

beachtown

100 LINCOLN ROAD :: MIAMI BEACH, FL 33139

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Final HPB Submission November 14, 2018

Plan Number: HPB18-0199

Certificate of Appropriateness for Demolition and Design

VARIANCE LISTED:

NOTE: ALL PROPOSED VARIANCES ARE EXISTING DUE TO PARKING LOT ON-SITE.

- 01) A variance to a permit a zero foot (0') interior side setback for the building pedestal when approximately sixteen feet, four inches (16'-4") are required;
- 02) A variance to a permit a zero foot (0') interior side setback for structures in the Oceanfront Overlay, when fifteen feet (15') are required;
- 03) A variance to a permit a three foot (0') rear setback for the building pedestal for structures in the Oceanfront Overlay, when twenty percent of the lot depth is required, despite the fact that a structure is already located within this area;
- 04) A variance to permit a zero foot (0') rear setback from the Bulkhead Line for structures in the Oceanfront Overlay District, when ten feet (10') are required;
- 05) A variance to waive the required view corridor in the rear yard in the Oceanfront Overlay;
- 06) A variance to waive the required lot coverage in the Oceanfront Overlay.

SCOPE OF WORK :

- NEW OPEN-AIR DECK ABOVE EXISTING PARKING LOT; PARKING TO BE FILLED IN.

SUBMITTAL: HISTORICAL PRESERVATION BOARD

1st SUBMITTAL: JULY 16, 2018

Final SUBMITTAL: NOVEMBER 14, 2018

COVER

G000

1. Field Survey was completed on: May 3rd, 2018.

Lots 4 through 15 inclusive, Block 55, Fishers First Subdivision of Alton Beach, as recorded in Plat Book 2, at Page 77 of the Public Records of Miami-Dade County, Florida. Also that certain Tract of land, described as follows, to-wit:

Begin (P.O.B.) at the Northeast corner of Lot 3, Block 55 of above stated Fishers First Subdivision of Alton Beach, and run N88°00'49"E along the production Easterly of the Northernly line of said Lot 3, a distance of 181.91 feet to the Erosion Control Line of the Atlantic Ocean, said line recorded in Plat Book 105, at Page 62 of the Public Records of Miami-Dade County, Florida; thence run N85°44'53"E along the Erosion Control Line, a distance of 305.51 feet to the intersection of the production Easterly of the Northernly line of said Lot 9, Block 55 of aforesaid Subdivision; thence run S88°00'49.4"W along the Easterly production of aforesaid Lot 9, a distance of 189.228 feet to the Northeast corner of Lot 4; thence run S73°49.4"W along the Easterly line of Lots 9, 8, 7, 6, 5, and 4 of aforesaid Block 55, a distance of 304.23 feet to the Point of Beginning (P.O.B.).

ALSO;

Beginning (P.O.B.) at the Northeast corner of said Lot 9, Block 55, Fishers First Subdivision of Altan Beach, recorded in Plat Book 2, at Page 77 of the Public Records of Miami-Dade County, Florida, run N88°00'49.4"E along the production Easterly of the Northernly line of said Lot 9, a distance of 189.228 feet to the intersection of said Erosion Control Line of the Atlantic Ocean; thence run N85°45'37"E along the Erosion Control Line, a distance of 50.92 feet to the intersection of the centerline of Lincoln Road, as said Road is shown on said Plat, produced Easterly, thence run S88°00'49.4"E along the production Easterly of the Centerline of Lincoln Road, a distance of 190.43 feet to the intersection of the Easterly line of Block 55 produced Northerly, thence run S73°49'49.4"W along the production Northerly of the easterly line of said Block 55, a distance of 50.705 feet to the Point of Beginning (P.O.B.).

EXCEPTING from the above described property, the following portion thereof described as follows, to-wit:

All that part of Block 55 bounded as follows: Beginning at a point at the Southwest corner of Lot 5; thence North along the Western line of Lots 15 and 14 of said Block 55, a distance of 100.00 feet to a point; thence run Easterly parallel to the Southern line of Lot 15 and Lot 4, to the Easterly line of Lot 5; thence run Southerly along the Easterly line of said Lot 5, Lot 5 and Lot 4, along the Easterly line of Block 55, to the Southeast corner of said Lot 4; thence run Westerly along the Southern line of Lot 4 and Lot 15 to the Point of Beginning (P.O.B.); all being according to the Plat of Fishers First Subdivision of Alton Beach, as recorded in Plat Book 2, at Page 77 of the Public Records of Miami-Dade County, Florida.

ALSO LESS AND EXCEPTING THEREFROM:

Beginning (P.O.B.) at the Southwest corner of Lot 4 of said Block 55, run N88°00'49.4"E along the production Eastern boundary of the Southerly line of said Lot 4, a distance of 181.91 feet to the above referenced Erosion Control Line of the Atlantic Ocean; thence run N85°44'53"E along the Erosion Control Line, a distance of 100.42 feet to the intersection of a line parallel to and 1.39 feet South of the Projection Eastern of the Northerly line of referenced Lot 5; thence run S88°00'49"W along a line 1.39 feet South of and parallel to the Northerly line of aforesaid Lot 5, a distance of 184.388 feet to a point on the Easterly boundary of said Block 55, thence run S73°34'49.4"W along the Easterly boundary of said Block 55, a distance of 100.00 feet to the Point of Beginning (P.O.B.).

