



G105-A

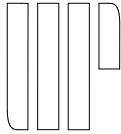
HPB SUBMITTAL

100 LINCOLN ROAD :: MIAMI BEACH, FL 33139

SITE PLAN - ENLARGED

11.05.2018

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Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	100 LINCOLN ROAD			
2	Board and file numbers :	HP18-0199			
3	Folio number(s):	23240800001			
4	Year constructed:	1965	Zoning District:	RM-3	
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:	6.93' NGVD	
6	Adjusted grade (Flood+Grade/2):	9.0' NGVD	Lot Area:	11,000 SF	
7	Lot width:	204.23'	Lot Depth:	584.39'	
8	Minimum Unit Size		Average Unit Size		
9	Existing use:	PARKING LOT	Proposed use:	PEDESTRIAN ACCESSIBLE PARKING ROOF DECK	
		Maximum	Existing	Proposed	Deficiencies
10	Height	12'-0"		± 12'-0"	
11	Number of Stories	1	1	1	
12	FAR	N/A	N/A	N/A	
13	Gross square footage		11,000 SF	11,000 SF	
14	Square Footage by use			11,000 SF	
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	240	N/A		
18	Occupancy load	240	N/A		
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A			
20	Side Setback: NORTH	N/A	N/A		
21	Side Setback: OCEANFRONT , EAST	N/A	N/A		
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			
	At Grade Parking:				
24	Front Setback:	20'-0"		0'-0" VAR. REQ. SHEET A103	



25	Side Setback: NORTH	5'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
26	Side Setback:	10'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
27	Side Setback facing street:	N/A			
28	Rear Setback, OCEANFRONT EAST:	50'-0"		0'-0" VAR. REQ. SHEET A103	
	Pedestal:				
29	Front Setback:	20'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
30	Side Setback:	7'-6"		0'-0" VAR. REQ. SHEET A103	
31	Side Setback:	N/A			
32	Side Setback facing street:	16'-4"		0'-0" VAR. REQ. SHEET A103	
33	Rear Setback: OCEANFRONT , EAST	116'-11"	15'-9"	0'-0" VAR. REQ. SHEET A103	
	Tower:	N/A			
34	Front Setback:	N/A			
35	Side Setback:	N/A			
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback: NORTH	20'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
37	Side Setback facing street:	N/A			
38	Rear Setback:	N/A			

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	ZONE 4			
40	Total # of parking spaces	N/A	30	30	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	EXISTING			
44	Parking Space configuration (45o,60o,90o,Parallel)	EXISTING	ANGLED, 90º	ANGLED, 90º	
45	ADA Spaces	1	1	1	
46	Tandem Spaces	N/A			
47	Drive aisle width	EXISTING	12'-0"	12'-0"	



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48	Valet drop off and pick up	YES	NO	YES	
49	Loading zones and Trash collection areas	SEE SHEET A104			
50	racks	NO	NO	YES, 8	

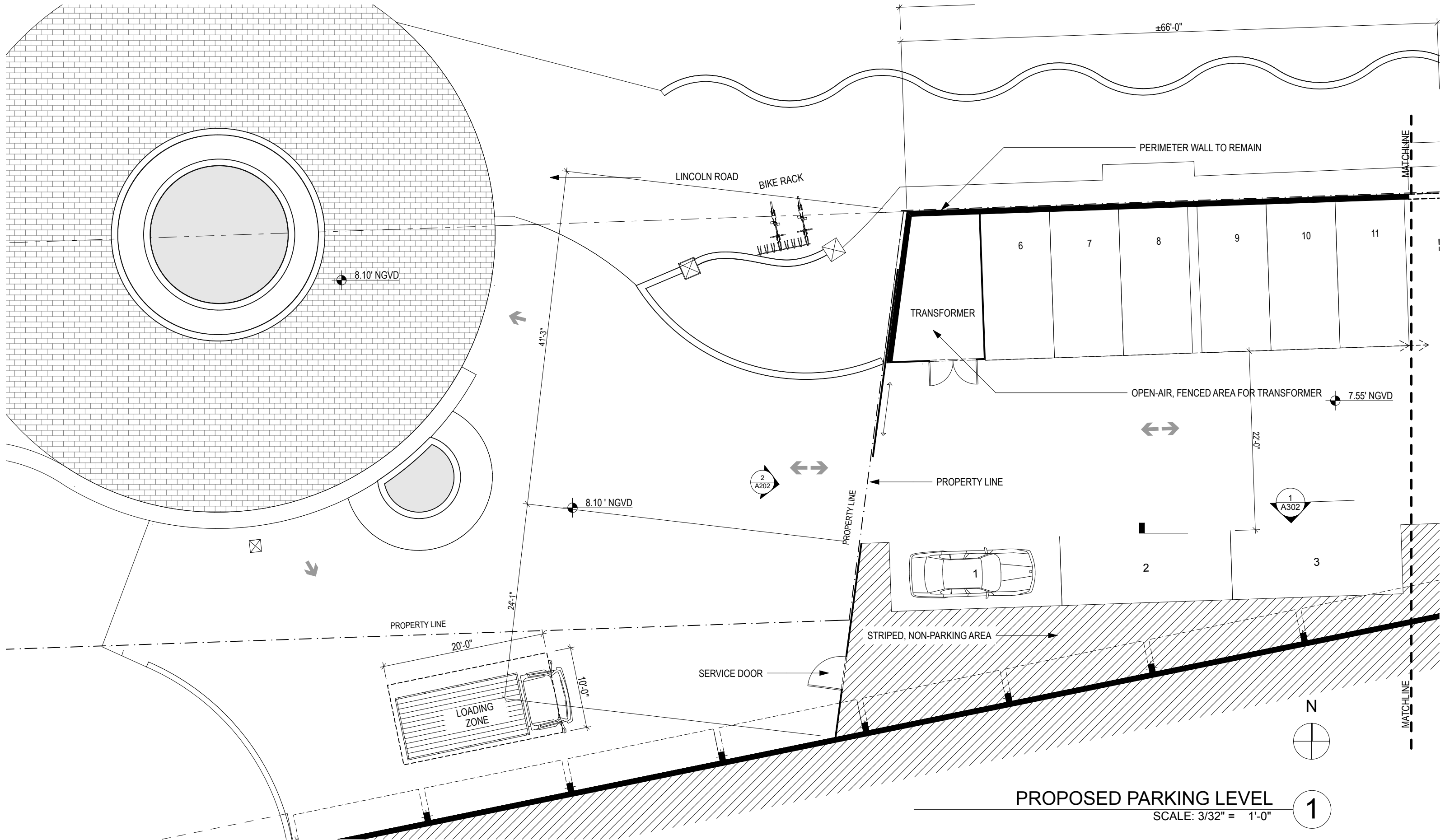
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	PEDESTRIAN ROOF DECK			
52	Number of seats located outside on private property	N/A	0	ALL SEATS	
53	Number of seats inside	N/A	0	0	
54	Total number of seats				
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	240	0	240	
56	Total occupant content	240	0	240	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	240	0	240	

58	Proposed hours of operation	7AM TO 3 HRS AFTER SUNSET
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	NO
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	NO
61	Is this a contributing building?	NO
62	Located within a Local Historic District?	YES

Notes:

If not applicable write N/A

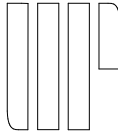
All other data information may be required and presented like the above format.

