

Dr. H. F. Garrard* *Surreal Grant*

Owner Mr. & Mrs. A. E. Hotard Mailing Address Permit No. 7150

Lot 6 Block 1 Subdivision Rivo Alto No. 40 Street W-Rivo Alto Date July 16-1935

General Contractor Sibley - Inc. 9396 Address Drive

Architect Lee L. Wade Address 3233-01-006

Front 40 Depth Height Stories Use Residence -garage &

Type of construction cement Blks Cost \$15,000.00 Foundation concrete pile Roof dock & Pool

Plumbing Contractor Hanlon permit # 8337 Address Date Aug. 12-1935

No. fixtures 13 3- Gas- Rough approved by Hanlon- permit # 8383: Address Date Sept. 5-1935

Plumbing Contractor Address Date

No. fixtures set Final approved by Address Date

Sewer connection Hildebrandt -- #8559 -- Nov. 4-1935

Septic tank one - 600-gal Make Date

Electrical Contractor Garwood Electric Co. # 5565 Address Date Spt. 18-1935

No. outlets Heaters Stoves Motors 1 Fans Temporary service

Rough approved by Receptacles 67 Date

Electrical Contractor Garwood #5939 Address Date Dec. 2-1935

No. fixtures set 15 Final approved by Date

Date of service

Alterations or repairs # 12864- Outside and inside painting- owner, day work \$ 150.00 Aug. 25-1939

17567 - Shutters for protection - Berry & Son, Inc. \$ 200: Sept. 9, 1943

2067

BUILDING PERMIT: #51186 by owner "For Sale" sign as per ordinance #1216 \$ 5.00 Aug. 9, 1956

#56294 Vic Polk, Inc: 20' x 40' concrete Pool - \$3800.00 - May 29, 1958

#62332 Dewey Hawkins: 2 - 1 HP window air conditioners - \$400 - July 8, 1960 OK 7/27/60 Please

#68854 Paul Henriksen: Exterior painting - \$485. - 2/18/63

#80248 Carey Matthews, Owner: Enclose garage for study - \$900 - 5/13/68 OK 7/9/68

#24685 11/8/83 Brady Roof - use driveway only reroof \$9,000.

#26537 2/19/85 Brady Roof & Sheet Metal - reroof 25 sqs \$9,000.

PLUMBING PERMITS

#40649 Pitch & Morgan: 1 1/2" Sewer - June 6, 1958

#41269 Peoples Gas Systems: 1 Gas Water Heater - Jan. 21, 1959

ELECTRIC PERMITS

#52103 Astor Elec: 1 light outlet, 1 fixture, 1 center of distrib, 1 motor (1HP) - 6/18/58 OK 4/27/59 Fidler
#5430 Griffin Electric Contractors, Inc: 1 Motor (1HP) - July 8, 1960 OK 7/21/60 Newbold
#65745 Astor Electric Service: 1 switch outlet 1 light outlet, 6 receptacles, 1 motor 0-1 5/13/68
#65836 Astor Electric Ser. 5 Motors 0-1 H.P. \$5.00, 1 Meter Change No Charge, 1 Centers of Distribution
No Charge, 1 Service-Equipment \$3.00 Violation 200 A \$8.00 6/11/68

BUILDING PERMITS:

#92464 - 3-17-88 -

Southern Marine Const.

- Build new wood dock with mooring piles-

\$9,000.00

W

#ML0061 - Another A/C Co. - 15 kw Central heating, 6ton A/C central, duct work - 5-12-88

W

CUMULATIVE COST OF CONSTRUCTION OF PERMITS ISSUED

DATE	PROCESS	DESCRIPTION	WORK	CUMULATIVE	APPRAISED BLDG.			BUILDING
ISSUED	NO.	OF WORK	COST	WORK COST	VALUE BEFORE REMODEL	%	COMMENTS	PERMIT NO.
3-17-88	94	Build new wood dock with mooring piles.	\$9,000.00					9 5464

R#
92464

92464

AMERICAN SOCIETY
OF CIVIL ENGINEERS

NATIONAL ACADEMY
OF BUILDING INSPECTION
ENGINEERS

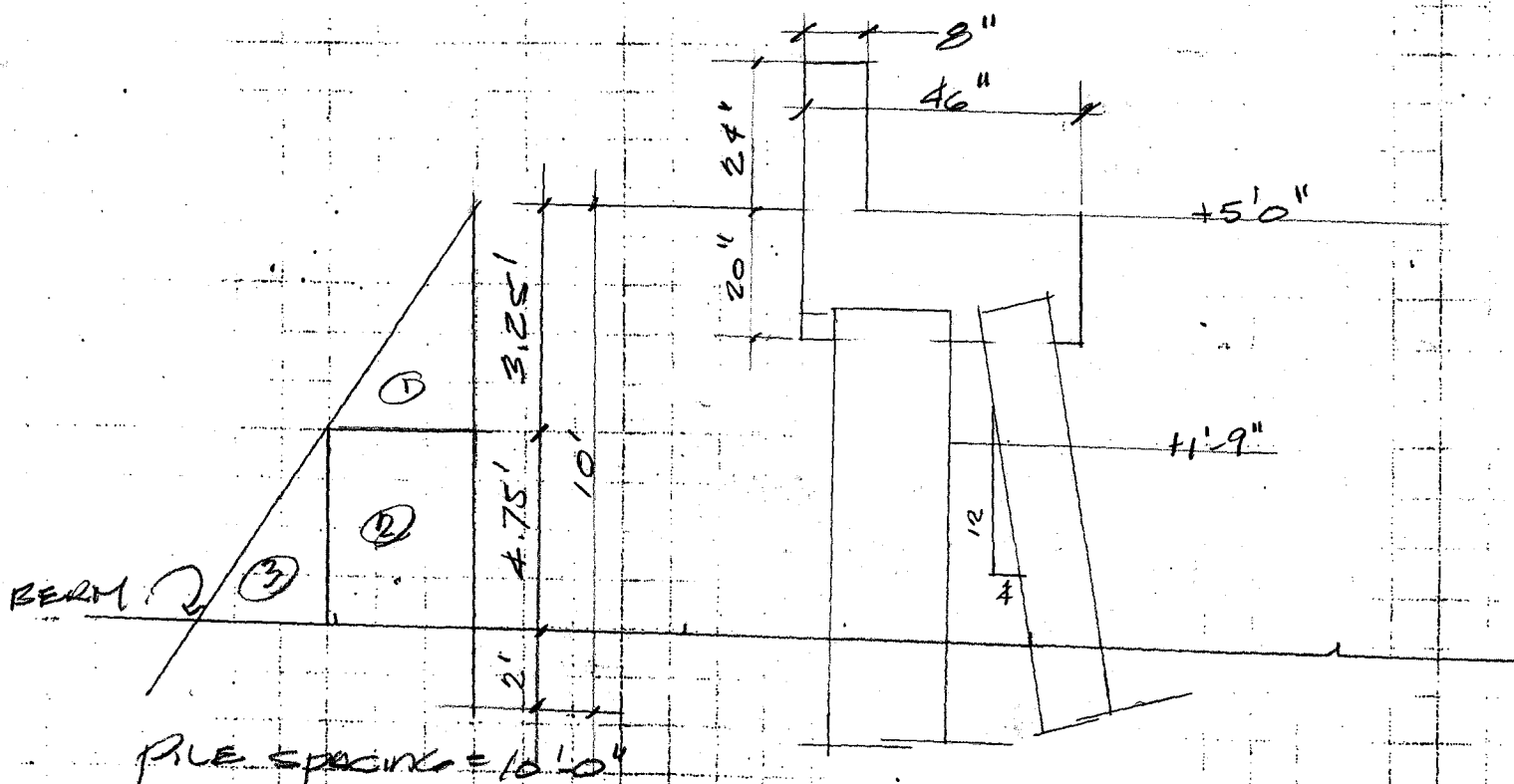
J. N. Sheingold, P.E.

CONSULTING ENGINEER
PROFESSIONAL BUILDING INSPECTION
12420 S.W. 75th AVE., MIAMI, FLORIDA 33156
TELEPHONE: (305) 378-1244
Established 1976

NATIONAL SOCIETY OF
PROFESSIONAL ENGINEERS
FLORIDA ENGINEERING
SOCIETY

8/2/10

40 W. Riva Luto Dr



Pile spacing = 10'0"

$$① 3.25(35) = 113.75$$

$$113.75(3.25/2) = 184.8$$

$$② 113.75(6.75) = 767.8$$

$$③ 6.75(65/3) = 146.25$$

$$146.25(6.75/2) = 493.6$$

$$184.8(10 - 3.25(3/2)) = 1447.6$$

$$767.8(6.75/2) = 2571.3$$

$$493.6(6.75/3) = 1110.6$$

$$\text{TOTAL LOAD} = 5149.5 \text{ \#}$$

[Handwritten signature]

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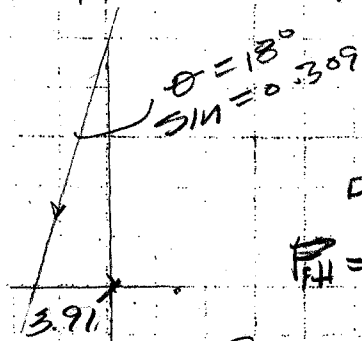
8/2/10

40 W. RIVOLTO DR

$$L = 5149.5' / 10 = 515' \#1$$

LOAD ON CAP BY BATTER PILE

$$515 \times 10 / 2000 \times 0.309 = 8.33 T$$



$$Rise = 12" \quad BATTER = 4"$$

$$DIAG = \sqrt{12^2 + 4^2} = \sqrt{160} = 12.65$$

$$P_H = \frac{12.65}{3} (F_H) = 4.22 (3.91) = 16.5 K = 8.25 T$$

$$P_R = 16.5 + \frac{12.65}{12} (5) = 21.77 / 2 = 10.89 T$$

$$P_T = 8.33 + 10.89 = 19.22 T < 25 T \quad OK$$

$$A_s = 0.0018 (46 \times 20) = 1.66 m^2$$

USE 4 #5 TOP
3 #5 BOTTOM

#3 @ 6" O/C @ EACH PILE CAP
AS SHOWN ON PLAN

J. N. Sheingold

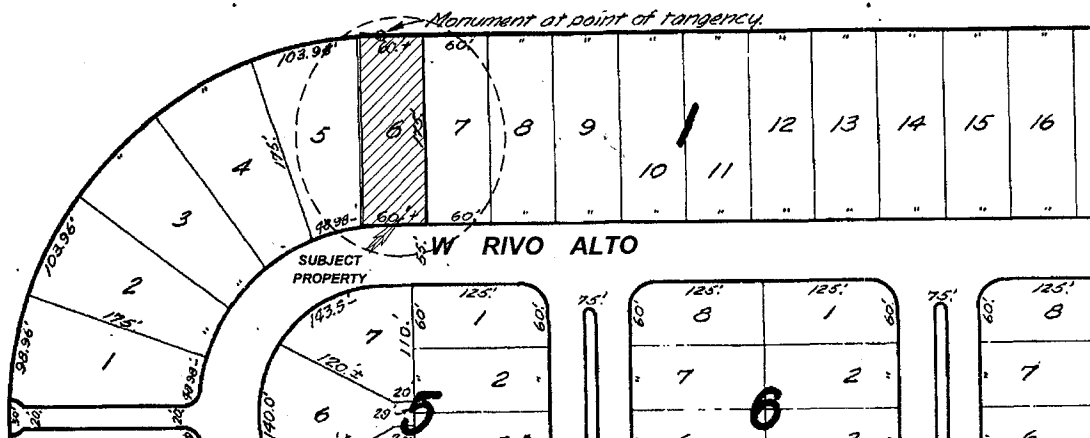
DRAWN BY:

SEE LEGAL DESCRIPTION ON PAGE 3 OF 3

PROPERTY ADDRESS: 40 W RIVO ALTO RD, MIAMI BEACH, FL 33139
FOR: MALCOM R. BULLOCK

LOCATION SKETCH

Scale 1" = NT.S.



ABBREVIATION AND MEANING

A = ARC	FNIP = FEDERAL NATIONAL INSURANCE PROGRAM	RAD. = RADIUS OF RADIAL
A/C = AIR CONDITIONER PAD	IN.&EG = INGRESS AND EGRESS EASEMENT	RGE = RANGE
A.E. = ANCHOR EASEMENT	L.F.E. = LOWEST FLOOR ELEVATION	R.P. = RADIUS POINT
A/R = ALUMINUM ROOF	L.M.E. = LAKE MAINTENANCE EASEMENT	R.O.E. = ROOF OVERHANG EASEMENT
A/S = ALUMINUM SHED	L.P. = LIGHT POLE	R/W = RIGHT-OF-WAY
ASPH. = ASPHALT	M. = MEASURED DISTANCE	SEC. = SECTION
B.C. = BLOCK CORNER	M/H = MANHOLE	S.I.P. = SET IRON PIPE L.B. #6044
B.C.R. = BROWARD COUNTY RECORDS	N.A.P. = NOT A PART OF	SWK. = SIDEWALK
B.M. = BENCH MARK	NGVD = NATIONAL GEODETIC VERTICAL DATUM	T = TANGENT
B.O.B. = BASIS OF BEARINGS	N.T.S. = NOT TO SCALE	TWP. = TOWNSHIP
C = CALCULATED	O.H.L. = OVERHEAD UTILITY LINES	U.E. = UTILITY EASEMENT
C.B. = CATCH BASIN	O.R.B. = OFFICIAL RECORD BOOK	U.P. = UTILITY POLE
C.B.W. = CONCRETE BLOCK WALL	O/S = OFFSET	W.M. = WATER METER
CH = CHORD	O.V.H. = OVERHANG	W.R. = WOOD ROOF
CH.B. = CHORD BEARING	P.B. = PLAT BOOK	W.S. = WOOD SHED
CL = CLEAR	P.C. = POINT OF CURVE	∠ = ANGLE
C.L.F. = CHAIN LINK FENCE	P.C.C. = POINT OF COMPOUND CURVE	Δ = CENTRAL ANGLE
C.M.E. = CANAL MAINTENANCE EASEMENTS	PL = PLANTER	⊥ = CENTER LINE
CONC. = CONCRETE	P.L.S. = PROFESSIONAL LAND SURVEYOR	≡ = MONUMENT LINE
C.P. = CONCRETE PORCH	P.O.B. = POINT OF BEGINNING	
C.S. = CONCRETE SLAB	P.O.C. = POINT OF COMMENCEMENT	
D.E. = DRAINAGE EASEMENT	P.P. = POWER POLE	
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS	P.S. = POOL PUMP SLAB	
DRIVE = DRIVEWAY	P.R.C. = POINT OF REVERSE CURVE	
ENCR. = ENCROACHMENT	PRM = PERMANENT REFERENCE MONUMENT	
E.T.P. = ELECTRIC TRANSFORMER PAD	PT. = POINT OF TANGENCY	
F.F.E. = FINISHED FLOOR ELEVATION	PVMT. = PAVEMENT	
F.H. = FIRE HYDRANT	PWY = PARKWAY	
F.I.P. = FOUND IRON PIPE	R. = RECORD DISTANCE	
F.I.R. = FOUND IRON ROD		
F.N. = FOUND NAIL		
F.N.D. = FOUND NAIL & DISK		

LEGEND TYPICAL

—OH—	OVERHEAD UTILITY LINES
=====	C.B.S. = WALL (CBW)
—X—X—	C.L.F. = CHAIN LINK FENCE
—O—O—	I.F. = IRON FENCE
—W—W—	W.F. = WOOD FENCE
• 0.00	EXISTING ELEVATIONS

SURVEYOR'S NOTES

- 1) IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, THEN BEARINGS ARE REFERRED TO COUNTY, TOWNSHIP MAPS.
- 2) THIS IS A SPECIFIC PURPOSE SURVEY.
- 3) THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- 4) IF SHOWN, ELEVATIONS ARE REFERRED TO MIAMI-DADE COUNTY.

BM# _____ ELEV. _____ FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-5, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY: *George Ibarra* 05-06-10
GEORGE IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO. 2534
STATE OF FLORIDA (VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND SURVEYOR).

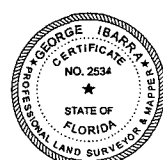
REVISED ON: _____

REVISED ON: _____

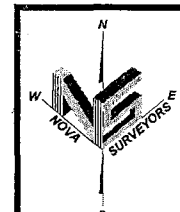
LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY ("SURVEY"):

- THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING, AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY. THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD, AND LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND / OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND / OR NOT TO SCALE.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE SHOWN.
- THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS AND SETBACKS, AND THEY WILL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN NEW CONSTRUCTIONS, UNLESS OTHERWISE NOTED. THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED.
- HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION BELOW. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION. THE FNIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN ZONE: AE COMMUNITY/PANEL/SUFFIX: 120651 0317 L DATE OF FIRM: 09/11/2009
- BASE FLOOD ELEVATION: 10 FT.

CERTIFIED TO: MALCOM R. BULLOCK & AMANDA M RICHARDS BULLOCK
SOUTHEASTERN TITLE COMPANY
OLD REPUBLIC NATIONAL TITLE COMPANY
BANK OF AMERICA N.A, ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTEREST MAY APPEAR



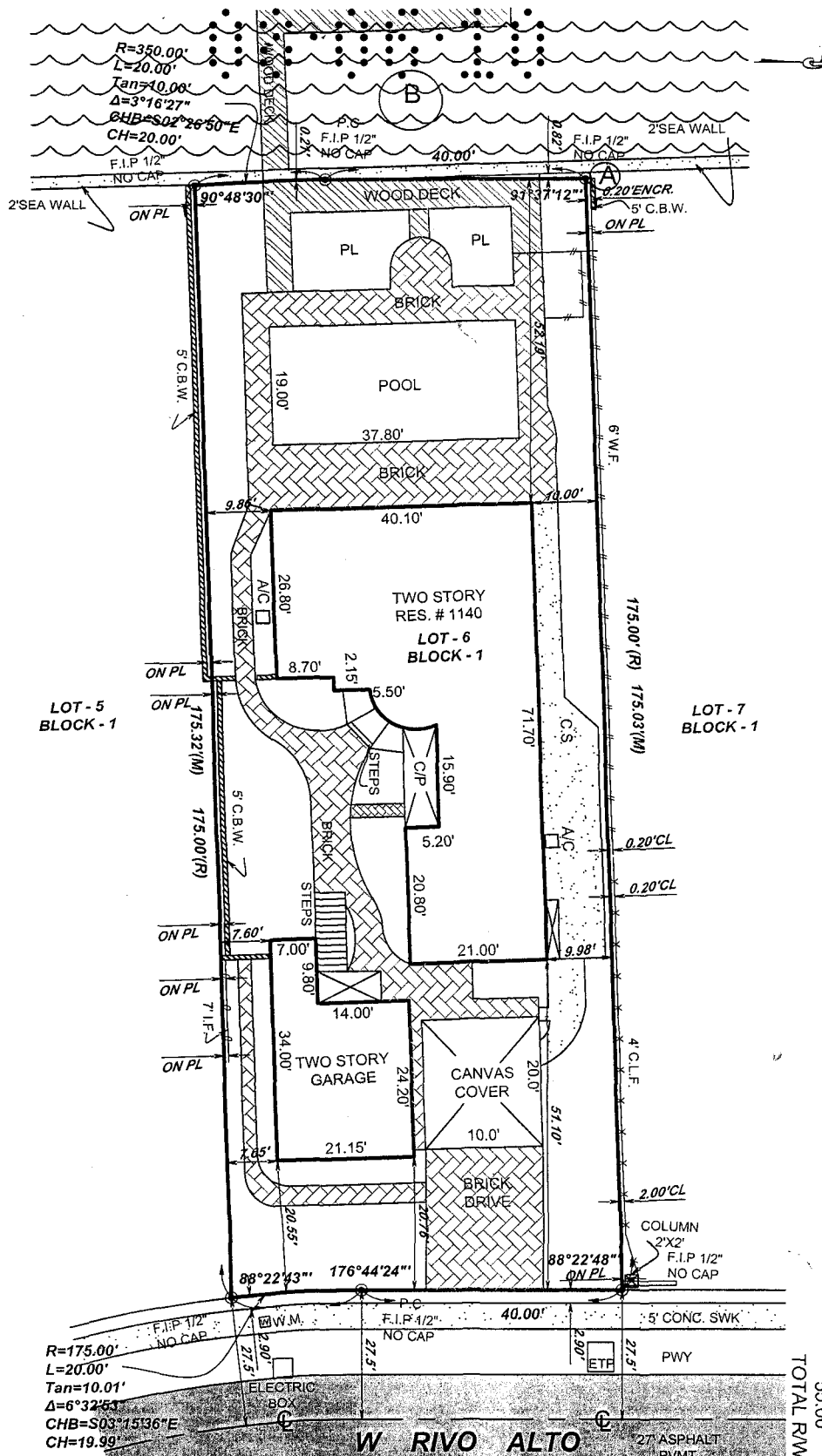
SURVEYOR'S SEAL



DRAWN BY: LILY

BOUNDARY SURVEY

SCALE = 1" = 20'



SURVEY ENCROACHMENT NOTES:
 A) NORTH SIDE OF PROPERTY CONCRETE BLOCK ENCROACHING ONTO NEIGHBOR'S PROPERTY.
 B) WEST SIDE OF PROPERTY WOOD DOCK ENCROACHING ONTO NEIGHBOR'S PROPERTY.

SURVEYOR'S NOTE:

- There may be Easements recorded in the Public Records not shown on this Survey.
- The purpose of this Survey is for use in obtaining Title Insurance and Financing and should not be used for Construction purposes.

5532 N.W. 7TH STREET, SUITE 202
MIAMI, FL 33126
TELEPHONE: (305) 264-2660
FAX: (305) 264-0229

Nova Surveyors, Inc.
LAND SURVEYORS

SURVEY NO. 10-0000578-1

SHEET NO. 3 OF 3

08-05-10

LEGAL DESCRIPTION

LOT 6 BLOCK 1 RIVO ALTO ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 74, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, AND ALSO AN 8 FOOT STRIP OF LAND CONTIGUOUS TO THE WESTERLY BOUNDARY LINE OF SAID LOT 6, BLOCK 1 LYING BETWEEN THE WESTERLY EXTENTION OF THE NORTHERLY BOUNDARY LINE OF SAID LOT 6, BLOCK 1 AND THE SOUTHERLY BOUNDARY LINE OF THE SAID LOT 6, BLOCK 1 RIVO ALTO, ACCORDING TO THE PLAT THEREOF IN PLAT BOOK 7, PAGE 74 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

○

B1004235

University
Office copy

0700
0700

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY

THE FOLLOWING

BUILDING:

JOINING:

LB/HPB:

CONCURRENCE:

SEALING:

ELECTRICAL:

MECHANICAL:

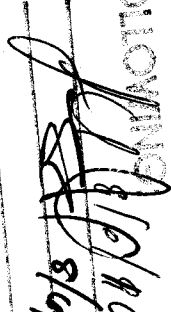
PREVENTION:

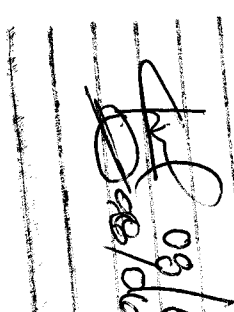
ENGINEERING:

PLUMBING:

STRUCTURAL:

ELEVATOR:

 8/6/90
8/6/90

 08/06/10
08/06/10

**BUILDING DEPARTMENT**1700 Convention Center Drive, 2nd Floor

Miami Beach, FL, 33139

Phone: (305) 673-7610 Fax: (305) 673-7857

Owner/ Qualifier / Contractor Estimate Construction Cost Affidavit
(To be submitted for the main/master permits or the stand alone permits)

Permit Number: B1100301

Date: _____

Job Address: 40 W. Rivo AltoFolio No.: 02-3233-001-0060

The construction cost should include the work under the main Permit and all associated permits.

Part I: FEMA 50% Related Construction Cost		
Items to be excluded from Estimate Construction Cost for Part I (FEMA 50% Related Construction Cost): <i>Plan and Specification, Survey Cost, Permit Fees, Swimming Pools, detached structures (garages, storages, cabanas), Landscaping, Fences, Yard light, Not Built-ins Appliances and Furniture.</i>		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Demolition & Removal		500
Building & Structural Elements		1,200
Roofing		0
Doors & Windows		0
Railing		0
Interior Finish, Floor Covering, Painting		5,500
Cabinets and Furniture-Built-Ins		4,000
Appliances-Built-Ins		4,200
Other Building related Items		1,000
Electrical including Fixtures		2,500
Elevator		0
Mechanical-HVAC-equipments		0
Plumbing including Fixtures		3,500
Overhead and Profit		
Sub Total Construction Cost	\$	\$ 22,400
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes	\$	22,400



MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor

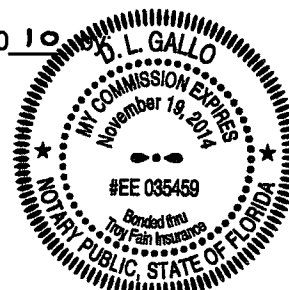
Miami Beach, FL, 33139

Phone: (305) 673-7610 Fax: (305) 673-7857

Part II: Non Related FEMA 50% Construction Cost		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Swimming Pools		0
Fences, Pavers, Sidewalks, Site Improvements		0
Yard Light		0
Other and detached: garages, storage and cabanas		0
Sub Total Cost	\$	\$ 0
Sub Total Construction Cost Estimate for non FEMA 50% Rule Purposes	\$	

Part III: Total Construction Cost (Note: The construction cost will be validated by Plan Examiners)		
Estimated Construction Cost		
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes-Part I	\$	
Sub Total Construction Cost Estimate for Non FEMA 50% Rule Purposes- Part II	\$	
Total Construction Cost Estimate. (Add Part I and Part II of Construction Cost)	\$	22,400. ⁰⁰

Part IV: Signature Required	
If the improvements cost will increase at any point during the proposed construction, it is Owner and the Contractor of Record responsibility to submit the revised improvements cost to the Building Department for review and approval.	
<u>MRS. Bullock</u> Signature of Owner	
STATE OF FLORIDA COUNTY OF <u>Dade</u>	
Sworn to and Subscribed before me this <u>22</u> day of <u>November</u> 20 <u>10</u>	
<u>Malcolm Bullock</u>	
☒ Personally known ☐ Produced Identification - Type of Identification _____	
<u>D. L. Gallo</u> Signature of Notary Public	



**BUILDING DEPARTMENT**1700 Convention Center Drive, 2nd Floor

Miami Beach, FL, 33139

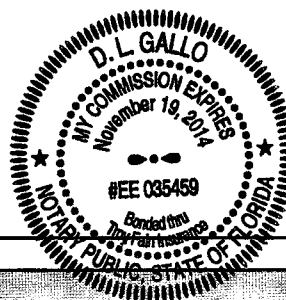
Phone: (305) 673-7610 Fax: (305) 673-7857

mpg willms
 Signature of Qualifier / Contractor

STATE OF FLORIDA

COUNTY OF DadeSworn to and Subscribed before me this 22 day of November 2010, by:Malcolm Bullock☒ Personally known ☐ Produced Identification - Type of

Identification _____

Signature of Notary Public *D.L. Gallo***Part V: Building Department Use Only**

A	Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes.	\$	
B	Over Five Year Improvements	\$	
C	Total Improvements	\$	
D	Building Tax Assessed Value	\$	
E	Building Appraised Market Value	\$	
F	Improvements Cost Ratio (C/E or C/D)	%	

If improvements cost exceed 40% of the Building Tax Value, a building appraised market Value is required for evaluation of Improvement Cost Ratio.

Check one box:

☐ New Construction and Substantial Improvement
 ☐ Existing Building and Non Substantial Improvement

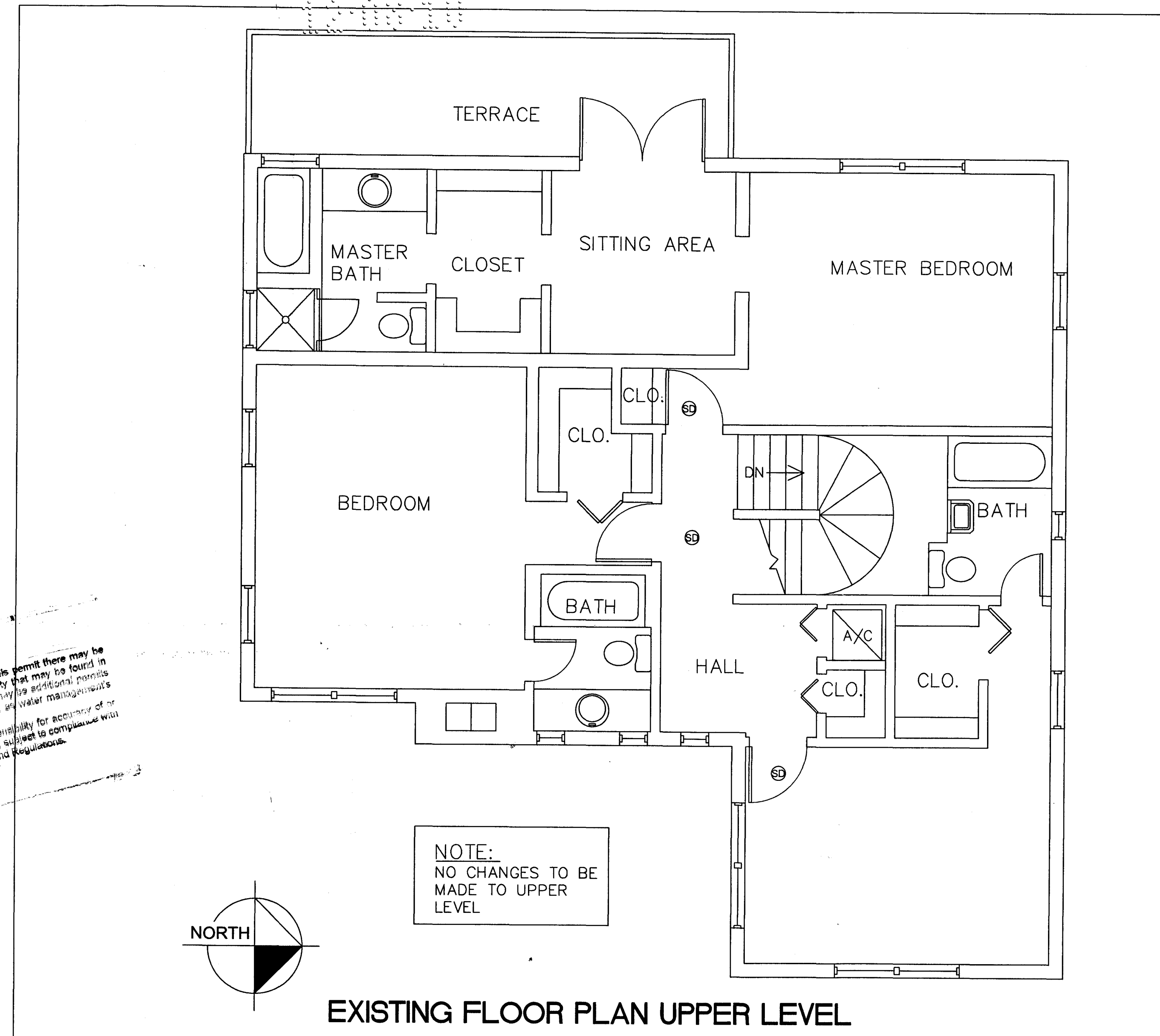
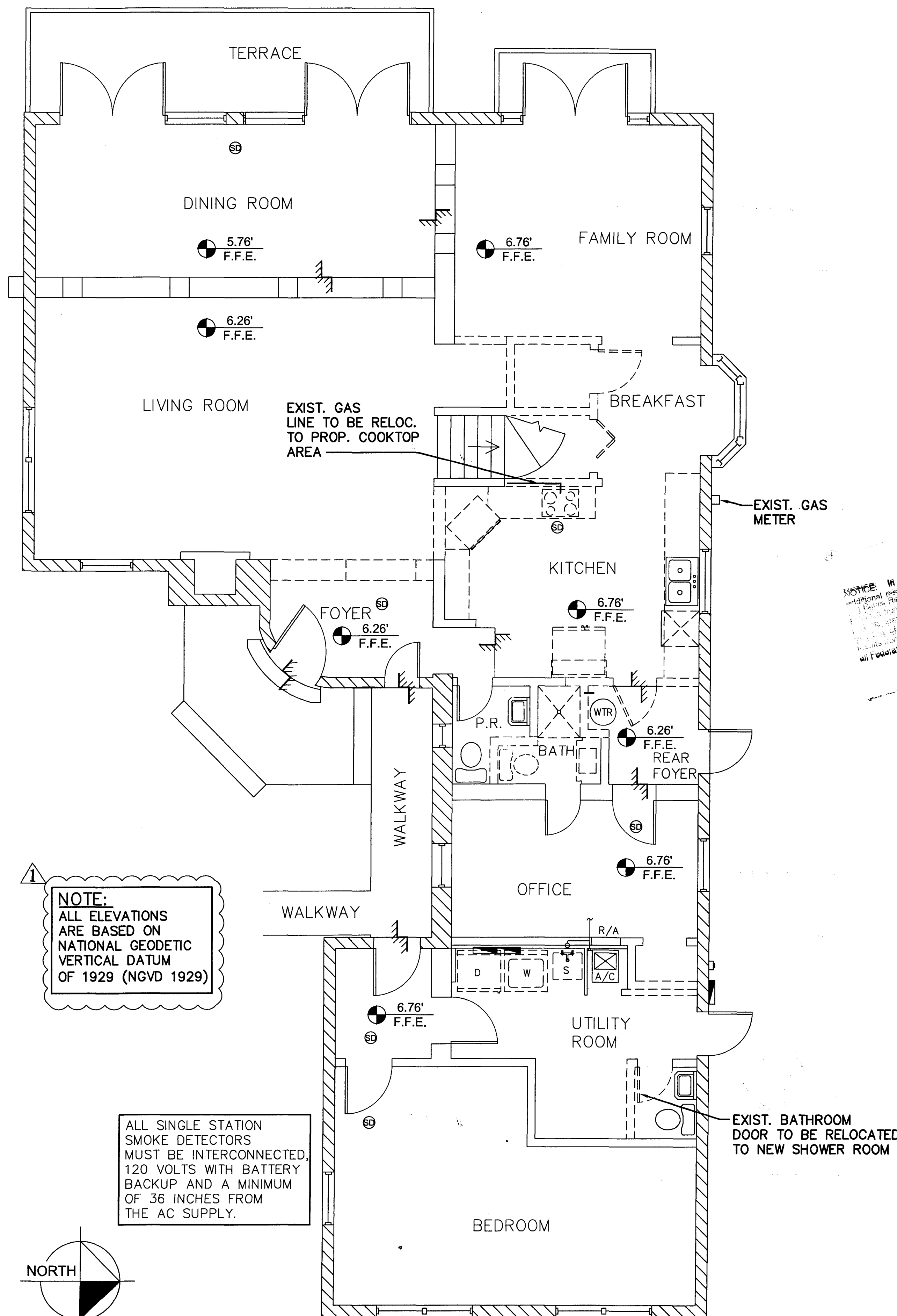
Engineering Inspector Name _____

Engineering Inspector Signature and Date _____

Note: Over \$1,000,000.00 Improvements Cost requires Chief Governmental Compliance Division Approval, over \$50,000,000.00 Improvements Cost requires Building Director Approval.

