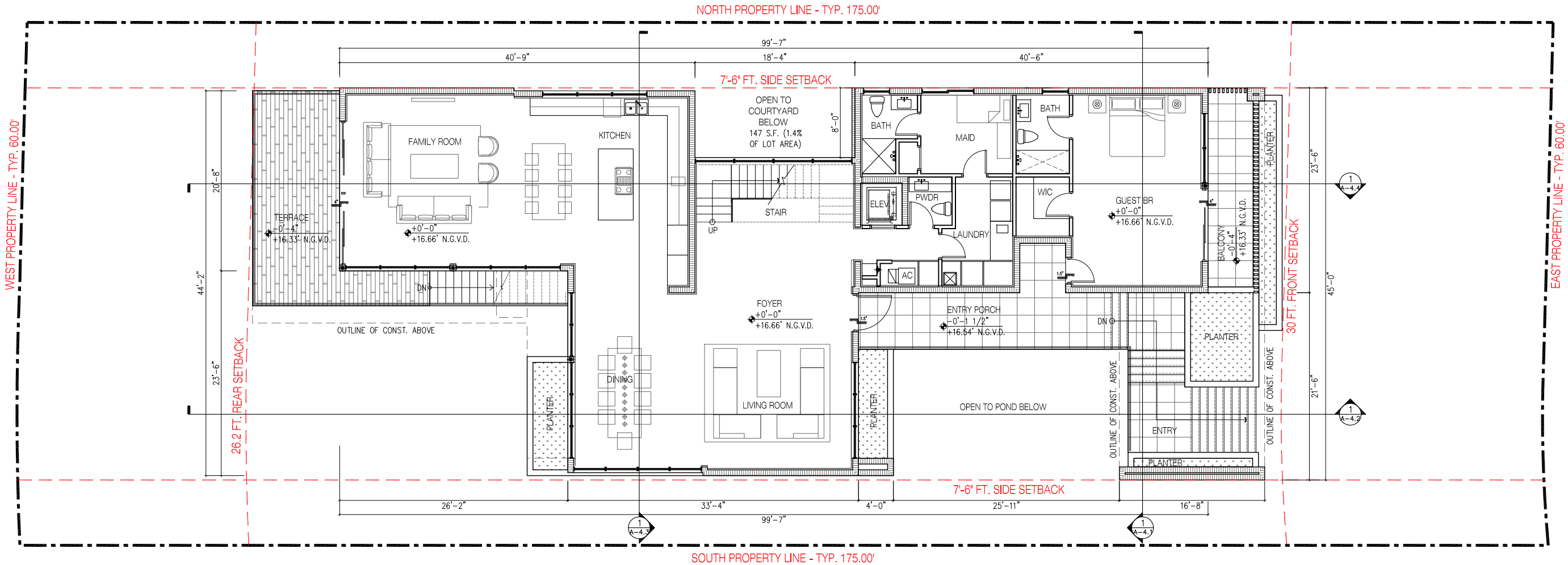
**GROUND
FLOOR
PLAN**

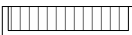




REVISION	DATE

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SHEET

A-2.1



WALL LEGEND	
	NEW 8" C.M.U. WALL W/ 2"x2"PRESSURE TREATED FURRING STRIPS, R-7.1 INSULATION BTW. 5/8" GYP. BD. FINISH
	NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
	NEW DRYWALL PARTITION - 5/8" GYPSUM BOARD ON 22 GAGE METAL STUDS @ 16" O.C. - ALTERNATIVE" 2"x4" WOOD STUDS). PROVIDE 1/2" DUROCK BOARD AT WET AREAS AND 5/8" MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS).
	NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSULT. SYMBOL
	CONCRETE COLUMN

1 FIRST FLOOR PLAN

3/32"=1'-0"



