# **GENERAL NOTES:**

1. ALL WORK SHALL CONFORM WITH THE LATEST VERSION OF THE FLORIDA BUILDING CODE (FBC), OSHA. NFPA, INDUSTRY STANDARDS, MANUFACTURER'S SPECIFICATIONS, ZONING, AND ANY OTHER APPLICABLE LOCAL ORDINANCES.

2. CONTRACTOR SHALL VISIT THE SITE AND REVIEW EXISTING CONDITIONS AND THE SCOPE OF THE WORK PRIOR TO CONSTRUCTION.

3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS PRIOR TO CONSTRUCTION. DO NOT SCALE THE DRAWINGS. IN THE EVENT OF CONFLICT, DISCREPANCIES, OR AMBIGUITIES IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

4. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE AND IN A PROFESSIONAL AND SAFE MANNER AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND BRACING TO ENSURE SAFE WORKING CONDITIONS AT ALL TIMES. ANY WORK DEEMED TO BE DEFECTIVE SHALL BE REJECTED AND SHALL BE DEMOLISHED AND RECONSTRUCTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

5. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL HOLD HARMLESS THE OWNER, ARCHITECT, AND HIS ENGINEERS/CONSULTANTS FOR ANY PERSONAL INJURY OR DAMAGE TO THE JOB AND/OR TO ADJACENT PROPERTIES, AND FOR WORK NOT PROPERLY INSPECTED.

6. GENERAL CONSTRUCTION METHODS, PROCEDURES, AND SEQUENCES ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL THEREFORE TAKE THE NECESSARY PRECAUTIONS TO PROTECT PROPERTY, FURNISHINGS, AND EQUIPMENT IN AREAS WHERE THE WORK IS BEING DONE, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED TO EXISTING SPACES, FURNISHINGS, AND EQUIPMENT DUE TO THE CONSTRUCTION OPERATIONS.

7. ALL MATERIALS FURNISHED FOR THE WORK SHALL BE NEW AND FREE FROM DEFECTS, AND SHALL BE STORED IN SUCH MANNER TO PROTECT THEM FROM ANY DAMAGE OR THE ELEMENTS.

8. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL ALSO CONTACT THE UTILITY COMPANIES PRIOR TO ANY EXCAVATIONS FOR UTILITY LOCATIONS AND INFORMATION. THE OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR ANY DAMAGES TO UTILITY LINES. ANY UTILITY LINES OF EQUIPMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AT NO COST TO THE OWNER.

9. AFTER COMPLETION OF THE WORK THE CONTRACTOR SHALL LEAVE THE JOB SITE CLEAN AND FREE OF DEBRIS. SPLATTERS AND SMEARS SHALL BE REMOVED FROM THE SURFACES OF THE BUILDING, FURNISHINGS, AND EQUIPMENT.

10. THE CONTRACTOR SHALL COORDINATE ALL TRADES AND WORK INCLUDING THE ARCHITECTURAL STRUCTURAL, LANDSCAPING, MECHANICAL, PLUMBING, AND ELECTRICAL CONSTRUCTION DOCUMENTS, AND SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND THE LOCATION AND SIZES OF ALL CHASES, INSERTS, OPENINGS, SLEEVES, FINISHES, DEPRESSIONS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE CONSTRUCTION DOCUMENTS.

11. ALL PROPOSED SUBSTITUTIONS, DESIGN ALTERNATIVES, OR CHANGES BY THE CONTRACTOR SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT / ENGINEER PRIOR TO THE AWARD OF CONTRACT, OR PRIOR TO ANY PERTINENT WORK TO THE SUBSTITUTION, DESIGN ALTERNATIVE, OR CHANGE.

12. THE CONTRACTOR SHALL PAY FOR ALL APPLICABLE BOND, IMPACT, PERMIT, SHOP DRAWING REVIEW, AND RE-INSPECTION FEES AND ANY APPLICABLE TAX AND/OR SALES TAXES.

13. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS MUST HAVE PROPER EVIDENCE OF LIABILITY INSURANCE, LOCAL AND/OR STATE LICENSES UNLESS OTHERWISE NOTED.

14. THE FOLLOWING SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR DESIGN CONFORMANCE ONLY APPROVAL: ROOF TRUSSES, WROUGHT IRON BARS, KITCHEN & BATHROOM CABINETS.