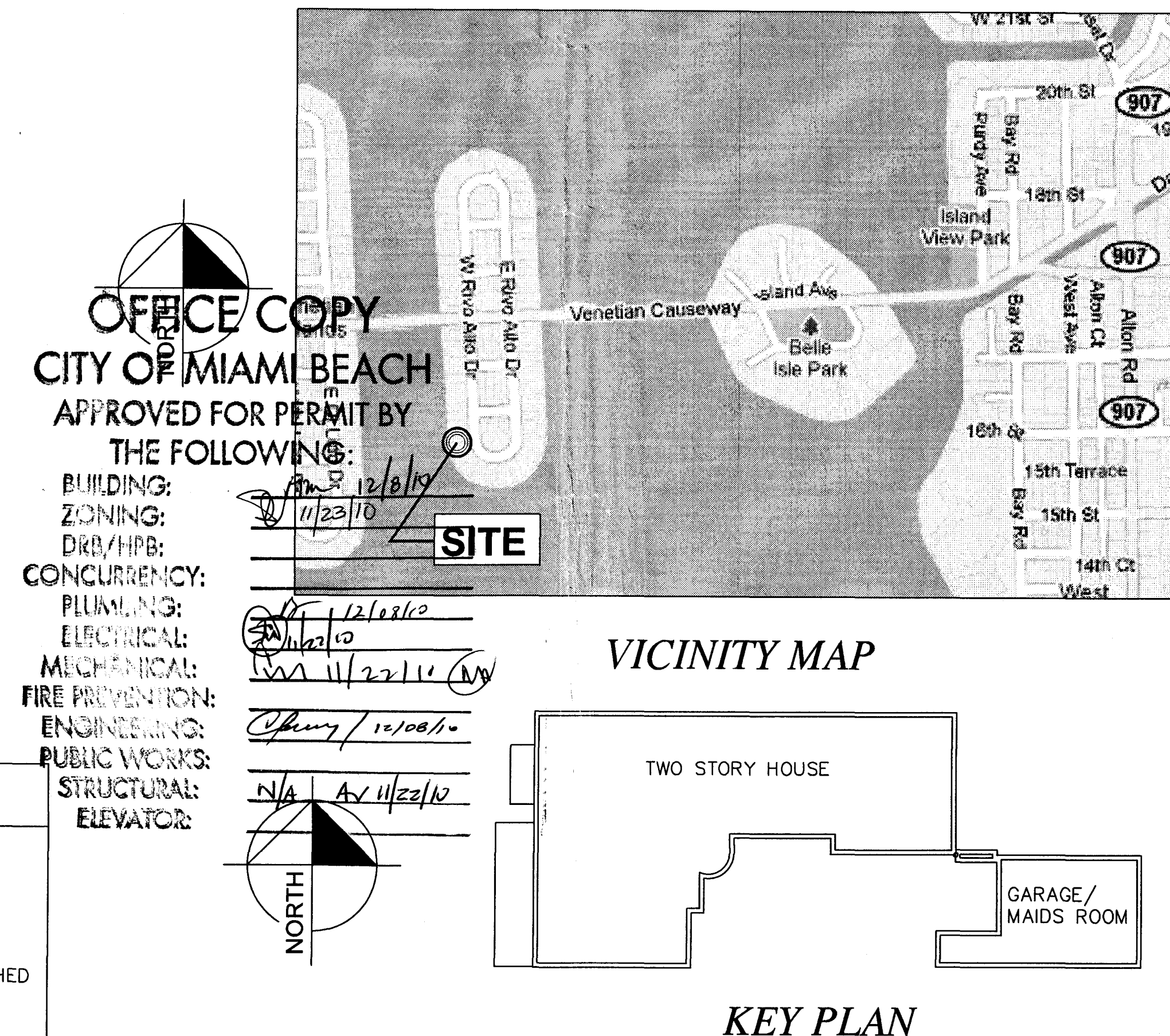
Name _____

Signature and Date _____



SCOPE OF WORK	
ALTERATION TYPE LEVEL II	
1	REPAIR EXIST. SAN. SEWER DRAIN PIPE CLEANOUT LOCATED IN UTILITY ROOM
2	RELOCATE EXIST. WASHER, DRYER AND SINK
3	RELOCATE EXIST. PLUMBING AND ELECTRICAL FOR WASHER, DRYER AND SINK
4	INSTALL STACKABLE WASHER/DRYER
5	RELOCATE EXISTING GAS HOT WATER HEATER
6	REMODEL KITCHEN AND REPLACE APPLIANCES
7	RELOCATE REFRIGERATOR AND BUILT-IN DOUBLE OVEN
8	REPLACE ELECTRICAL PANEL "C"
9	CONVERT HALF BATH INTO NEW SHOWER ROOM, RELOCATE FIXTURES, PLUMBING, ELECTRICAL AND INSTALL PRE-FAB SHOWER STALL UNIT AND LIGHT OVER SINK
10	REMODEL BATHROOM AND KITCHENETTE IN MAIDS ROOM REPLACE APPLIANCES AND FIXTURES
11	REPLACE FLOOR TILES AFTER DEMOLISHING WALLS
12	REMOVE, ADD OR RELOCATE ELECTRICAL RECEPTACLES

LEGEND:	
	EXIST. 1 HR. RATED PARTITION WALL
	EXIST. NON RATED PARTITION WALL
	EXIST. INTERIOR PARTITION WALL TO BE DEMOLISHED
	EXIST. SMOKE DETECTOR



PROJECT:

ROSS BULLOCK REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY:	RF:
REVISIONS:	
11-10-200	
SCALE: 1/4"	
DATE: 10/2/10	

PERMIT DOCTOR
775 17TH STREET
MIAMI BEACH, FL 33139
WWW.PERMITDOCTOR.COM

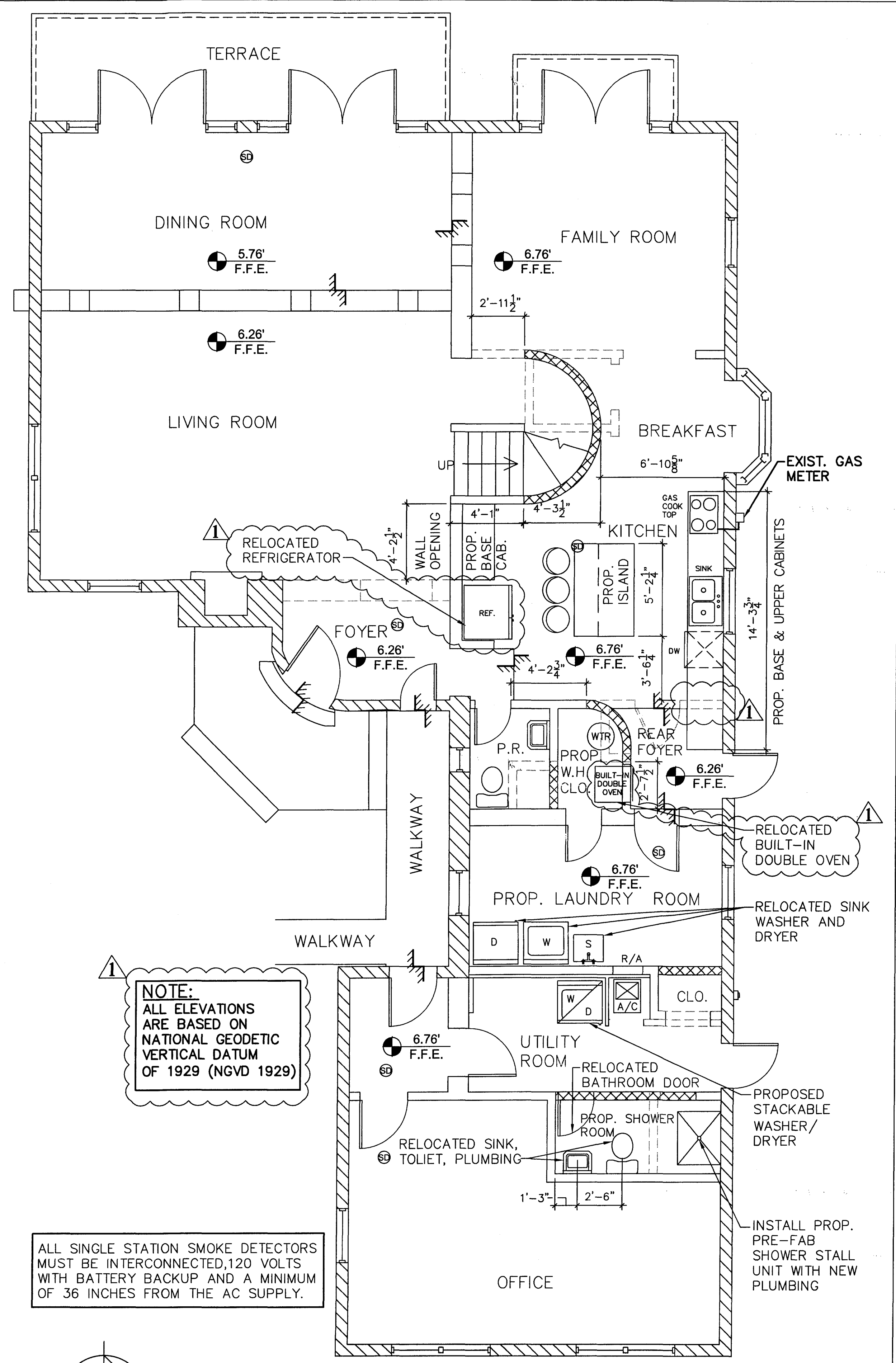
CONTAINS:

MAIN HOUSE
EXISTING
FLOOR PLAN

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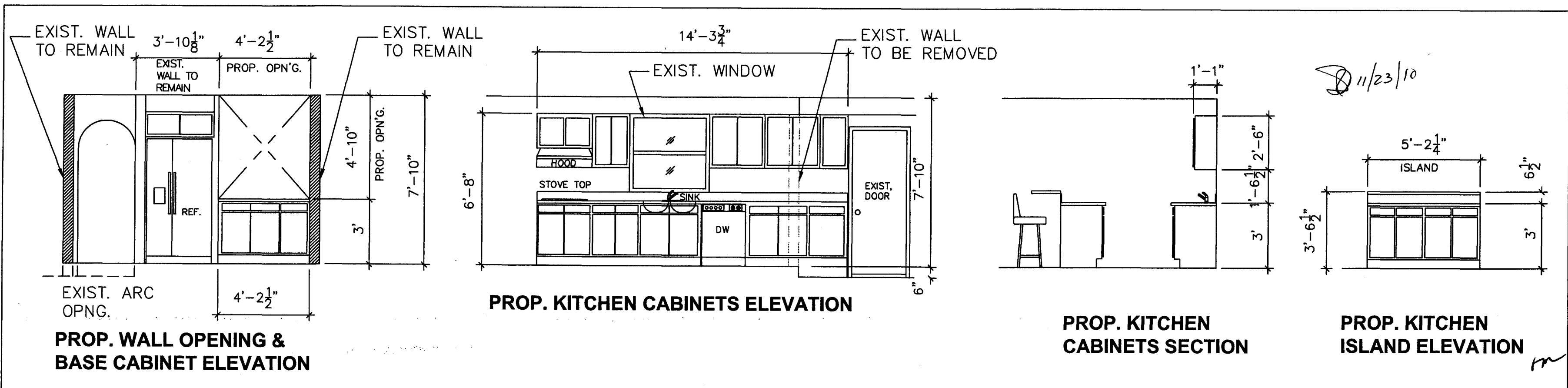
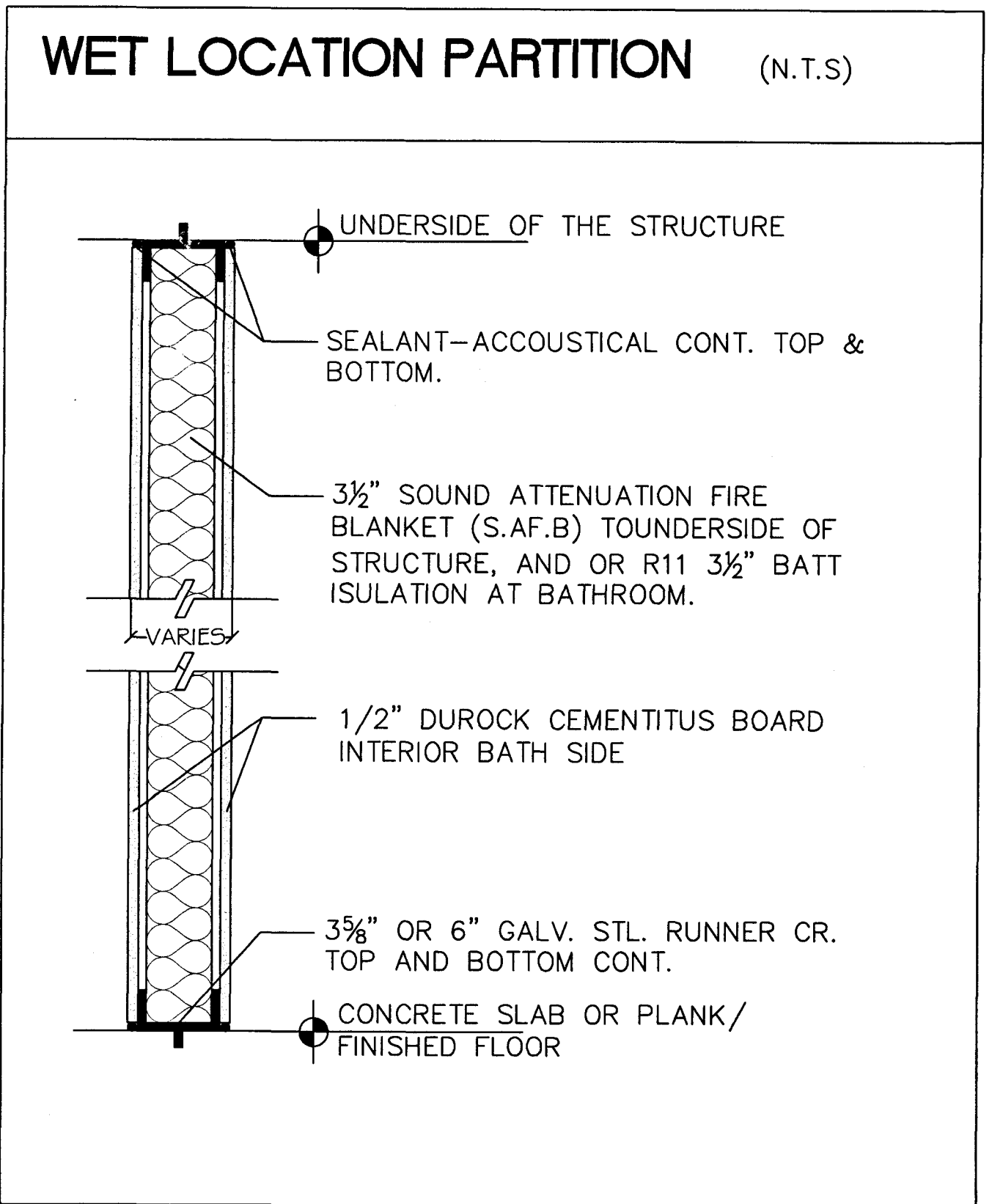
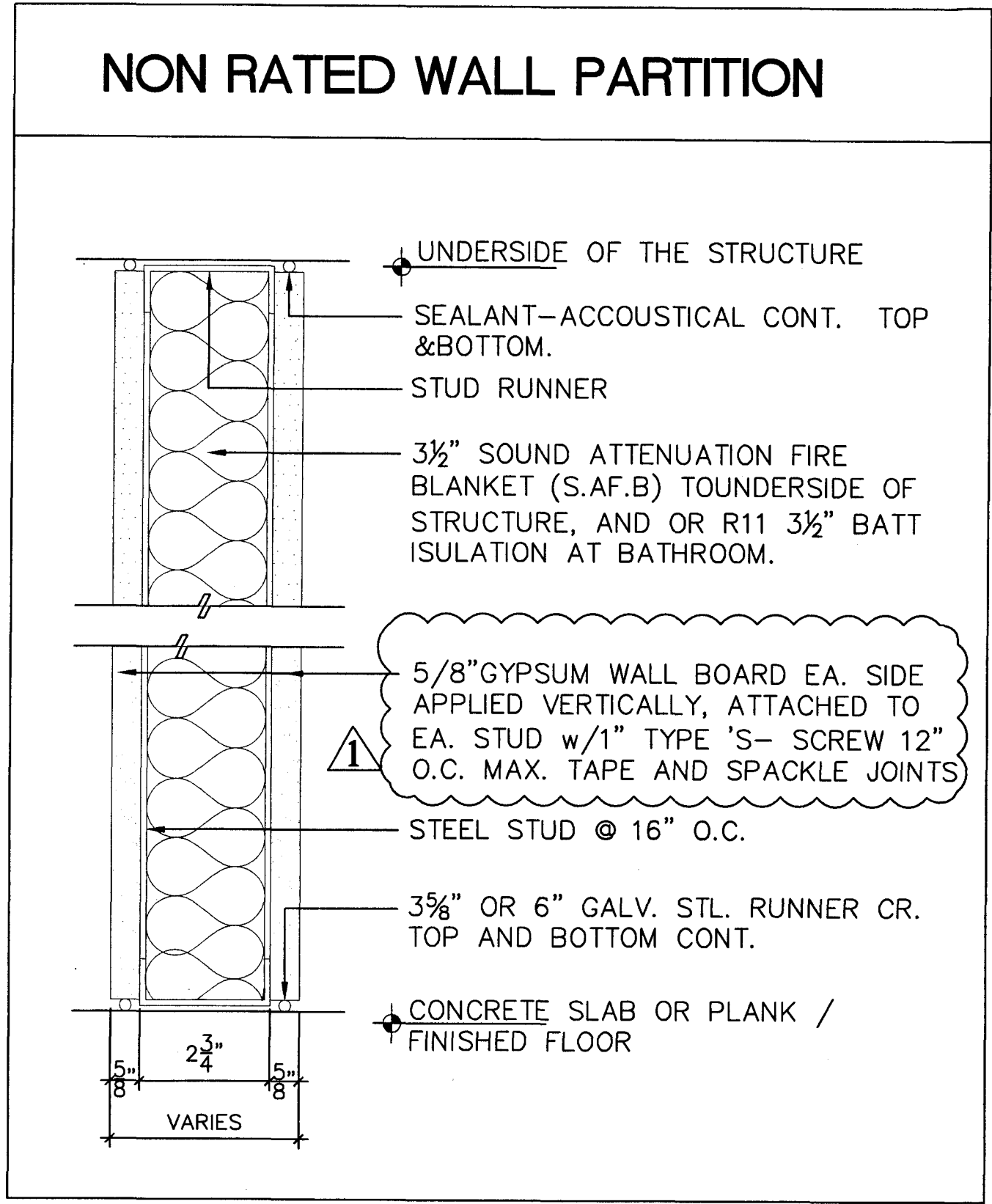
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LEGEND:

- EXIST. 1 HR. RATED PARTITION WALL
- EXIST. NON RATED PARTITION WALL
- PROPOSED INTERIOR PARTITION WALL
- REPLACE FLOOR TILES AFTER WALLS DEMOLISHED
- EXIST. SMOKE DETECTOR

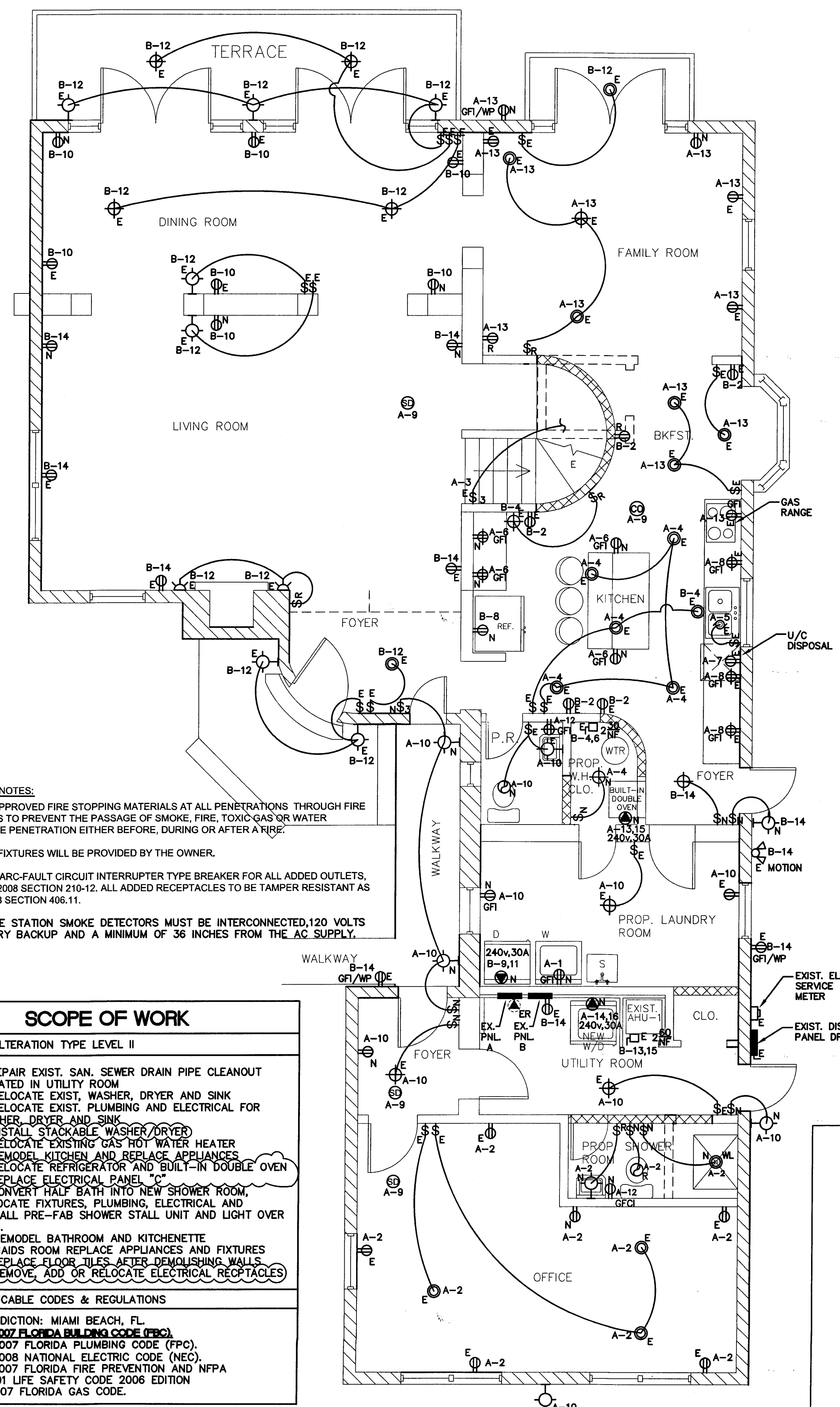


ROSS BULLOCK REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY:	R.F.
REVISIONS:	
11-10-2010	
SCALE:	1/4"
DATE:	10/2/10
PERMIT DOCTOR 775 17TH STREET MIAMI BEACH, FL. 33139 www.PERMITDOCTOR.com	

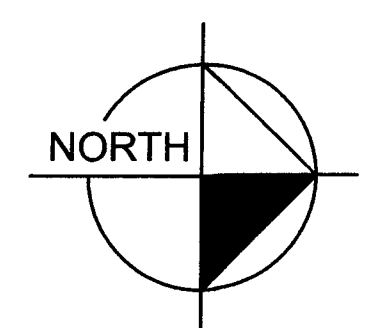
CONTAINS:

MAIN HOUSE PROPOSED FLOOR PLAN

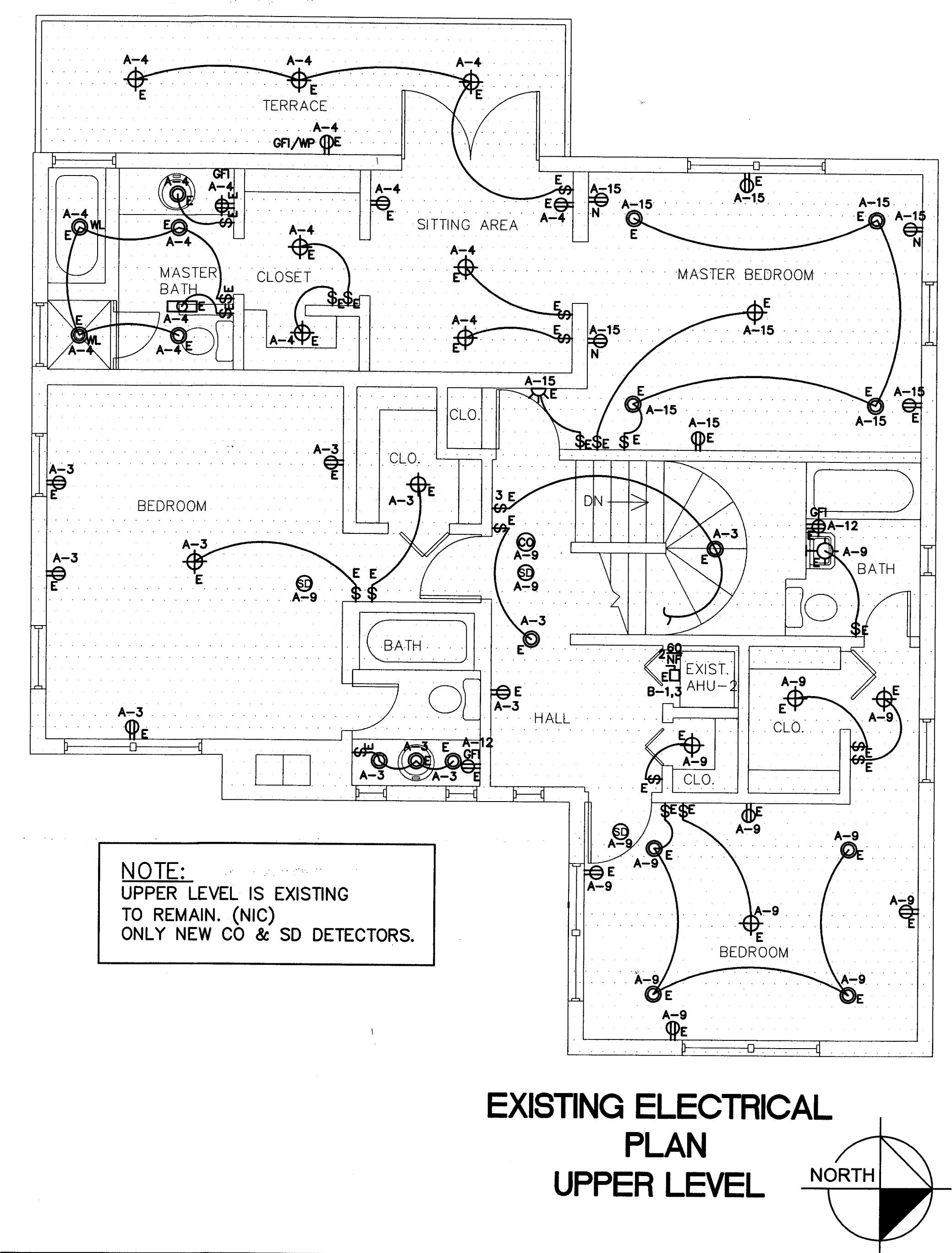


- ELECTRICAL NOTES:**
1. PROVIDE APPROVED FIRE STOPPING MATERIALS AT ALL PENETRATIONS THROUGH FIRE RATED WALLS TO PREVENT THE PASSAGE OF SMOKE, FIRE, TOXIC GAS OR WATER THROUGH THE PENETRATION EITHER BEFORE, DURING OR AFTER A FIRE.
 2. ALL LIGHT FIXTURES WILL BE PROVIDED BY THE OWNER.
 3. PROVIDED ARC-FAULT CIRCUIT INTERRUPTER TYPE BREAKER FOR ALL ADDED OUTLETS, AS PER NEC 2008 SECTION 210-12. ALL ADDED RECEPTACLES TO BE TAMPER RESISTANT AS PER NEC 2008 SECTION 406.11.
 4. ALL SINGLE STATION SMOKE DETECTORS MUST BE INTERCONNECTED 120V VOLTS WITH BATTERY BACKUP AND A MINIMUM OF 36 INCHES FROM THE AC SUPPLY.

- SCOPE OF WORK**
- ALTERATION TYPE LEVEL II
1. REPAIR EXIST. SAN. SEWER DRAIN PIPE CLEANOUT LOCATED IN UTILITY ROOM
 2. RELOCATE EXIST. WASHER, DRYER AND SINK
 3. RELOCATE EXIST. PLUMBING AND ELECTRICAL FOR WASHER, DRYER AND SINK
 4. INSTALL STACKABLE WASHER/DRYER
 5. RELOCATE EXISTING GAS HOT WATER HEATER
 6. REMODEL KITCHEN AND REPLACE APPLIANCES
 7. RELOCATE REFRIGERATOR AND BUILT-IN DOUBLE OVEN
 8. REPLACE ELECTRICAL PANEL "C"
 9. CONVERT HALF BATH INTO NEW SHOWER ROOM, RELOCATE FIXTURES, PLUMBING, ELECTRICAL AND INSTALL PRE-FAB SHOWER STALL UNIT AND LIGHT OVER SINK.
 10. REMODEL BATHROOM AND KITCHENETTE IN MAIDS ROOM REPLACE APPLIANCES AND FIXTURES
 11. REPLACE FLOOR TILES AFTER DEMOLISHING WALLS
 12. REMOVE, ADD OR RELOCATE ELECTRICAL RECEPTACLES
- APPLICABLE CODES & REGULATIONS**
1. JURISDICTION: MIAMI BEACH, FL.
 2. 2007 FLORIDA BUILDING CODE (FBC)
 3. 2007 FLORIDA PLUMBING CODE (FPC)
 4. 2008 NATIONAL ELECTRIC CODE (NEC)
 5. 2007 FLORIDA FIRE PREVENTION AND NFPA 101 LIFE SAFETY CODE 2006 EDITION
 6. 2007 FLORIDA GAS CODE



ELECTRICAL PLAN GROUND LEVEL



NOTE:
UPPER LEVEL IS EXISTING TO REMAIN. (NIC)
ONLY NEW CO & SD DETECTORS.

**EXISTING ELECTRICAL PLAN
UPPER LEVEL**

- SYMBOL LEGEND**
- RECESSED DOWNLIGHT.
 - WALL MOUNTED LIGHT FIXTURE
 - SURFACE MOUNTED LIGHT FIXTURE.
 - CHANDELIER.
 - ⊕ DUPLEX RECEPT. - NEMA 5-20R (18" A.F.F. TO CENTER)
 - ⊕ DUPLEX RECEPT. MOUNTED ABOVE COUNTER - NEMA 5-20R
 - ⊕ QUADRUPLEX RECEPT. - NEMA 5-20R.
 - ⊕ QUADRUPLEX RECEPT. FLOOR MOUNTED. - NEMA 5-20R.
 - SINGLE RECEPT. - NEMA 5-20R (18" A.F.F. TO CENTER)
 - ⊕ SPECIAL RECEPT. - RATED AS NOTED.
 - PANELBOARD (6'-0" AFF TO TOP)
 - ⊕ FPL ELECTRICAL METER.
 - ▽ COMPUTER OUTLET (18" A.F.F. TO CENTER)
 - ⊕ HEAT LAMP
 - ⊕ MULTIPLE STATION SMOKE DETECTOR POWERED 120V AND PROVIDED WITH BATTERY BACKUP.
 - ⊕ CARBON MONOXIDE DETECTOR POWERED 120V AND PROVIDED WITH BATTERY BACKUP.
 - ⊕ CEILING MOUNTED EXHAUST FAN
 - ⊕ FUSIBLE DISCONNECT SWITCH POLES, AMPS AND FUSES AS SHOWN
 - NF INDICATES NON-FUSED
 - MOTOR (1 PHASE)
 - JUNCTION BOX
 - ⊕ SINGLE POLE SWITCH - 20 AMP (48" A.F.F. TO CENTER)
 - ⊕ THREE WAY SWITCH (48" A.F.F. TO CENTER)
 - ⊕ DIMMER SWITCH (48" A.F.F. TO CENTER)
- NOTE: ALL SYMBOLS MAY NOT BE USED.**

- ELECTRICAL SUBMARKS**
- E EXIST. ELECTRICAL DEVICE
 - N NEW ELECTRICAL DEVICE
 - ER EXISTING ELECTRICAL DEVICE TO BE REMOVED
 - R EXISTING ELECTRICAL DEVICE TO BE RELOCATED
 - WL RATED FOR WET LOCATIONS
 - GFI GROUND FAULT INTERRUPTER
 - WP WEATHER PROOF

SERVICE: 120/240V, 10.3W
MOUNTING: SURFACE
POLES: 16

EXISTING PANEL A

MAIN BUS: 125 AMPS
NEUTRAL: FULL
MAINS: MLO
A.I.C. 10K

LOAD K.V.A	TRIP POLE	CON- DUIT	WIRE	REMARKS	CKT NO	CKT NO	REMARKS	WIRE	CON- DUIT	TRIP POLE	LOAD K.V.A
1.5	20-1	1/2	12	WASHER MACHINE	1	2	LIGHTS AND RECEPT.	12	1/2	20-1	0.5
0.5	20-1	1/2	12	LIGHTS AND RECEPT.	3	4	LIGHTS AND RECEPT.	12	1/2	20-1	0.5
1.2	20-1	1/2	12	DISPOSAL	5	6	SMALL APPLIANCES	12	1/2	20-1	1.5
1.2	20-1	1/2	12	DISHWASHER	7	8	SMALL APPLIANCES	12	1/2	20-1	1.5
0.5	20-1	1/2	12	LIGHTS AND RECEPT.	9	10	LIGHTS AND RECEPT.	12	1/2	20-1	0.5
0.5	20-1	1/2	12	GRAL. LTG.	11	12	BATHROOM GFI REC.	12	1/2	20-1	0.5
0.5	20-1	1/2	12	LIGHTS AND RECEPT.	13	14	NEW WASHER/DRYER	10	1/2	30-2	5.0
0.5	20-1	1/2	12	LIGHTS AND RECEPT.	15	16					
6.4				GENERAL LIGHTING LOAD							10.0
-				AIR CONDITIONING LOAD							-
GENERAL LIGHTING LOAD = 16,400 VA FIRST 10 KVA AT 100% 10,000 VA REST 6,400 VA AT 40% 2,560 VA TOTAL = 12,560 VA											
$I_L = 12,560 \text{ VA} \div 240V = 52.3 \text{ A}$											

SERVICE: 120/240V, 10.3W
MOUNTING: SURFACE
POLES: 16

EXISTING PANEL B

MAIN BUS: 125 AMPS
NEUTRAL: FULL
MAINS: MLO
A.I.C. 10K

LOAD K.V.A	TRIP POLE	CON- DUIT	WIRE	REMARKS	CKT NO	CKT NO	REMARKS	WIRE	CON- DUIT	TRIP POLE	LOAD K.V.A
7.5	60-2	3/4	6	AHU-2	1	2	SMALL APPLIANCES	12	1/2	20-1	1.5
					3	4	WATER HEATER	10	1/2	30-2	4.5
5.0	30-2	1/2	10	BUILT-IN DOUBLE OVEN	5	6					
					7	8	REFRIGERATOR	12	1/2	20-1	1.2
5.0	30-2	1/2	10	DRYER MACHINE	9	10	SMALL APPLIANCES	12	1/2	20-1	1.5
					11	12	LIGHTS AND RECEPT.	12	1/2	20-1	0.5
7.5	60-2	3/4	6	AHU-1	13	14	LIGHTS AND RECEPT.	12	1/2	20-1	0.5
					15	16	SPARE				
10.0				GENERAL LIGHTING LOAD							9.7
17.0				AIR CONDITIONING LOAD							-
GENERAL LIGHTING LOAD = 19,700 VA FIRST 10 KVA AT 100% 10,000 VA REST 9,700 VA AT 40% 3,880 VA SUB TOTAL = 13,880 VA AHU AT 100% = 15,000 VA 15,000 VA TOTAL = 28,880 VA											
$I_L = 28,880 \text{ VA} \div 240V = 120.3 \text{ A}$											

ROSS BULLOCK REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY: R.F.