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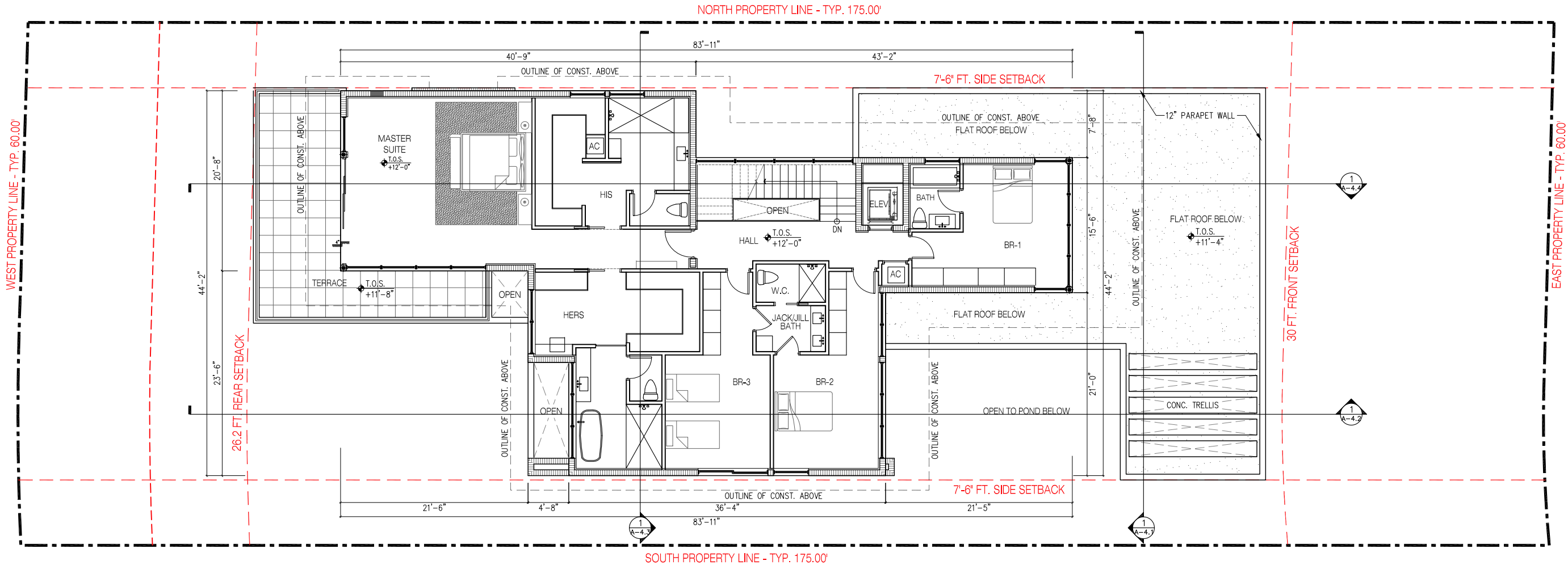
FIRST FLOOR PLAN

REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET

A-2.2



WALL LEGEND

- NEW 8" C.M.U. WALL W/ 2"x2"PRESSURE TREATED FURRING STRIPS, R-7.1 INSULATION BTW. 5/8" GYP. BD. FINISH
- NEW 8" C.M.U. W/ CEMENT STUCCO FINISH BOTH SIDES
- NEW DRYWALL PARTITION - 5/8" GYPSUM BOARD ON 22 GAGE METAL STUDS @ 16" O.C. - ALTERNATIVE" 2"x4" WOOD STUDS). PROVIDE 1/2" DUROCK BOARD AT WET AREAS AND 5/8" MOISTURE RESISTANT GREENBOARD AT AREAS SUBJECT TO MOISTURE (BATHROOMS).
- NEW DRYWALL PARTITION - PROVIDE ACOUSTIC INSULATION WHERE NOTED BY INSULT. SYMBOL
- CONCRETE COLUMN

1

SECOND FLOOR PLAN

3/32"=1'-0"



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DRAWING TITLE
SECOND
FLOOR
PLAN

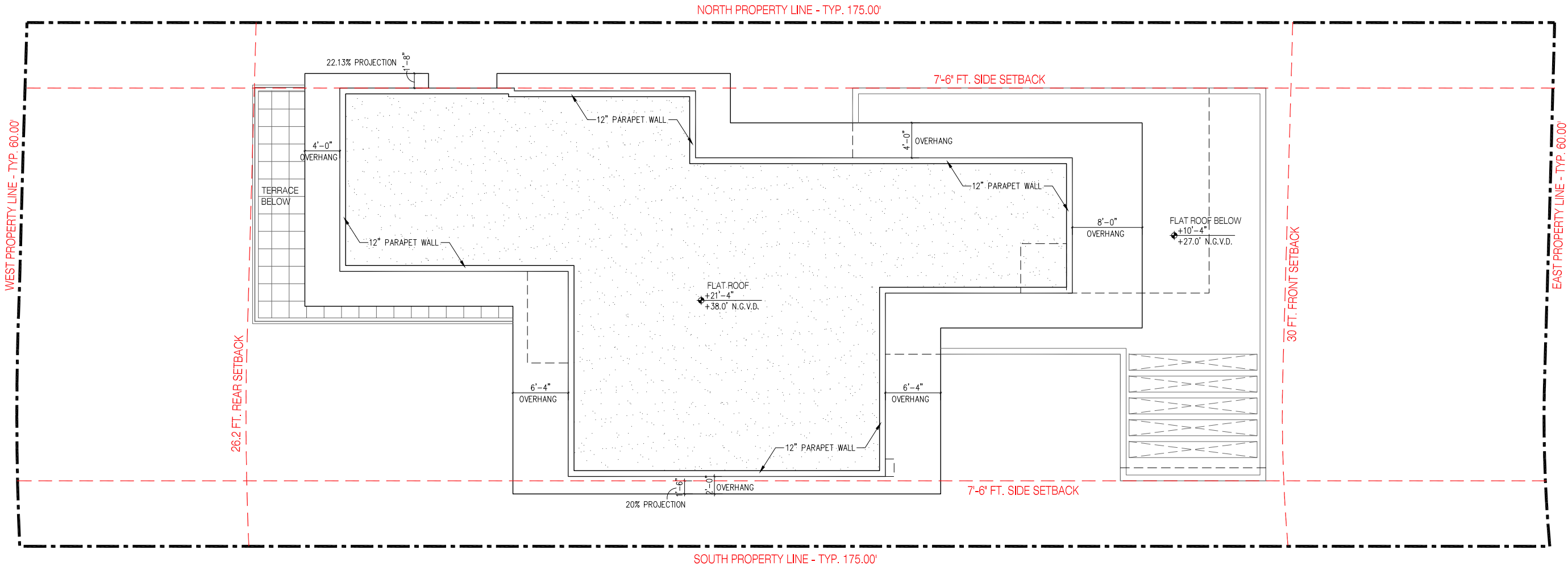
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SHEET
A-2.3