15. SOIL TREATMENT HOR TERMITES SHALL BE DONE BY A LICENSED PEST CONTROL FIRM AND SHALL BE APPLIED TO MEET MINIMUM REGULATIONS, TREATED AREA MUST BE COVERED AFTER APPLICATION TO PREVENT DISTURBANCE OF TREATMENT BY HUMAN OR ANIMAL CONTACT. A CERTIFICATE OF SOIL TREATMENT SHALL BE SUPPLIED TO THE BUILDING DEPARTMENT AND TO THE OWNER.

16. THE FOLLOWING SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR DESIGN CONFORMANCE ONLY APPROVAL: ROOF TRUSSES, WROUGHT IRON BARS, KITCHEN & BATHROOM CABINETS, RAILINGS, EXTERIOR DOORS & WINDOWS.

17. THESE DRAWINGS ARE INSTRUMENTS OF CONSTRUCTION AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTIONS OF SAID DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.

18. IF THE CONTRACTOR OR SUBCONTRACTORS FINDS ANY DISCREPANCIES, ERRORS, OR IF THEY NEED FURTHER CLARIFICATION, THEN A WRITTEN REQUEST SHALL BE SUBMITTED TO THE ARCHITECT.

19. THE PROPOSED ENGINEERED FILL MATERIALS ARE TO BE PLACED IN LIFTS NOT EXCEEDING 8" LOOSE MEASURED THICKNESS IN UNCONFINED LIFTS OR 6" IN CONFINED AREAS, EACH LIFT IS TO BE COMPACTED AS FOLLOWS A) SLAB ON GRADE: MINIMUM OF 95% MAXIMUM DENSITY BY ASTM D557. B) FOOTING BEARING: MINIMUM OF 98% MAXIMUM DENSITY BY ASTM D557.

### SITE DATA:

ZONING: RS-4 FLOOD ZONE: AF LOT AREA:

7.020 SF ADJUSTED SQUARE FOOTAGE OF EXISTING HOUSE: N/A SF - VACANT LOT ADJUSTED SQUARE FOOTAGE OF PROPOSED HOUSE: 3,381 SF

PLEASE REFER TO SHEET A-101. FOR FURTHER INFORMATION RELATING TO ZONING, ETC

# SITE INFORMATION & NOTES:

FOLIO #: 02-3232-011-1640

SURVEY NOTES: BASED ON THE INFORMATION PROVIDED BY

OT 1, BLOCK 15 OF "DI LIDO ISLAND", ACCORDING TO THE PLAT THEREOF, AS REQUIRED IN PLAT BOOK 8, PAGE 36, OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA

OCCUPANCY & CONSTRUCTION TYPE(S) RESIDENTIAL - RS-3

PLEASE REFER TO SHEET A-101 FOR FURTHER INFORMATION RELATING TO ZONING, ETC.

THE SCOPE OF WORK IS THE CONSTRUCTION OF A NEW <u>4914 SF</u> SINGLE FAMILY 2-STORY RESIDENCE. SEE ZONING AREA BREAKDOWN ON SHEET A-101.

CONSTRUCTION TYPE TYPE V

### CLASSIFICATION OF WORK NEW CONSTRUCTION

FLORIDA BUILDING CODE (FBC), 5TH EDITION, 2014 FLORIDA BUILDING CODE RESIDENTIAL, 5TH EDITION, 2014 FLORIDA BUILDING CODE PLUMBING, 5TH EDITION, 2014 FLORIDA BUILDING CODE MECHANICAL, 5TH EDITION, 2014 NATIONAL ELECTRIC CODE (NEC), 2014

1. LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OR STORM WATER ONTO ADJACENT PROPERTY 2. GRADE ACCORDINGLY TO MEET DEFINED SPOT ELEVATIONS. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL COMPLETION. 3. SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.

ALL RAINWATER SHALL BE RETAINED WITHIN PROPERTY LINES. REFER TO PROPOSED SPOT ELEVATION MARKS.

S	YMB	OLS	LEGEND	
-	=			

ΔΔ	ALIGN SYMBOL		
£	CENTERLINE		
	CHANNEL		
101	DOOR DESIGNATION		
1t	WINDOW DESIGNATION		
<b>1</b> i	FURNITURE TAG		
1	GENERIC NOTE TAG		
<1i>	PARTITION / WALL TAG		
$\perp$	PERPENDICULAR		
۲L	PLATE / PROPERTY LINE		
	REVISION MARKING		
(1t)	SPECIALTY EQUIPMENT TAG		
$\bullet$	SPOT ELEVATION		
1/2"	SLAB STEP TRANSITION		
1 /A101	VIEW REFERENCE DESIGNATION		
ARTITION LEGEND			
	2" PARTITION		
	NON-BEARING, NON-RATED STUD		