REVISIONS

11-10-2000

SCALE: P1/F

DATE: 10/2/00

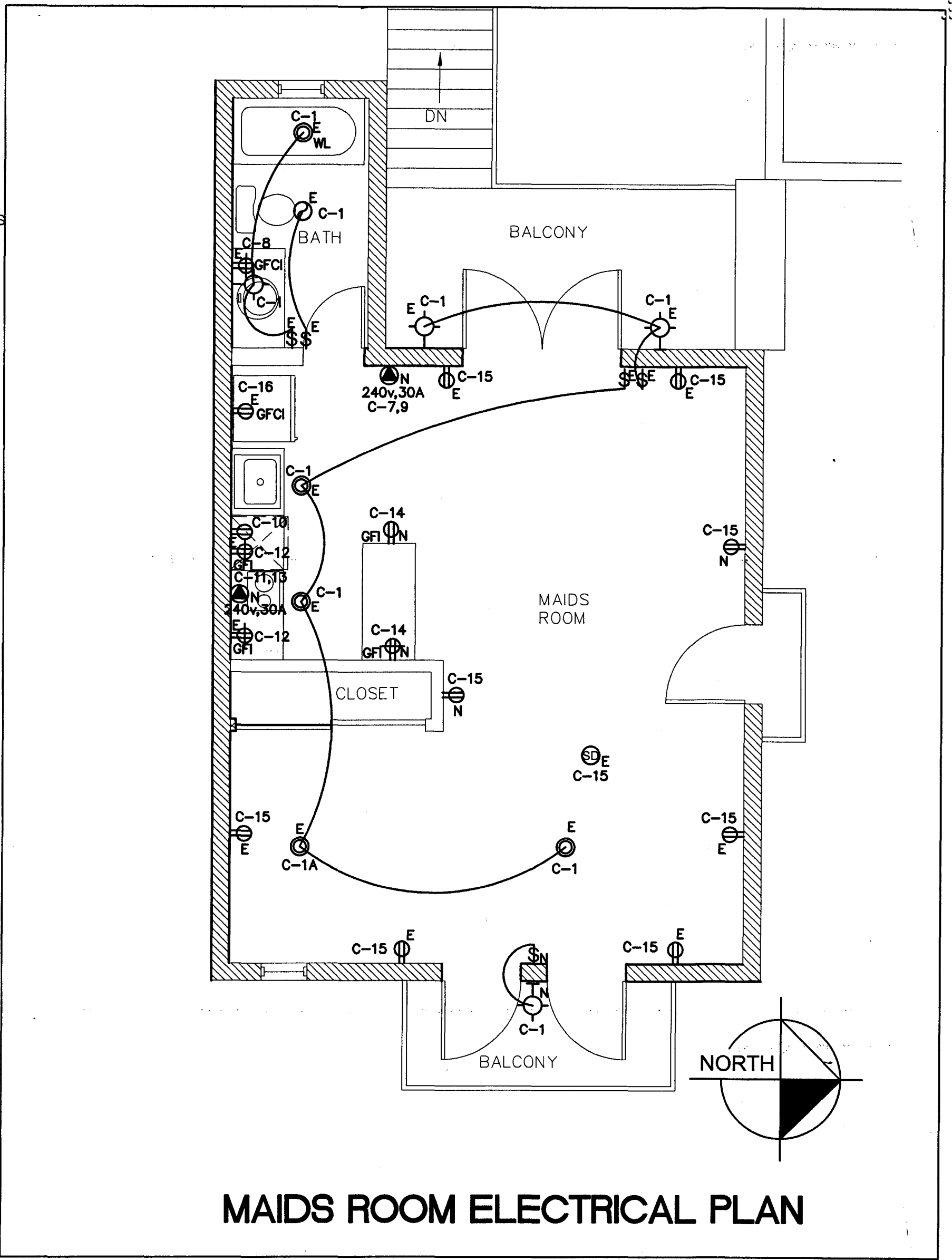
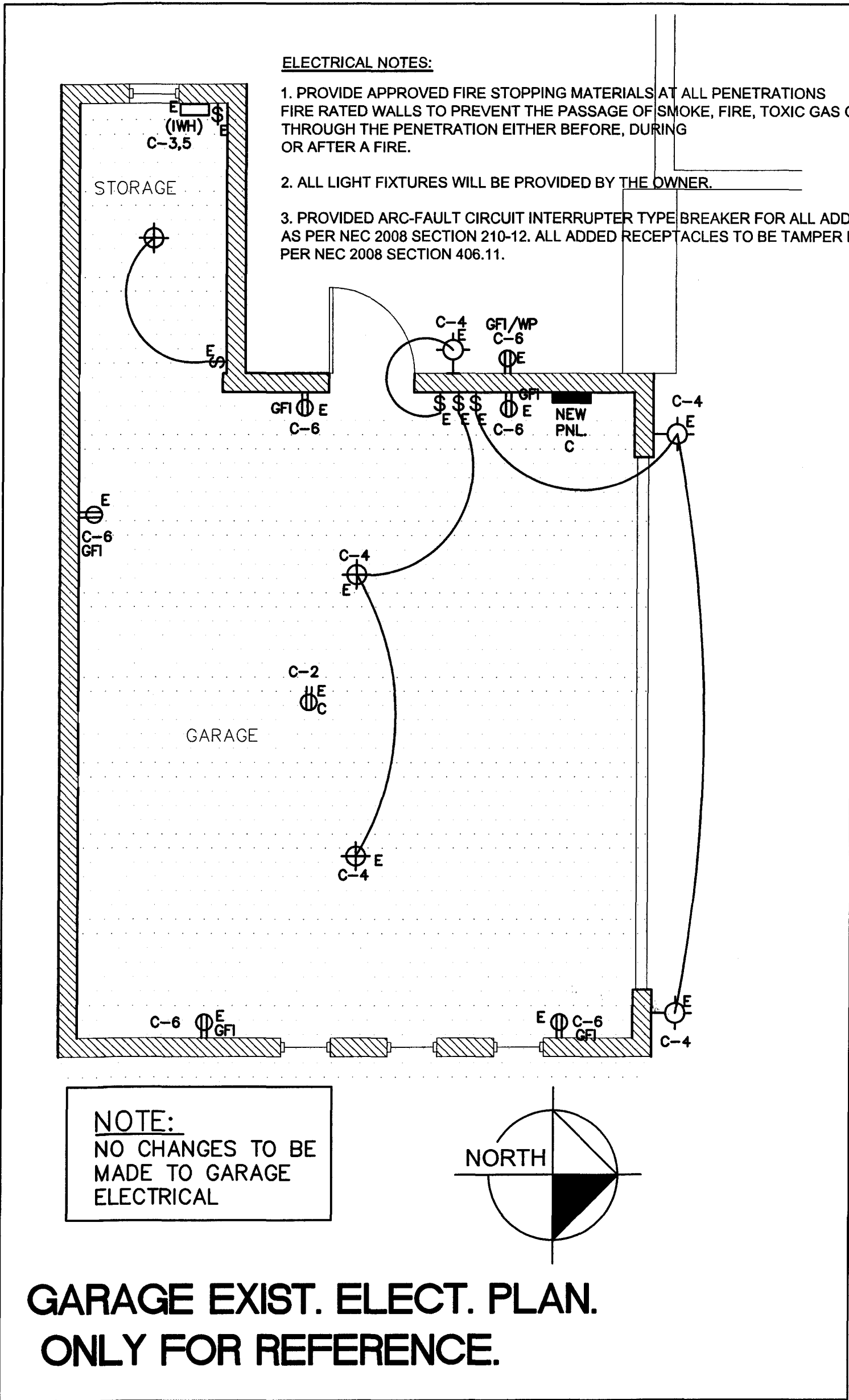
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CONTAINS:

**MAIN HOUSE
ELECTRICAL
PLAN**

PAGE #

E-1



GENERAL ELECTRICAL NOTES

- A. GENERAL PROVISIONS**
1. THE WORK SHALL CONSIST OF FURNISHING LABOR, EQUIPMENT, AND MATERIALS TO PROVIDE THE COMPLETE INTERGRATED AND PROPER FUNCTIONS SYSTEMS AS SHOWN ON THE DRAWINGS.
 2. ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS AND ORDINANCES.
 3. ALL EQUIPMENT AND MATERIALS PROVIDED SHALL BE NEW AND IN CONFORMANCE WITH APPLICABLE PROVISIONS OF NEMA, ANSI, U.L., ETC.
 4. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER TRADES SO AS TO AVOID INTERFERENCES.
 5. THE DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL LAYOUT OF ELECTRICAL SYSTEMS. FIELD VERIFICATIONS OF DIMENSIONS IS DIRECTED.
 6. SECURE PERMITS AND INSPECTIONS REQUIRED BY STATE AND LOCAL LAWS AND ORDINANCES.
 7. UPON COMPLETION OF THE WORK, FURNISH TO THE OWNER CERTIFICATES OF FINAL INSPECTIONS AND APPROVALS FROM AUTHORITIES HAVING JURISDICTION.
- B. RACEWAYS**
1. NOT IN USE.
 2. MINIMUM CONDUIT SIZE SHALL BE 1/2" TRADE SIZE.
 3. USE FLEXIBLE CONDUIT FOR SHORT FINAL CONNECTIONS TO VIBRATING EQUIPMENT SUCH AS MOTORS AND TRANSFORMERS. LIQUID-TIGHT FLEXIBLE CONDUIT SHALL BE USED IN DAMP AND WET LOCATIONS.
 4. EXPOSED CONDUITS SHALL BE RUN PARALLEL TO BUILDING LINES.
 5. DO NOT INSTALL CONDUITS LARGER THAN 1/3 THE SLAB THICKNESS IN CONCRETE SLABS.
 6. PROVIDE APPROVED FIRE STOPPING MATERIALS AT ALL PENETRATIONS THROUGH FIRE RATED FLOORS AND WALLS TO PREVENT THE PASSAGE OF SMOKE, FIRE, TOXIC GAS OR WATER THROUGH THE PENETRATION EITHER BEFORE, DURING OR AFTER A FIRE, AS REQUIRED BY ARTICLE 300-21 OF THE N.E.C.
 7. PROVIDE CABLE SUPPORTS IN ACCORDANCE WITH ARTICLE 300 OF THE N.E.C.
 8. PROVIDE EXPANSION FITTINGS IN CONDUIT STRUCTURAL EXPANSION JOINTS.
- C. CONDUCTORS**
1. ALL WIRING SHALL BE COPPER.
 2. CONDUCTORS SHALL BE RATED 600V. WITH TYPE THWN INSULATION.
 3. WIRES SIZE #10 AWG AND SMALLER SHALL BE SOLID CONDUCTOR. WIRES SIZE #8 AND LARGER SHALL BE STRANDED.
 4. MINIMUM CONDUCTORS SIZE SHALL BE #14 AWG.
- D. LIGHTING PANELS**
1. PROVIDE LIGHTING AND RECEPTACLES PANELS AS INDICATED ON THE PLANS AND AS SPECIFIED HEREIN. ALL PANELS SHALL BE DEAD FRONT, CIRCUIT BREAKER TYPE AND SHALL BEAR THE U.L. LABEL AS WELL AS MEET ALL APPLICABLE NEMA REQUIREMENTS.
 2. ALL PANELS SHALL HAVE TYPEWRITTEN CIRCUITS DIRECTORIES MOUNTED INSIDE OF DOOR.
 3. PANELS SHALL BE SUITABLE FOR THE SERVICE RATING INDICATED ON THE PANEL SCHEDULES.
 4. ALL BREAKERS SHALL BE FULL SPACE, INDIVIDUAL FRAME TYPE. NO "PIGGY BACK" OR TANDEM BREAKERS WILL BE PERMITTED.
- E. SAFETY SWITCHES**
1. SAFETY SWITCHES SHALL BE HEAVY DUTY TYPE FUSIBLE OR NON-FUSIBLE WITH POLES, AMPERE AND SERVICES RATINGS AS INDICATED ON THE PLANS. LUGS SHALL BE U.L. LISTED FOR CU. -AL.
 2. ENCLOSURES FOR SAFETY SWITCHES SHALL BE NEMA 1, EXCEPT FOR SWITCHES MARKED "WP" (WEATHERPROOF) SHALL BE NEMA 3R.
- F. FUSES**
1. ALL FUSES SHALL HAVE A 200,000 AMP RMS SYMMETRICAL RATING UNLESS OTHERWISE NOTED.
 2. FUSES RATED 0 TO 600 AMPS SHALL BE AS FOLLOW:
a) CIRCUIT BREAKER PANEL PROTECTION-U.L. CLASS RK-1, DUAL ELEMENT(BUSSMANN "LOW PEAK" OR EQUAL).
b) MOTOR CIRCUIT PROTECTION-U.L. CLASS RK-5, DUAL ELEMENT (BUSSMANN "FUSETRON" OR EQUAL).
 3. FUSES RATED 601 AMPS OR LARGER SHALL BE U.L. CLASS L TIME DELAY (BUSSMANN "HI-CAP" OR EQUAL).
- G. SITE VISIT**
1. BEFORE SUBMITTING A BID THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE CONDITIONS AT THE SITE AND ALL EXISTING STRUCTURES IN ORDER TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND ELECTRICAL SYSTEMS WHICH WILL IN ANY WAY AFFECT THE WORK REQUIRED UNDER THE CONTRACT. THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING OF ANY DISCREPANCIES FOUND DURING SAID SITE VISIT. NO SUBSEQUENT INCREASE IN CONTRACT COST WILL BE ALLOWED FOR ADDITIONAL WORK REQUIRED BECAUSE OF CONTRACTOR'S FAILURE TO FULFILL THIS REQUIREMENT.

SERVICE: 120/240V,1Ø,3W

MOUNTING: SURFACE

POLES: 20

NEW PANEL C

TO REPLACE EXISTING

(LOCATED IN GARAGE)

MAIN BUS: 125 AMPS

NEUTRAL: FULL

MAINS: 100A MCB

A.I.C 10K

LOAD K.V.A	TRIP POLE	CON-DUIT	WIRE	REMARKS	OKT NO	OKT NO	REMARKS	WIRE	CON-DUIT	TRIP POLE	LOAD K.V.A
0.5	20-1	1/2	12	2ND FLOOR LIGHTS	1	2	GARAGE DOOR OPNR.	12	1/2	20-1	1.2
7.8	50-2	3/4	6	INSTANT WATER HEATER	3	4	EXTR. LIGHTS TIMER	12	1/2	20-1	0.5
3.0	20-2	1/2	12	A/C UNIT	5	6	1ST FLOOR OUTLETS	12	1/2	20-1	0.5
					7	8	BATHROOM GFI REC.	12	1/2	20-1	0.5
					9	10	DISHWASHER	12	1/2	20-1	1.2
5.0	30-2	1/2	10	COOK TOP	11	12	SMALL APPLIANCES	12	1/2	20-1	1.5
0.5	20-1	1/2	12	2ND FLOOR OUTLETS	13	14	SMALL APPLIANCES	12	1/2	20-1	1.5
					15	16	REFRIGERATOR	12	1/2	20-1	1.2
					17	18	SPACE				
				SPACE	19	20	SPACE				
13.8				GENERAL LIGHTING LOAD							8.1
3.0				AIR CONDITIONING LOAD							-

GENERAL LIGHTING LOAD = 21,900 VA

FIRST 10 KVA AT 100% = 10,000 VA

REST 11,900 VA AT 40% = 4,760 VA

SUB TOTAL = 14,760 VA

AC WALL UNIT AT 100% = 3,000 VA

TOTAL = 17,760 VA

I_L = 17,760 VA % 240V = 74 A

SERVICE: 120/240V.1Ø.3W

MOUNTING: SURFACE

POLES: 20

PANEL DP

(EXISTING)

MAIN BUS: 200 AMPS

NEUTRAL: FULL

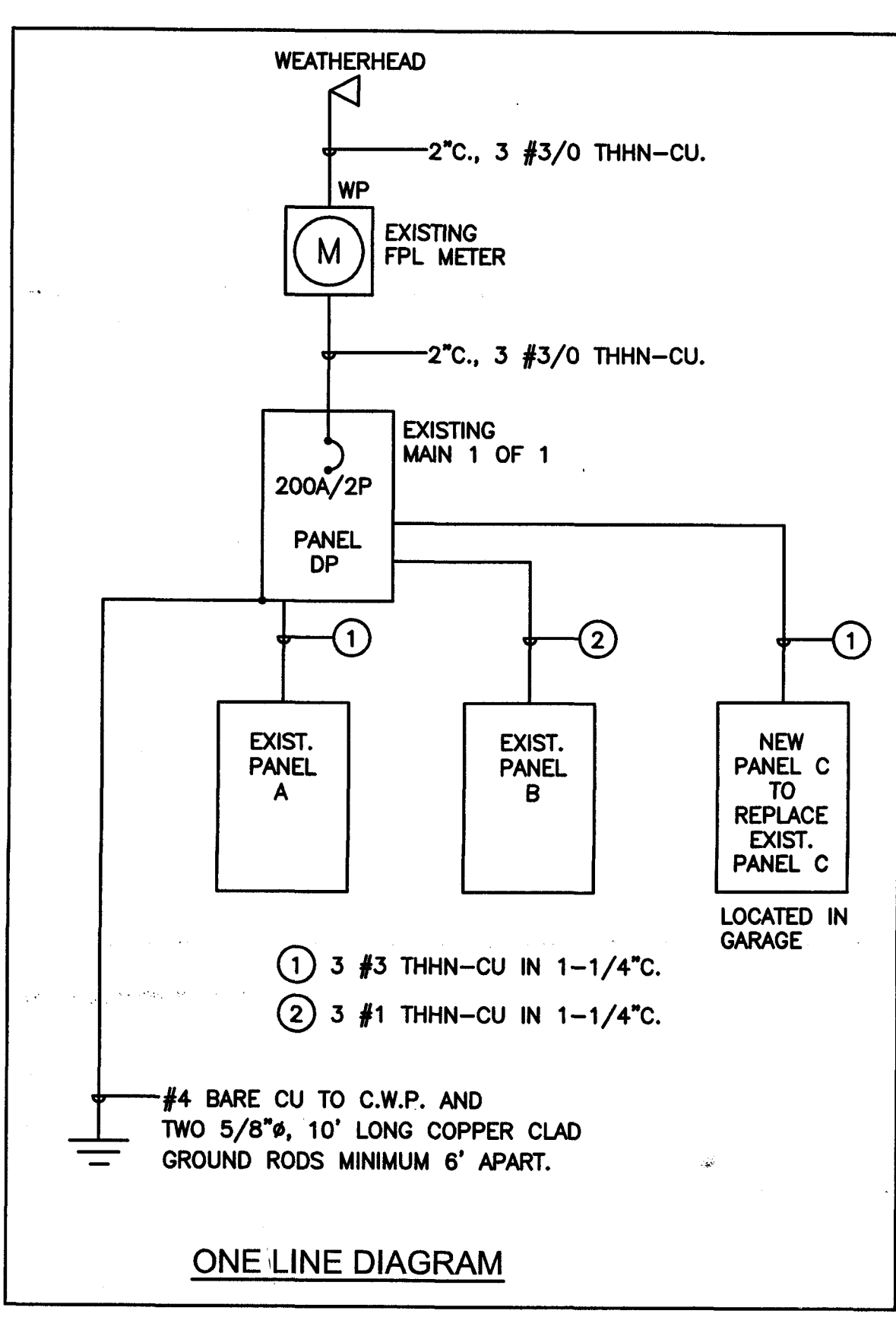
MAINS: 200A MCB

A.I.C 10K

LOAD K.V.A	TRIP POLE	CON-DUIT	WIRE	REMARKS	OKT NO	OKT NO	REMARKS	WIRE	CON-DUIT	TRIP POLE	LOAD K.V.A
12.6	100-2	1-1/4	3	PANEL A	1	2	SPACE				
12.6	125-2	1-1/4	1	PANEL B	3	4	SPACE				
					5	6	SPACE				
					7	8	SPACE				
5.2	40-2	3/4	8	ACCU-1	9	10	PANEL C	3	1-1/4	100-2	17.8
5.2	40-2	3/4	8	ACCU-2	11	12					
					13	14	SPACE				
					15	16	SPACE				
				SPACE	17	18	SPACE				
				SPACE	19	20	SPACE				

SEE CALCULATIONS FOR ENTIRE RESIDENCE.

THIS SHEET.



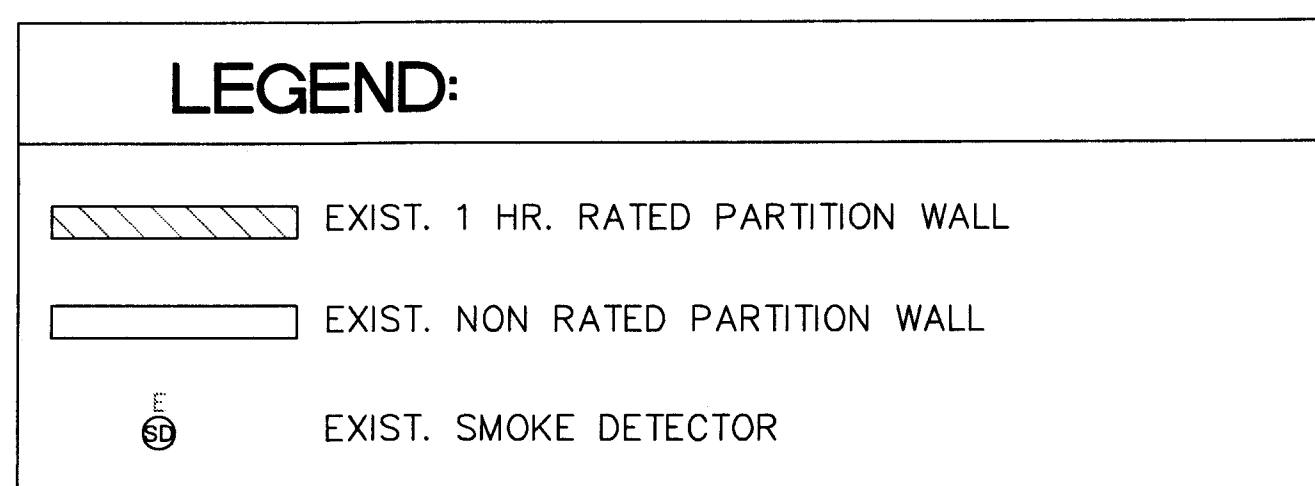
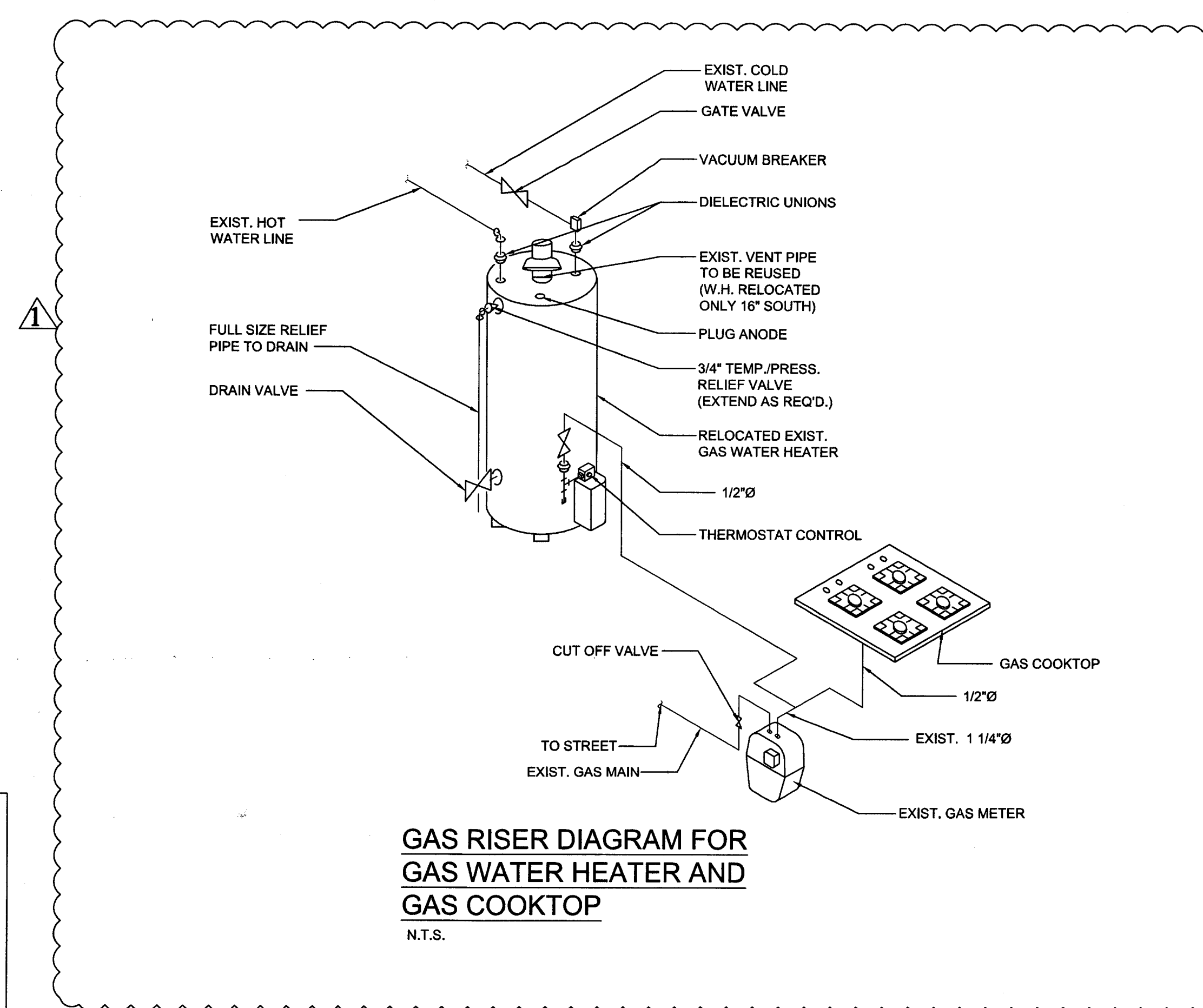
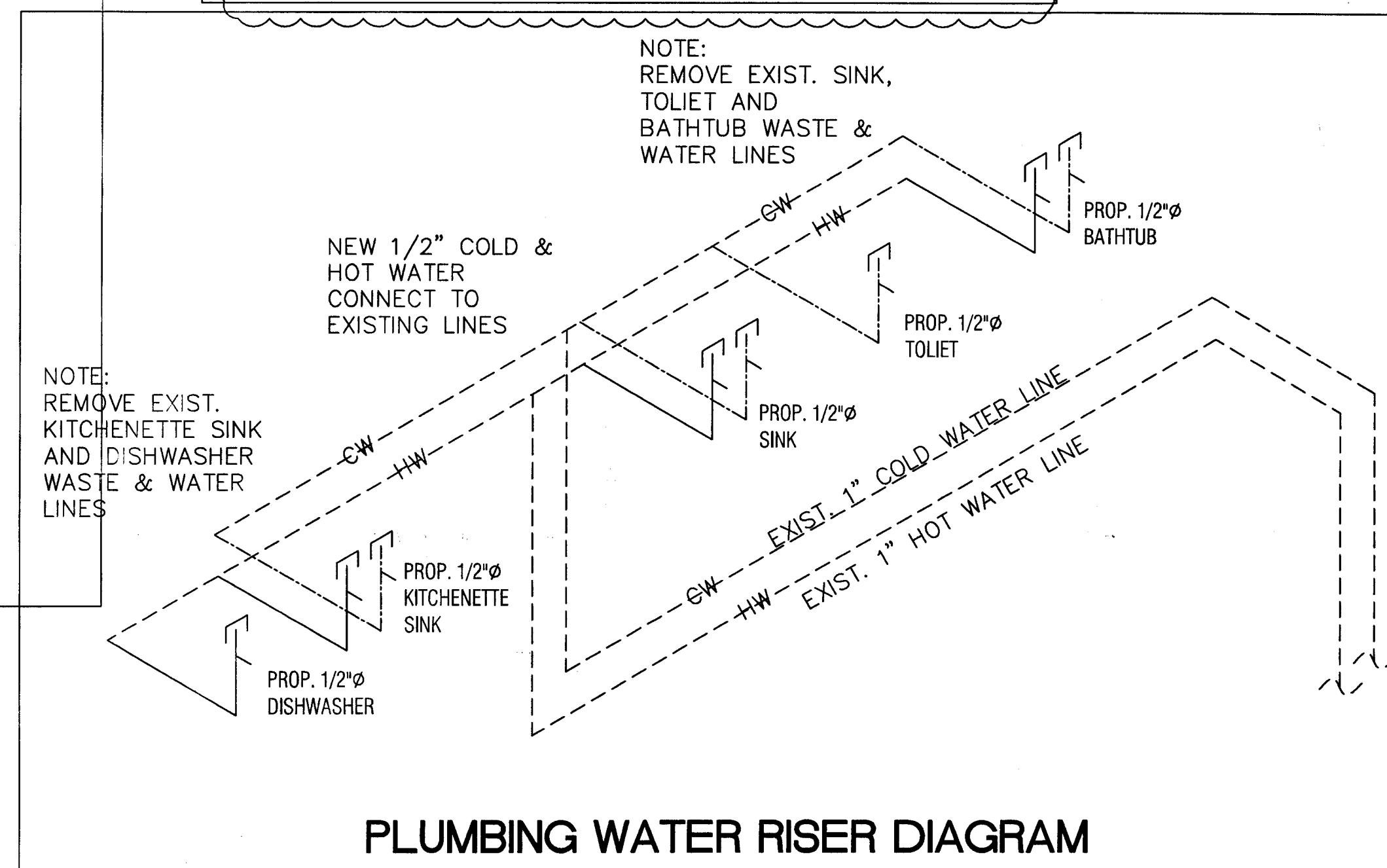
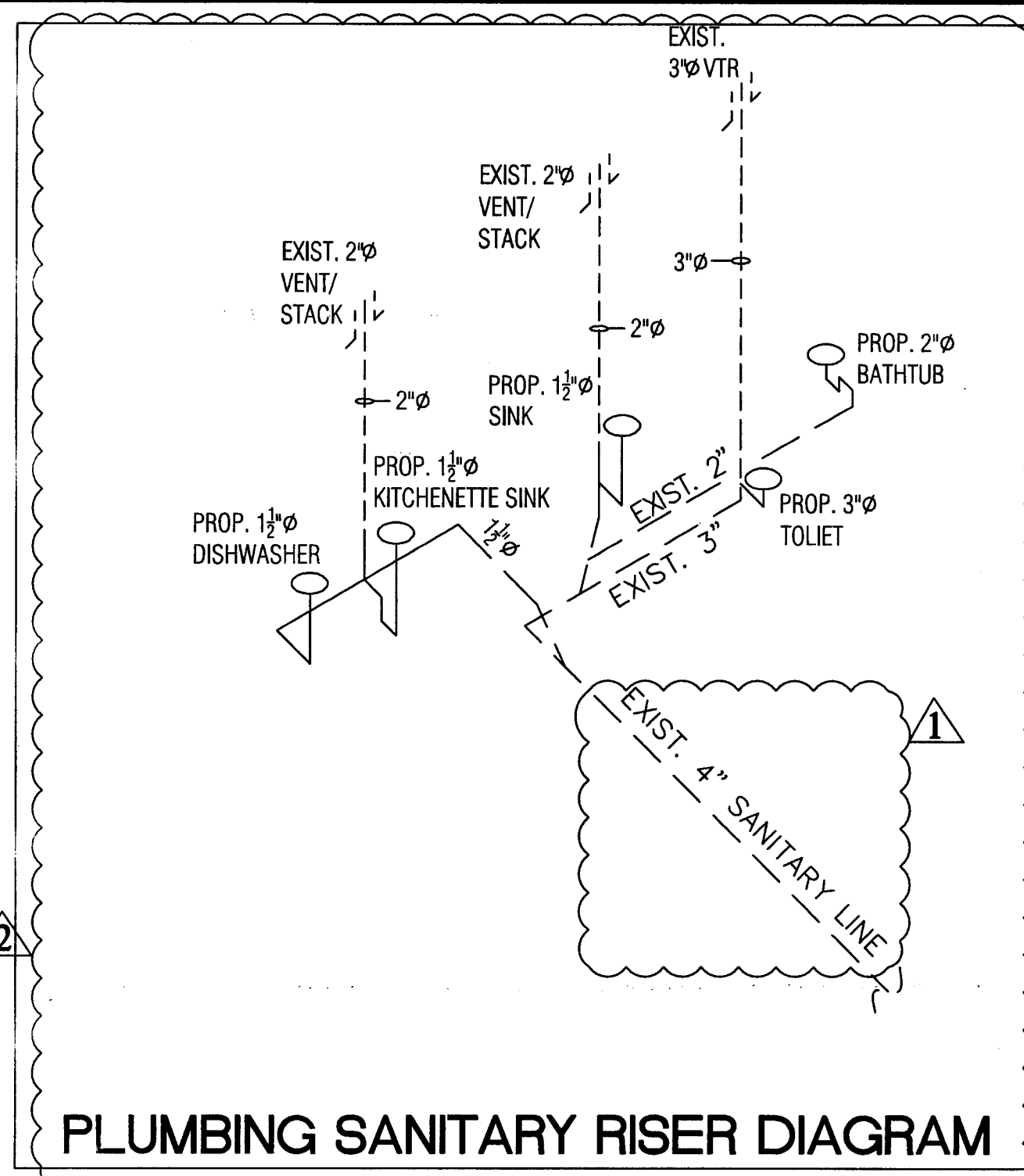
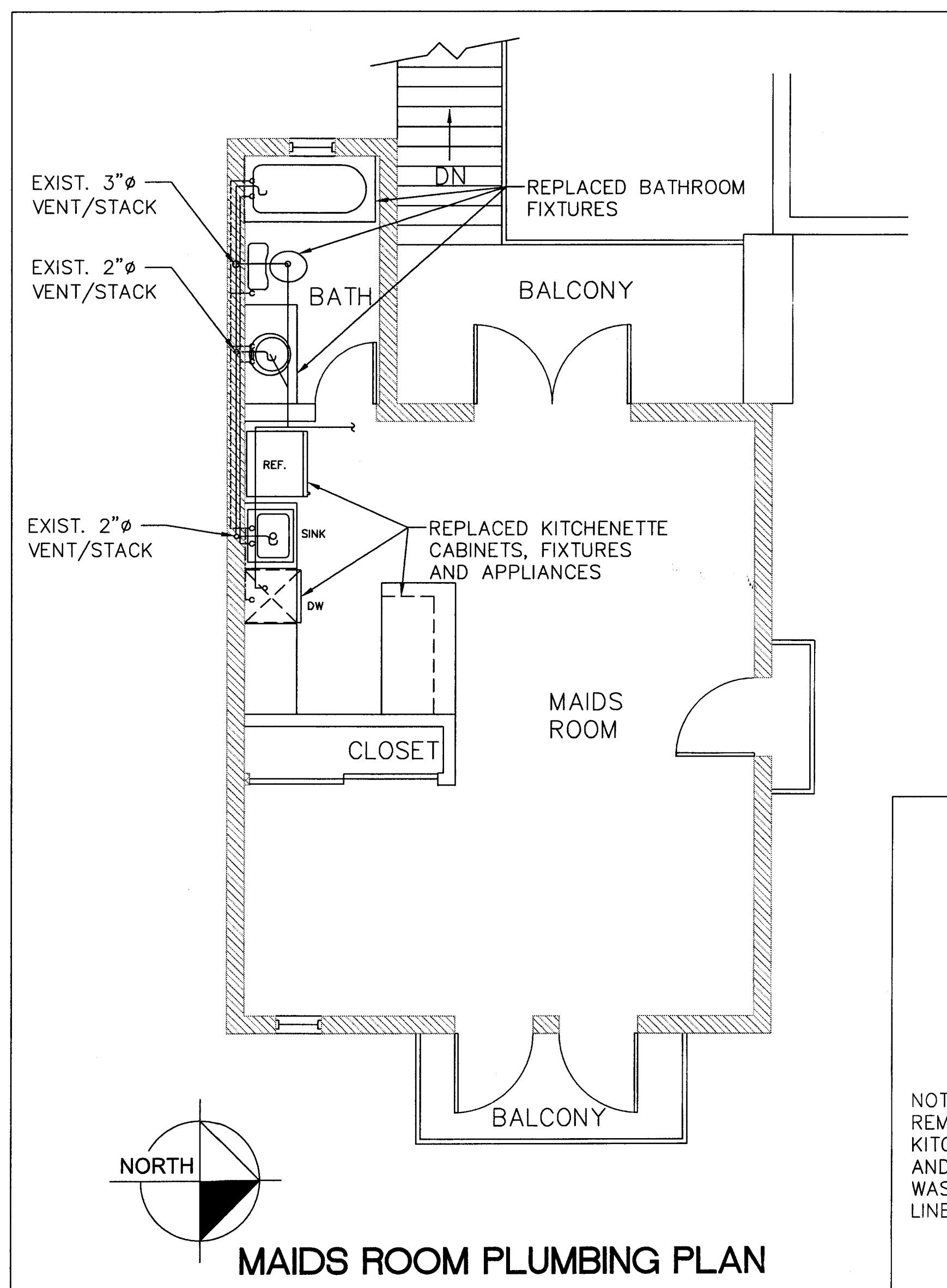
DEMAND LOAD BY NEC. (ENTIRE RESIDENCE).	
GENERAL LIGHTING LOAD = 4000 FT ² AT 3VA	= 12000 VA
SMALL APPLIANCES (5 CIRCUITS AT 1500VA)	= 7500 VA
DISHWASHER (TWO)	= 2400 VA
REFRIGERATOR (TWO)	= 2400 VA
BUILT IN DOUBLE OVEN	= 5000 VA
WASHER (TWO)	= 3000 VA
DRYER (TWO)	= 10000 VA
DISPOSAL	= 1200 VA
WATER HEATER	= 4500 VA
INSTANT WATER HEATER	= 7800 VA
COOK TOP	= 5000 VA
GARAGE DOOR OPENER	= 1200 VA
SUB TOTAL = 62000 VA	
FIRST 10 KVA AT 100%	10000 VA
REST 52000 VA AT 40%	20800 VA
SUB TOTAL = 30800 VA	
ACCU-1 AT 100% = 5200 VA	= 5200 VA
AHU-1 AT 65% = 4875 VA	= 4875 VA
ACCU-2 AT 100% = 5200 VA	= 5200 VA
AHU-2 AT 65% = 4875 VA	= 4875 VA
AC WALL UNIT AT 100% = 3000 VA	= 3000 VA
TOTAL = 44200 VA	
$I_L = 44,200 \text{ VA} \div 240 \text{ V} = 184.2 \text{ A}$	

ROSS BULLOCK REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY:	R.F.
REVISIONS:	
1-10-200	
SCALE:	1/4"
DATE:	10/2/10

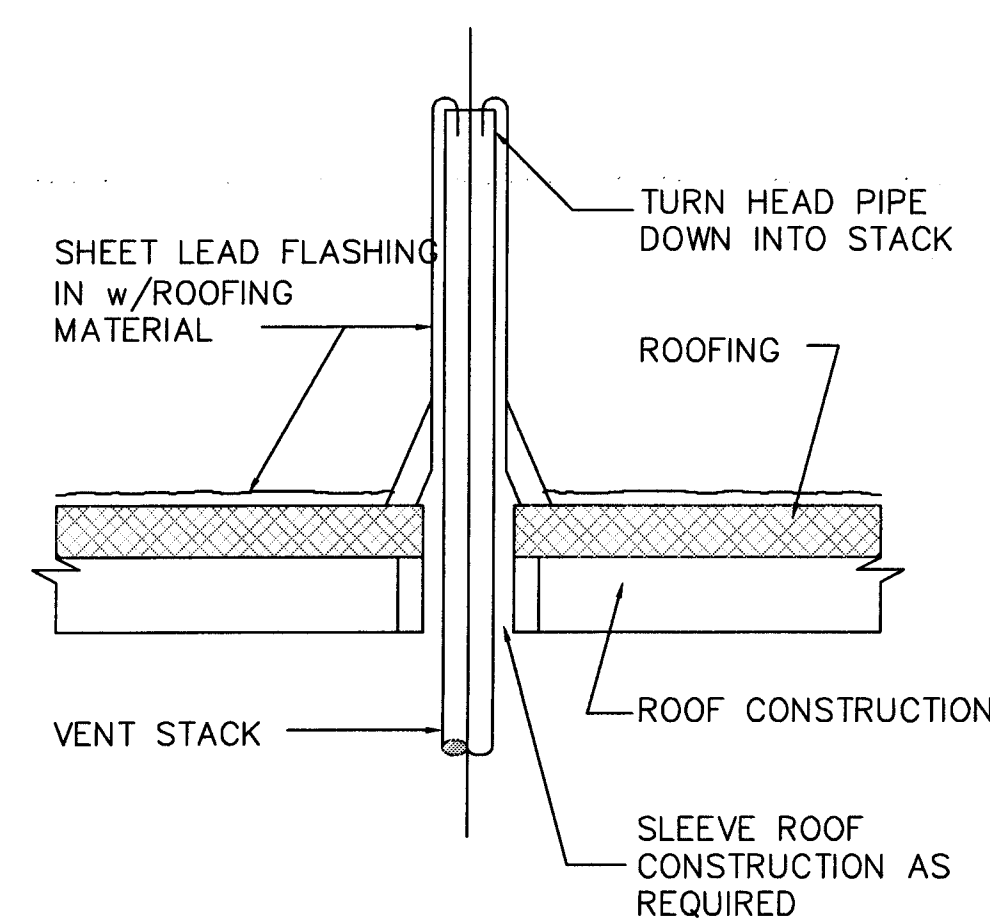
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GARAGE ELECTRICAL PLAN



GAS NOTES:

1. PROVIDE SHUT OFF AND PRESSURE REGULATOR VALVE AT EACH APPLIANCE.
2. GAS WATER HEATER CONSUMPTION IS 75,000 BTU'S, GAS COOKTOP CONSUMPTION IS 40,000 BTU'S FOR A TOTAL CONSUMPTION OF 115,000 BTU'S OF NATURAL GAS.
3. LONGEST DISTANCE TO FURTHEST APPLIANCE IS 25'-6".
4. GAS LINES SIZED USING TABLE 402.4(2) OF THE FBC FUEL GAS - 2004 EDITION WITH 2007 SUPPLEMENTS.
5. GAS PIPING SHALL BE BLACK STEEL SCHEDULE 40 PIPE CONFORMING TO ASTM 53, STEEL THREADED FITTINGS.