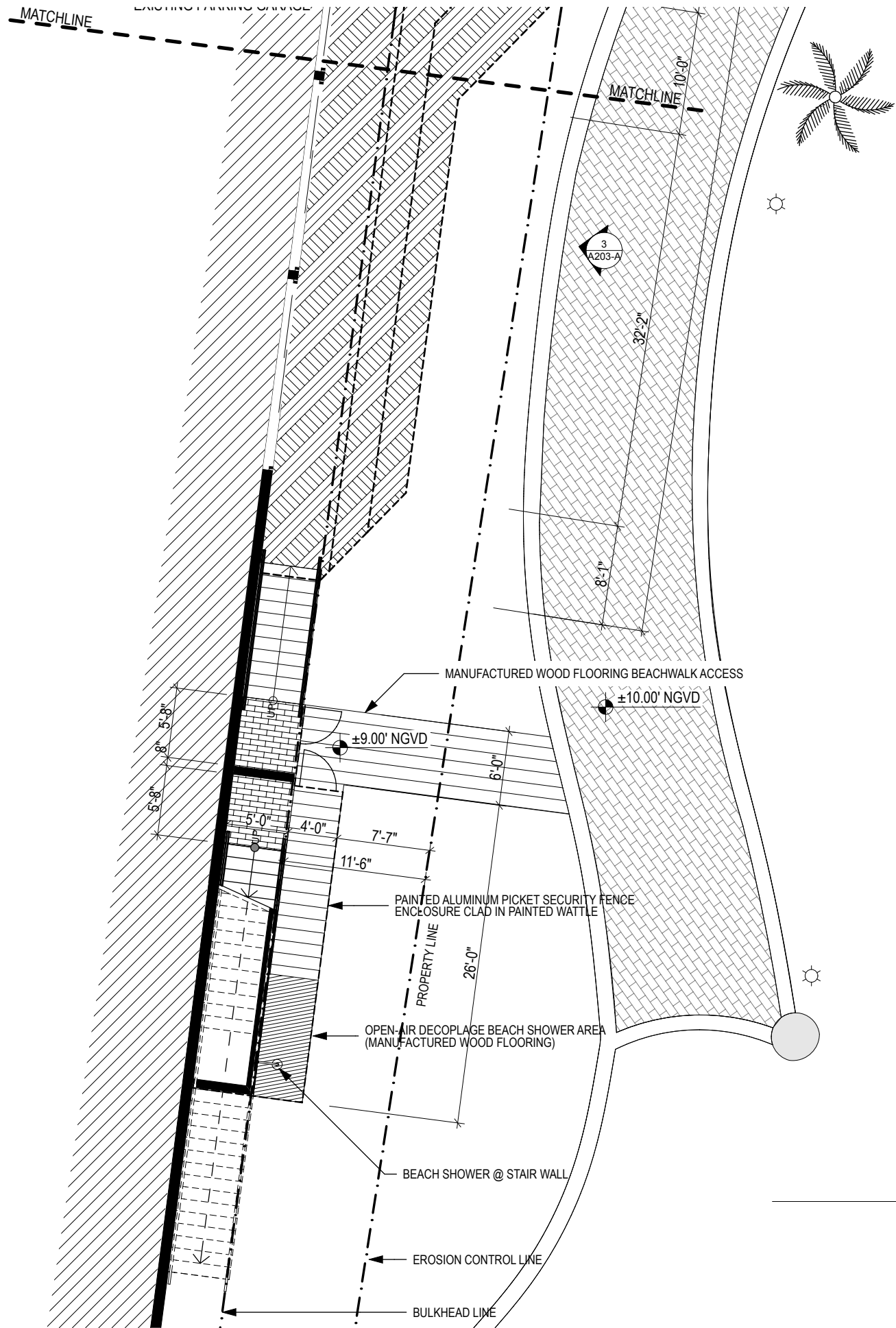


PROPOSED PARKING LEVEL

SCALE: 3/32" = 1'-0"

1

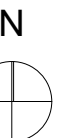




PROPOSED PARKING LEVEL

SCALE: 3/32" = 1'-0"

1



A101-C

H P B S U B M I T T A L

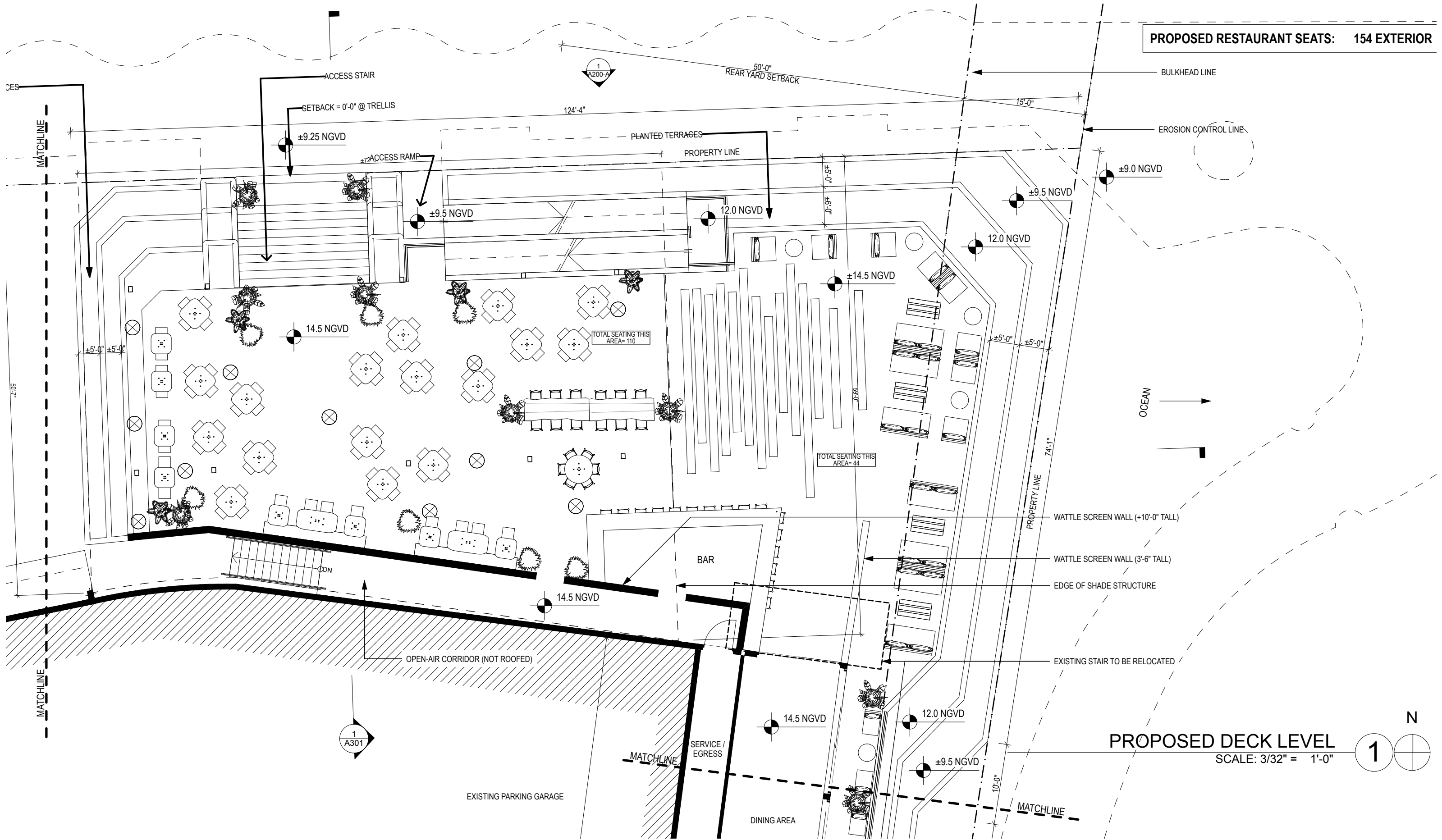
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PROPOSED PARKING LEVEL