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1 ROOF PLAN
3/32"=1'-0"



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ROOF
PLAN

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SHEET
A-2.4

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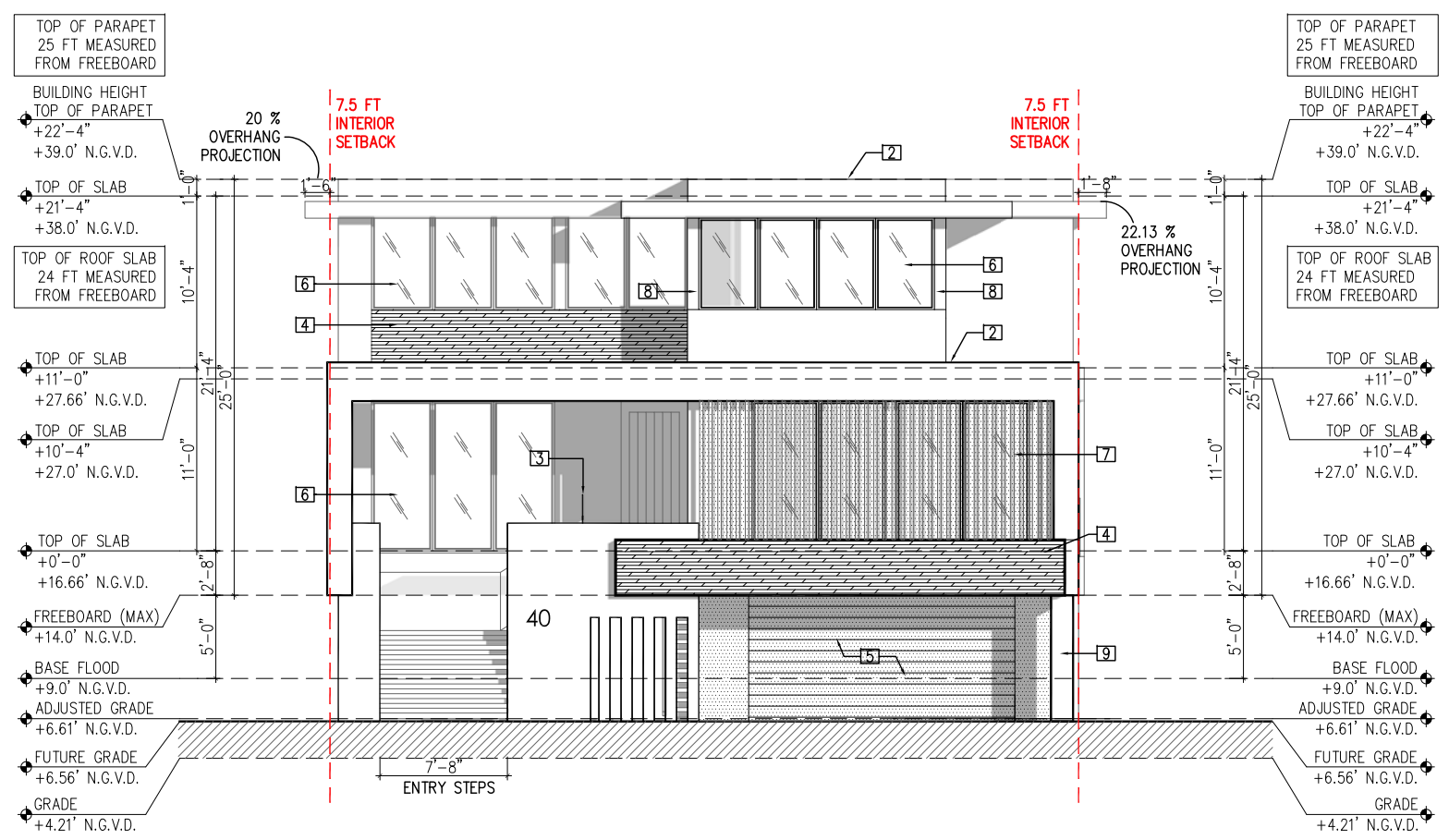
**EAST
ELEVATION
(FRONT)**

REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

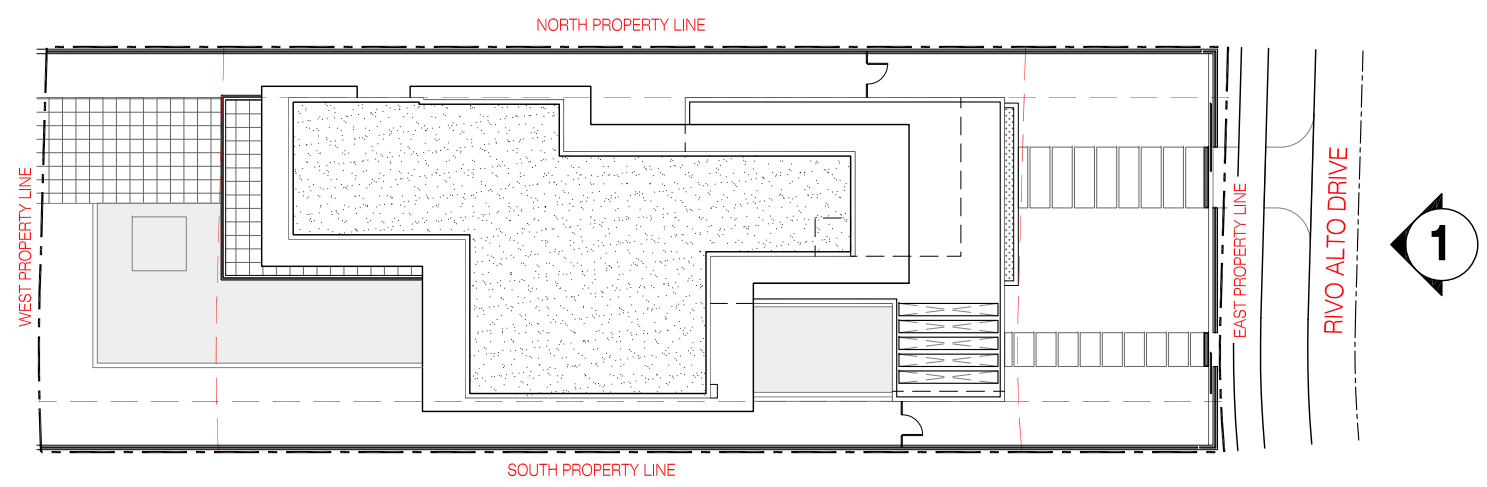
SHEET

A-3.1



1 EAST ELEVATION
(FRONT)

3/32"=1'-0"



2 ELEVATION KEYPLAN

NOT TO SCALE

ELEVATION KEYNOTES

- 5/8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
- 12" ROOFTOP CURB (SEE ROOF PLAN)
- GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
- veneer -TO BE SELECTED- CONCRETE STONE TILE.
- OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)
- DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
- DECORATIVE ALUMN. LOUVERS - SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE.
- GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
- CONCRETE COLUMNS.
- ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS - PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.



- ## ELEVATION KEYNOTES
1. 5/8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
 2. 12" ROOFTOP CURB (SEE ROOF PLAN)
 3. GLASS GUARDRAIL (42" HIGH A.F.F.) – UNDER SEPARATE PERMIT
 4. VENEER –TO BE SELECTED– CONCRETE STONE TILE.
 5. OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)
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 9. CONCRETE COLUMNS.
 10. ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS – PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.

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FINAL
SUBMITTAL
11/05/2018

DRAWING TITLE

NORTH
ELEVATION
(SIDE)