ROSS BULLOCK REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY: R.P.

REVISIONS

11-30-2000

12-06-2000

SCALE: 1/4"

DATE: 10/2/10

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CONTAINS

MAIDS ROOM
PLUMBING
PLAN

PAGE #

P-2

12/6/10

Classified System 2 Hour Fire Rated Through Penetration Firestop for Insulated Metal Pipe through Concrete Floors or Walls using TREMstop IA. DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE CAJ 5121 F-Rating = 2 Hr. T-Rating = 1/2 & 1 Hr. ① Pre- Rated Concrete Floor or Wall Assembly=Min. 4-1/2" thickness ② Metallic Pipe-A) Copper Tubing- Nom. 4" diam. (or smaller) Type L copper tuning. B) Copper Pipe - Nom. 4" diam. (or smaller) Regular (or heavier) copper pipe. C) Steel Pipe- Nom. 4" diam. (or smaller) Sch. 10 (or heavier) steel pipe. D) Iron Pipe - Nom. 4" diam. (or smaller) cast iron pipe. E) Conduit - Nom. 4" diam. (or smaller) EMT or steel conduit. ③ Pipe Covering - Fiberglass insulation, see table below for thickness and annular space <table><tr><th>Max. Pipe Diam., in.</th><th>Pipe Covering Thickness, in.</th><th>Annular Space in.</th><th>Packing Material Thickness, in.</th><th>Min. Sealant Thickness, in.</th><th>F-Rating Hr.</th><th>T-Rating Hr.</th></tr><tr><td>4</td><td>2</td><td>1/2 to 1-1/2</td><td>3-1/2</td><td>1</td><td>2</td><td>1-1/2</td></tr></table> ④A Packing Material - Mineral wool insulation (min. 4.0 pcf) firmly packed into opening to the required thickness in the table above. ④A TREMstop IA- Min. thickness of sealant as specified in table above, applied within opening flush with top surface of floor or both surfaces of wall. CONCRETE WALLS AND FLOORS	Max. Pipe Diam., in.	Pipe Covering Thickness, in.	Annular Space in.	Packing Material Thickness, in.	Min. Sealant Thickness, in.	F-Rating Hr.	T-Rating Hr.	4	2	1/2 to 1-1/2	3-1/2	1	2	1-1/2	Classified System 1 or 2 Hour Fire Rated Through Penetration Firestop for Insulated Metal Pipe through Gypsum Walls using TREMstop IA. DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE WL 5082 F-Rating = 1 & 2 Hr. T-Rating = 3/4 Hr. ① Pre-Rated Gypsum Wallboard/Stud Wall Assembly ② Metallic Pipe - A) Steel Pipe - 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe. B) Iron Pipe - 8" diam. (or smaller) cast or ductile iron pipe. C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing. D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe. ③ Pipe Covering - Nom. 1" thick (or less) fiberglass insulation. ④A Packing Material (optional)- Foam Backer rod firmly packed into opening as a permanent form. ④A TREMstop IA- Min. 1/2" thickness of sealant applied within annulus, flush with both sides of wall assembly. Additional material to be installed such that a min. 3/8" crown is formed around the penetrating item. GYPSUM WALLS	Classified System 2 Hour Fire Rated Through Penetration Firestop for Single Metal Pipe through Concrete Floors or Walls using TREMstop IA. DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE CAJ 1302 F-Rating = 2 Hr. T-Rating = 0 Hr. ① Pre-Rated Concrete Floors or Block Walls = Min. 4-1/2" thickness. ② Metallic Pipe: A) Steel Pipe - 8" diam. (or smaller) Sch. 10 (or heavier) steel pipe. B) Iron Pipe - 8" diam. (or smaller) cast or ductile iron pipe. C) Conduit - 4" diam. (or smaller) EMT or steel conduit. D) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing. E) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe. ③ Packing Material- See table below for mineral wool insulation (min. 4.0 pcf) requirements ④ TREMstop IA- See table below for minimum thickness of sealant. Apply sealant flush with top of floor surface or with both sides of the wall assembly. <table><tr><th>Annular Space Range, in.</th><th>Min. Packing Material Thickness, in.</th><th>Min. Thickness of sealant, in.</th><th>F-Rating Hr.</th></tr><tr><td>1/2 to 1-3/8</td><td>0</td><td>1/2</td><td>2</td></tr><tr><td>1/2 to 1-3/8</td><td>4</td><td>1/2</td><td>2</td></tr></table> CONCRETE WALLS AND FLOORS	Annular Space Range, in.	Min. Packing Material Thickness, in.	Min. Thickness of sealant, in.	F-Rating Hr.	1/2 to 1-3/8	0	1/2	2	1/2 to 1-3/8	4	1/2	2	Classified System 1 or 2 Hour Fire Rated Through Penetration Firestop for Single Metallic Pipe through Gypsum Walls using TREMstop IA. DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE WL 1158 F-Rating = 1 & 2 Hr. T-Rating = 3/4 Hr. ① Pre-Rated Gypsum Wallboard/Stud Wall Assembly ② Metallic Pipe - A) Steel Pipe - 12" diam. (or smaller) Sch. 10 (or heavier) steel pipe. B) Iron Pipe - 12" diam. (or smaller) cast or ductile iron pipe. C) Copper Tubing - 4" diam. (or smaller) Type L (or heavier) copper tubing. D) Copper Pipe - 4" diam. (or smaller) Regular (or heavier) copper pipe. The annular space shall be min. 0" to max. 1" within the firestop system. ③ TREMstop IA - Min. 1/2" thickness of sealant applied within opening. Min. 1/4" cant bead of sealant to be applied at point contact. GYPSUM WALLS
Max. Pipe Diam., in.	Pipe Covering Thickness, in.	Annular Space in.	Packing Material Thickness, in.	Min. Sealant Thickness, in.	F-Rating Hr.	T-Rating Hr.																							
4	2	1/2 to 1-1/2	3-1/2	1	2	1-1/2																							
Annular Space Range, in.	Min. Packing Material Thickness, in.	Min. Thickness of sealant, in.	F-Rating Hr.																										
1/2 to 1-3/8	0	1/2	2																										
1/2 to 1-3/8	4	1/2	2																										
METALLIC PIPE (INSULATED)		METALLIC PIPE (NON-INSULATED)																											
Classified System 2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Concrete Floors or Walls using TREMstop D and TREMstop IA. DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE CAJ 1302 F-Rating = 2 Hr. T-Rating = 2 Hr. ① Pre-Rated Concrete Floors or Block Walls = Min. 4-1/2" thickness. Max. diam. of opening = 5". ② Plastic Pipe - The annular space shall be 1/4". A) Nom. 4" diam. (or smaller) Sch. 40 cellular or solid core PVC pipe for use in open or closed piping systems. B) Nom. 4" diam. (or smaller) Sch. 40 cellular or solid core ABS pipe for use in open or closed piping systems. ③ TREMstop D - Properly sized firestop device consisting of intrumescent strips. Wrap device around pipe penetration and secure using the attached hose clamp. Mechanically fasten device flush with the underside of floor assembly. In walls, devices are installed on each side of wall assembly. ④ TREMstop IA- Nom. 1/2" diam. bead of sealant to be applied at slab/device and pipe/device interfaces. CONCRETE WALLS AND FLOORS	Classified System 2 Hour Fire Rated Through Penetration Firestop for Single Plastic Pipe through Gypsum Walls using TREMstop WS and TREMstop IA. DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE WL 2062 F-Rating = 2 Hr. T-Rating = 1-1/2 Hr. ① Pre-Rated Gypsum Wallboard/Stud Wall Assembly ② Plastic Pipe - Nom 3" diam. (or smaller) Sch. 40 PVC pipe for use in open or closed piping systems. A max. annular space of 1/8" is required within the system. ③ TREMstop WS - Intumescent wrap strips, continuously wrapped around the outer circumference of the pipe four times on both sides of wall assembly. ④ TREMstop MCR - Prefabricated steel collar wrapped over the wrap strips (Item3) and mechanically fastened to both sides of the wall assembly. ⑤ FYRE-SIL - Min. 1/4" thickness of sealant applied at the interface of the wall and collar, and the interface of the collar and pipe. Sealant applied on both sides of wall. GYPSUM WALLS																												
PLASTIC (PVC) PIPE		Classified System 2 Hour Fire Rated Through Penetration Firestop for Single Vent Duct through Concrete Floors or Walls using TREMstop IA. DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE CAJ 7044 F-Rating = 2 Hr. T-Rating = 0 Hr. ① Pre-Rated Concrete Floors or Block Walls = Min. 4-1/2" thickness. ② Vent Duct- Nom. 4" diam. (or smaller) No. 26 gauge (or heavier) galv. steel vent duct. Duct to be rigidly supported on both sides of floor or wall assembly. The angular space shall be min. 1/2" to max. 1-3/8" within the firestop system. ③ Packing Material- See table below for mineral wool insulation (min. 4.0 pcf) requirements ④ TREMstop IA- See table below for minimum thickness of sealant. Apply sealant flush with top of floor surface or with both sides of the wall assembly. <table><tr><th>Min. Packing Material Thickness, in.</th><th>Min. Thickness of sealant, in.</th><th>F-Rating Hr.</th></tr><tr><td>0</td><td>1/2</td><td>2</td></tr></table> CONCRETE WALLS AND FLOORS	Min. Packing Material Thickness, in.	Min. Thickness of sealant, in.	F-Rating Hr.	0	1/2	2	Classified System 1 or 2 Hour Fire Rated Through Penetration Firestop for Single Vent Duct through Gypsum Walls using FYRE-SHIELD DETAILS BASED ON TREMCO INC. EQUAL PRODUCTS BY 3M, HILTI, OR PROSET WILL BE ACCEPTABLE WL 7011 F-Rating = 1 & 2 Hr. T-Rating = 0 Hr. ① Pre-Rated Gypsum Wallboard/Stud Wall Assembly ② Vent Duct- Nom. 4" diam. (or smaller) No. 26 gauge (or heavier) galv. steel vent duct. Duct to be rigidly supported on both sides of wall assembly. The angular space shall be min. 1/4" to max. 5/8" within the firestop system. ③ FYRE-SHIELD - Min. 1/2" thickness of sealant applied within the opening, flush with Additional sealant to be installed such that a min. 1/4" crown is formed around the penetrating item. GYPSUM WALLS																				
Min. Packing Material Thickness, in.	Min. Thickness of sealant, in.	F-Rating Hr.																											
0	1/2	2																											
PLASTIC (PVC) PIPE		METAL VENT DUCT																											

PROJECT:

ROSS BULLOCK REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY: _____ RF: _____

REVISIONS:

NO.	DATE	DESCRIPTION

SCALE: 1/4" = 1'-0"

DATE: 11/08/10

PERMIT DOCTOR

775 17TH STREET
MIAMI BEACH, FL 33139
WWW.PERMITDOCTOR.COM

CONTAINS:

FIRESTOP DETAILS FOR PIPE PENETRATIONS

PAGE: #

P-3

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	<u>12/8/10</u>
ZONING:	<u>11/23/10</u>
DRB/HPB:	
CONCURRENCE:	
PLUMBING:	<u>12/08/10</u>
ELECTRICAL:	<u>11/22/10</u>
MECHANICAL:	<u>11/22/10</u> (NA)
FIRE PREVENTION:	
ENGINEERING:	<u>12/08/10</u>
PUBLIC WORKS:	
STRUCTURAL:	<u>N/A 11/22/10</u>
ELEVATOR:	

P1100301
40W Rivu Alto Dr.
Office Copy

PS 110 1334

SCOPE OF WORK.

ALTERATION TYPE LEVEL 1

1. CONSTRUCT LILY POND AND PUMP PIT.
2. INSTALL FILTER AND PUMP.

APPLICABLE CODES & REGULATIONS

JURISDICTION: MIAMI BEACH, FL.

- 1. 2007 FLORIDA BUILDING CODE (FBC).
- 2. 2007 FLORIDA PLUMBING CODE (FPC).

NOTE:

NO LANDSCAPE
NO ELECTRICAL

NOTE:

1. POND FILTER - TO BE PRECEAD 65 BEAD B.O-FILTER MODEL PB651616 DESIGNED TO FILTER 1200-2000 GPH.
2. POND PUMP - TO BE CAL STAINLESS STEEL SUBMERSIBLE PUMP MODEL S220. 204/1.23 AMPS. 65/83 WATTS. 340 GPH WITH 12' POWER CORD.
3. VOLUME OF POND IS APPROX. 1500 GALLONS.

1'-4" PAVERS TO MATCH EXIST.
WALKWAY (1 1/4" THK.
TRAVERTINE TILE/PAVERS)

TYPICAL POND WALL

PAVERS TO MATCH
EXIST. WALKWAY

ROSS BULLOCK REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

1

1

VISIONS

ALL

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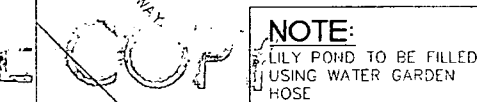
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775 17TH STREET
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CONTAINS

LILY POND PLAN AND DETAILS

GR: #

A-1



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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:
ZONING:
DRA/HPB:

CONCURRENCY:
FLUIDITY:
ELECTRONIC:
MECHANICAL:
LIFE PREVENTION
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ELEVATOR:
EXISTING

01/18/11
1/18/11 NA

76-01-18-2011
AV 1/18/11

3.4 ~~4~~ VMC DISCHARGE
PIPE
ELECTRIC POND PUMP
WITH 12" I.G. POWER CO.
(PLUG INTO EXIST. W.P.
ELEC. OUTLET)

3/4" PVC DISCHARGE
PIPE _____

ELECTRIC POND PUMP
WITH 12' LG. POWER
(PLUG INTO EXIST. W.
ELEC. OUTLET) _____

HOSE (PUMP
TO FILTER)

1 1/2" PVC
RECIRCULATING
PIPE TO PUMP

PLAN

21" X 33" X 3/4" THK.
W.P. PLYWOOD WITH
SAME PAVER ADHEARD
ACROSS TOP

POND FILTER
EXISTING
LANDSCAPE -

SECTION "C-C"

(4) 1 $\frac{1}{2}$ " X 1 $\frac{3}{8}$ " X 4" LG. $\frac{3}{4}$ "
STAINLESS STEEL
SUPPORT ANGLES WITH
EMBEDDED HEX. HD. CONC.
SCREWS TO LAID BRICK WALL -

LILY POND

PVC
LATING
PUMP

KEY PLAN
SCALE: 1/8" = 1'-0"

RECIRCULATING PIPE RISER DIAGRAM

PUBLIC WORKS
PLAN REVIEW NOTICE

Phone 305-673-7080

Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or
easements, requires a separate Public Works Department permit prior
to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions
(pictures) and/or posting of sidewalk/roadway bonds
(Public Works Inspection of the right-of-way will be required prior to
final Sign-off on the C.C. / C.O., or the release of bonds.)

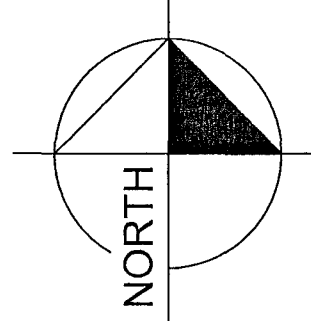
Approved/Reviewed By:

Date:

1-18-2011

48 HOURS PRIOR TO EXCAVATING
CONTRACTOR SHALL CALL FOR LOCATION
OF UNDERGROUND UTILITIES
SUNSHINE ONE-CALL 1-800-432-4770
CITY OF MIAMI BEACH 305-673-7080

B 1101334
LOW MIVO ALTO
Office COPY



LOCATION MAP

SCALE: NONE

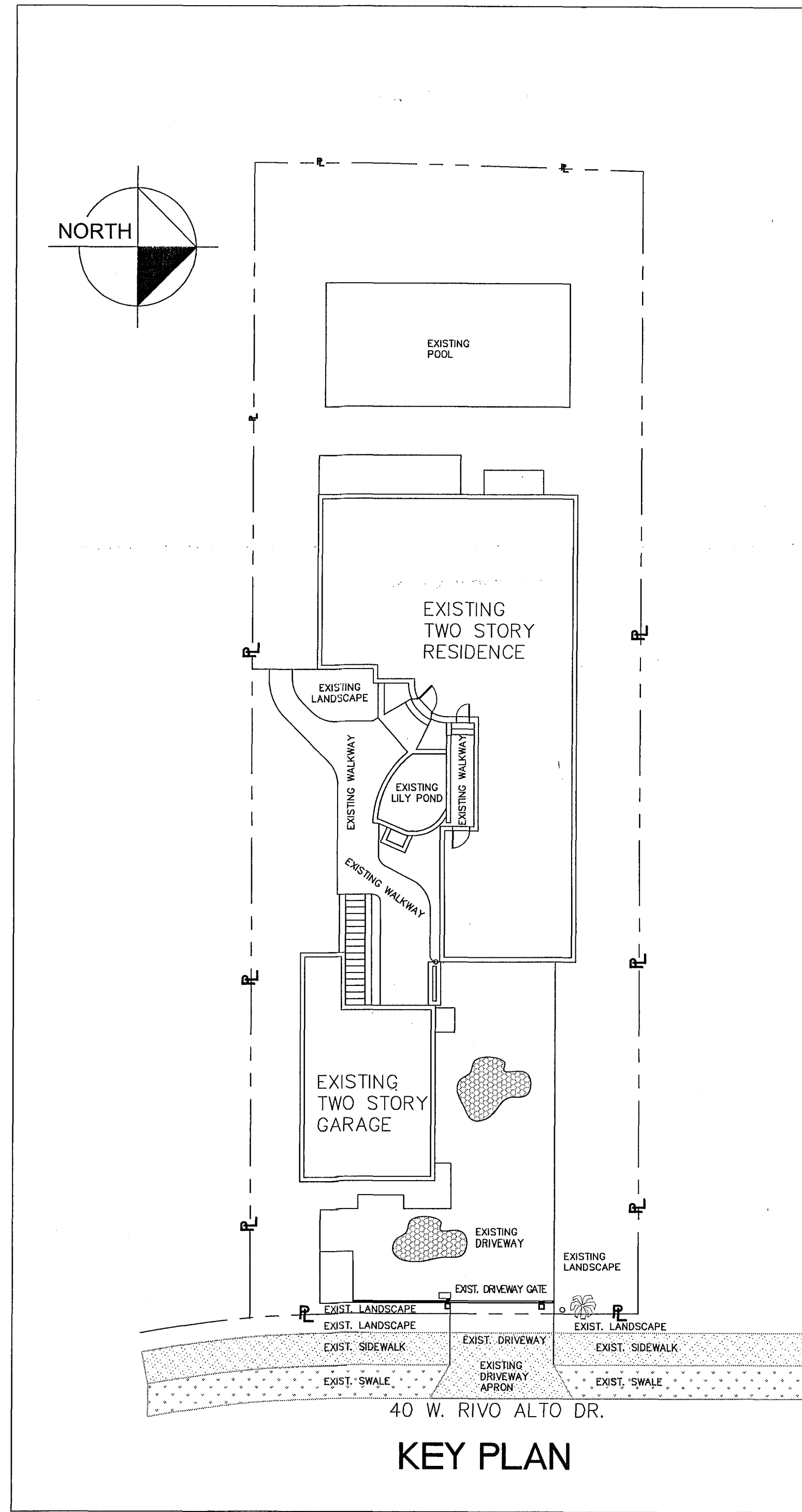
SCOPE OF WORK

ALTERATION TYPE LEVEL II

1. FILL IN EXISTING DINING ROOM FLOOR AREA AND INSTALL NEW TILE
2. REMODEL UPSTAIRS AREA AND ADD HALF BATH
3. RELOCATE ELECTRICAL SWITCHES AND OUTLETS
4. ADD NEW PLUMBING TO NEW HALF BATH

APPLICABLE CODES & REGULATIONS

- JURISDICTION: MIAMI BEACH, FL.
1. 2007 FLORIDA BUILDING CODE (FBC).
 2. 2007 FLORIDA PLUMBING CODE (FPC).
 3. 2008 NATIONAL ELECTRIC CODE (NEC)



NOTICE: In addition to the requirement of this permit there may be additional restrictions regarding to the property that may be found in the Public Records of the City of Miami Beach. Such as water management, electrical, state agencies, and other systems. The City of Miami Beach disclaims any responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

B1101844

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

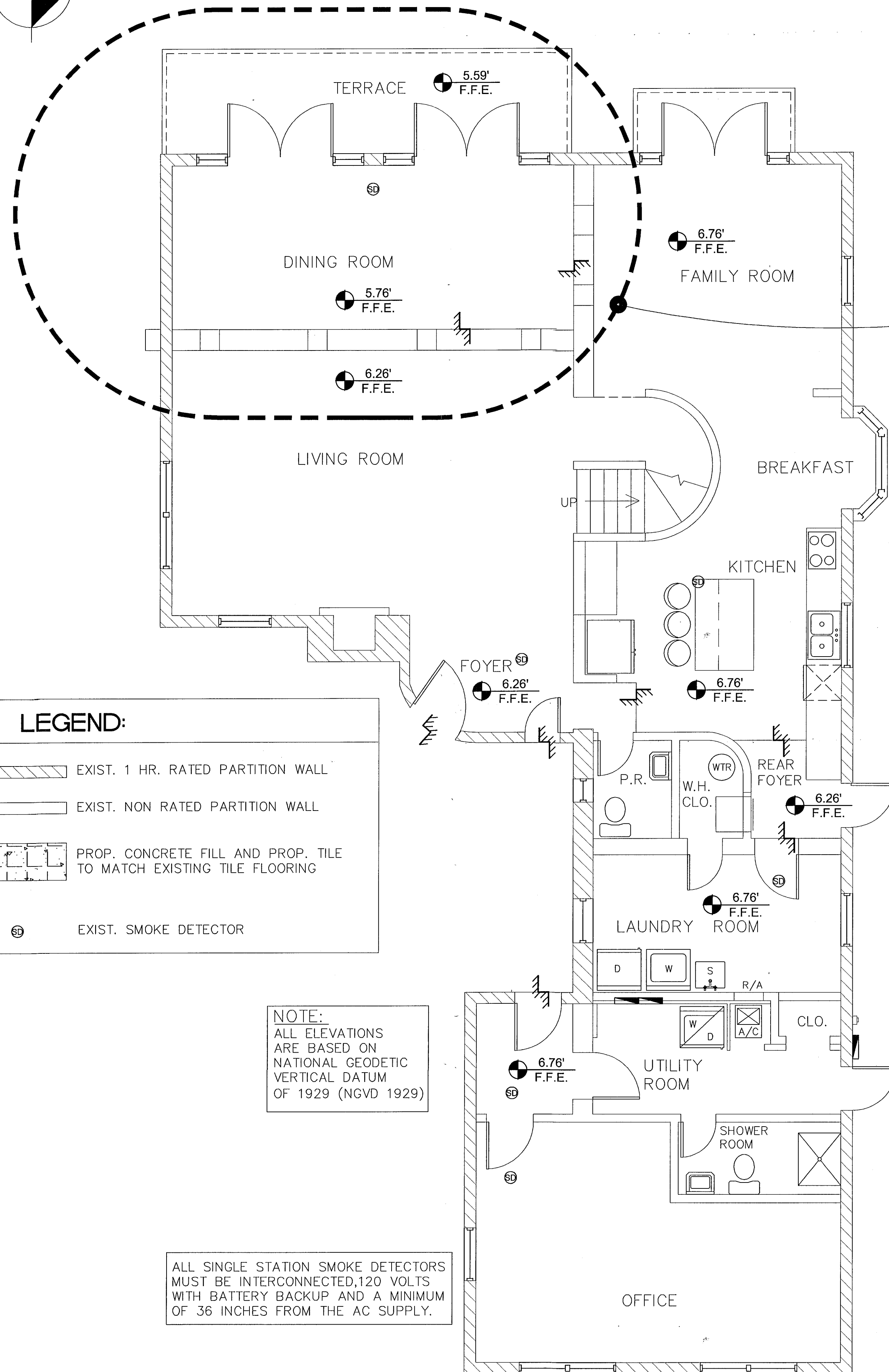
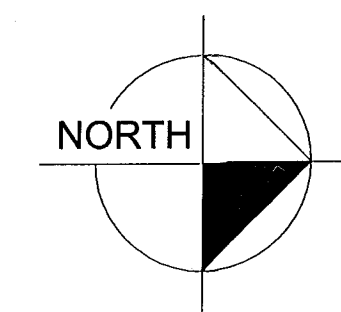
BUILDING: 03/12/11
ZONING: DRB/HPB
CONCURRENCY: 03/12/11
PLUMBING: 03/12/11
ELECTRICAL: 03/12/11
MECHANICAL: 03/12/11
FIRE PREVENTION: 03/12/11
ENGINEERING: 03/12/11
PUBLIC WORKS: 03/12/11
STRUCTURAL: 03/12/11
ELEVATOR: 03/12/11

ROSS BULLOCK UPSTAIRS REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

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DRIVEWAY
SLIDING GATE
PLAN

A-1



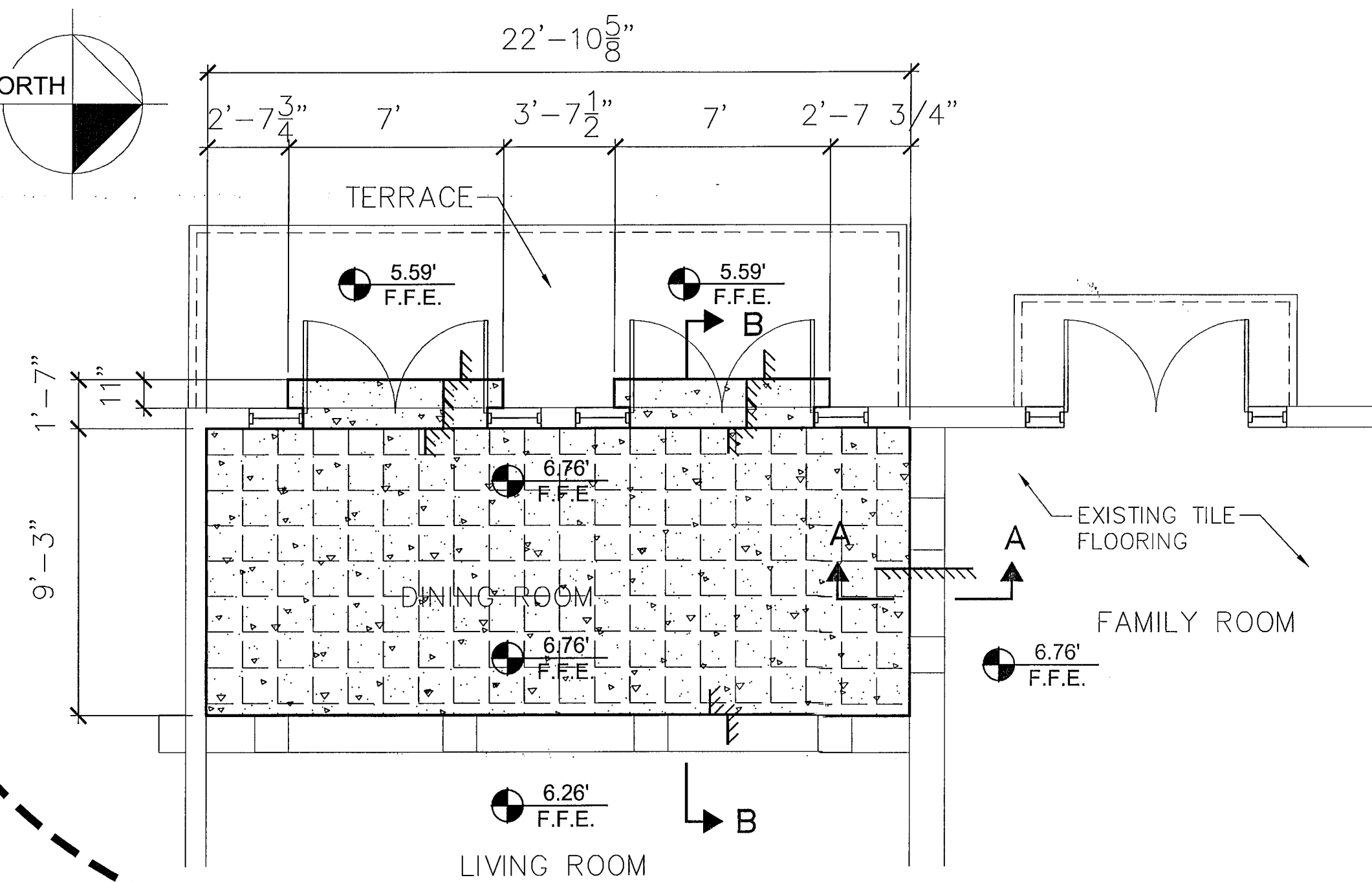
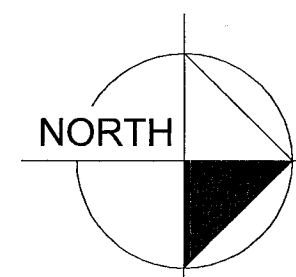
LEGEND:

- EXIST. 1 HR. RATED PARTITION WALL
- EXIST. NON RATED PARTITION WALL
- PROP. CONCRETE FILL AND PROP. TILE TO MATCH EXISTING TILE FLOORING
- EXIST. SMOKE DETECTOR

NOTE:
ALL ELEVATIONS
ARE BASED ON
NATIONAL GEODETIC
VERTICAL DATUM
OF 1929 (NGVD 1929)

ALL SINGLE STATION SMOKE DETECTORS
MUST BE INTERCONNECTED, 120 VOLTS
WITH BATTERY BACKUP AND A MINIMUM
OF 36 INCHES FROM THE AC SUPPLY.