### PARTITION, 2x4 WOOD STUDS OR 1" METAL STUDS @ 16" O.C. WITH 1/2" GYPSUM WALLBOARD ON EACH SIDE 4-5/8" PARTITION NON-BEARING, NON-RATED STUD DRYWALL PARTITION, 2x4 WOOD STUDS OR 3-5/8" METAL STUDS @ 16" O.C. WITH 1/2" GYPSUM WALLBOARD ON EACH SIDE 6" PARTITION NON-BEARING, 1-HOUR RATED STUD

DRYWALL PARTITION, 2x4 WOOD STUDS OR 6" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD ON EACH SIDE

<u>8" PARTITION</u> NON-BEARING, NON-RATED STUD DRYWALL PARTITION, 2x4 WOOD STUDS OR 8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD ON EACH SIDE

<u>8" CMU WALL</u> CONCRETE MASONRY UNIT (CMU) / CONCRETE WALL (PROPOSED)

<u>12" CMU WALL</u>
CONCRETE MASONRY UNIT (CM
CONCRETE WALL (PROPOSED)

### **FLOOD NOTES : RESIDENTIAL CONSTRUCTION**

ADDRESS: 815 WEST DI LIDO DRIVE LOT: BLOCK: PLAT BOOK: 8 PAGE: - 36

HIGHEST CROWN OF ROAD ELEVATION: NOTE: NGVD. HIGHEST CROWN OR ROAD ELEVATION WAS TAKEN FROM THE ATTACHED CERTIFIED SURVEY, OR A CERTIFIED SURVEY PREPARED BY: - · SURVEYOR'S NAME: RICHARD E. COUSINS PLS LICENSE No. : 4188

ALL AREAS BELOW B.F.E. SHALL BE PROVIDED WITH A MINIMUM OF TWO (2) OPENINGS HAVING A TOTAL NET AREA OF NO LESS THAN ONE SQUARE INCH OF OPENING FOR EVERY SQUARE FOOT OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF THE OPENING WILL BE NO HIGHER THAN ONE (1) FOOT ABOVE GRADE AND LOCATED ON DIFFERENT SIDES OF THE ENCLOSED AREA. OPENINGS WILL BE EQUIPPED WITH SCREENS OR LOUVERS. FLOOD RESISTANT MATERIALS WILL BE USED BELOW B.F.E.

THE SITE WILL BE GRADED IN A MANNER TO PREVENT THE FLOODING OF ADJACENT PROPERTIES. WHERE NECESSARY INTERCEPTOR SWALES WILL BE CONSTRUCTED ON-SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES.

ALL ELECTRICAL, MECHANICAL AND PLUMBING WILL BE ELEVATED AT OR ABOVE THE DESIGN FLOOD ELEVATION, D.F.E. (+ <u>10.00' NGVD)</u>

ALL CONSTRUCTION MATERIAL AND FINISHES BELOW DESIGN FLOOD ELEVATION, D.F.E. (+10.00' NGVD), SHALL BE FLOOD-DAMAMG-RESISTANT MATERIAL.

ATTACHED GARAGE, SHALL BE ELEVATED NO LOWER THAN THE ADJUSTED GRADE ELEVATION, AS DEFINED IN CMB ORDINANCE SECTION 114.1.