REVISION	DATE

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DATE: 11 / 05 / 2018

A-3.2

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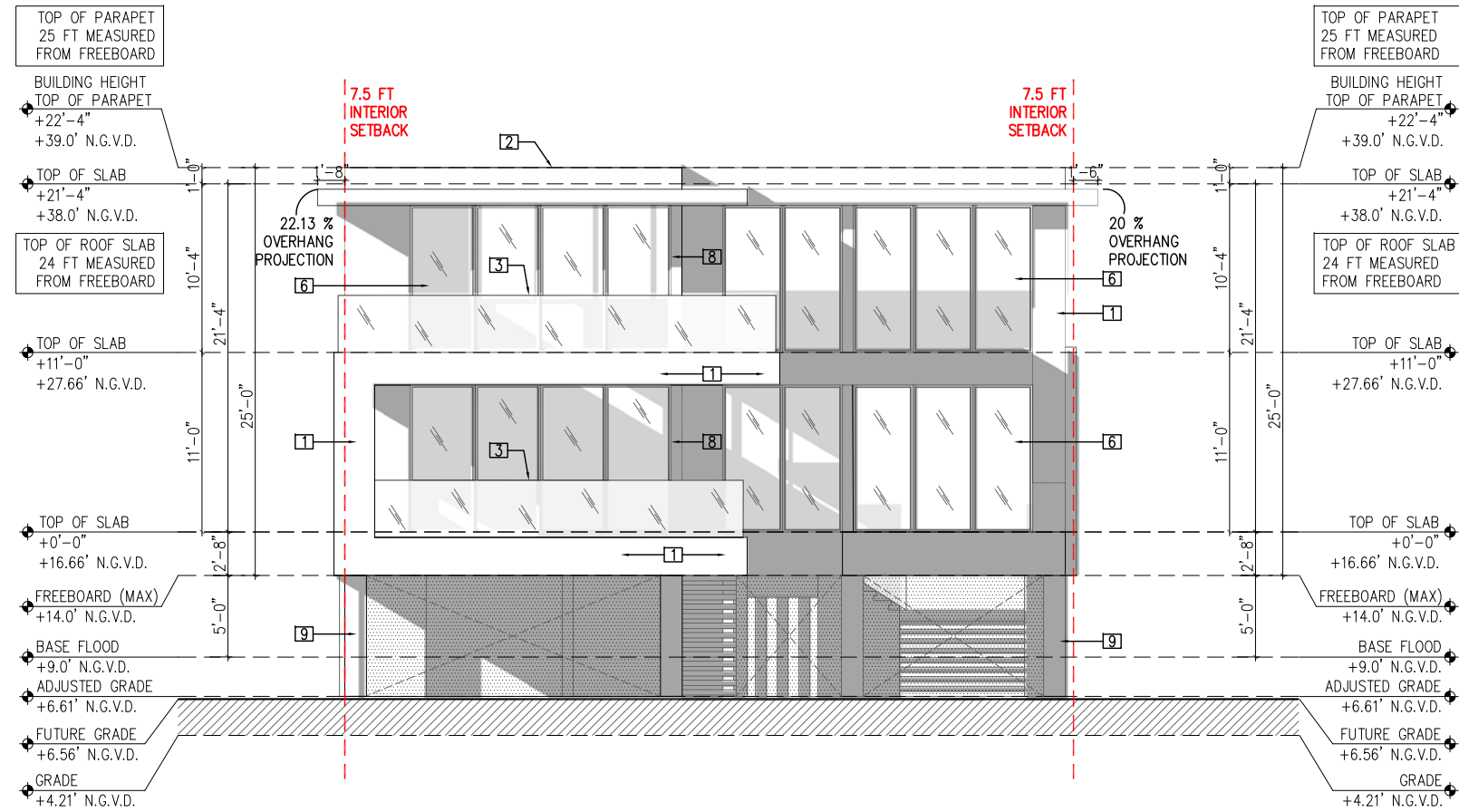
FINAL
SUBMITTAL
11/05/2018

DRAWING TITLE
WEST
ELEVATION
(REAR)

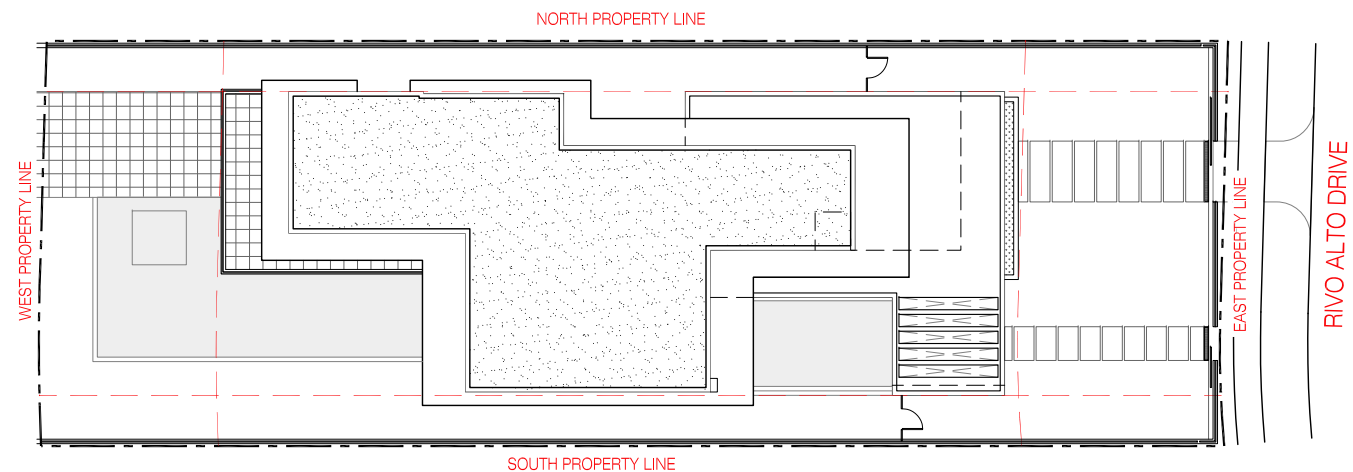
REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET
A-3.3



1 **WEST ELEVATION**
(REAR)
3/32"=1'-0"



2 **ELEVATION KEYPLAN**
NOT TO SCALE

ELEVATION KEYNOTES

- 5/8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
- 12" ROOFTOP CURB (SEE ROOF PLAN)
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- VENEER -TO BE SELECTED- CONCRETE STONE TILE.
- OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)
- DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
- DECORATIVE ALUMN. LOUVERS - SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE.
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- CONCRETE COLUMNS.
- ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS - PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.

TOP OF PARAPET
25 FT MEASURED
FROM FREEBOARD

BUILDING HEIGHT
TOP OF PARAPET
+22'-4"
+39.0' N.G.V.D.