EXISTING FLOOR PLAN GROUND LEVEL



PROPOSED FLOOR PLAN GROUND LEVEL

DINING ROOM (NEW. CONC. FILL AND NEW TILE)
FAMILY ROOM (EXIST. TILE)

SECTION "A-A"

TERRACE (NEW. CONC. STEP AND EXISTING PAVERS)
DINING ROOM (NEW. CONC. FILL AND NEW TILE)
DINING ROOM (NEW. CONC. FILL AND NEW TILE)
LIVING ROOM (EXIST. TILE)

SECTION "B-B"

AREA CONSTRUCTION: 30484SF

PROJECT:
ROSS BULLOCK UPSTAIRS REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY: R.F.
REVISIONS:
SCALE: 1/4"
DATE: 02/09/11

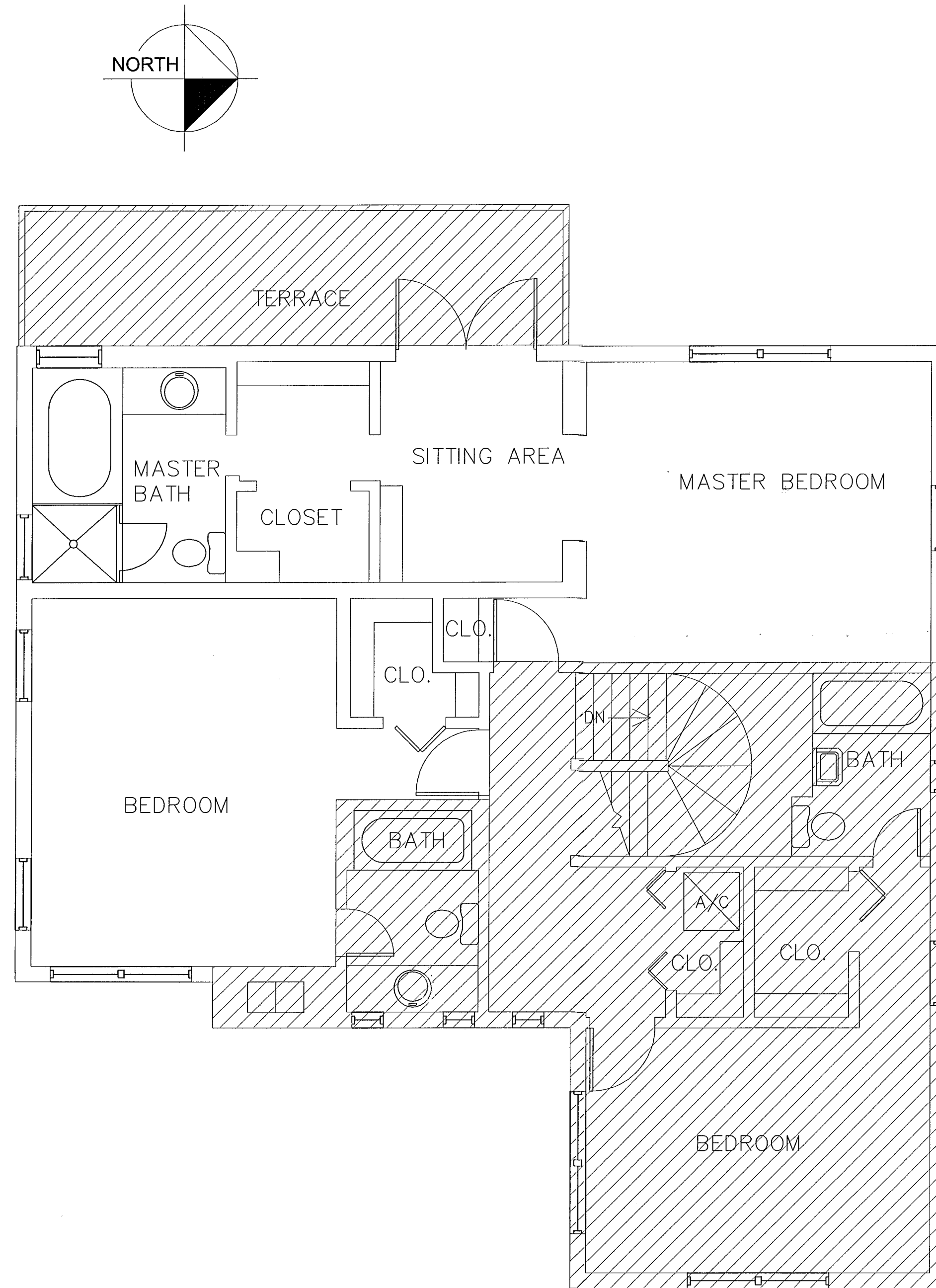
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CONTAINS:

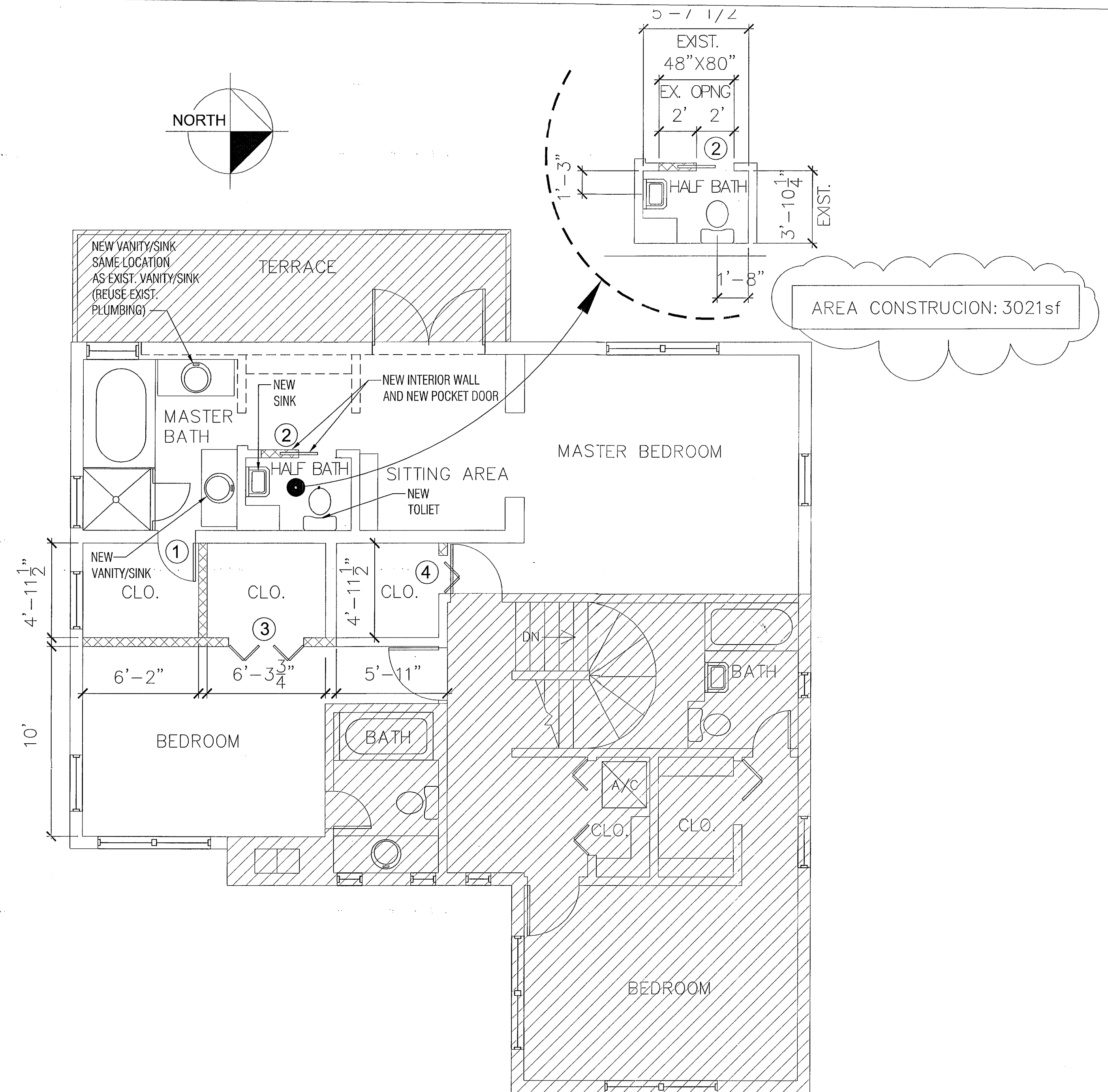
GROUND FLOOR
DINING ROOM
FLOORING

PAGE: #

A-2



EXISTING FLOOR PLAN UPPER LEVEL



PROPOSED FLOOR PLAN UPPER LEVEL

LEGEND:	
	NO WORK TO BE DONE
	PROPOSED INTERIOR PARTITION WALL
	WALLS TO BE DEMOLISHED
	EXIST. SMOKE DETECTOR

DOOR SCHEDULE				
NO.	QTY.	SIZE	TYPE	REMARKS
①	1	24"x80"	HOLLOW CORE WOOD	FLUSH DOOR
②	1	24"x80"	HOLLOW CORE WOOD	POCKET DOOR
③	1	48"x80"	HOLLOW CORE WOOD	BI-FOLD (48"x80" OPN'G)
④	1	24"x80"	HOLLOW CORE WOOD	BI-FOLD (24"x80" OPN'G)

PROJECT:
ROSS BULLOCK UPSTAIRS REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY: R.F.
REVISIONS:
SCALE: 1/4"
DATE: 02/03/11

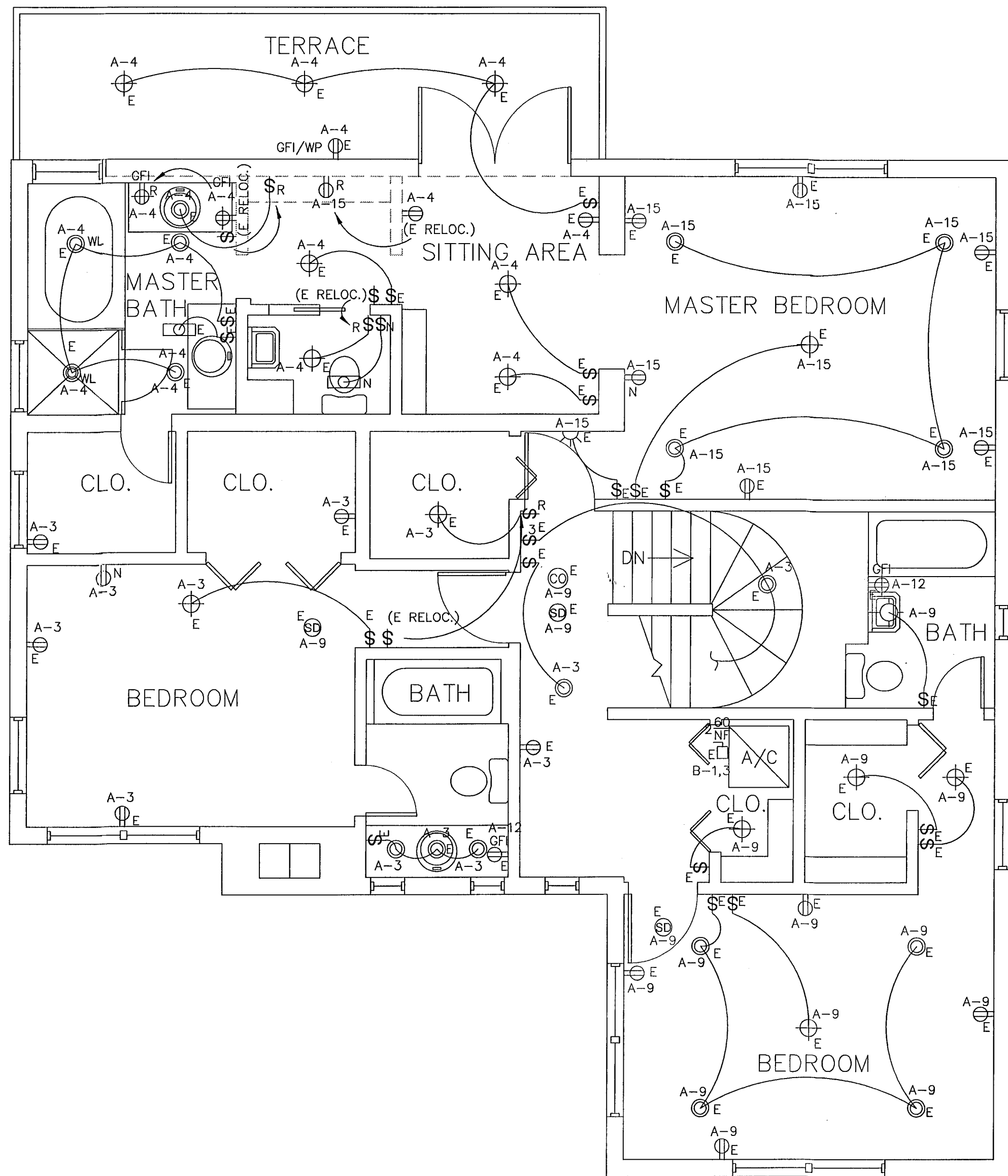
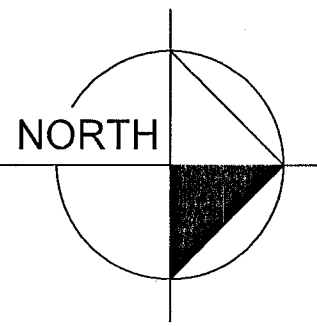
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CONTAINS:

UPSTAIRS
REMODEL

PAGE: #

A-3



SYMBOL LEGEND	
○	RECESSED DOWNLIGHT.
○	WALL MOUNTED LIGHT FIXTURE.
○	SURFACE MOUNTED LIGHT FIXTURE.
○	CHANDELIER.
○	DUPLEX RECEPT. - NEMA 5-20R (18" A.F.F. TO CENTER)
○	DUPLEX RECEPT. MOUNTED ABOVE COUNTER - NEMA 5-20R
○	QUADRUPLUX RECEPT. - NEMA 5-20R.
○	QUADRUPLUX RECEPT. FLOOR MOUNTED. - NEMA 5-20R.
○	SINGLE RECEPT. - NEMA 5-20R (18" A.F.F. TO CENTER)
○	SPECIAL RECEPT. - RATED AS NOTED.
○	PANELBOARD (6"-0" AFF TO TOP)
○	FPL ELECTRICAL METER.
○	COMPUTER OUTLET (18" A.F.F. TO CENTER)
○	HEAT LAMP.
○	MULTIPLE STATION SMOKE DETECTOR POWERED 120V AND PROVIDED WITH BATTERY BACKUP.
○	CARBON MONOXIDE DETECTOR POWERED 120V AND PROVIDED WITH BATTERY BACKUP.
○	CEILING MOUNTED EXHAUST FAN.
○	FUSIBLE DISCONNECT SWITCH POLES, AMPS AND PHASES AS SHOWN. NF INDICATES NON-FUSED.
○	MOTOR (1 PHASE)
○	JUNCTION BOX
○	SINGLE POLE SWITCH - 20 AMP (48" A.F.F. TO CENTER)
○	THREE WAY SWITCH (48" A.F.F. TO CENTER)
○	DIMMER SWITCH (48" A.F.F. TO CENTER)

NOTE: ALL SYMBOLS MAY NOT BE USED.

ELECTRICAL SUBMARKS	
E	EXIST. ELECTRICAL DEVICE
N	NEW ELECTRICAL DEVICE
ER	EXISTING ELECTRICAL TO BE REMOVED
R	RELOCATED EXISTING ELECTRICAL
WL	RATED FOR WET LOCATIONS
GFI	GROUND FAULT INTERRUPTER
WP	WEATHER PROOF

PROPOSED ELECTRICAL PLAN UPPER LEVEL

ELECTRICAL NOTES:

1. PROVIDE APPROVED FIRE STOPPING MATERIALS AT ALL PENETRATIONS THROUGH FIRE RATED WALLS TO PREVENT THE PASSAGE OF SMOKE, FIRE, TOXIC GAS OR WATER THROUGH THE PENETRATION EITHER BEFORE, DURING OR AFTER A FIRE.
2. ALL LIGHT FIXTURES WILL BE PROVIDED BY THE OWNER.
3. PROVIDED ARC-FAULT CIRCUIT INTERRUPTER TYPE BREAKER FOR ALL ADDED OUTLETS, AS PER NEC 2008 SECTION 210-12. ALL ADDED RECEPTACLES TO BE TAMPER RESISTANT AS PER NEC 2008 SECTION 406.11.
4. ALL SINGLE STATION SMOKE DETECTORS MUST BE INTERCONNECTED, 120 VOLTS WITH BATTERY BACKUP AND A MINIMUM OF 36 INCHES FROM THE AC SUPPLY.

PROJECT: ROSS BULLOCK UPSTAIRS REMODEL
40 WEST RIVO ALTO DR.
MIAMI BEACH, FL. 33139

BY: JF

REVISIONS:

SCALE: 1/4"
DATE: 02/03/11

SMAR Villar
02/03/11



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MIAMI BEACH, FL 33139
WWW.PERMITDOCTOR.COM

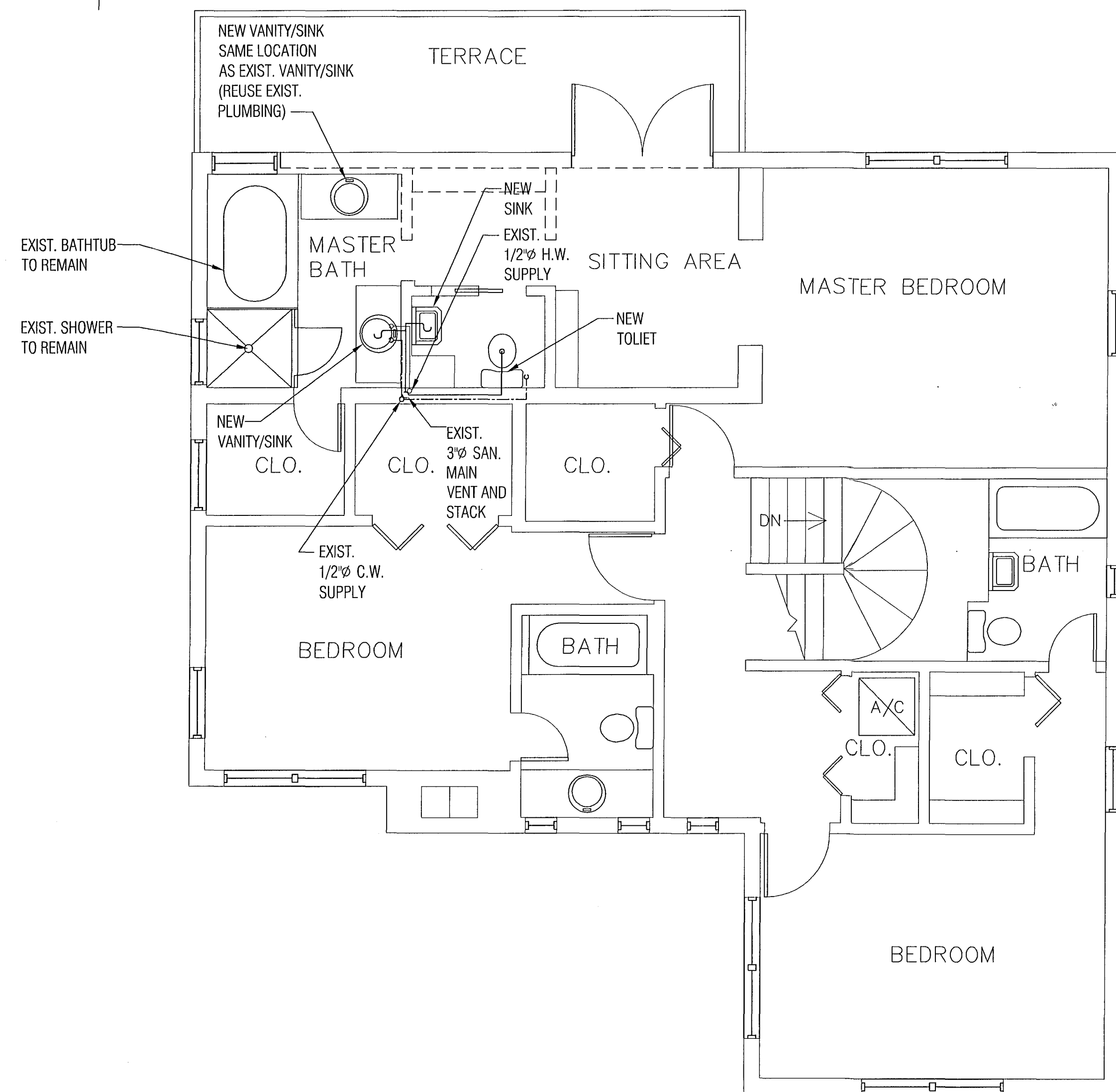
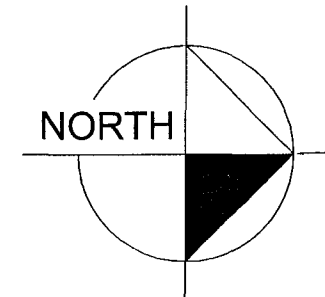
CONTAINS:

UPSTAIRS
PROPOSED
ELECTRICAL

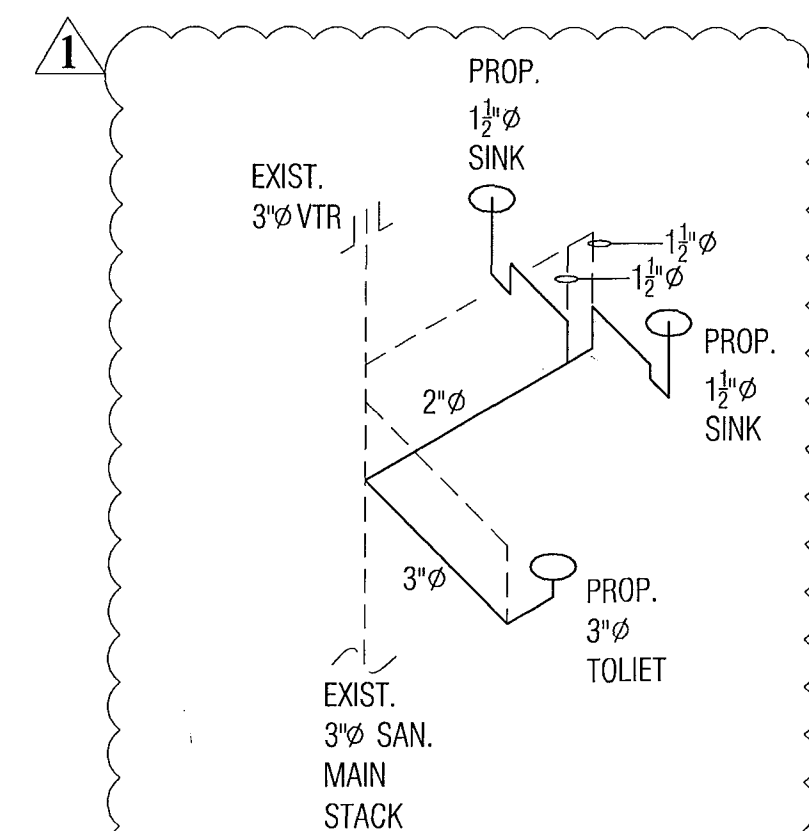
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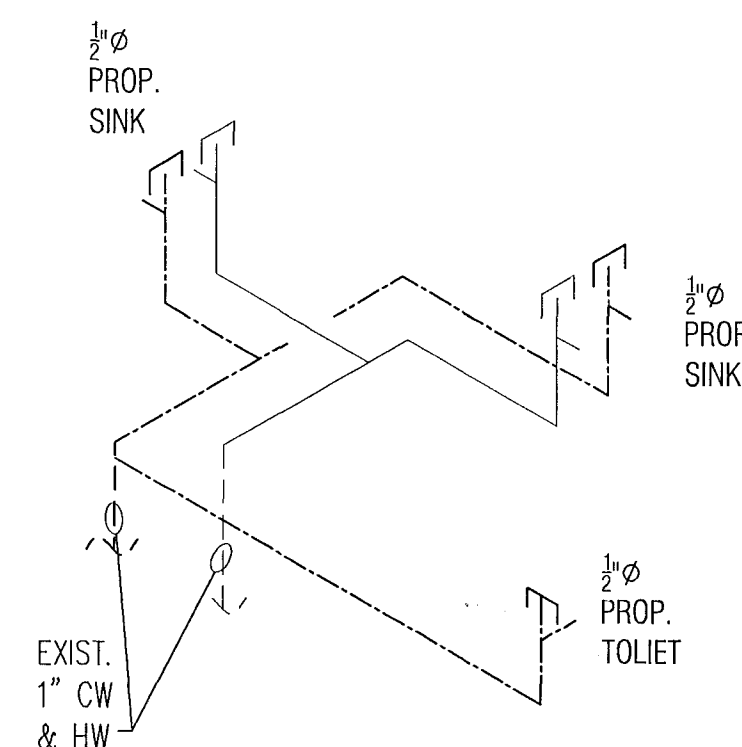
3/17/11



PROPOSED PLUMBING PLAN UPPER LEVEL



PLUMBING SANITARY RISER DIAGRAM



PLUMBING WATER RISER DIAGRAM

GENERAL PLUMBING NOTES

- 1 ALL WORK TO BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2007, ASME CODE AND AGA REQUIREMENTS AND ALL OTHER APPLICABLE CODES.
- 2 CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- 3 ALL MATERIALS SHALL BE NEW.
- 4 ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
- 5 ALL EXCAVATION AND BACKFILL AS REQUIRED FOR THIS PHASE OF CONSTRUCTION SHALL BE A PART OF THIS CONTRACT.
- 6 REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- 7 CONTRACTOR SHALL SECURE AND PAY ALL PERMITS, FEES, INSPECTION AND TEST.
- 8 DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
- 9 ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION, REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- 10 VERIFY LOCATION, SIZE, INVERTS AND ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ADVISE ENGINEER OF ANY DISCREPANCIES.
- 11 WATER PIPING SHALL BE TYPE "L" COPPER FOR 2" AND UNDER AND TYPE "K" COPPER FOR 2 1/2" AND ABOVE. ALL UNDERGROUND WATER PIPING SHALL BE TYPE "K" COPPER.
- 12 SOIL, WASTE, VENT AND RAIN WATER PIPING SHALL BE SCHEDULE 40 PVC PIPE AND BELOW GROUND SHALL BE OF THE HUB AND SPIGOT TYPE.
- 13 ALL FIXTURES MUST BE PROVIDED WITH READILY ACCESSIBLE STOPS AND MARKED ACCESS PANELS.
- 14 FURNISH AND INSTALL APPROVED AIR CHAMBERS AT EACH PLUMBING FIXTURE AND P.D.I. APPROVED SHOCK ARRESTORS ON MAIN LINES OR RISERS.
- 15 DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
- 16 ISOLATE COPPER PIPE FROM HANGER OR SUPPORT WITH ISOLATOR PAD (HAIR FELT LINING) SUPER STRUT MODEL C/15/16.
- 17 ALL RATED FLOOR AND WALL PENETRATIONS (NO PVC) SHALL HAVE FIRE, SMOKE AND WATER STOPS BY FILLING VOIDS BETWEEN PIPE AND WALL/FLOOR SLEEVES WITH FIRE RATED FOAM, CHASE TECHNOLOGY CORP. -CIC PR 855 OR 3M, GP-25 CAULKING OR 303 PUTTY, TO ACHIEVE SAME RATING AS WALLS OR FLOORS.
- 18 CONTRACTOR SHALL GARRANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN (1) YEAR FROM DATE FOR ACCEPTANCE. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
- 19 PROVIDE ACCESS PANELS FOR ALL CONCEALED VALVES AND ALL WATER HAMMER ARRESTORS. ACCESS PANELS IN RATED WALLS MUST MAINTAIN THE SAME RATING. ALL ACCESS PANELS MUST MATCH THE FINISH OF THE WALL IN WHICH IT IS INSTALLED.
- 20 CONTRACTOR SHALL PROVIDE COMBINATION COVER PLATE AND CLEANOUT PLUG FOR ALL WALL CLEANOUTS - JOSAM 58890 SERIES.
- 21 PLUMBING FIXTURES SHALL COMPLY WITH REFERENCED STANDARDS AS PER FBC PLBG 406 THROUGH 421.

PLUMBING FIXTURE SCHEDULE

DESCRIPTION	WASTE	CW	HW	FU
WATER CLOSET	3"	1/2"	●	4
TUBS	2"	1/2"	1/2"	2
LAVS	1-1/2"	1/2"	1/2"	1
KIT. SINK	1-1/2"	1/2"	1/2"	2
WASHING MACHINE	2"	1/2"	1/2"	4
DISHWASHER	1-1/2"	1/2"	1/2"	2

SLOPE OF HORIZ. DRAINAGE PIPE

SIZE (INCHES)	MINIMUM SLOPE (INCH PER FOOT)
2 1/2 OR LESS	1/4
3 TO 6	1/8
8 OR LARGER	1/16

TABLE 704.1 OF THE FLORIDA PLUMBING CODE 2007

TABLE 604.4
MAXIMUM FLOW RATES AND CONSUMPTION FOR
PLUMBING FIXTURES, FIXTURE FITTINGS AND APPLIANCES

PLUMBING FIXTURE OR FIXTURE FITTING	PLUMBING FIXTURE OR FIXTURE FITTING MAXIMUM FLOW RATE
LAVATORY FAUCET	1.0 GPM AT 60 PSI
SINK FAUCET	1.0 GPM AT 60 PSI
SHOWER HEAD	1.5 GPM AT 80 PSI
WATER CLOSET	1.28 GALLONS PER FLUSHING CYCLE

NOTE: THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES, FIXTURE, FITTINGS AND APPLIANCES SHALL BE IN ACCORDANCE WITH TABLE 604.4 EFFECTIVE JANUARY 1, 2009

PAGE: #

A-5

B1101844
Office Copy
40 W Riva Ave
Dr.

B HORR44

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING:	<u>m 3/17/11</u>
ZONING:	<u>M/PC 3/17/11</u>
ENV/REG:	_____
CONCURRENCE:	_____
PLUMBING:	<u>03/17/11</u>
ELECTRICAL:	<u>03/17/11</u>
MECHANICAL:	_____
FIRE PREVENTION:	_____
ENGINEERING:	<u>03/17/11</u>
PUBLIC WORKS:	_____
STRUCTURAL:	_____
ELEVATOR:	_____

PERMIT #

B4000327

ADDRESS:

2-30 10-2-68



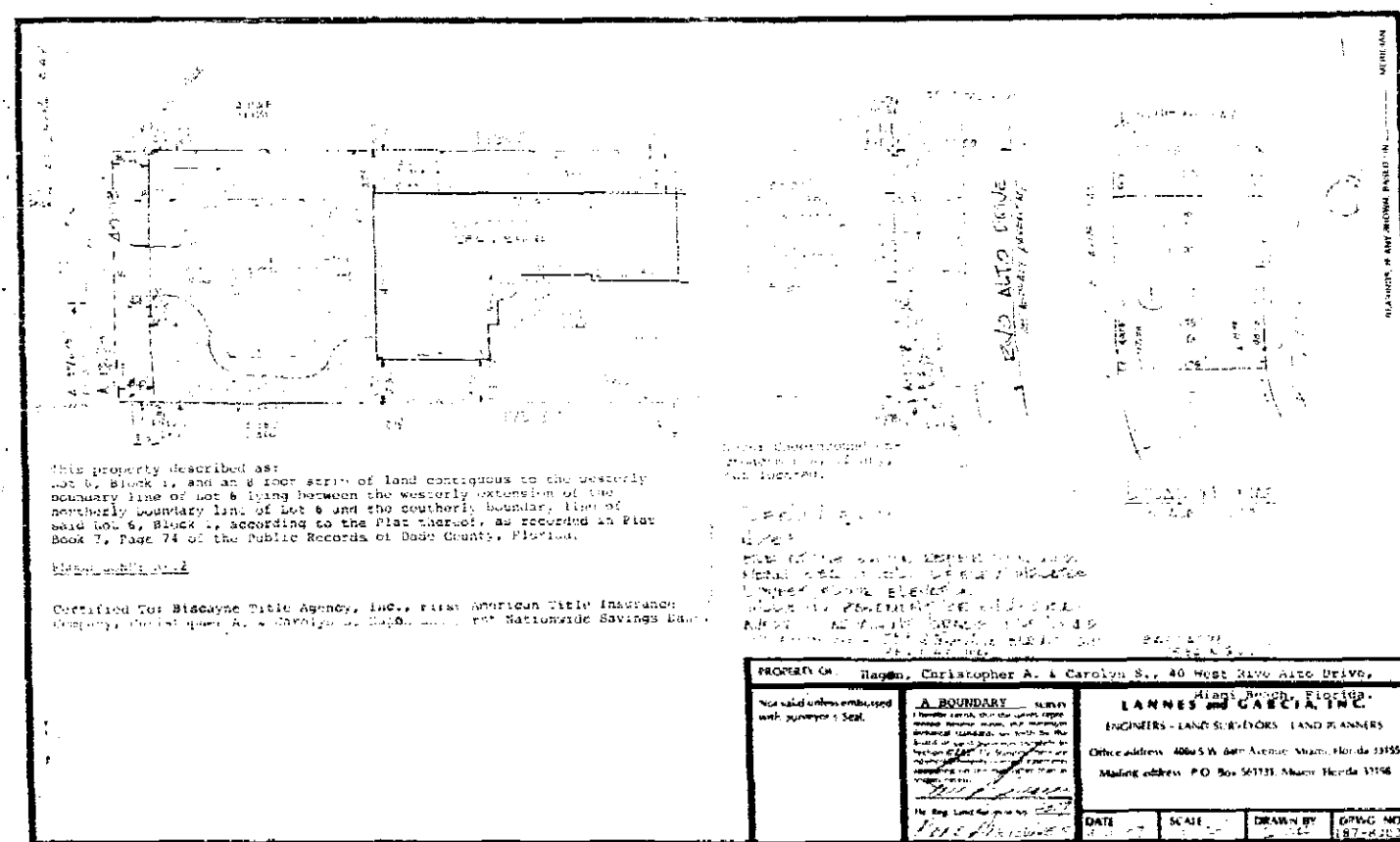
THIS DESIGN IS FOR TYPED FACILITIES ONLY, FOR PERMANENT AND TEMPORARY FACILITIES. IT IS ALWAYS RECOMMENDED THAT ARCHITECTS BE CONSULTED.

100

11

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Gene



This property described and shown on Block 1, and as a part of land contiguous to the westerly boundary line of lot 6 lying between the westerly boundary line of the westerly boundary line of lot 6 and the westerly boundary line of the westerly boundary line of lot 6, Block 1, according to the first subdivision, as recorded in Plat Book 1, Page 71 of the Public Records of this County, Florida.

Witness my hand and the seal of the office of the County Clerk of this County, Florida, this 1st day of January, 1916.

County Clerk of this County, Florida.

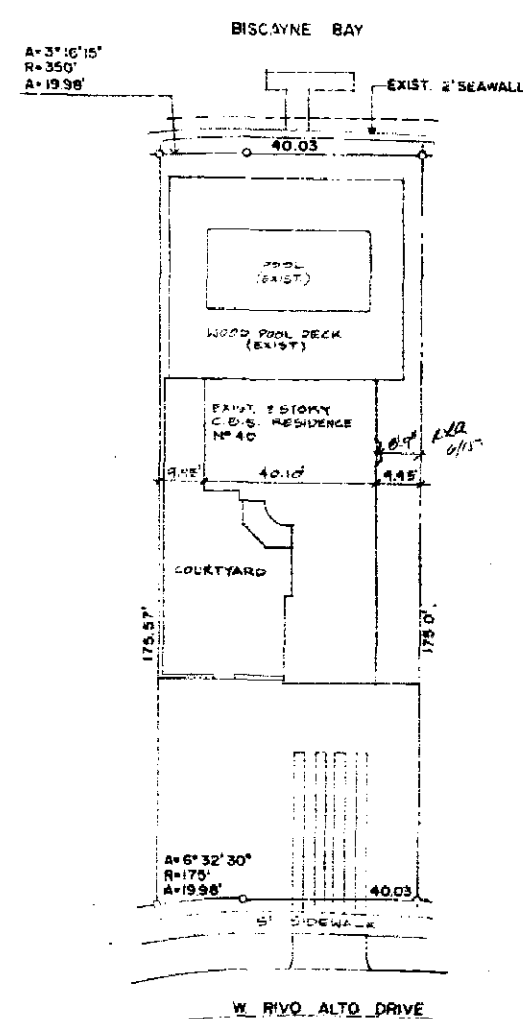
PROPERTY OF: **James Christopher A. & Carolyn G., 40 West Saw also Drive,**

ANNEX AND GARAGE

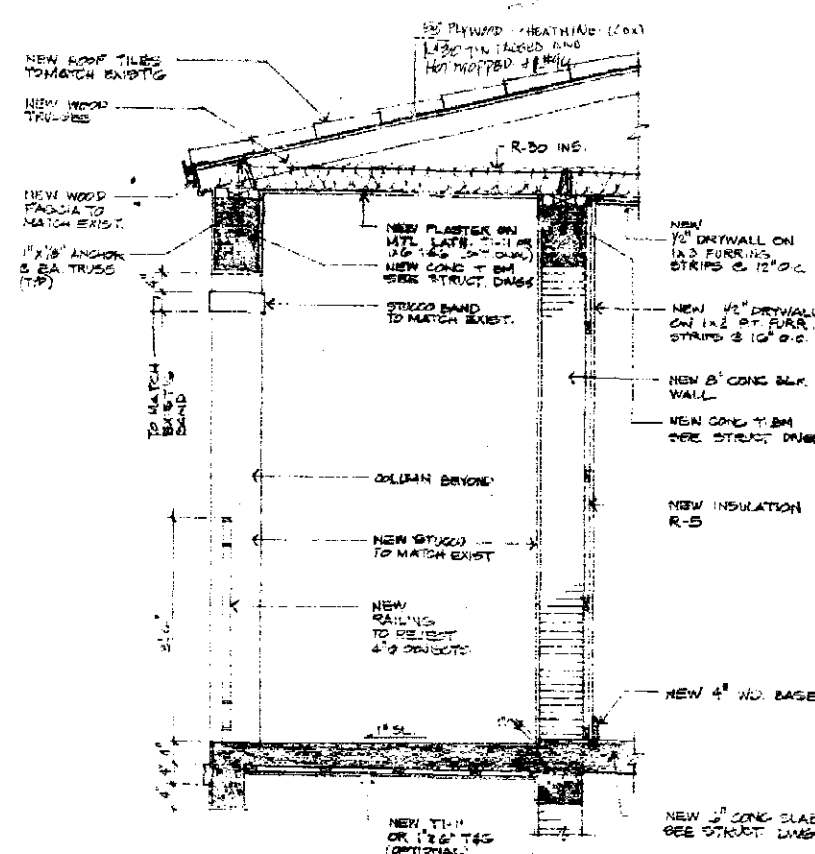
INDUSTRIAL AND RESIDENTIAL LANDS
Office address: 1000 N. W. 1st St., Miami, Fla. 33135
Mailing address: P.O. Box 55731, Miami, Florida 33156

DATE: 1/1/16 SCALE: 1" = 100' DRAWN BY: J. C. G. CHECKED BY: J. C. G.