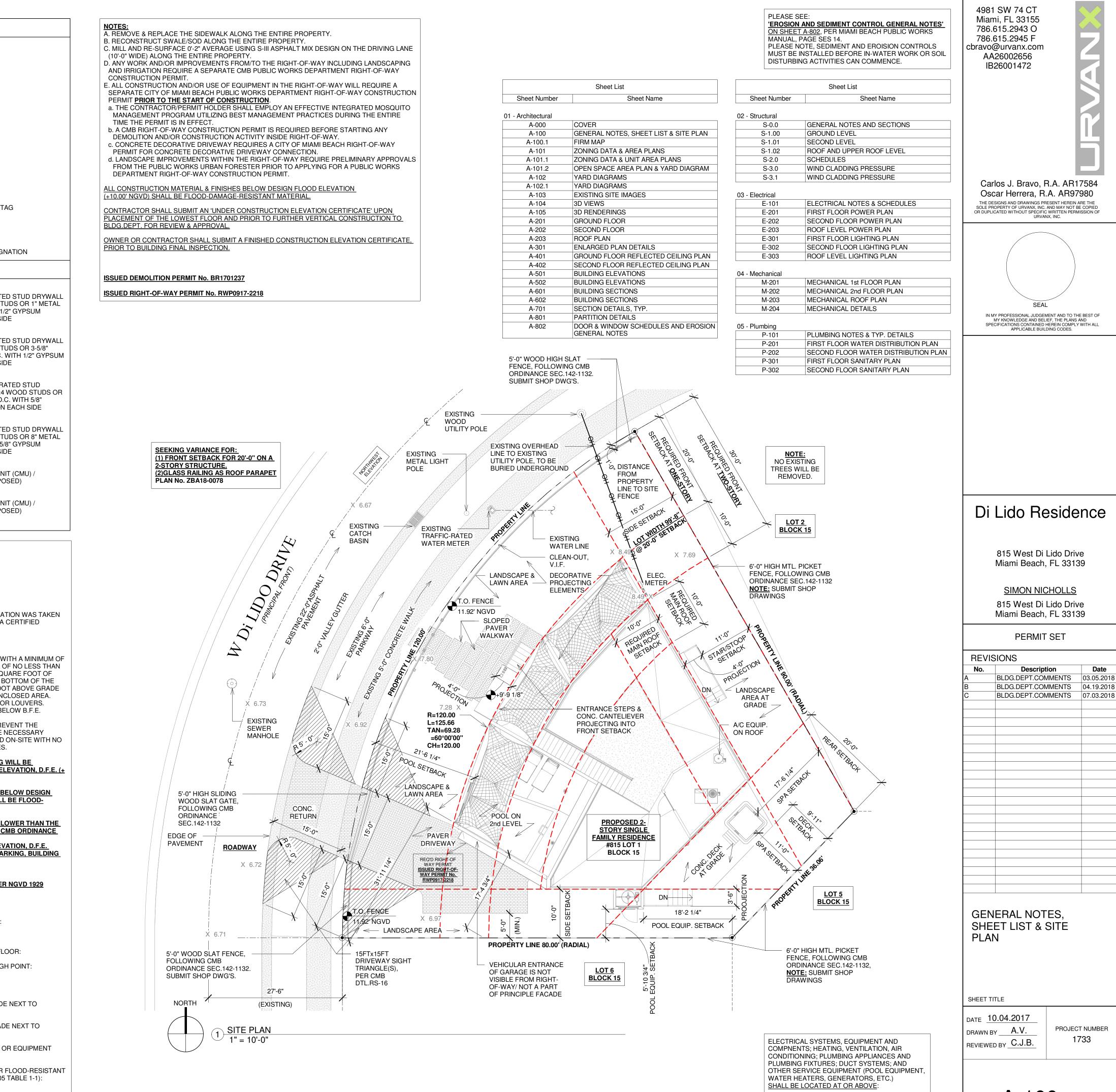
ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATION, D.F.E. 10.00' NGVD) SHALL BE SOLELY USED FOR PARKING, BUILDING ACCESS OR STORAGE. REFER TO PLAN.

### FLOODPLAIN MANAGEMENT INFORMATION : PER NGVD 1929 A. BASE FLOOD ELEVATION: <u>10.00' NGVD</u>

- B. NGVD DESIGN FLOOR ELEVATION (DFE): <u>10.00' NGVD</u>
- C. NGVD PROPOSED TOP OF BOTTOM FLOOR:
- <u>11.00' NGVD</u> D. NGVD PROPOSED LOWEST FLOOR:
- <u>11.00' NGVD</u>
- E. NGVD PROPOSED TOP OF NEXT HIGHEST FLOOR: 22.50' NGVD (2nd FLOOR ELEVATION) F. NGVD PROPOSED GARAGE ELEVATION - HIGH POINT:
- <u>9'-3" NGVD</u> G. NGVD AND LOW POINT:
- H. NGVD ADJUSTED GRADE ELEVATION: <u>8.46' NGVD</u>
- NGVD PROPOSED LOWEST ADJACENT GRADE NEXT TO BUILDING: <u>8.49' NGVD</u>
- . NGVD PROPOSED HIGHEST ADJACENT GRADE NEXT TO BUILDING:
- <u>9'-3" NGVD</u> K. NGVD LOWEST ELEVATION OF MACHINERY OR EQUIPMENT SERVICING THE BUILDING:
- 10.00' NGVD ... NGVD CLASSIFICATION OF STRUCTURE FOR FLOOD-RESISTANT DESIGN AND CONSTRUCTION (ASCE/SEI 24-05 TABLE 1-1):

FIRM MAP: REFER TO SHEET A-100.1

CATEGORY II



DESIGN FLOOD ELEVATION, D.F.E. (+10.00' NGVD)

A-100 SHEET