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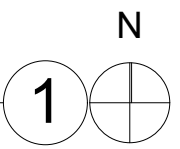
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PROPOSED RESTAURANT SEATS: 154 EXTERIOR

PROPOSED DECK LEVEL
SCALE: 3/32" = 1'-0"



A102-A | H P B S U B M I T T A L

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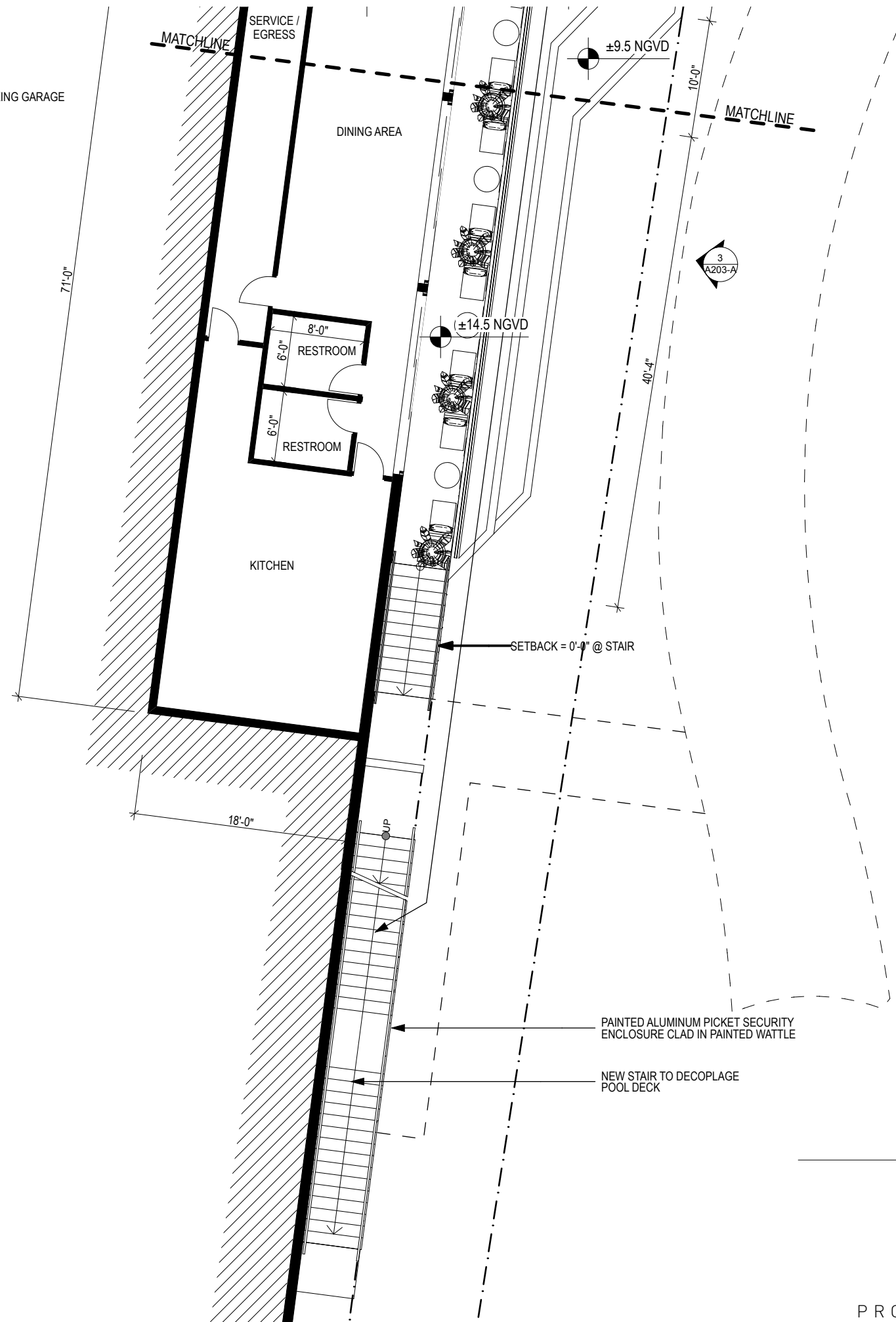
PROPOSED DECK LEVEL

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EXISTING PARKING GARAGE

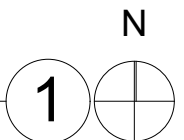


PROPOSED RESTAURANT SEATS: 240

FINAL ACCESSIBLE SEATS SHALL EQUAL	5%
MIN. ACCESSIBLE SEATS REQUIRED:	15
ACCESSIBLE SEATS PROVIDED:	15

PROPOSED DECK LEVEL

SCALE: 3/32" = 1'-0"



A102-B

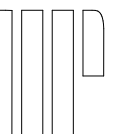
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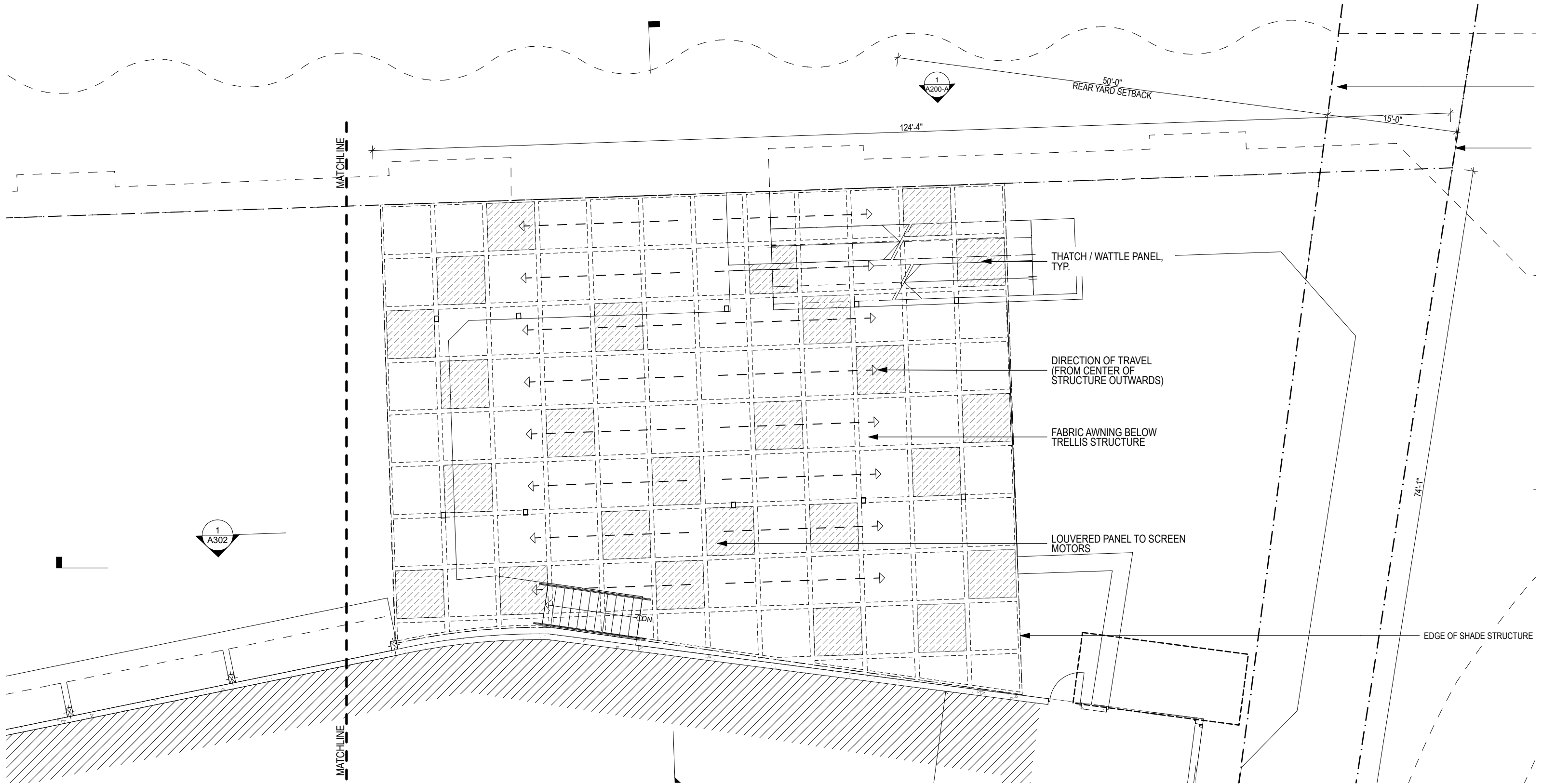
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PROPOSED DECK LEVEL