TOP OF SLAB
+21'-4"
+38.0' N.G.V.D.

TOP OF ROOF SLAB
24 FT MEASURED
FROM FREEBOARD

TOP OF SLAB
+11'-0"
+27.66' N.G.V.D.

TOP OF SLAB
+0'-0"
+16.66' N.G.V.D.

FREEBOARD (MAX)
+14.0' N.G.V.D.

BASE FLOOD
+9.0' N.G.V.D.

ADJUSTED GRADE
+6.61' N.G.V.D.

FUTURE GRADE
+6.56' N.G.V.D.

GRADE
+4.21' N.G.V.D.

26.2 FT
REAR
SETBACK

30 FT
FRONT
SETBACK

TOP OF PARAPET
25 FT MEASURED
FROM FREEBOARD

BUILDING HEIGHT
TOP OF PARAPET
+22'-4"
+39.0' N.G.V.D.

TOP OF SLAB
+21'-4"
+38.0' N.G.V.D.

TOP OF ROOF SLAB
24 FT MEASURED
FROM FREEBOARD

TOP OF SLAB
+11'-0"
+27.66' N.G.V.D.

TOP OF SLAB
+10'-4"
+27.0' N.G.V.D.

TOP OF SLAB
+0'-0"
+16.66' N.G.V.D.

FREEBOARD (MAX)
+14.0' N.G.V.D.

BASE FLOOD
+9.0' N.G.V.D.

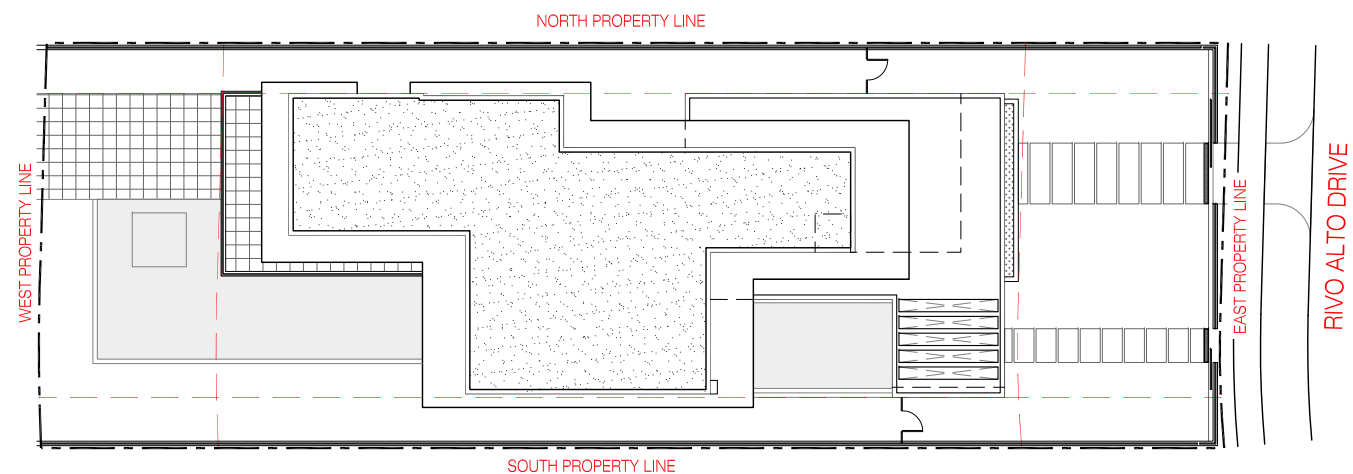
ADJUSTED GRADE
+6.61' N.G.V.D.

FUTURE GRADE
+6.56' N.G.V.D.

GRADE
+4.21' N.G.V.D.

1 SOUTH ELEVATION (SIDE)

3/32"=1'-0"



2 ELEVATION KEYPLAN

NOT TO SCALE

ELEVATION KEYNOTES

- 5/8" SMOOTH CEMENT STUCCO (PAINTED WHITE OR AS SELECTED). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
- 12" ROOFTOP CURB (SEE ROOF PLAN)
- GLASS GUARDRAIL (42" HIGH A.F.F.) - UNDER SEPARATE PERMIT
- VENEER -TO BE SELECTED- CONCRETE STONE TILE.
- OVERHEAD GARAGE DOOR (COLOR TO MATCH ADJACENT WALL)
- DADE COUNTY APPROVED ALUM./IMPACT GLASS WINDOWS (IMPACT, BRONZE FINISH). REFER TO ENERGY CALCULATIONS FOR SHADING COEFFICIENT AND U FACTOR REQUIRED. PROVIDE FLUID APPLIED WATERPROOFING ON THE INSIDE FACE OF THE ROUGH OPENING. (TYP)
- DECORATIVE ALUMN. LOUVERS - SPACING BETWEEN LOUVERS SHALL REJECT A 4" SPHERE.
- GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
- CONCRETE COLUMNS.
- ALUM SCREEN ENCLOSURE FOR CONDENSING UNITS - PAINT CMU SCREEN & GATE SAME COLOR AS THE HOUSE.