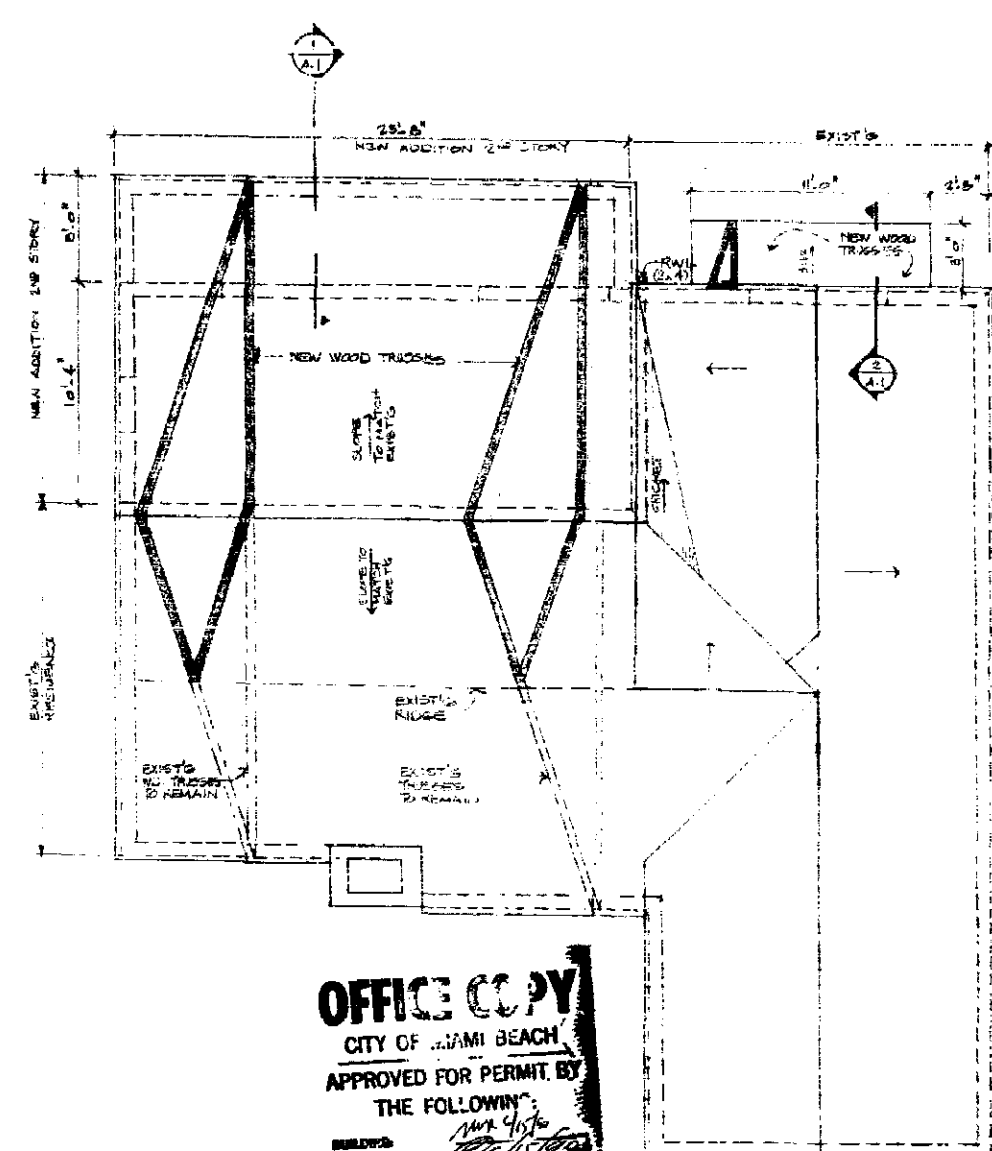
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TRUSSES ONLY



SITE PLAN 1/8"=1'-0"



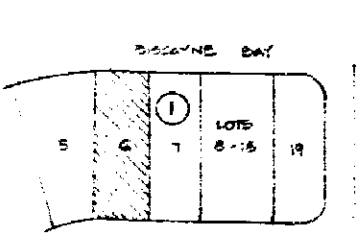
SECTION A-A 3/4"=1'-0"



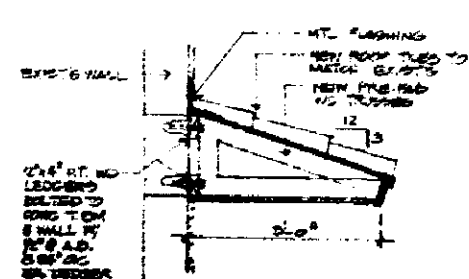
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

- GENERAL NOTES:
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. IF ANY DISCREPANCIES ARE FOUND STOP WORK IMMEDIATELY & NOTIFY ARCHITECT.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, FLA. DEPARTMENT OF PUBLIC WORKS.
 - ALL WORK IN CONFLICT WITH EXISTING UTILITIES TO BE PROTECTED OR RELOCATED AT CONTRACTOR'S RISK.
 - WHEN IN DOUBT, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORIC FEATURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL RESOURCES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING NATURAL RESOURCES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARCHITECTURAL FEATURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ARTISTIC FEATURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SCULPTURAL FEATURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FEATURES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANT MATERIAL.
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 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HUMANS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL HERITAGE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING HISTORIC LANDMARKS.
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 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PORIPHYTES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS.

INDEX OF DRAWINGS	
SHT. NO.	DESCRIPTION
A-1	SITE PLAN, LEGAL DESCRIPTION, ROOF PLAN, SECTION
A-2	FLOOR PLANS, FIN. SCHEDULE, DOOR SCHEDULE
A-3	ELEVATIONS, CROSS SECTION, WINDOW DETAILS
A-4	KITCHEN & BATHROOM ELEVATIONS & DETAILS
B-1	STRUCTURAL DWGS.
E-1	ELECTRICAL PLAN



LOCATION MAP 1/8"=1'-0"



SECTION B-B 3/4"=1'-0"

REVISIONS BY

NO.	DATE	DESCRIPTION
1	10/1/00	ISSUED FOR PERMIT

APPROVED FOR PERMIT BY

THE HAGON RESIDENCE

40 WEST RIVO ALTO DR., MIAMI BEACH, FLA.

DATE: 10/1/00

BY: [Signature]

SCALE: 1/8"=1'-0"

PROJECT NO.: 10000

CLIENT: [Name]

ARCHITECT: [Name]

ENGINEER: [Name]

DATE: 10/1/00

BY: [Signature]

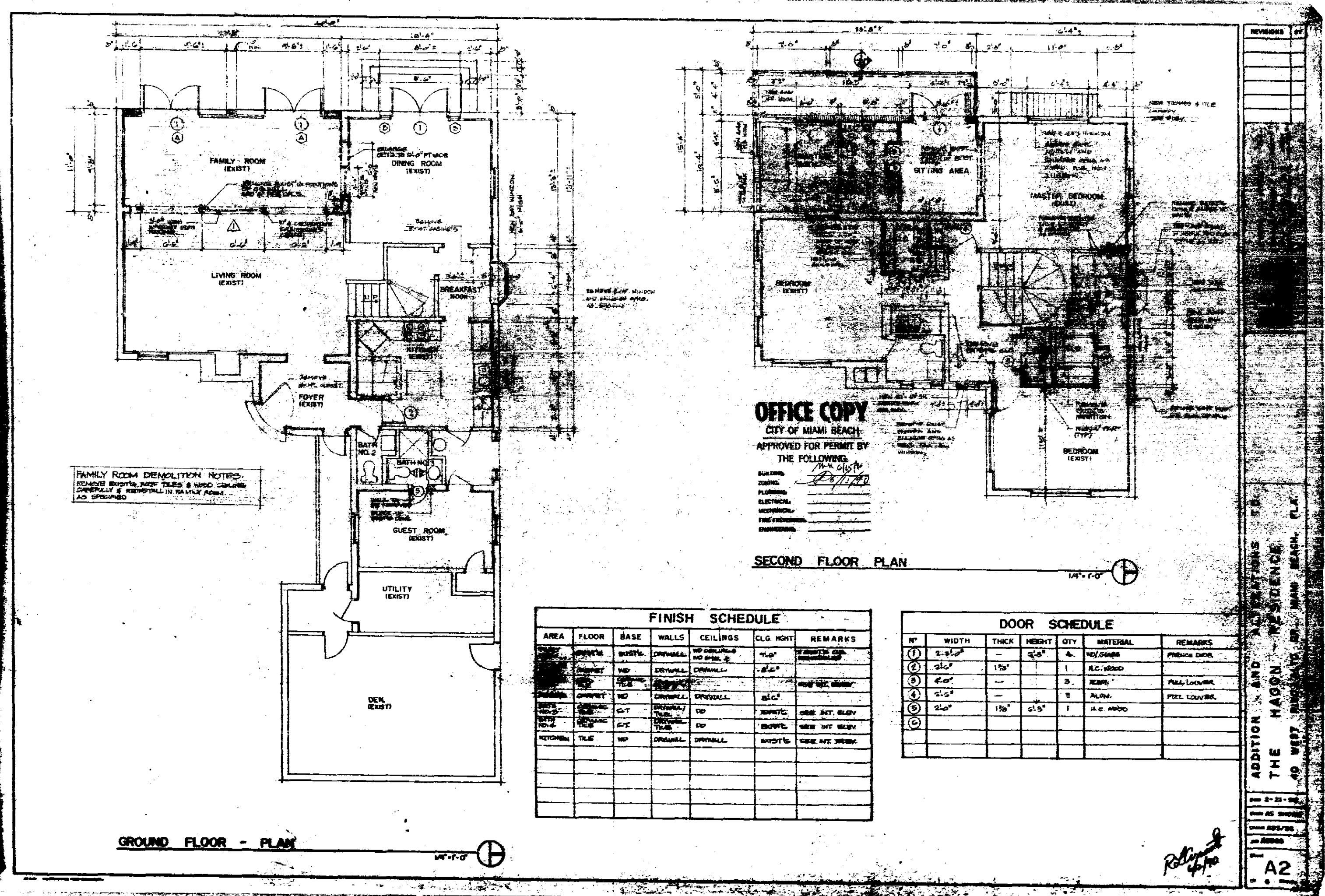
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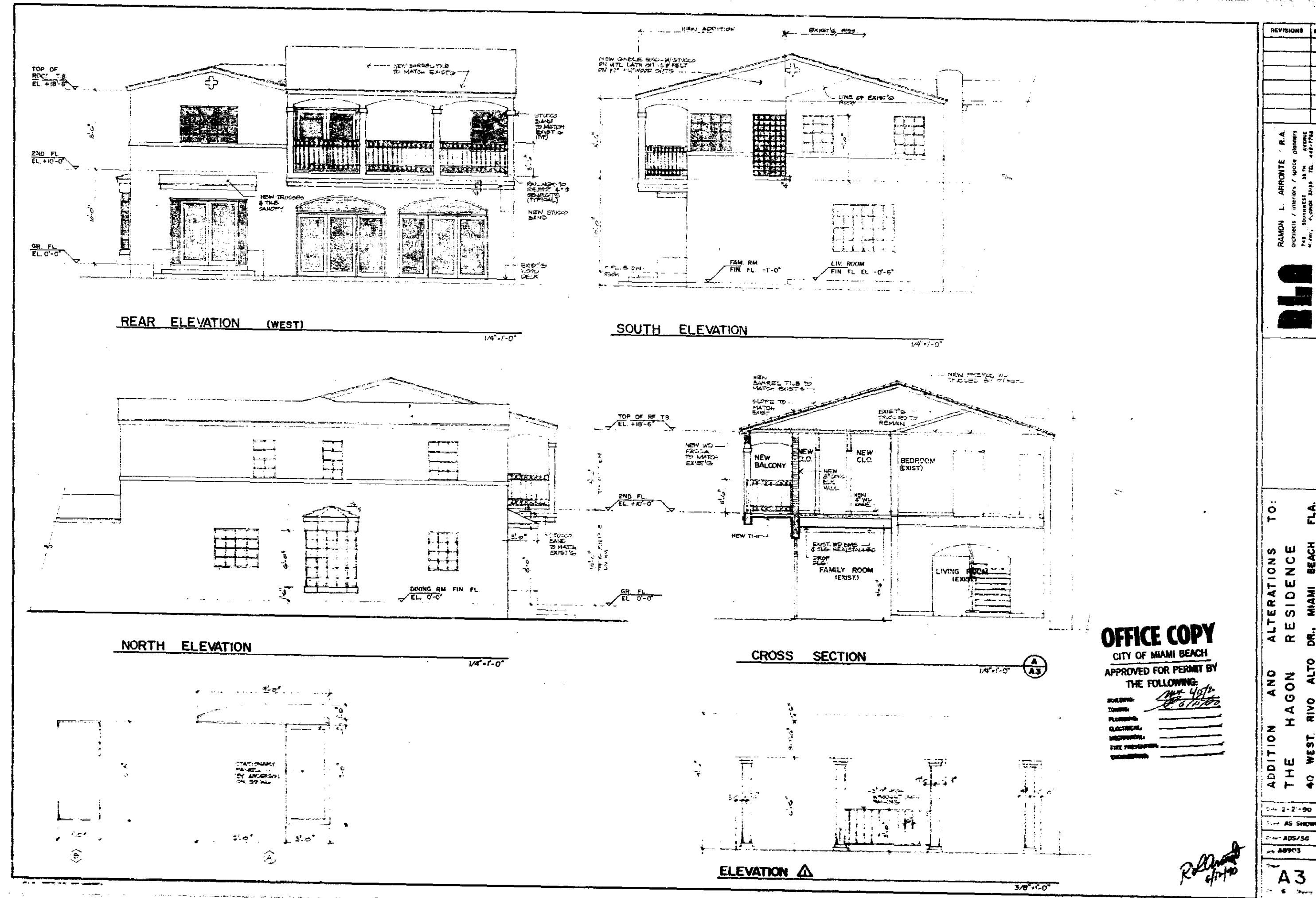
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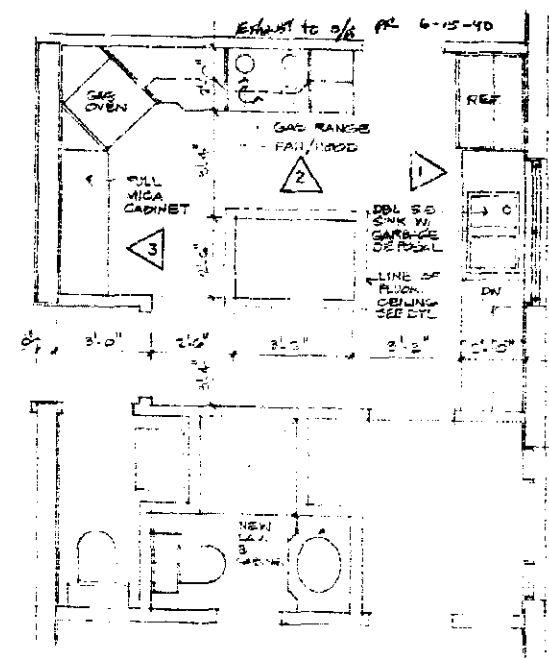
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ARCHITECT: [Name]

ENGINEER: [Name]

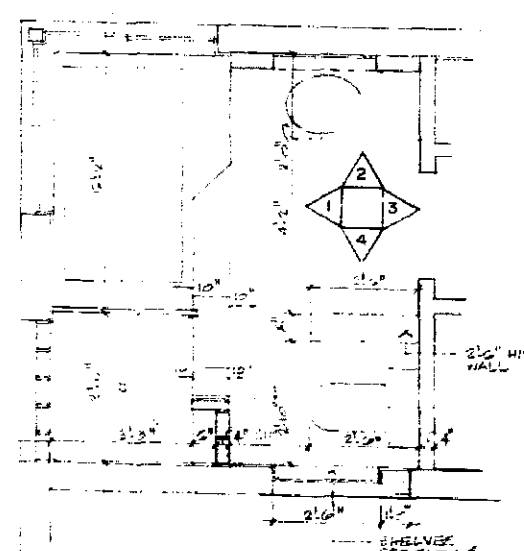




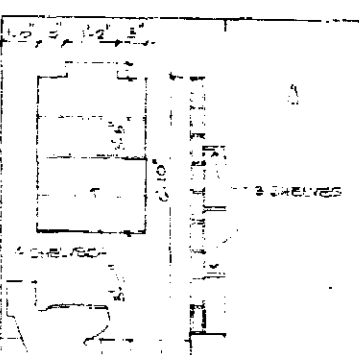
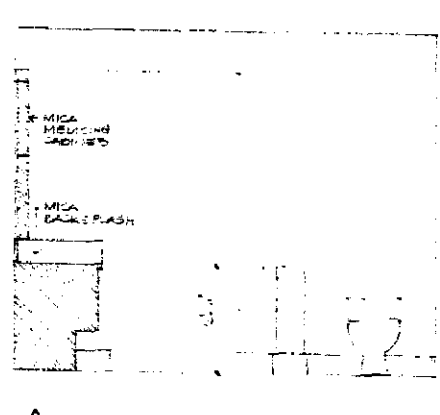
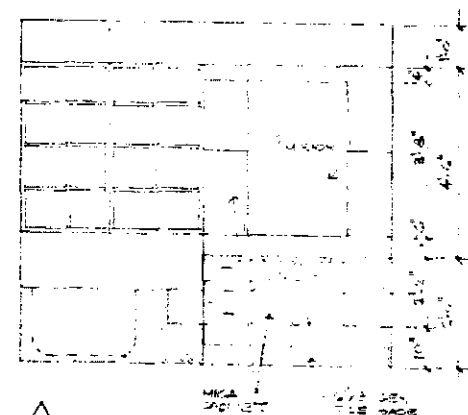
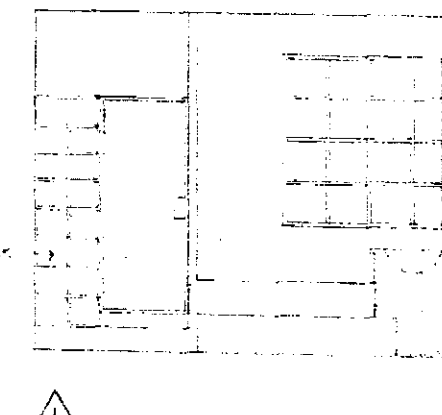


KITCHEN ELEVATIONS

KITCHEN FLOOR PLAN



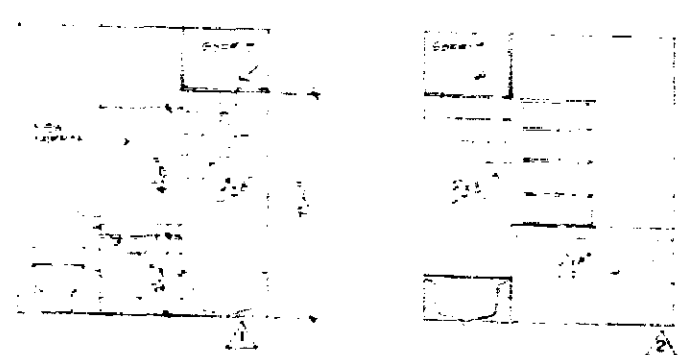
FLOOR PLAN ELEVATIONS
MASTER BATHROOM DETAIL



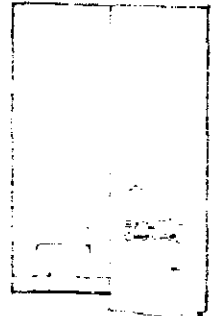
OFFICE COPY
CITY OF MIAMI BEACH

CITY OF MIAMI DEPT. OF
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: mm 4/5/80
ZONING: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____

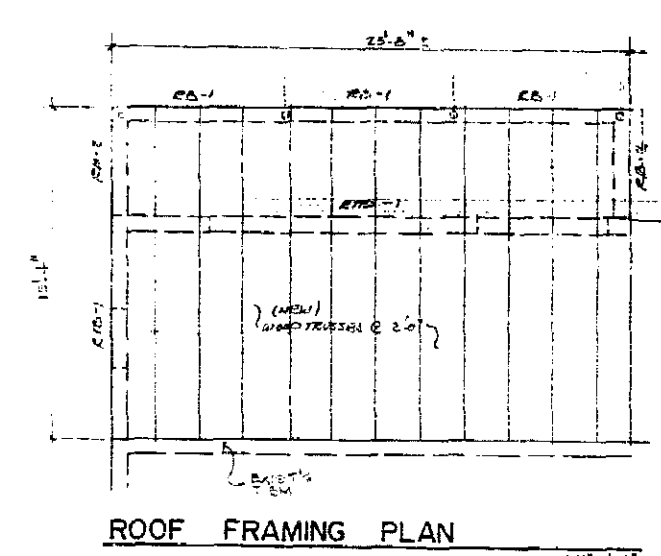
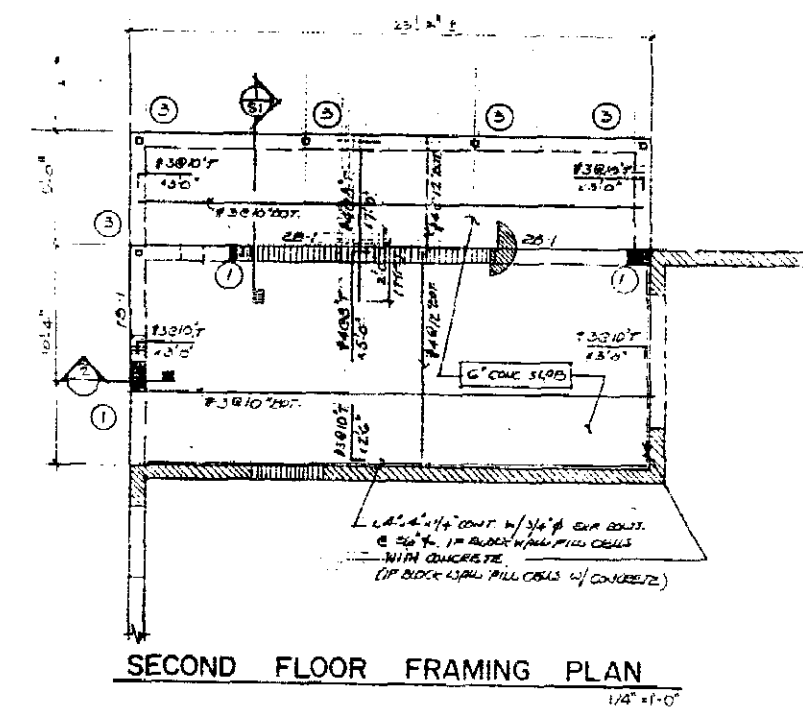
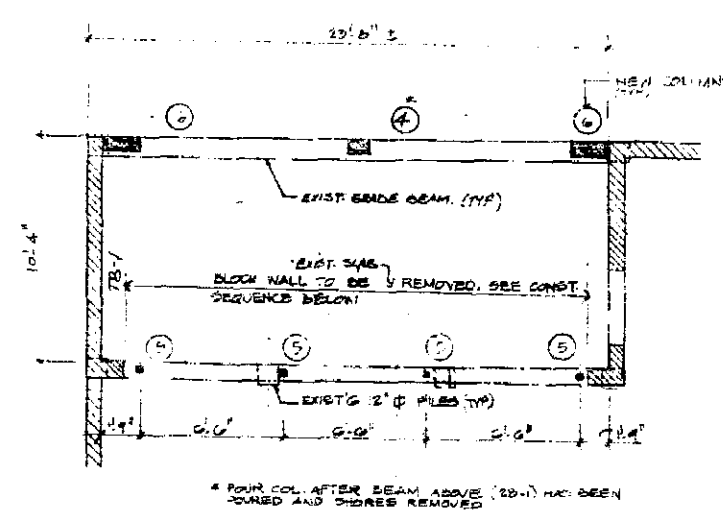


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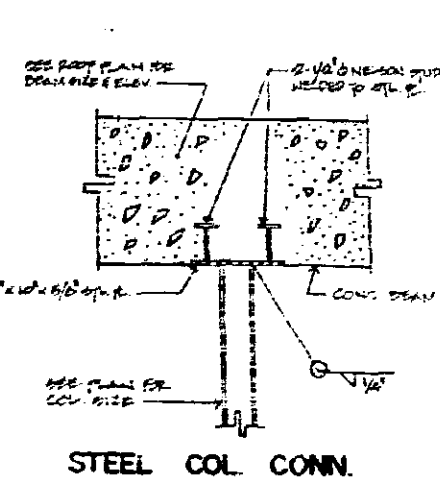
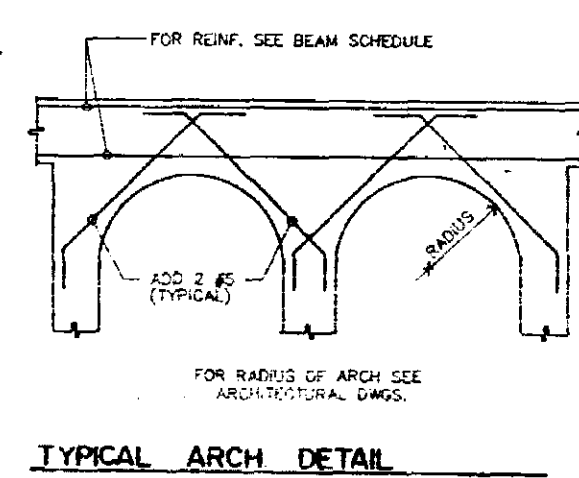
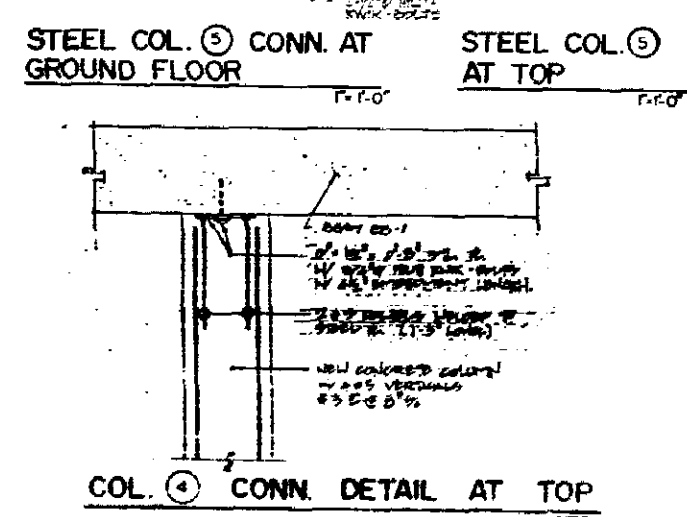
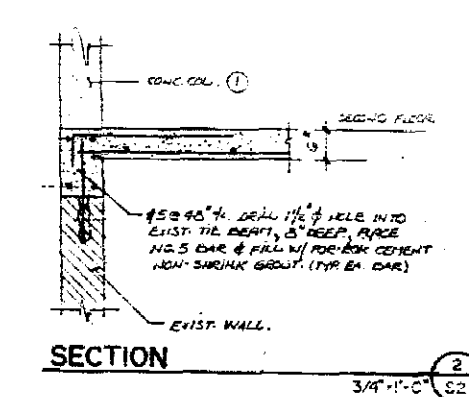
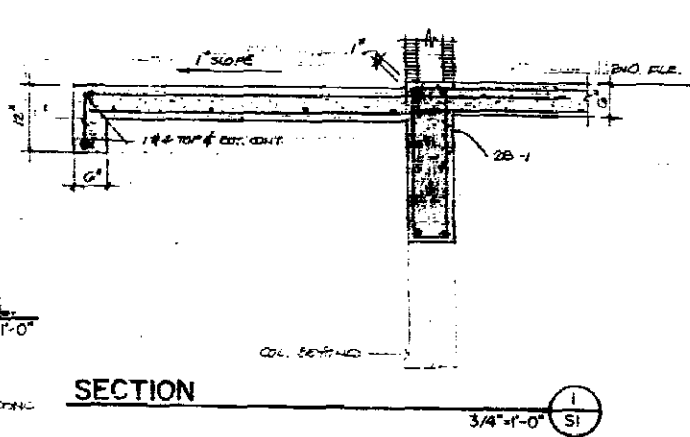
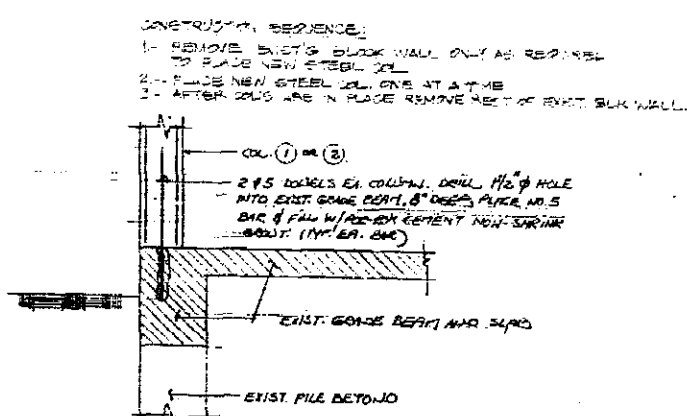


BATH NO. 3

REV	2	21-21-90	ADDITION AND ALTERATIONS TO: THE HAGON RESIDENCE 40 WEST RIVO ALTO DR., MIAMI BEACH FLA.	BLA	RAMON L. ARONTE P.A. ARCHITECTS & ENGINEERS / 3000E SW 10TH AVE. MIAMI, FL 33135 TEL. 443-7788	BY	
REV	1	01-25-90					
REV	0	02-05-90					
REV	0	02-05-90					



Column	Schedule
①	11:15 AM CONG. CO. #1435 VENT # P. 2. 3. 5. 7. 8. 9.
②	11:15 AM CONG. CO. #1435 VENT # P. 2. 3. 5. 7. 8. 9.
③	11:15 AM CONG. CO. #1435 VENT # P. 2. 3. 5. 7. 8. 9.
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⑤	11:15 AM CONG. CO. #1435 VENT # P. 2. 3. 5. 7. 8. 9.
⑥	11:15 AM CONG. CO. #1435 VENT # P. 2. 3. 5. 7. 8. 9.
⑦	11:15 AM CONG. CO. #1435 VENT # P. 2. 3. 5. 7. 8. 9.
⑧	11:15 AM CONG. CO. #1435 VENT # P. 2. 3. 5. 7. 8. 9.



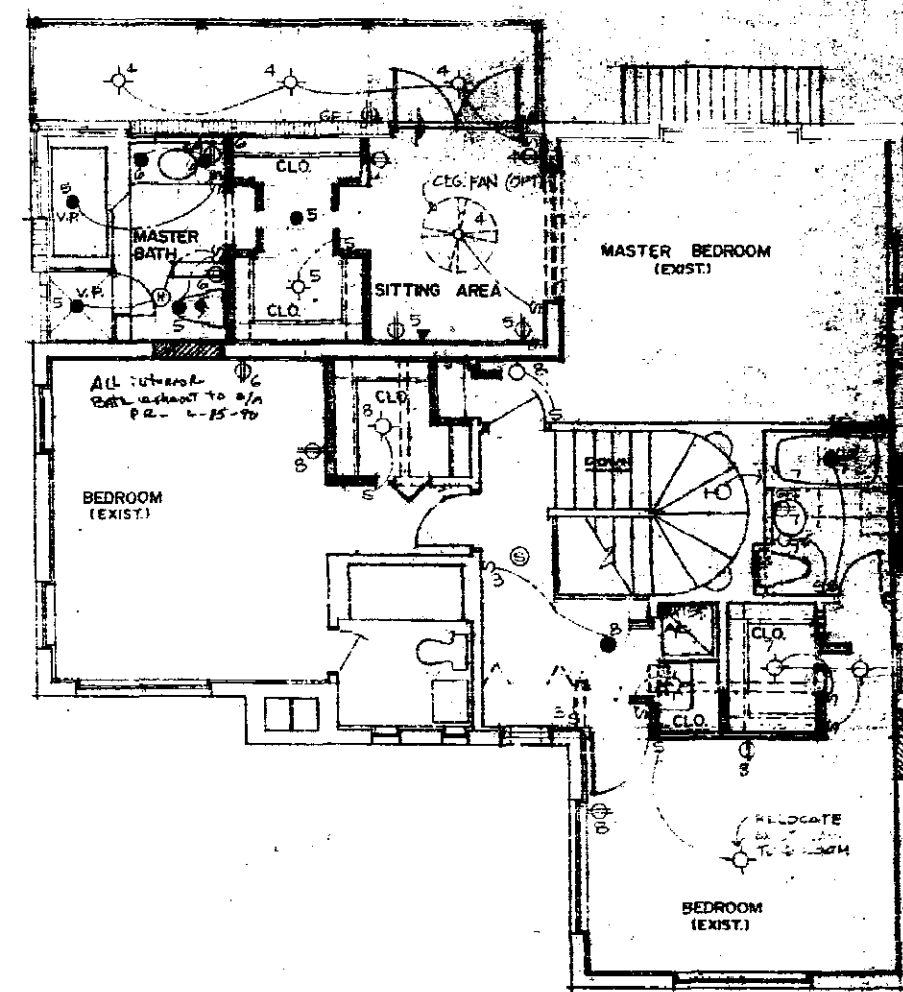
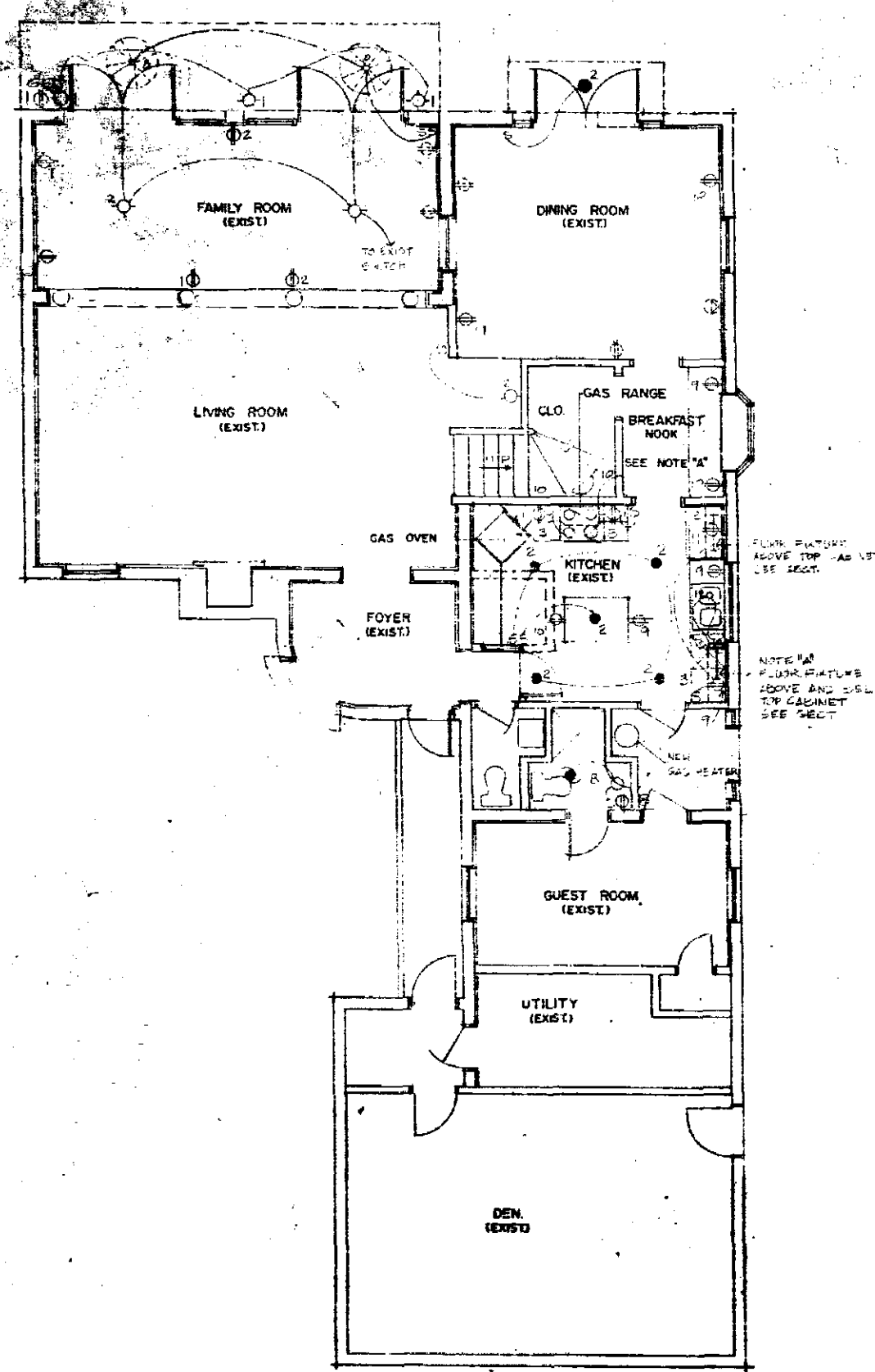
OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

Page 1 of 1
 Date: 11/11/2011
 User: [redacted]

BEAM SCHEDULE

NO.	TOP OF BASE AT ELEV.	SIZE IN INCH	REINFORCING							STATUS BRACING		REMARKS
			B	T	C	E	F	NO.				
68-1	113.0	21X2	275	275				38	0.18%			1. minor repair, and repair 2. minor repair, and repair 3. minor repair, and repair 4. minor repair, and repair
68-2	140.0	21X15	275	275				38	0.18%			1. minor repair, and repair 2. minor repair, and repair 3. minor repair, and repair 4. minor repair, and repair
68-3	115.0	21X2	275	275				38	0.18%			
68-4	110.0	21X15	275	275				38	0.18%			1. minor repair, and repair 2. minor repair, and repair 3. minor repair, and repair 4. minor repair, and repair
68-5	140.0	21X15	275	275				38	0.18%			1. minor repair, and repair 2. minor repair, and repair 3. minor repair, and repair 4. minor repair, and repair

ADDITION AND ALTERATIONS TO: THE HAGON RESIDENCE. 40 WEST RIVO ALTO DR., MIAMI BEACH, FLA.	<i>Blanco</i> 9/1/74	RAOON L. ARREUTE RA architect / interior / wood products 10700 BAYVIEW BLVD. MIAMI, FLORIDA 33157 TEL. 344-7744	REVISIONS BY
--	---	--	--------------------------------------



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

DATE: 1/11/14
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
PLUMBING: [Signature]
FIRE PROTECTION: [Signature]

ELECTRICAL SCHEDULE						
QTY	DESCRIPTION	AMPS	POLES	VOLTS	WIRE	COMMENTS
10	GRAL. LITES 60W	75	1	120	20' 10"	
10	SMALL APPLIANCES	15	1	120	20' 10"	
1	REFRIGERATOR	20	1	120	20' 10"	
1	CARDIAC DEFIBRILLATOR	20	1	120	20' 10"	
1	WATER HEATER	20	1	120	20' 10"	
TOTAL					7.00	

NOTES:
ALL WIRING TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE CITY OF MIAMI BEACH ELECTRICAL CODE.
CONNECT NEW CIRCUITS AND RECEPTACLES TO EXISTING SERVICE PANEL.
IF ADD. LOAD IS TOO MUCH FOR EXIST. PANEL, SUPPLY ELECTRICAL CONTRACT IMMEDIATELY TO HAVE THE NECESSARY EQUIPMENT.