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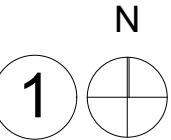
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PROPOSED DECK LEVEL - TRELLIS

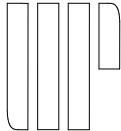
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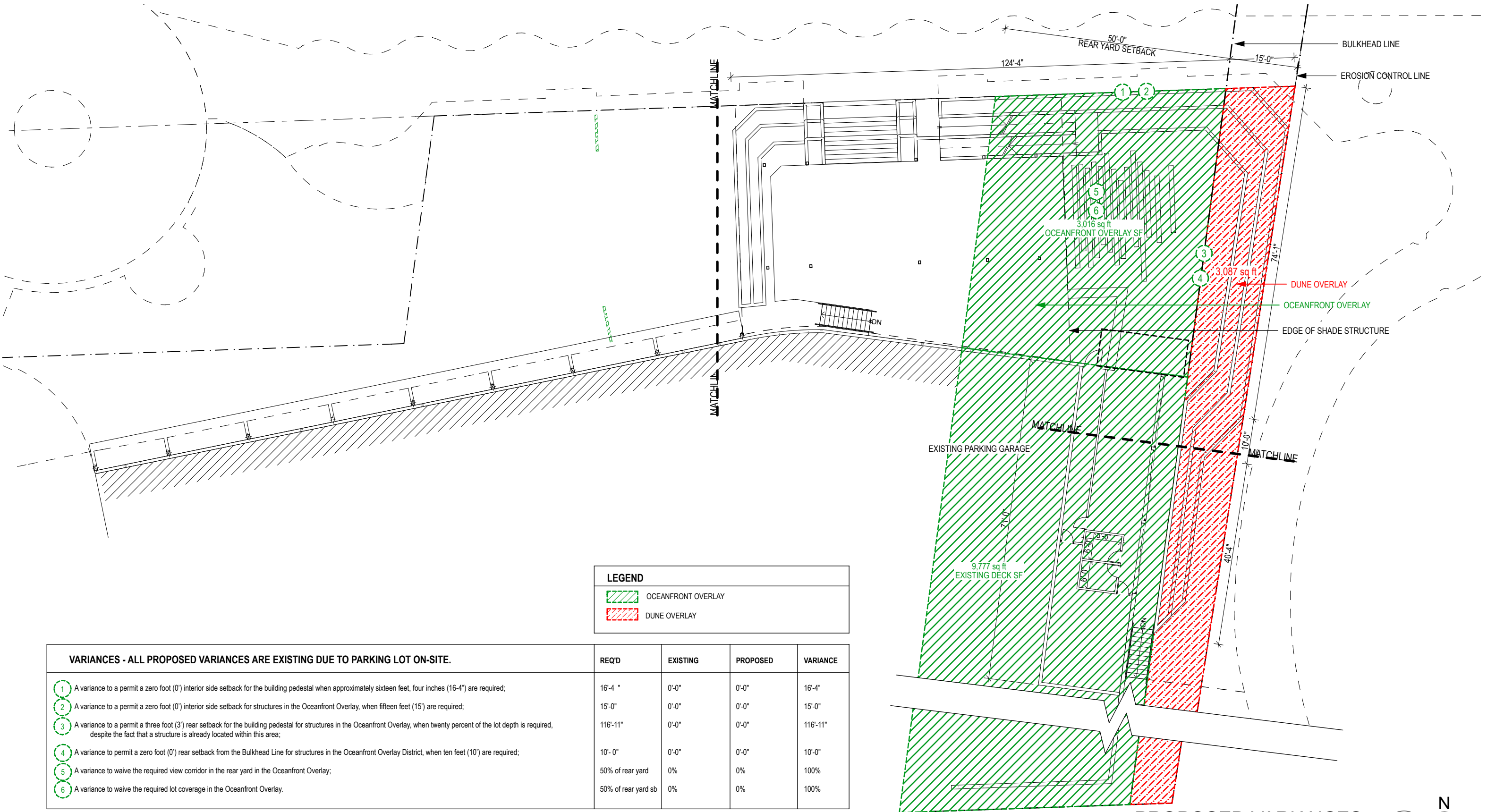




A102-D | H P B S U B M I T T A L

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PROPOSED DECK TRELLIS | 11.05.2018 | URBAN ROBOT © 2018