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40 W. RIVO ALTO DR.
MIAMI BEACH, FL. 33139
CLIENT: RIVO ALTO DEVELOPMENTS, LLC

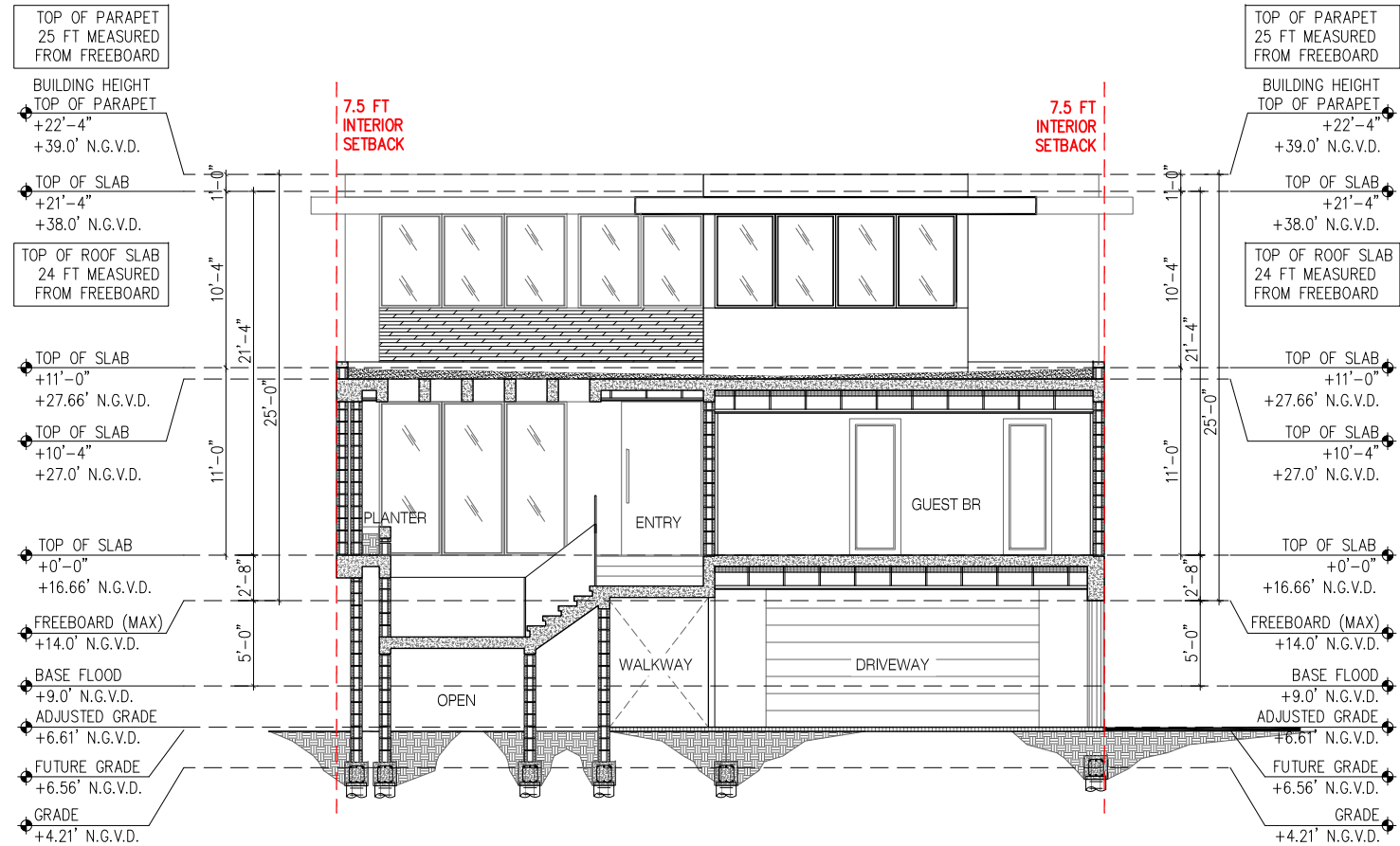
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DRAWING TITLE
**SOUTH
ELEVATION
(SIDE)**

REVISION	DATE

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET
A-3.4



NOTES

- ALL PLANTERS SHALL RECEIVE WATERPROOFING COATING. SEE STANDARD DETAIL.
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1 SECTION

3/32"=1'-0"

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SUBMITTAL
11/05/2018

DRAWING TITLE

SECTION

REVISION	DATE
----------	------

SCALE: AS SHOWN
DATE: 11 / 05 / 2018

SHEET

A-4.1

TOP OF PARAPET
25 FT MEASURED
FROM FREEBOARD

BUILDING HEIGHT
TOP OF PARAPET
+22'-4"
+39.0' N.G.V.D.

TOP OF SLAB
+21'-4"
+38.0' N.G.V.D.

TOP OF ROOF SLAB
24 FT MEASURED
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BASE FLOOD
+9.0' N.G.V.D.

ADJUSTED GRADE
+6.61' N.G.V.D.