ADDITIONAL AND ALTERNATIVE WORK
THESE WORKS ARE NOT TO BE DONE

B9000327

B9000327

PERMIT #

B 9900456
BMS 0100307

ADDRESS

40 W Rino Alto Rd

87904656

COMPUTATIONS

EXTENSION OF BALCONY

Project: SEAH1 RESIDENCE
40 WEST BMD ALTO RD.
MIAMI BEACH, FL

Computations by: Arbab Engineering, Inc.
Date: 10-5-2000

ARBAB ENGINEERING, INC.
CONSULTING ENGINEERS
1100 BUCARNE BLVD. SUITE 200
MIAMI BEACH, FL 33139
TEL: 305-673-1100 FAX: 305-673-1101

10/5/00

SEAH1 RESIDENCE

ARBAB ENGINEERING, INC.
CONSULTING ENGINEERS
1100 BUCARNE BLVD. SUITE 200
MIAMI BEACH, FL 33139
TEL: 305-673-1100 FAX: 305-673-1101

DATE: 10-5-2000

CANTILEVER SLAB (BALCONY)

LOADS

DL = 60 (5" slab)
15 SUPERIMPOSED
LL = 60 PSF
135 PSF

5'-0"
 DZILL & EPOXY
 (8" MIN. SMC.)
 TO EXISTING SLAB

$V_u = wL = 135 \times 5 = 675 \text{ LB}$

$V_u = \frac{wL}{2} = \frac{675}{2} = 337.5 \text{ PSI}$

$M_u = \frac{wL^2}{2} = \frac{135 \times 5^2}{2} = 1687.5 \text{ FT-LB}$

$A_s = \frac{M_u}{\phi \times 1.68} = 0.38 \text{ in}^2$

$\#5 @ 8" o.c. \quad A_s = 0.46 \text{ in}^2$

5'-0"
 675
 337.5
 1.68
 0.38

EXISTING 8" SLAB

NEW ADDITION

3" CONC. SLAB

3/4" DIA. (TOP)

10" x 8" CC

10" x 8" CC

STEEL PLATE 1/2" x 12" x 12"

1/4" DIA. EXP. BOLTS

W/ 1/4" DIA. OR F.L.D.

W/ 1/4" DIA. OR F.L.D.

STEEL BRACE

STEEL BRACE CONNECTION DETAIL

Scale 3/4" = 1"

SEAH1 RESIDENCE

ARBAB ENGINEERING, INC.
CONSULTING ENGINEERS
1100 BUCARNE BLVD. SUITE 200
MIAMI BEACH, FL 33139
TEL: 305-673-1100 FAX: 305-673-1101

DATE: 10-5-2000

DIAGONAL STEEL BRACE

$R = 3' \times 4' \times 135 \text{ PSF} = 162 \text{ K}$

USE $W4 \times 13$

CAPACITY = 67 KIPS

5" CONC. SLAB

1/4" DIA. EXP. BOLTS

3'-0"
 3'-0"
 2290 LB

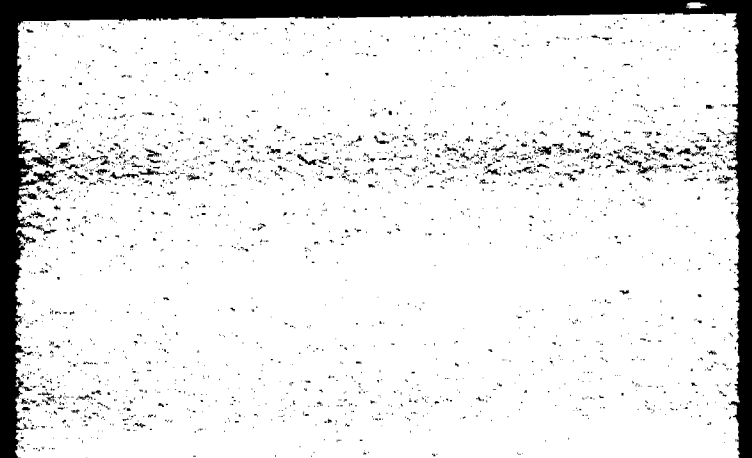
1.62 K

W4x13 (4 BRACES)

STEEL PLATE 1/2" x 12" x 12"

1/4" DIA. EXP. BOLTS

W/ 1/4" DIA. OR F.L.D.

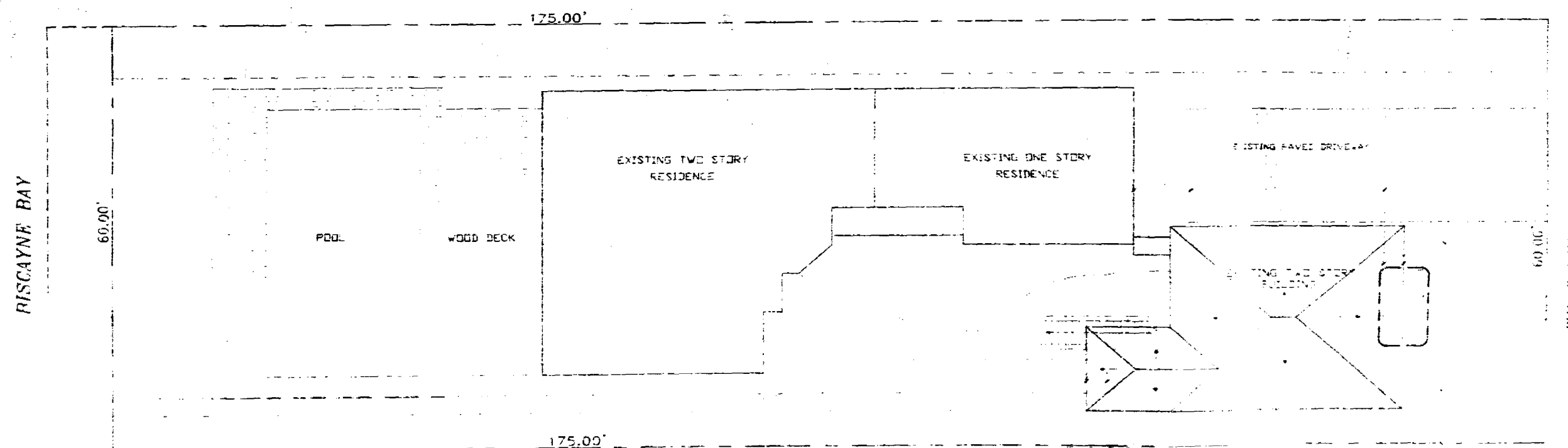


B990456
BMS0100307

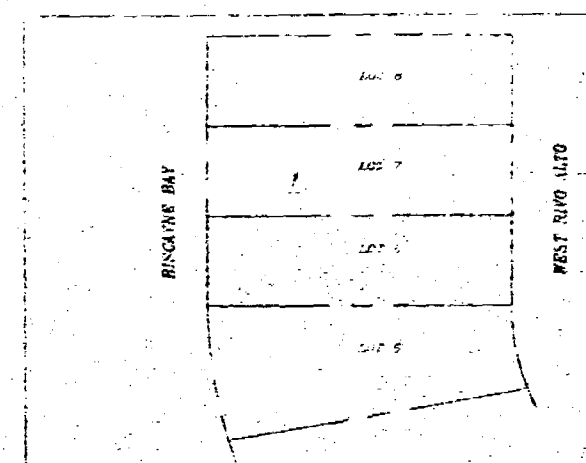
Box 1

40 West Livo A/to R-D

1990-03-08

[illegible][illegible][illegible]

3000



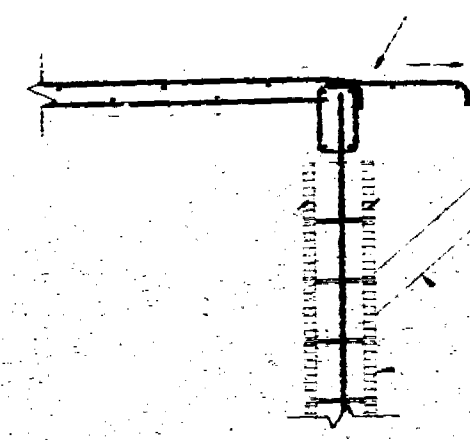
SCALE 1000

LOT 6 BLOCK 1 OF "PLAT TWO AUTOM. AND 8 FT. STRIP OF LAND CONTIGUOUS TO THE WESTERLY BOUNDARY LINE OF LOT 5, BLOCK 1 LYING BETWEEN THE WESTERLY EXTENSION OF THE NORTHERLY BOUNDARY OF THE SAID LOT 5 AND THE SOUTHERLY BOUNDARY LINE OF THE SAID LOT 6, BLOCK 1.

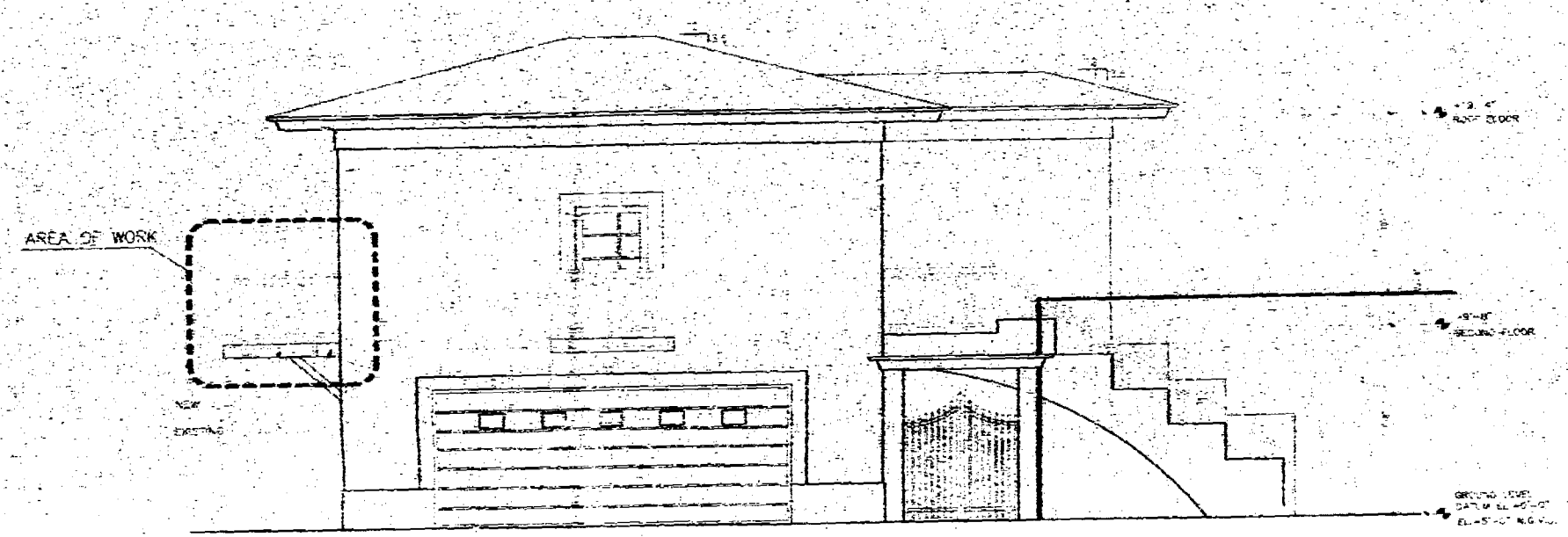
RS ZONING DISTRICT
SETBACK REQUIREMENTS:
SIDE : 7.5' FEET
FRONT : 20.0' FEET - PROJECTION INTO THE SETBACK 37.0' 140-1152(C)
25% OF REQUIRED "ASD" UP TO 8' FEET.

EXTENDING THE BALCONY FROM 1'-0" TO 5'-0" TO AN EXISTING STRUCTURE

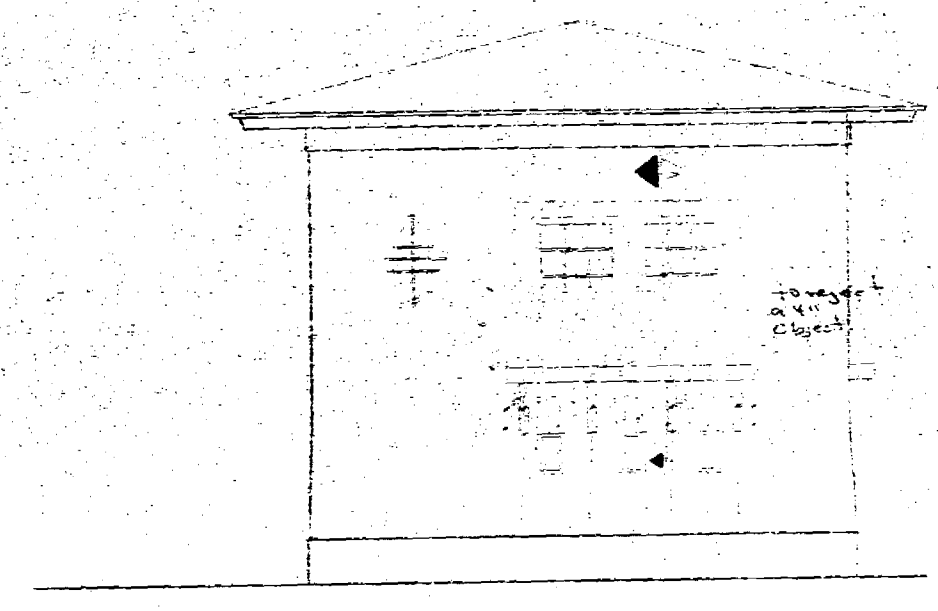
DATE: 10/1/78
 BY: [Signature]
 CHECKED: [Signature]
 APPROVED: [Signature]



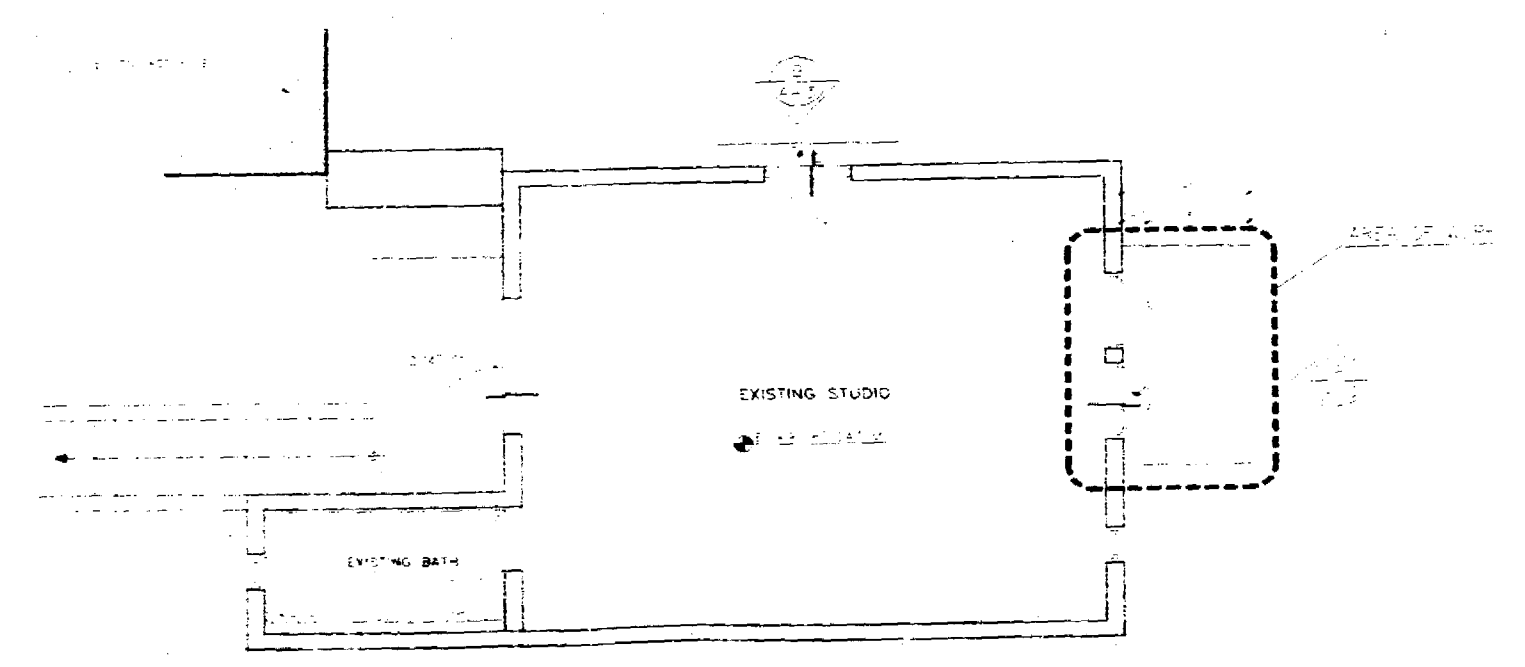
SECTION 1



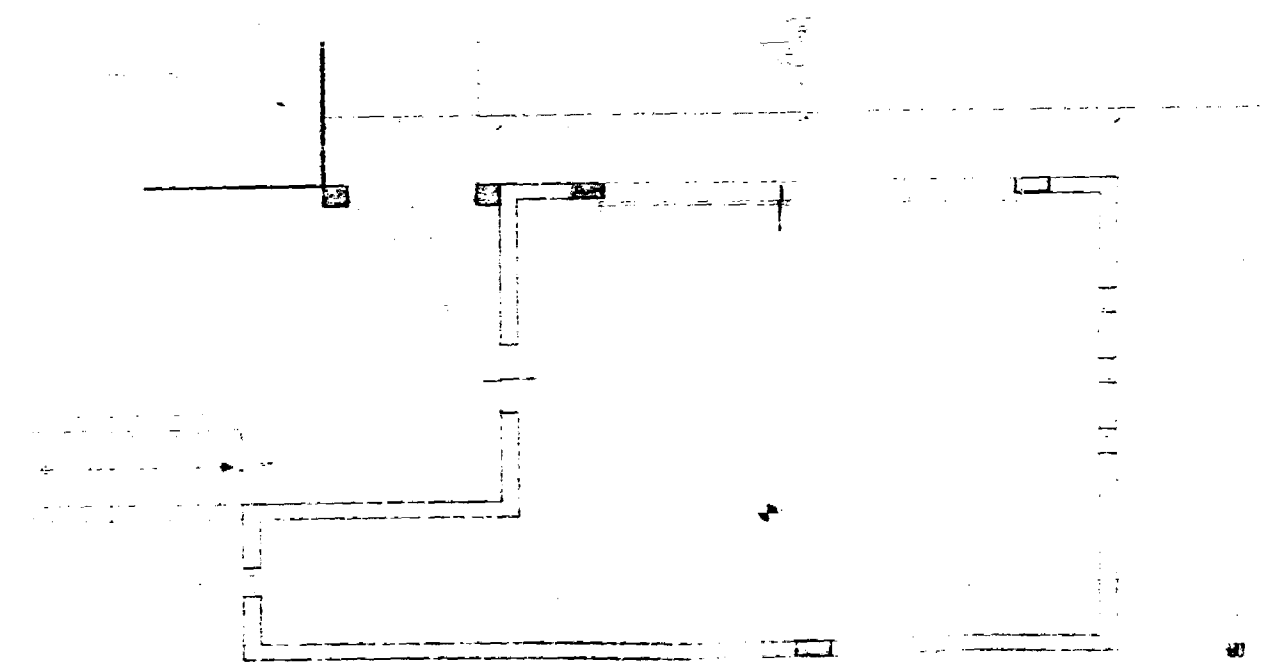
ELEVATION "B"



ELEVATION "A"



SECOND LEVEL



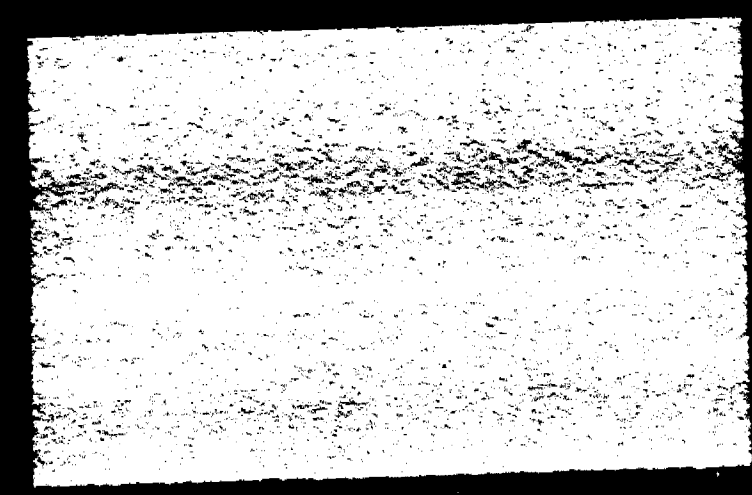
GROUND LEVEL

NOT FOR CONSTRUCTION

EXTENSION OF BALCONY
 MR. & MRS. SEGHI

DESIGNED BY: [Signature] ARCHITECT
 1000 BROADWAY, NEW YORK, N.Y. 10018
 DRAWN BY: [Signature] ARCHITECT

A-2



40 West Rivo Alto Droive
Building Dept. review reply

Date: June 9, 2011
Jurisdiction: City of Miami Beach
Address: 40 West Rivo Alto Drive
Permit No.: BREV110804
Reviewer: AV, dated 6/2/2011

Please see below the comments, and our response to them.

Comment:

Previous comments on B1103334 remain: 1. Show existing floor and roof framing plan (at master bedroom)

REPLY: Please see sheet S1.0, existing plans for the house show that the west wall over the new opening is not load bearing. We could not locate the framing for the floor of the bedroom, but it does not effect any new elements.

Comment:

2. Provide structural calculations for the new beam over the 10 feet wide door.

REPLY: Please see pages 2-4 of the attached calculations.

Comment:

3. Drawings to be signed and sealed by a P.E. or Architect

REPLY: Now they are.

Comment:

4. Coordinate detail A/A-1 with elevation. Note that elevation shows the closing of two arched door transoms.

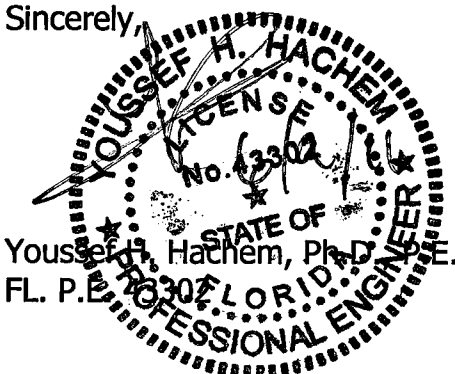
REPLY: Please see attached sheet S-2, detail 1/S-2.

Comment:

5. Provide detail and calculations for jamb remaining between existing and new openings at master bath.

REPLY: It's an existing column (as we determined from the existing plans to the house), reinforced with 4#5 verticals and #3 ties at 8" o/c.

Sincerely,



[Home](#)

[Back](#)

Permit Manager

Welcome to Miami Beach, Florida



City of Miami Beach Building Department

[Close](#)

70: Structural for BREV110804

Task

Assign Date

Due Date

Status Date

Status Time

Status

Record By

Assign To

Comment

Historical

6/2/2011

6/2/2011

6/2/2011

12:00:00AM

DN: DN=Denied

BUILVICA

AV

Previous comments on B1103334 remain:

1. Show existing floor and roof framing plan (at master bedroom) 2. Provide structural calculations for the new beam over the 10 feet wide door 3. Drawings to be signed and sealed by a P.E. or Architect 4. Coordinate detail A/A-1 with elevation. Note that elevation shows the closing of two arched door transoms. 5. Provide detail and calculations for jamb remaining between existing and new openings at master bath.

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YHCE, Inc.
Youssef Hachem Consulting Engineering
12151 SW 128th Court, Suite 104
Miami, FL 33186
(305) 969-YHCE / www.yhengineering.com

JOB _____
SHEET NO. _____ OF _____
CALCULATED BY _____ DATE _____
CHECKED BY _____ DATE _____
SCALE _____

EXISTING CONC. BEAM
OVER WINDOW

SPAN = 10'

DIM: 8" WIDE X 13" DEEP

Reinf. 2#5 T&B.

WALL NON-LOAD BEARING FROM ROOF.

WALL LOAD ON BM (3 COURSES) = $3 \times 60 = 0.18 \text{ KLF}$

ROOF LOAD = 30 PLF LL (TRUSS SPACING 24" o.c.)
25 PLF DL

$$\Rightarrow \begin{aligned} DL &= 0.18 + 0.03 = 0.21 \text{ KLF} \\ LL &= 0.03 \text{ KLF} \end{aligned}$$

$\Rightarrow$ BEAM OK, SEE NEXT PAGE

Title :
Dsgnr:
Description :

Job #
Date: 6:42PM, 7 JUN 11

Scope :

Rev: 580008
User: KW-0606355, Ver 5.8.0, 1-Dec-2003
(c)1983-2003 ENERCALC Engineering Software

Concrete Rectangular & Tee Beam Design

Page 1
h110690.ecw:Calculations

Description

General Information

Code Ref: ACI 318-02, 1997 UBC, 2003 IBC, 2003 NFPA 5000

Span	10.00 ft	fc	3,000 psi
Depth	13.000 in	Fy	60,000 psi
Width	8.000 in	Concrete Wt.	145.0 pcf
		Seismic Zone	0
		End Fixity	Pinned-Pinned
		Live Load acts with	Short Term

Beam Weight Added Internally

Reinforcing

Rebar @ Center of Beam...				Rebar @ Left End of Beam...				Rebar @ Right End of Beam...			
	Count	Size	'd' from Top		Count	Size	'd' from Top		Count	Size	'd' from Top
#1	2	5	9.00 in	#1	2	5	2.00 in	#1	2	5	2.00 in

Load Factoring

Note: Load factoring supports 2003 IBC and 2003 NFPA 5000 by virtue of their references to ACI 318-02 for concrete design.
Factoring of entered loads to ultimate loads within this program is according to ACI 318-02 C.2

Uniform Loads

	Dead Load	Live Load	Short Term	Start	End
#1	0.210 k	0.030 k	k	0.000 ft	10.000 ft

Summary

Span = 10.00ft, Width = 8.00in Depth = 13.00in

Maximum Moment : Mu	6.15 k-ft
Allowable Moment : Mn*phi	22.56 k-ft
Maximum Shear : Vu	2.38 k
Allowable Shear : Vn*phi	8.19 k

Maximum Deflection	-0.0170 in
Max Reaction @ Left	1.72 k
Max Reaction @ Right	1.72 k

Shear Stirrups...

Stirrup Area @ Section	0.440 in2							
Region	0.000	1.667	3.333	5.000	6.667	8.333	10.000 ft	
Max. Spacing	Not Req'd	Not Req'd	Not Req'd	Not Req'd	Not Req'd	Not Req'd	Not Req'd in	
Max Vu	2.379	1.652	0.826	0.806	0.806	1.632	2.360 k	

Beam Design OK

Bending & Shear Force Summary

Bending...	Mn*Phi	Mu, Eq. C-1	Mu, Eq. C-2	Mu, Eq. C-3
@ Center	22.56 k-ft	6.15 k-ft	4.61 k-ft	3.54 k-ft
@ Left End	2.56 k-ft	0.00 k-ft	0.00 k-ft	0.00 k-ft
@ Right End	2.56 k-ft	0.00 k-ft	0.00 k-ft	0.00 k-ft
Shear...	Vn*Phi	Vu, Eq. C-1	Vu, Eq. C-2	Vu, Eq. C-3
@ Left End	8.19 k	2.38 k	1.78 k	1.37 k
@ Right End	8.19 k	2.36 k	1.77 k	1.36 k

Deflection

Deflections...	Upward		Downward	
DL + [Bm Wt]	0.0000 in	at 0.0000 ft	-0.0155 in	at 5.0000 ft
DL + LL + [Bm Wt]	0.0000 in	at 0.0000 ft	-0.0170 in	at 5.0000 ft
DL + LL + ST + [Bm Wt]	0.0000 in	at 0.0000 ft	-0.0170 in	at 5.0000 ft
Reactions...	@ Left		@ Right	
DL + [Bm Wt]	1.574 k		1.574 k	
DL + LL + [Bm Wt]	1.724 k		1.724 k	
DL + LL + ST + [Bm Wt]	1.724 k		1.724 k	

Title :
Dsgnr:
Description :

Job #
Date: 6:42PM, 7 JUN 11

Scope :

Rev: 580008
User: KW-0606355, Ver 5.8.0, 1-Dec-2003
(c)1983-2003 ENERCALC Engineering Software

Concrete Rectangular & Tee Beam Design

Page 2
h110690.ecw:Calculations

Description

Section Analysis

Evaluate Moment Capacity...	Center	Left End	Right End
X : Neutral Axis	2.145 in	1.385 in	1.385 in
a = beta * Xneutral	1.823 in	1.177 in	1.177 in
Compression in Concrete	37.194 k	24.016 k	24.016 k
Sum [Steel comp. forces]	0.000 k	0.000 k	0.000 k
Tension in Reinforcing	-37.200 k	-23.952 k	-23.952 k
Find Max As for Ductile Failure...			
X-Balanced	5.327 in	1.184 in	1.1837 in
Xmax = Xbal * 0.75	3.995 in	0.888 in	0.888 in
a-max = beta * Xbal	4.528 in	1.006 in	1.006 in
Compression in Concrete	69.272 k	15.394 k	15.394 k
Sum [Steel Comp Forces]	0.000 k	0.000 k	0.000 k
Total Compressive Force	69.272 k	15.394 k	15.394 k
AS Max = Tot Force / Fy	1.155 in2	0.257 in2	0.257 in2
Actual Tension As	0.620 OK	0.000 OK	0.000 OK

Additional Deflection Calcs

Neutral Axis	2.955 in	Mcr	7.71 k-ft
Igross	1,464.67 in4	Ms:Max DL + LL	4.31 k-ft
Icracked	279.26 in4	R1 = (Ms:DL+LL)/Mcr	1.790
Elastic Modulus	3,122.0 ksi	Ms:Max DL+LL+ST	4.31 k-ft
Fr = 7.5 * fc^0.5	410.792 psi	R2 = (Ms:DL+LL+ST)/Mcr	1.790
Z:Cracking	69.531 k/in	I:eff... Ms(DL+LL)	1,464.667 in4
		I:eff... Ms(DL+LL+ST)	1,464.667 in4
Eff. Flange Width	8.00 in		

ACI Factors (per ACI 318-02, applied internally to entered loads)

ACI C-1 & C-2 DL	1.400	ACI C-2 Group Factor	0.750	Add "1.4" Factor for Seismic	1.400
ACI C-1 & C-2 LL	1.700	ACI C-3 Dead Load Factor	0.900	Add "0.9" Factor for Seismic	0.900
ACI C-1 & C-2 ST	1.700	ACI C-3 Short Term Factor	1.300		
....seismic = ST * :	1.100				



YHCE, Inc.

Youssef Hachem Consulting Engineering
12151 SW 128th Court, Suite 104
Miami, FL 33186
(305) 969-YHCE / www.yhengineering.com

JOB _____

SHEET NO. _____ OF _____

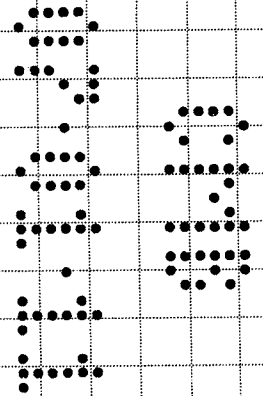
CALCULATED BY _____ DATE _____

CHECKED BY _____ DATE _____

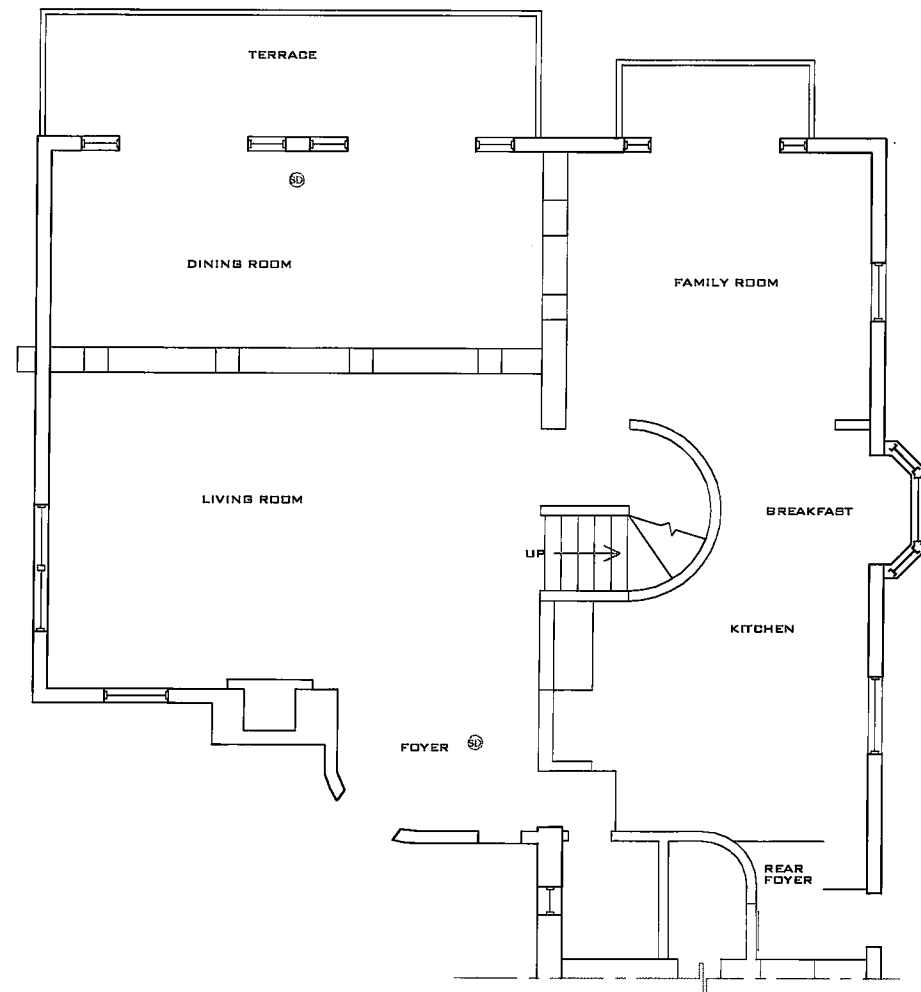
SCALE _____

IN BATHROOM COLUMN EXISTING. 11.5" x 8"
IN BETWEEN WINDOWS.

EXISTING PLANS SHOW COL. 12x8 w/ 4x5
VERT.
w/ 3 ties @ 8" o/c.