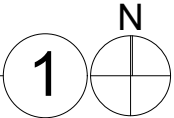




LEGEND	
	OCEANFRONT OVERLAY
	DUNE OVERLAY

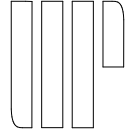
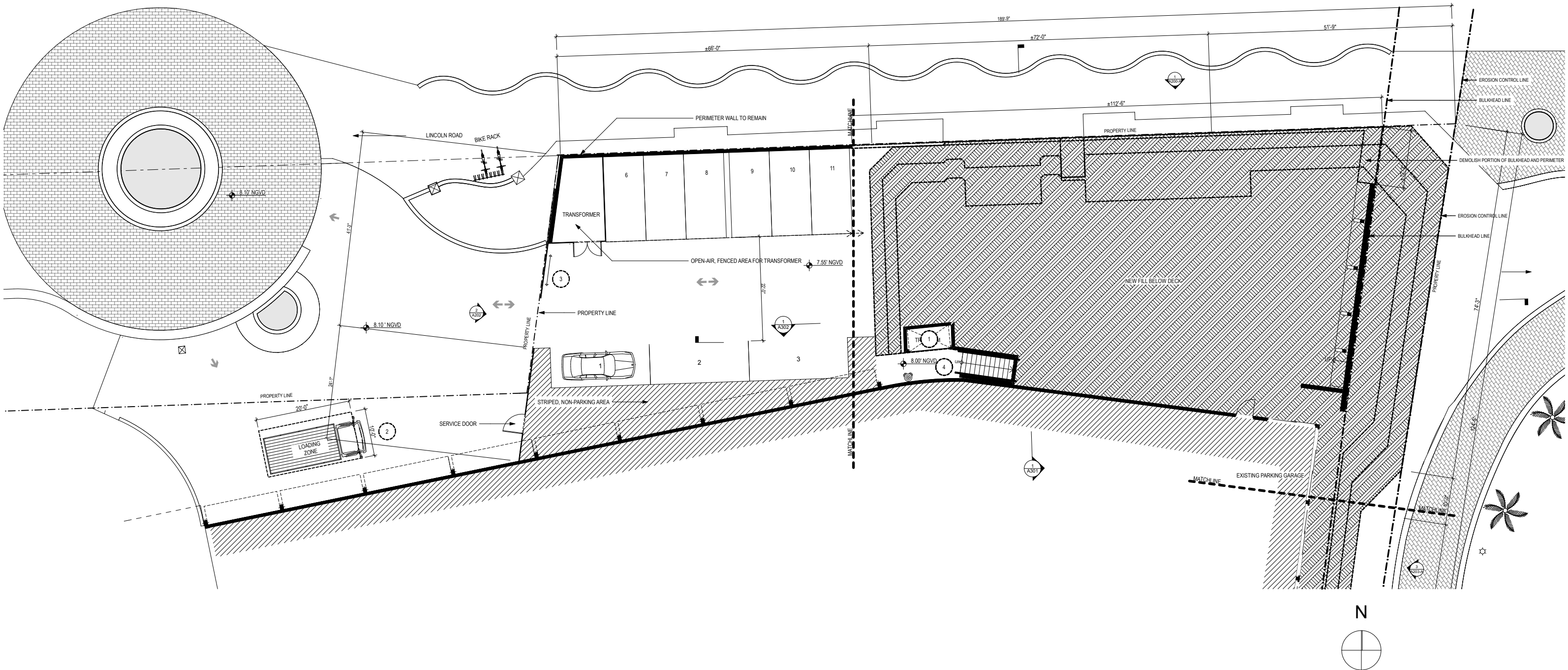
VARIANCES - ALL PROPOSED VARIANCES ARE EXISTING DUE TO PARKING LOT ON-SITE.				
	REQ'D	EXISTING	PROPOSED	VARIANCE
1 A variance to a permit a zero foot (0') interior side setback for the building pedestal when approximately sixteen feet, four inches (16'-4") are required;	16'-4 "	0'-0"	0'-0"	16'-4"
2 A variance to a permit a zero foot (0') interior side setback for structures in the Oceanfront Overlay, when fifteen feet (15') are required;	15'-0"	0'-0"	0'-0"	15'-0"
3 A variance to a permit a three foot (3') rear setback for the building pedestal for structures in the Oceanfront Overlay, when twenty percent of the lot depth is required, despite the fact that a structure is already located within this area;	116'-11"	0'-0"	0'-0"	116'-11"
4 A variance to permit a zero foot (0') rear setback from the Bulkhead Line for structures in the Oceanfront Overlay District, when ten feet (10') are required;	10'- 0"	0'-0"	0'-0"	10'-0"
5 A variance to waive the required view corridor in the rear yard in the Oceanfront Overlay;	50% of rear yard	0%	0%	100%
6 A variance to waive the required lot coverage in the Oceanfront Overlay.	50% of rear yard sb	0%	0%	100%

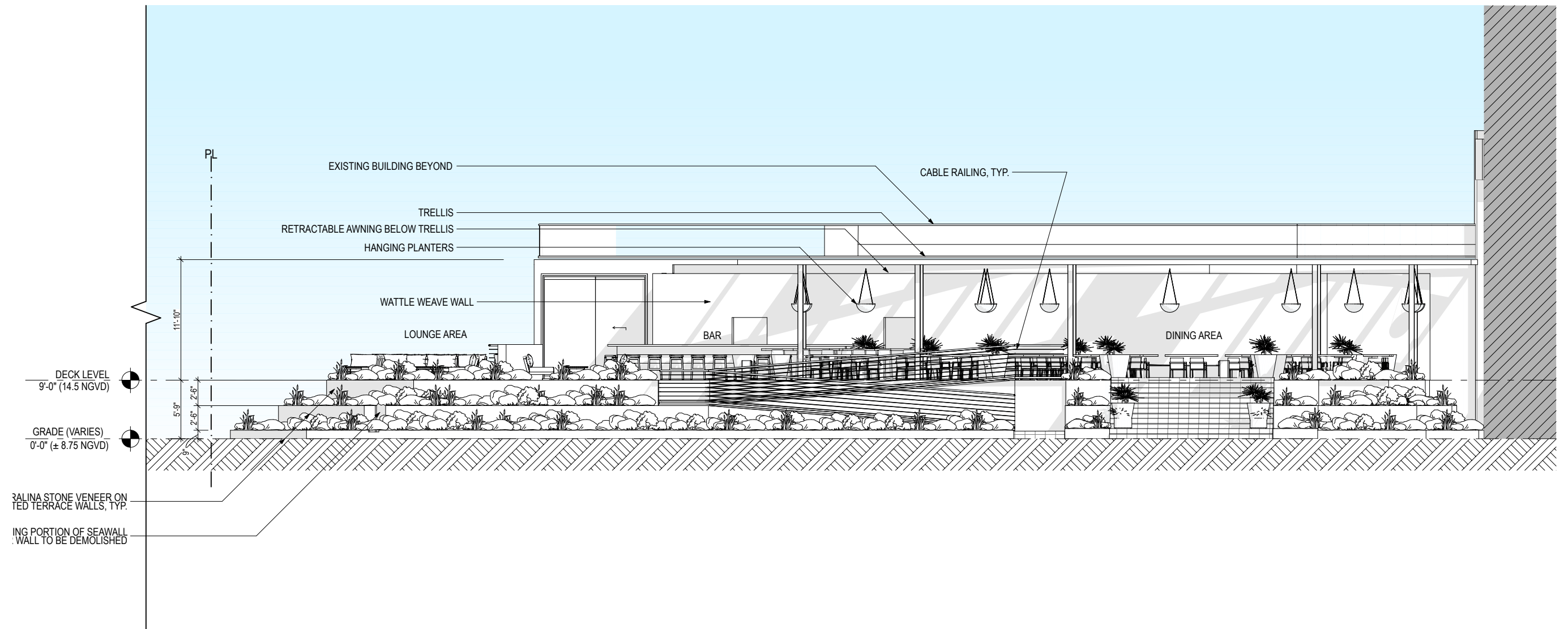
PROPOSED VARIANCES
SCALE: 1" = 20'



OPERATION LEGEND

- 1 TRASH ENCLOSURE
- 2 LOADING ZONE
- 3 GATE / VALET / CONTROLLED ACCESS
- 4 SERVICE / EGRESS CORRIDOR





NORTH ELEVATION

SCALE: 3/32" = 1'-0"