FUTURE GRADE
+6.56' N.G.V.D.

GRADE
+4.21' N.G.V.D.

26.2 FT
REAR
SETBACK

30 FT
FRONT
SETBACK

TOP OF PARAPET
25 FT MEASURED
FROM FREEBOARD

BUILDING HEIGHT
TOP OF PARAPET
+22'-4"
+39.0' N.G.V.D.

TOP OF SLAB
+21'-4"
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1

SECTION

3/32"=1'-0"

PRAXIS
ARCHITECTURE + DESIGN

JOSE L. SANCHEZ, AIA
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MIAMI, FL 33127
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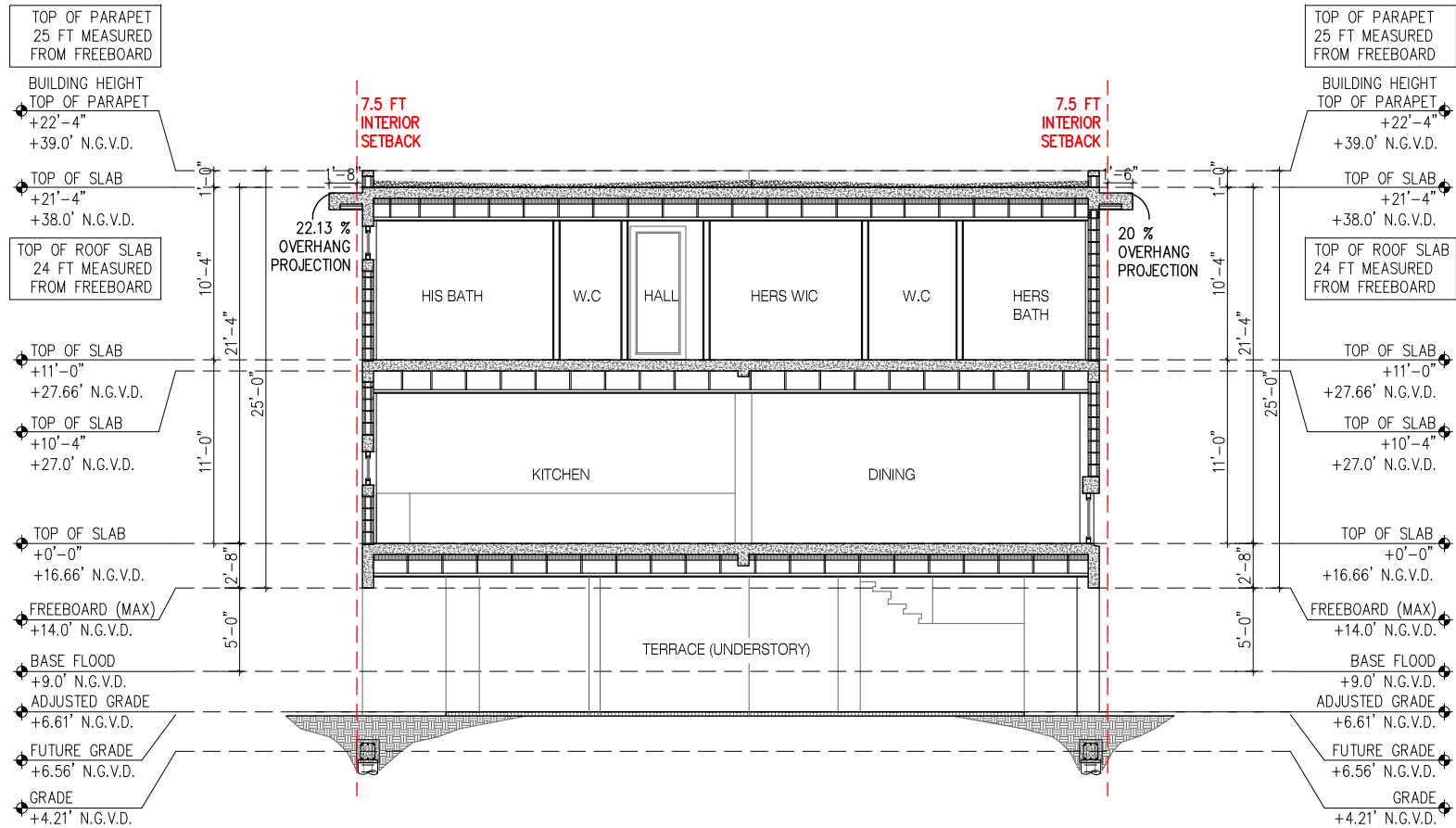
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SHEET

A-4.2



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1 SECTION

3/32"=1'-0"

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DRAWING TITLE

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REVISION DATE

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DATE: 11 / 05 / 2018

SHEET

A-4.3

TOP OF PARAPET
25 FT MEASURED
FROM FREEBOARD

BUILDING HEIGHT
TOP OF PARAPET
+22'-4"
+39.0' N.G.V.D.

TOP OF SLAB
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+38.0' N.G.V.D.

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30 FT
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SETBACK

26.2 FT
REAR
SETBACK

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SHEET

A-4.4