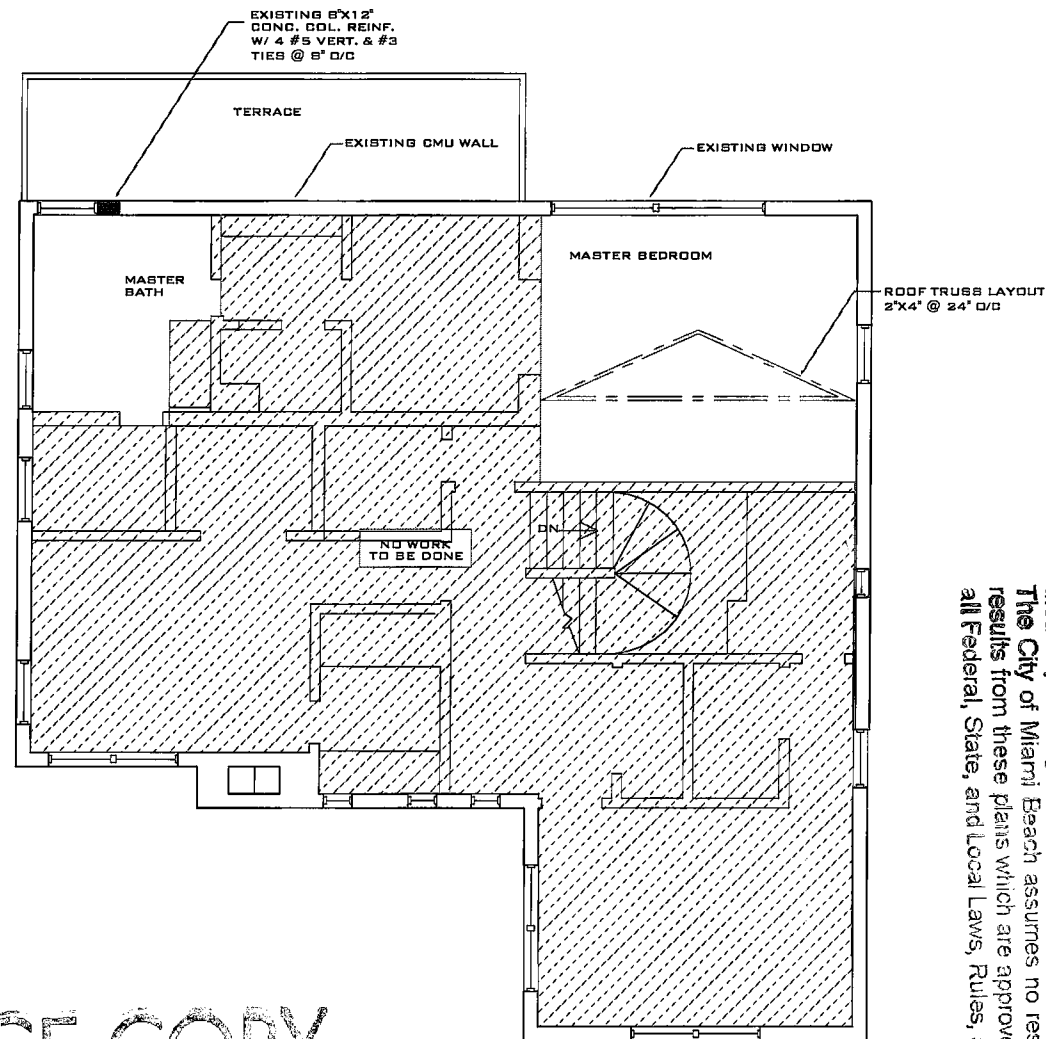
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EXISTING GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING WEST ELEVATION
SCALE: 1/4"=1'-0"

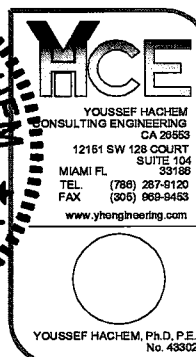
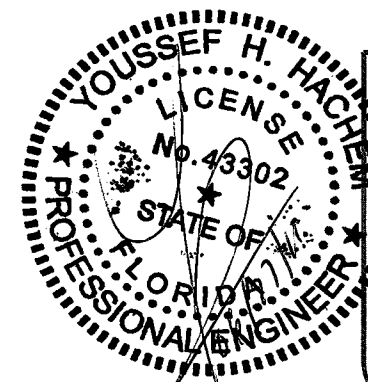


EXISTING FLOOR PLAN UPPER LEVEL
SCALE: 1/4"=1'-0"

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: MP 06/30/11
ZONING: E 6/29/11 FOR DT
DRB/HPB: _____
CONCURRENCY: _____
PLUMBING: _____
ELECTRICAL: _____
MECHANICAL: _____
FIRE PREVENTION: _____
ENGINEERING: _____
PUBLIC WORKS: ENC-06-30-2011
STRUCTURAL: M 7/1/11
ELEVATOR: _____

NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional permits required from other government entities such as water management districts, state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these plans which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.



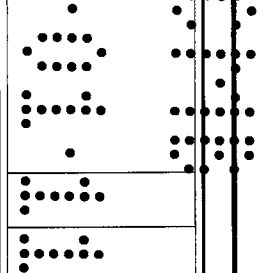
PROJECT:

40 WEST RIVO ALTO DR
MIAMI BEACH, FL. 33139

DRAWN BY:
DLARASH

REVISIONS:

SCALE: AS SHOWN
DATE: 8/23/2011

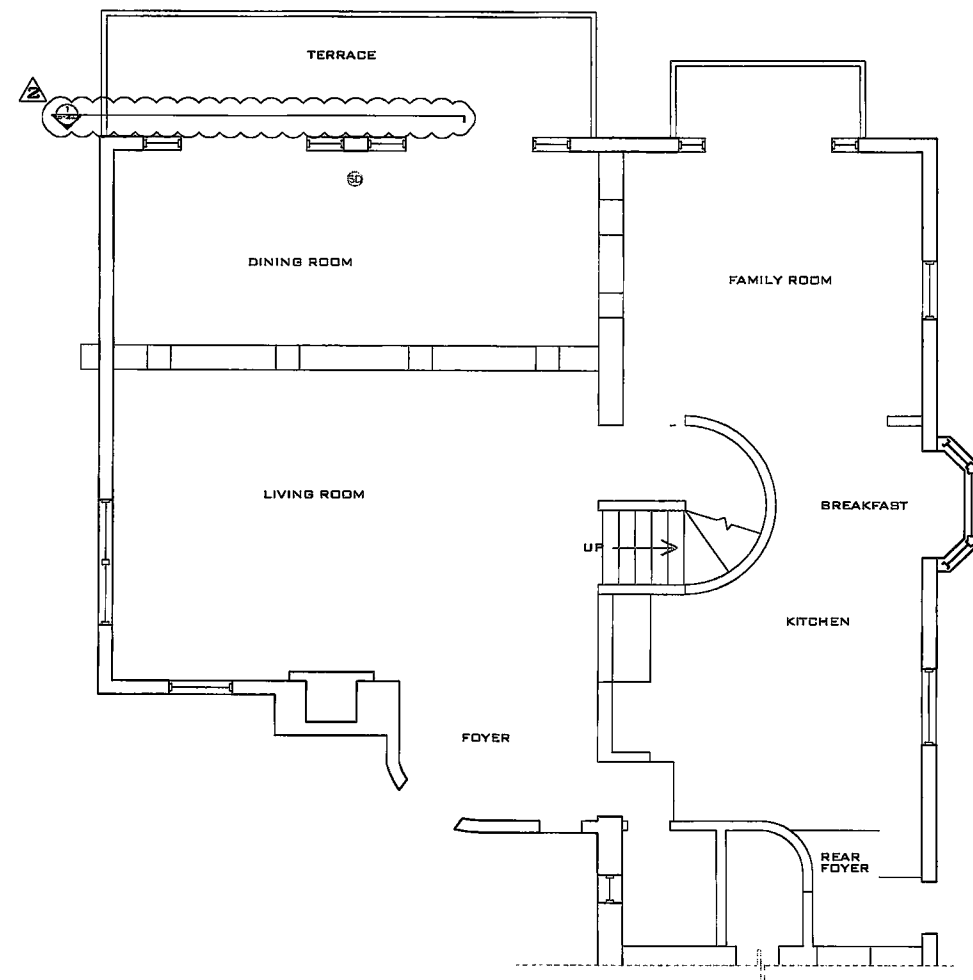


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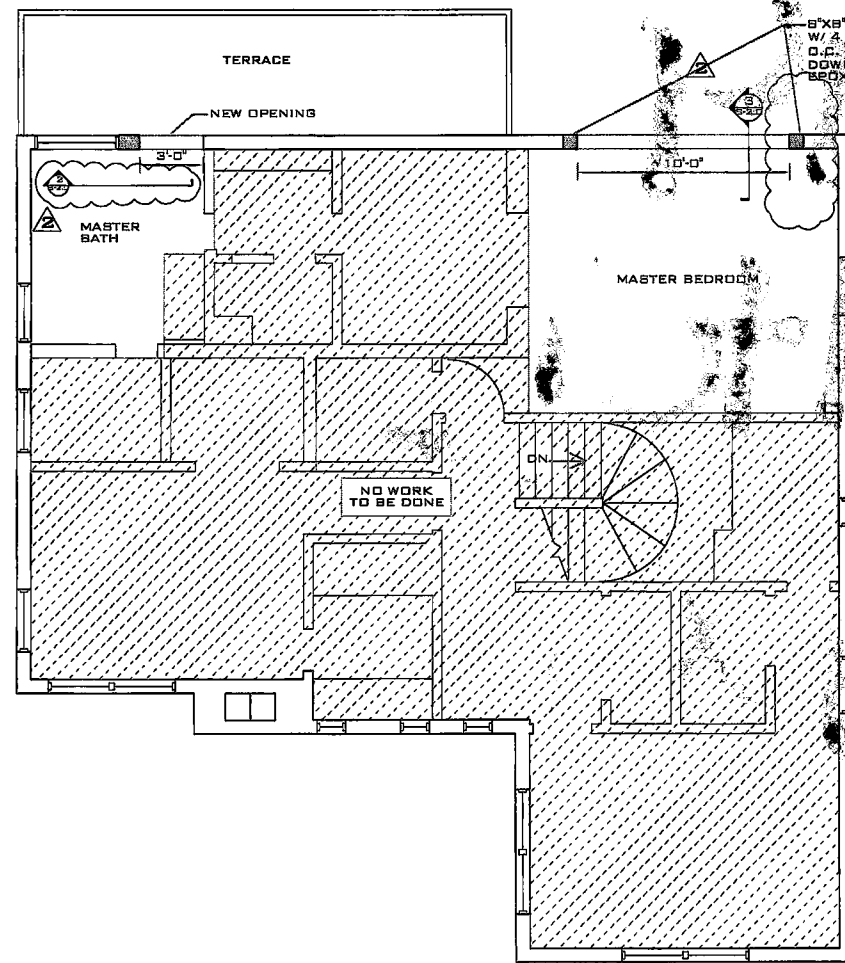
EXISTING FLOOR
PLANS AND
ELEVATION

PAGE: #

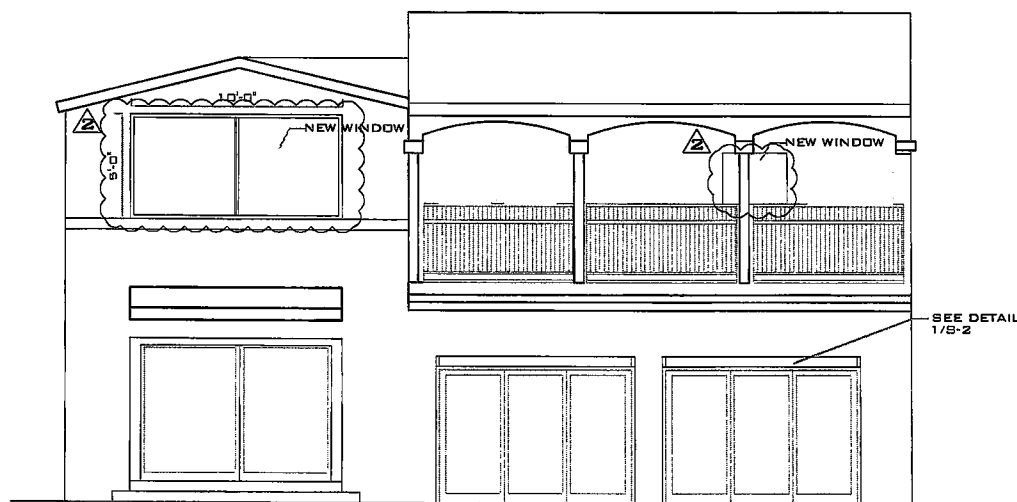
S-1.0



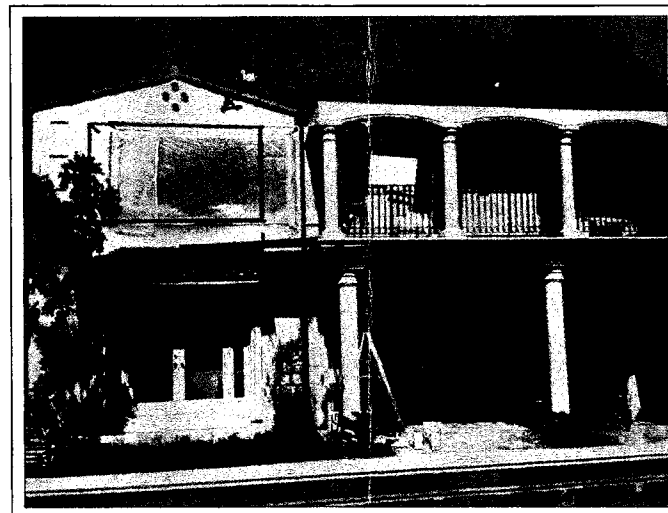
PROPOSED GROUND PLAN
SCALE: 1/4"=1'-0"



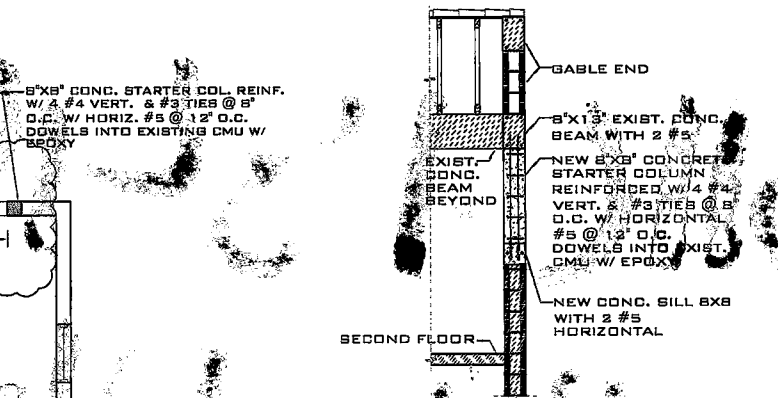
PROPOSED FLOOR PLAN UPPER LEVEL
SCALE: 1/4"=1'-0"



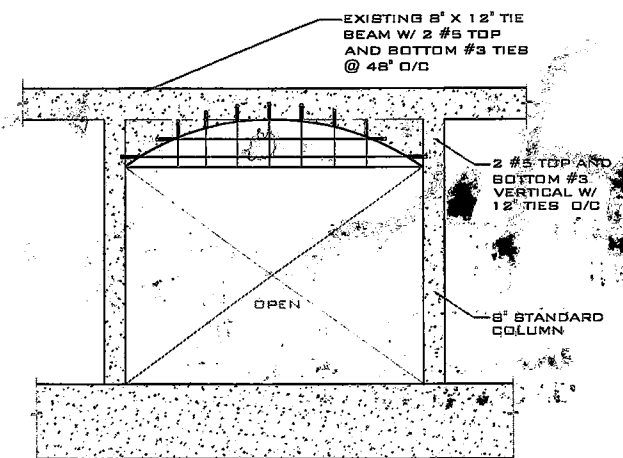
PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"



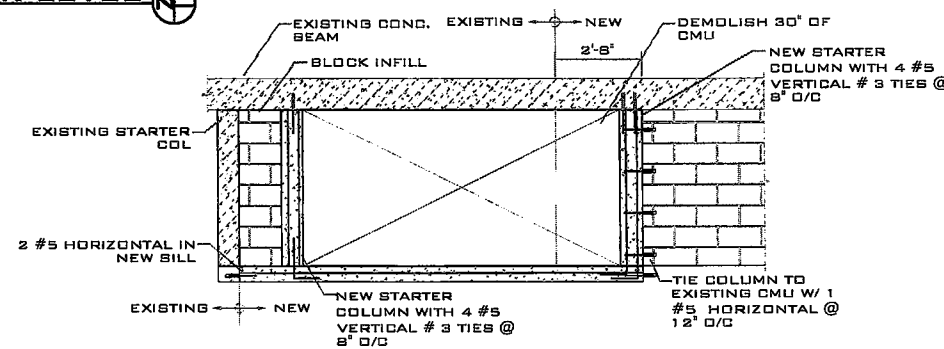
WEST ELEVATION
SCALE: NTS



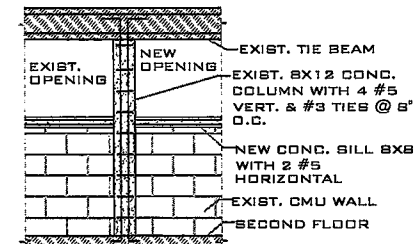
SECTION 3
SCALE: 3/8"=1'-0" (S-2)



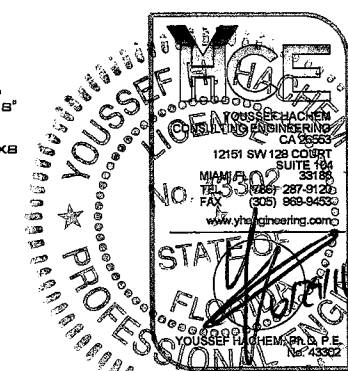
WINDOW OPENING DETAIL
SCALE: 3/8"=1'-0" (S-2)



OPENING MODIFICATION DETAIL
SCALE: 3/8"=1'-0" (S-2)



SECTION 2
SCALE: 3/8"=1'-0" (S-2)



PROJECT
**40 WEST RIVO ALTO DR
MIAMI BEACH, FL. 33139**

DRAWN BY:
DLARASH

REVISIONS:
1. 8/17/11 S.D.C.

SCALE: AS SHOWN

DATE: 05/23/2011

CONTAINS:

PROPOSED FLOOR PLANS, ELEVATION AND DETAIL

PAGE: #
S-2.0

B1101844

LOW MOA101

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48 HOURS PRIOR TO EXCAVATING
 CONTRACTOR SHALL CALL FOR LOCATION
 OF UNDERGROUND UTILITIES
 SUNSHINE ONE-CALL 1-800-432-4770
 CITY OF MIAMI BEACH 305-673-7080

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13 COPY

14 MIAMI BEACH

15 FOR PERMIT BY

16 ELECTRIC:

17 WATER:

18 GAS:

19 CABLE/PHONE:

20 TELEVISION:

21 PLUMBING:

22 ELECTRICAL:

23 MECHANICAL:

24 FIRE PREVENTION:

25 ENGINEERING:

26 PUBLIC WORKS:

27 STRUCTURAL:

28 ELEVATOR:

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MP 06/30/11

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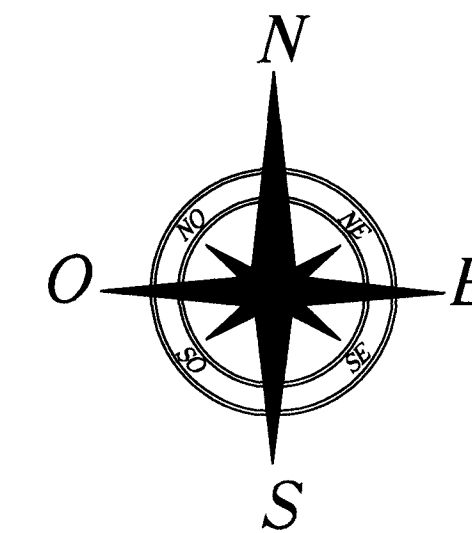
ENC - 06-30-2011

7/1/11

40 West Rivo Alto Dr



PROJECT LOCATION



SCOPE OF WORK	
ALTERATION LEVEL II	
1.CHANGE BATH TO WALK IN SHOWER.	
NOTE: NO MECHANICAL,PLUMBING OR ELECTRICAL WORK TO BE PERFORMED WITHIN THIS PERMIT.	
APPLICABLE CODES & REGULATIONS:	
JURISDICTION: MIAMI BEACH, FL.	
1. 2007 EXISTING FLORIDA BUILDING CODE (FBCe).	
2. 2007 EXISTING FLORIDA PLUMBING CODE (FPCe).	

LEGEND:	
	EXIST. NON RATED PARTITION WALL
	EXIST. 1 HR. RATED PARTITION WALL
	REMOVED BATH.
	NO WORK TO BE DONE.

NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of the County and City of Miami Beach. The applicant is responsible for obtaining all necessary permits and approvals from the City of Miami Beach, State, and Local Laws, Rules, and Regulations.

REV 111102

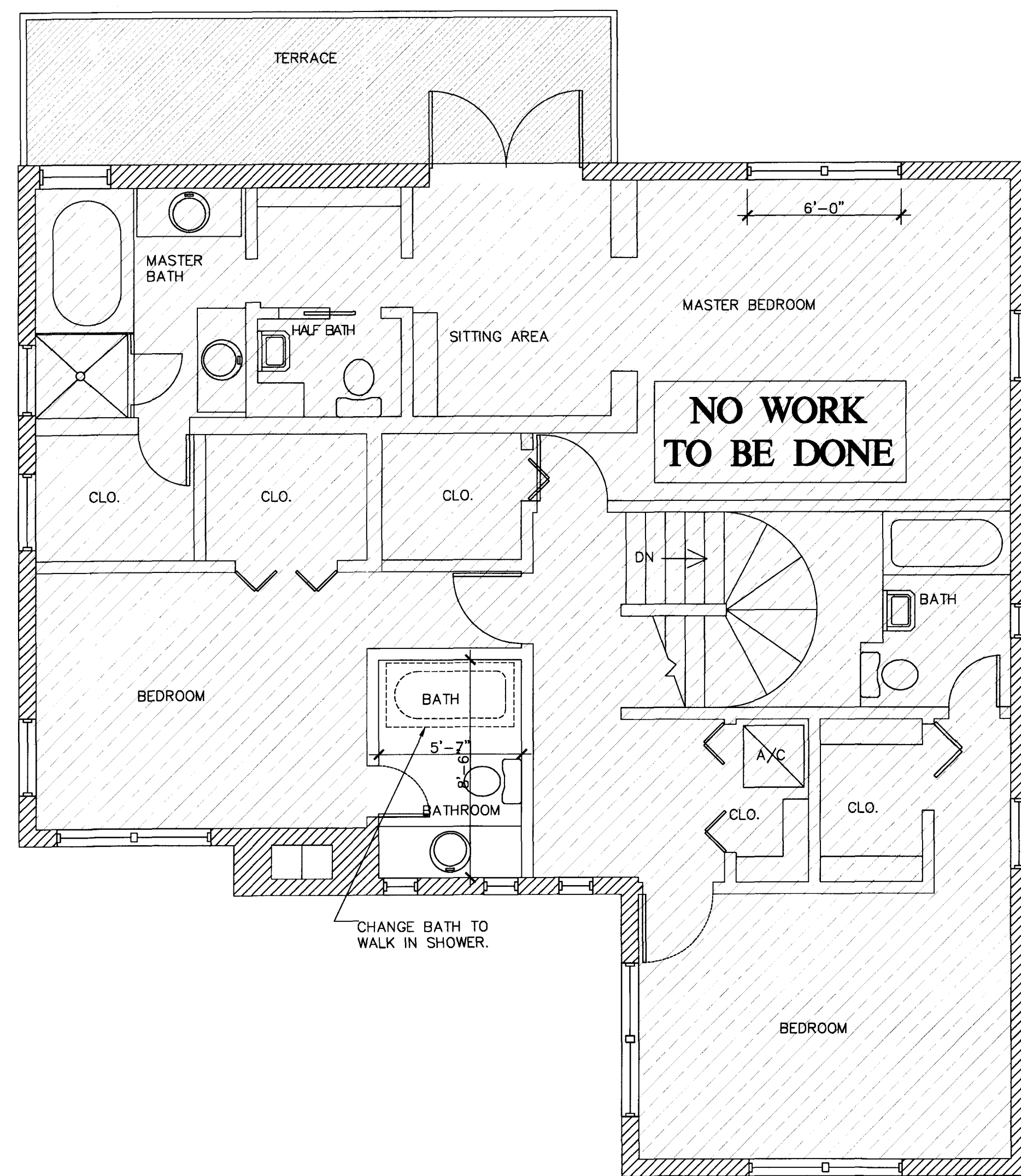
PROJECT:	40 WEST RIVO ALTO Dr MIAMI BEACH, FL 33139
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DRAWN BY : C.PEREIRA	
REVISIONS:	
SCALE:	1"=4'
DATE:	07/28/2011

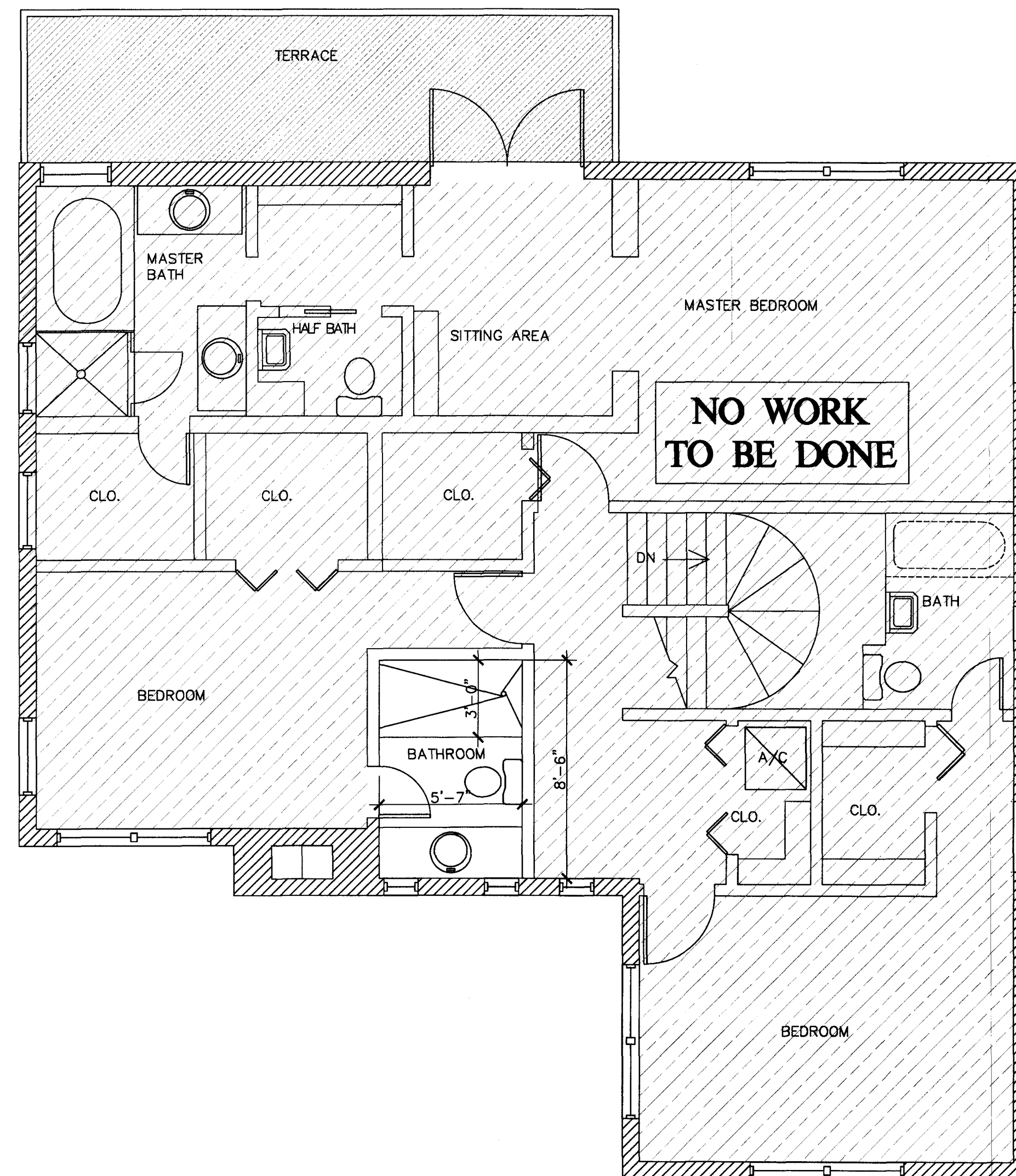
CONTAINS:
EXISTING SITE PLAN

PAGE: #
A-1

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:
BUILDING: 8/28/11
ZONING: 8/28/11
DRB/HPD: 8/28/11
CONCURRENCY: 8/28/11
PLUMBING: 8/28/11
ELECTRICAL: 8/28/11
MECHANICAL: 8/28/11
FIRE PREVENTION: 8/28/11
ENGINEERING: 8/28/11
PUBLIC WORKS: 8/28/11
STRUCTURAL: 8/28/11
ELEVATOR: 8/28/11



EXISTING FLOOR PLAN UPPER LEVEL
SCALE: 1/4"=1'-0"



PROPOSED FLOOR PLAN UPPER LEVEL
SCALE: 1/4"=1'-0"

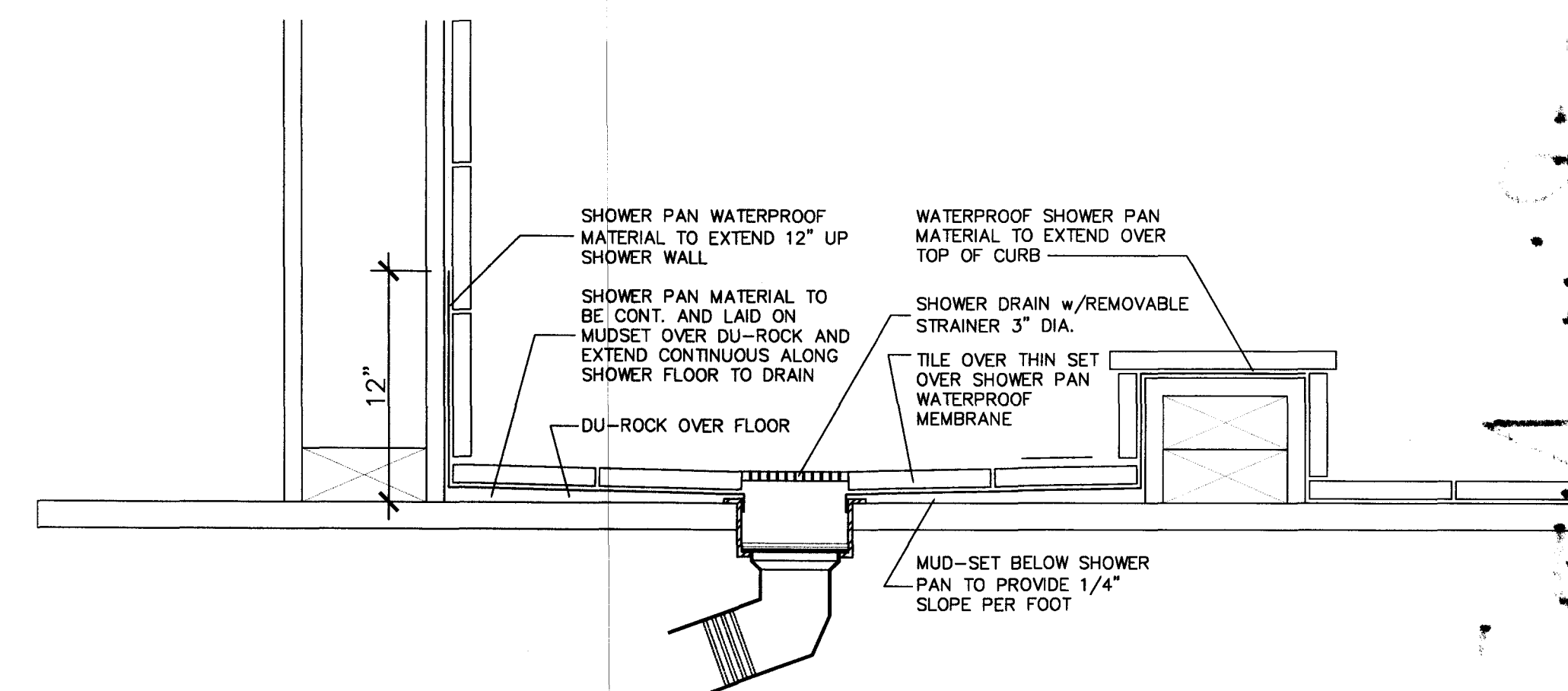
WET LOCATION PARTITION	
N.T.S.	
UNDERSIDE OF STRUCT L SLAB	ABOVE
SEALANT-ACOUSTICAL CONT.	TOP & BOTTOM
3/8" SOUND ATTENUATION FIRE	BLANKET (S.A.F.) TOUNDERSIDE OF
STRUCTURE, AND OR R 11 3/4" BATT	INSULATION AT BATHROOM
1/2" DUROCK CEMENTITIOUS BOARD	INTERIOR BATH SIDE
3/8" OR 6" GALV. STL. RUNNER OR	TOP AND BOTTOM CONT.
CONCRETE SLAB OR PLANK /	FINISHED FLOOR

PLUMBING NOTES

- 1) ALL PLUMBING WORK SHALL BE PERFORMED IN ACCORDANCE W/ THE LATEST EDITION OF THE FBC/LOCAL ORDINANCES AND IN COMPLIANCE W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BLDG. CONSTRUCTION
- 2) CONTRACTOR TO VERIFY AT SITE LOCATION, ELEVATION AND SIZE OF ALL EXISTING MAIN, WATER AND SEWER FOR CONNECTION OF NEW SERVICE BEFORE INSTALLATION OF ANY PIPING OR SEPTIC TANK.
- 3) UNDERGROUND METAL PIPING SHALL BE PROTECTED W/ A COAT OF BITUMINOUS COMPOUND BEFORE COVERING BITUMASTIC OR EQUAL.
- 4) PROVIDE SHUT-OFF AND VACUUM BREAKER TO ALL HOSE BIBBS AND FAUCETS W/ HOSE-END CONNECTION.
- 5) ALL FIXTURES SHALL BE PROTECTED AGAINST WATER HAMMER W/ AIR CHAMBER OR SHOCK ABSORBERS AS INDICATED ON PLAN
- 6) VENT LINES TO EXTEND 9" MIN. ABOVE ROOF AND FLASH W/ LEAD OR CONNECT TO EXISTING VENT SYSTEM
- 7) PROVIDE CONTROL VALVE TO ALL MAIN ENTERING THE BUILDING RISER, BRANCHES, GROUP OF FIXTURE, AND TO EACH PIECE OF EQUIPMENT
- 8) PLUMBING FIXTURE SHALL BE (AMERICAN STANDARD) OR APPROVE EQUAL. ALL FIXTURE TRIM SHALL BE CHROME PLATED, FIXTURE SHALL BE PROVIDED W/ SUPPORT HANGERS, ETC.
- 9) WASTE LINES TO SLOPE MIN. 1/4" PER FT. UNLESS OTHERWISE NOTED.
- 10) PROVIDE FULLY ACCESSIBLE CLEANOUTS ON SANITARY AND ANY WASTE PIPING, AT EVERY CHANGE OF DIRECTIONS, AND AT BOTTOM OF STACKS. CLEAN OUTS LOCATIONS AND SIZES ON HORIZONTAL LINES SHALL BE ACCORDING TO CODES
- 11) FEED ALL PLUMBING FIXTURES W/ TYPE "M" COPPER ABOVE GROUND AND TYPE "L" COPPER BELOW GROUND.
- 12) ALL SANITARY WASTE TO BE PVC SCHEDULE 40.
- 13) CLEANOUTS SHALL BE PROVIDED AT THE BASE OF ALL STACKS AND ALL BLDG. DRAIN OUTSIDE THE BUILDING WALL.
- 14) NO SOLDERING JOINTS BELOW THE SLAB
- 15) ANTI SCALD PREVENTATIVE VALVES REQUIRED FOR ALL SHOWERS AS PER FBC
- 16) WATER HEATER AS PER FBC
- 17) 2" MIN. DRAIN UNDER SLAB AT MIN. 1/4" DROP.
- 18) ALL FLOOR DRAIN SHALL HAVE TRAP PRIMER TO PROTECT THE SEAL OF THE TRAP.
- 19) PROVIDE 1" RESEAL LINE FROM WATER SUPPLY TO EACH FLOOR DRAIN.
- 20) ALL PLUMBING PENETRATIONS IN FIRE RESISTANT RETED WALLS, PARTITIONS, FLOORS AND CEILINGS SHALL BE FIRE STOPPED W/APPROVED FIRE STOP FOAM.

TABLE 604.4 MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES, FIXTURE FITTINGS AND APPLIANCES	
PLUMBING FIXTURE OR FIXTURE FITTING	PLUMBING FIXTURE OR FIXTURE FITTING MAXIMUM FLOW RATE
LAVATORY FAUCET	1.0 GPM AT 60 PSI
SINK FAUCET	1.0 GPM AT 60 PSI
SHOWER HEAD	1.5 GPM AT 80 PSI
WATER CLOSET	1.20 GALLONS PER FLUSHING CYCLE

NOTE: THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES, FIXTURE, FITTINGS AND APPLIANCES SHALL BE IN ACCORDANCE WITH TABLE 604.4 EFFECTIVE JANUARY 1, 2009



SHOWER PAN DETAIL
N.T.S.

DRAWN BY :
C.PEREIRA

REVISIONS:

SCALE: 1/4"

DATE: 7/7/2011

CONTAINS:

PAGE: #

A-2

40 WEST RIVO ALTO DR
MIAMI BEACH, FL. 33139

BUILDING: _____
 ZONING: _____
 DISTRICT: _____
 COMMUNITY: _____
 PLUMBING: _____
 ELECTRICAL: _____
 MECHANICAL: _____
 FIRE PREVENTION: _____
 ENGINEERING: _____
 PUBLIC WORKS: _____
 STRUCTURAL: _____
 ELEVATOR: _____

40 West Rio Arriba Dr.

Feb 11, 202

Poster
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