1

A200-A

H P B S U B M I T T A L

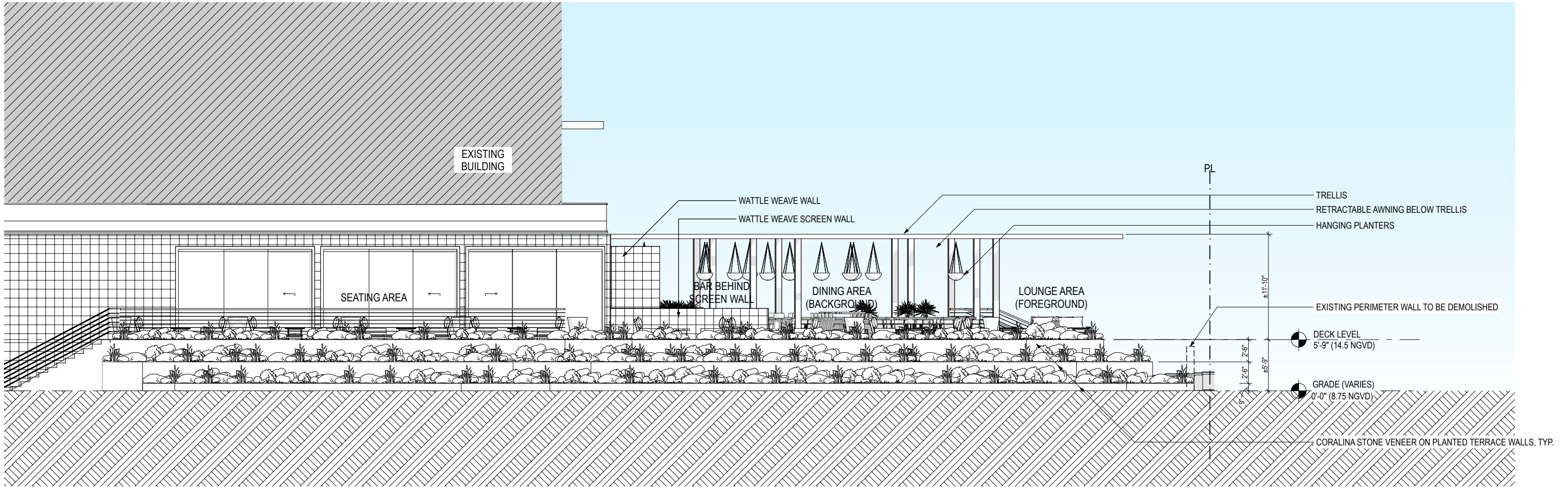
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NORTH ELEVATION

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EAST ELEVATION

SCALE: 3/32" = 1'-0"

3

A203-A

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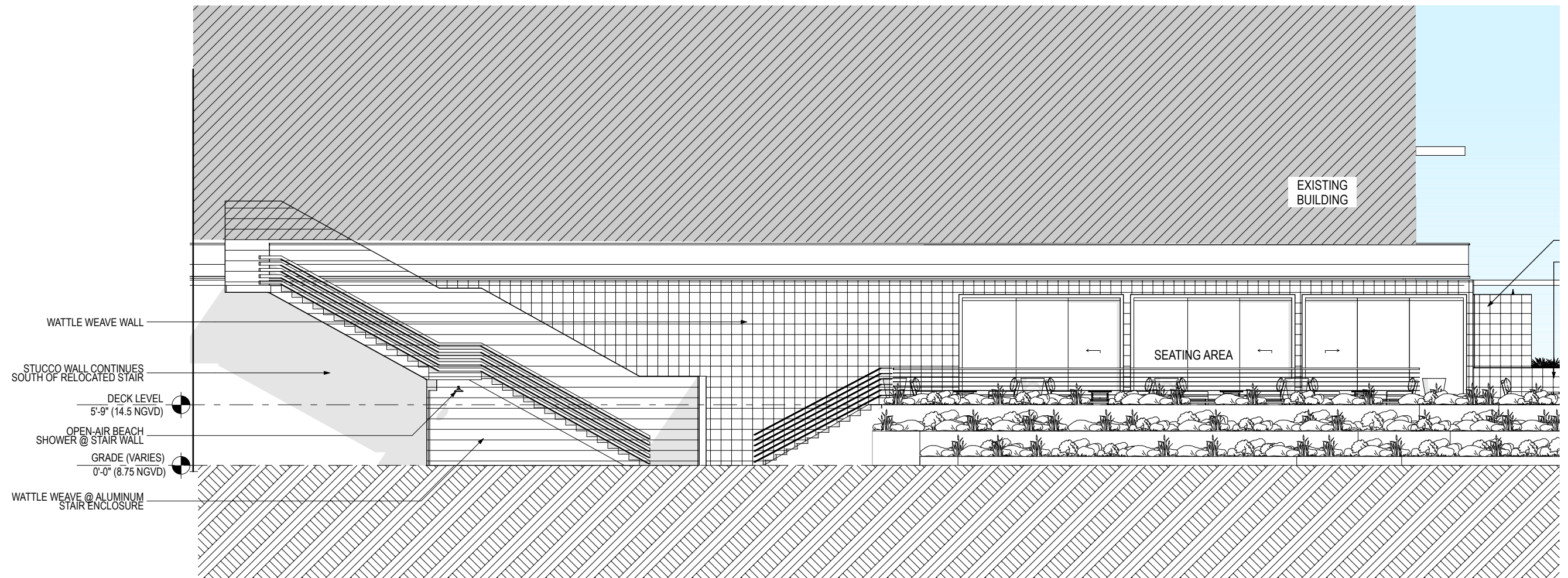
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EXTERIOR EAST ELEVATION

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EAST ELEVATION SCALE: 3/32" = 1'-0"

3

A203-B

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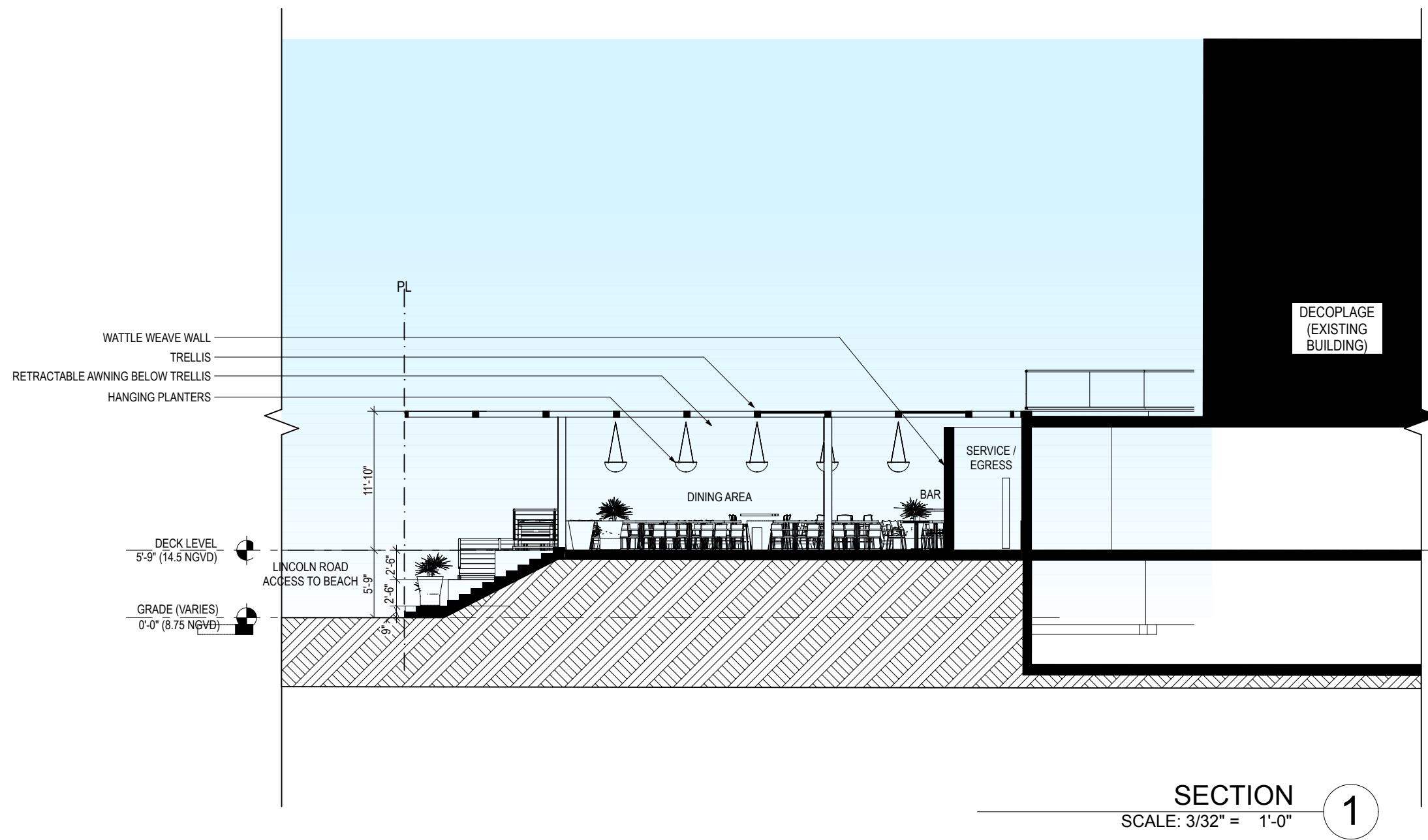
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EXTERIOR EAST ELEVATION

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A301

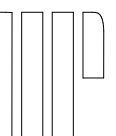
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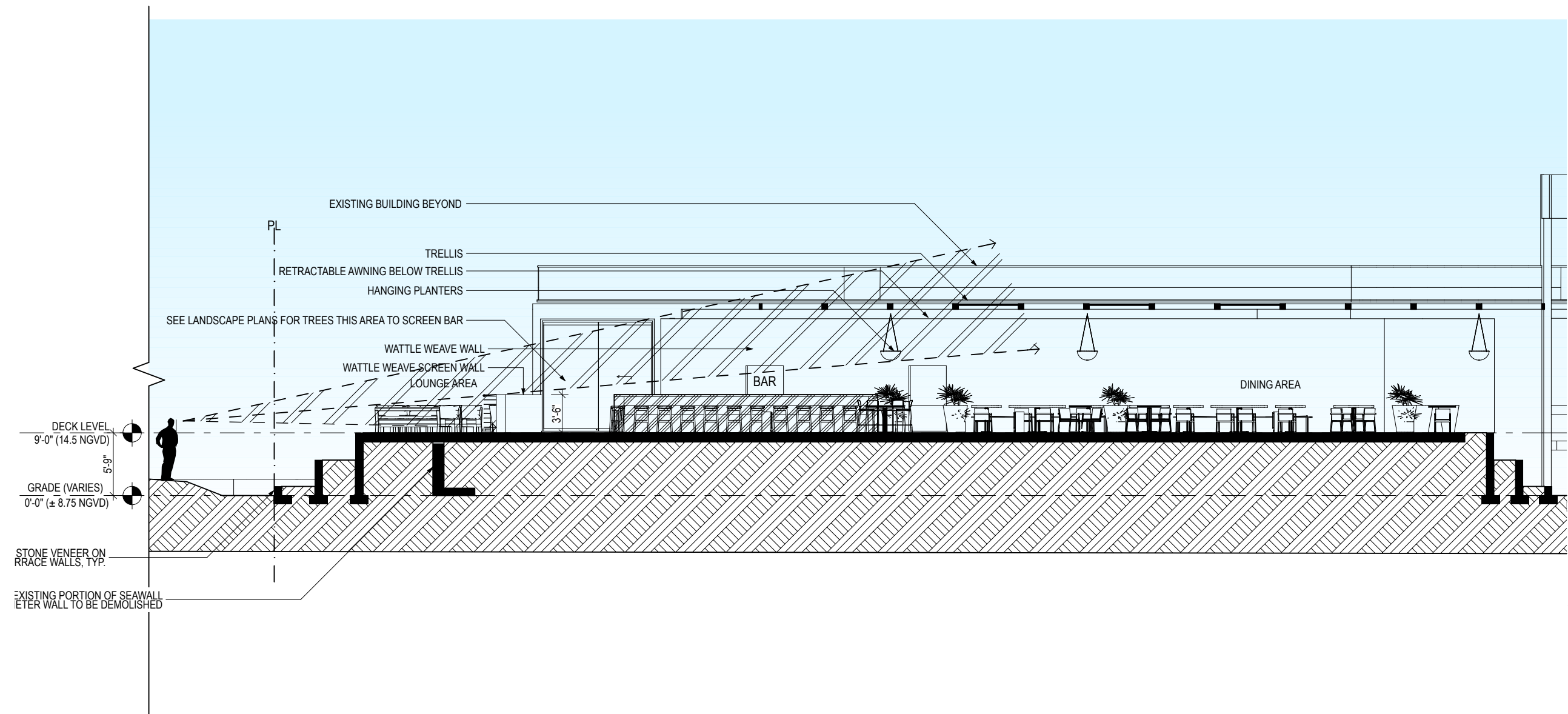
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SECTION

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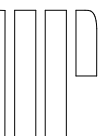
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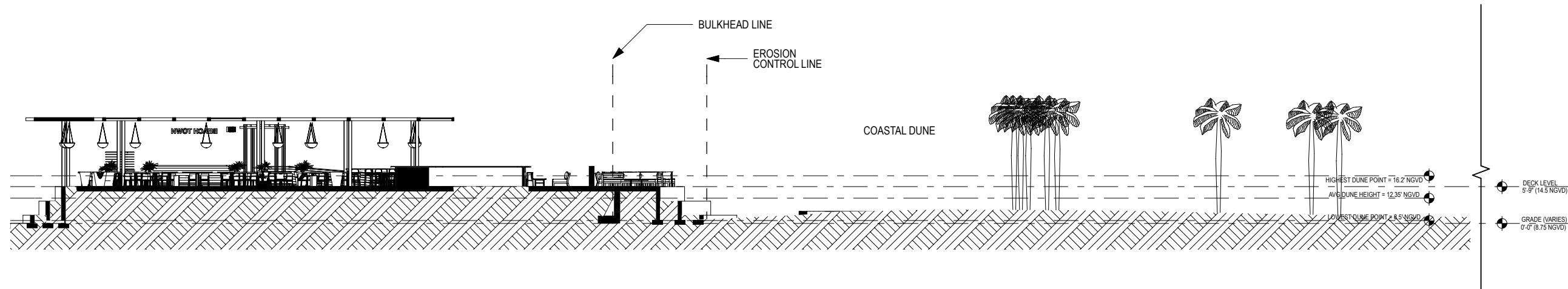




SECTION
SCALE: 3/32" = 1'-0"

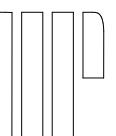
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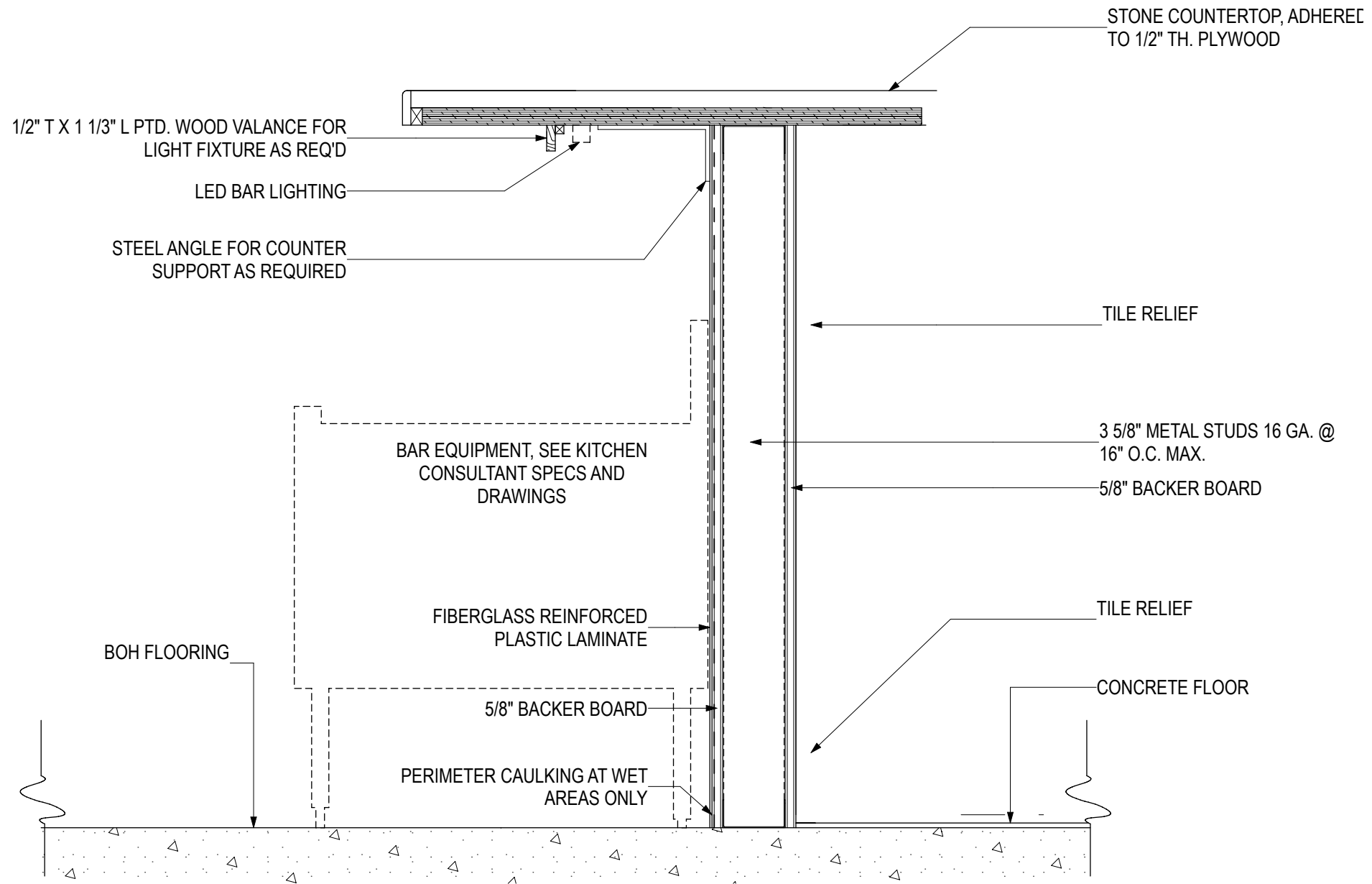




DUNE SECTION SCALE: 1" = 20'

1





BAR DETAILS

A501

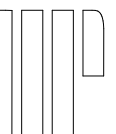
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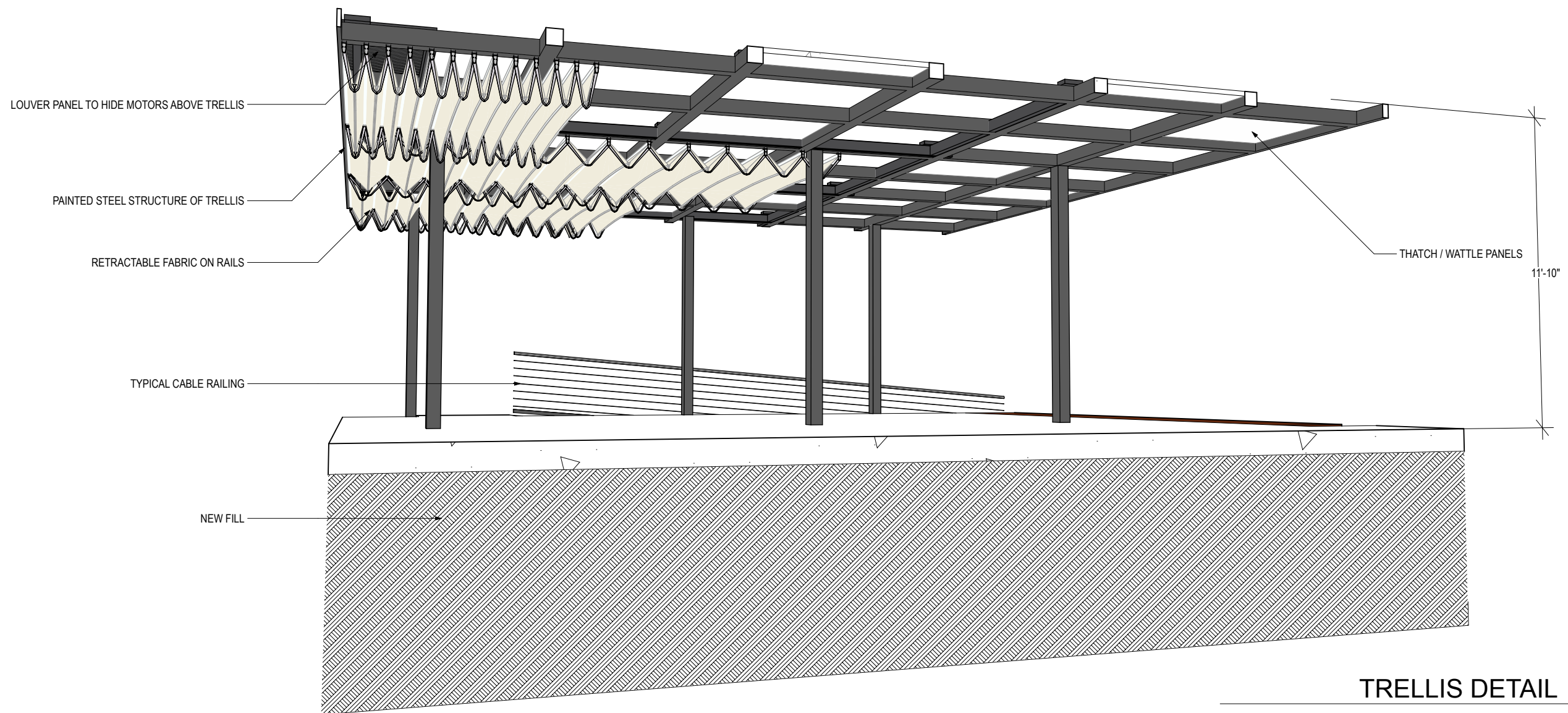
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BAR DETAILS

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TRELLIS DETAIL
NOT TO SCALE

1



A601

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