Containing 127,669 Square Feet or 2.93 Acres more or less by calculation.

Legal Description provided by the Client as per O.R.B. 15739 PG. 1067 of Declaration of Condominium.

TREE TABLE				
TREE No	COMMON NAME	DIAMETER (FT)	HEIGHT (FT)	CANOPY (FT)
t1	PALM	2	35	15
t2	PALM	1.50	48	15
t3	PALM	1.50	48	15
t4	PALM	1.50	48	15
t5	PALM	1.50	48	15
t6	PALM	1.50	48	15
t7	PALM	1.50	48	15
t8	COCONUT PALM	1.20	25	15
t9	COCONUT PALM	1.20	25	15
t10	COCONUT PALM	1.20	25	15
t11	COCONUT PALM	1.20	25	15
t12	COCONUT PALM	1.20	25	15
t13	COCONUT PALM	1.20	25	15
t14	COCONUT PALM	1.20	25	15
t15	COCONUT PALM	1.20	25	15
t16	COCONUT PALM	1.20	25	15
t17	COCONUT PALM	1.20	25	15
t18	COCONUT PALM	1.20	25	15
t19	COCONUT PALM	1.20	25	15
t20	COCONUT PALM	1.20	25	15
t21	COCONUT PALM	1.20	25	15
t22	COCONUT PALM	1.20	25	15
t23	COCONUT PALM	1.20	25	15
t24	COCONUT PALM	1.20	30	10
t25	COCONUT PALM	1.20	25	15
t26	COCONUT PALM	1.20	25	15
t27	COCONUT PALM	1.20	25	15
t28	COCONUT PALM	1.20	25	15
t29	COCONUT PALM	1.20	25	15
t30	PALM	0.40	10	5
t31	COCONUT PALM	1.20	25	15
t32	COCONUT PALM	1.20	25	15
t33	PALMS	0.80	18	8
t34	PALMS	0.80	18	8
t35	PALMS	0.80	18	8
t36	COCONUT PALM	1.20	25	15
t37	PALMS	0.80	18	8
t38	COCONUT PALM	1.20	25	15
t39	COCONUT PALM	1.20	25	15
t40	PALM	0.60	12	10
t41	PALM	1.50	48	15
t42	PALM	1.50	40	15
t43	TREE	4	14	13
t44	COCONUT PALM	1.20	35	12
t45	COCONUT PALM	1.20	35	12
t46	COCONUT PALM	1.20	35	12
t47	COCONUT PALM	1.20	35	12
t48	PALM	1.50	28	15
t49	PALM	1.50	28	15
t50	PALM	1.50	28	15
t51	PALM	1.50	28	15
t52	PALM	1.50	28	15
t53	PALM	1.50	28	15
t54	PALM	1	20	12
t55	PALM	1	20	12
t56	PALM	1	20	12
t57	PALM	1	20	12
t58	PALM	1	20	12
t59	PALM	0.60	5	5
t60	COCONUT PALM	1	25	15
t61	COCONUT PALM	1	30	15
t62	COCONUT PALM	1	30	15
t63	PALM	1	25	15
t64	PALM	1	25	15
t65	PALM	1	25	15
t66	PALM	1	25	15
t67	PALM	1	25	15
t68	PALM	1	25	15
t69	COCONUT PALM	1	30	15
t70	COCONUT PALM	1	30	15
t71	COCONUT PALM	1	30	15
t72	COCONUT PALM	1	30	15

TREE TABLE					
TREE	NO	COMMON NAME	DIAMETER (FT)	HEIGHT (FT)	CANOPY (FT)
173	COCONUT	PALM	1	25	15
174	COCONUT	PALM	1	30	15
175	COCONUT	PALM	1	30	15
176	COCONUT	PALM	1	30	15
177	COCONUT	PALM	1	30	15
178	COCONUT	PALM	1	30	15
179	PALM		1	25	15
180	PALM		1	25	15
181	COCONUT	PALM	1	37	12
182	COCONUT	PALM	1.80	27	15
183	COCONUT	PALM	1.80	27	15
184	COCONUT	PALM	0.80	18	15
185	COCONUT	PALM	1	18	7
186	COCONUT	PALM	1	35	15
187	COCONUT	PALM	0.80	15	6
188	COCONUT	PALM	1	30	18
189	COCONUT	PALM	0.80	35	15
190	COCONUT	PALM	1	35	15
191	COCONUT	PALM	1	30	15
192	COCONUT	PALM	1	30	15
193	COCONUT	PALM	1	35	15
194	COCONUT	PALM	1	28	15
195	COCONUT	PALM	1	28	15
196	PALM		0.80	10	10
197	TREE		2	15	8
198	TREE		3	10	12
199	PALM		1	12	10
1101	PALM		1.25	25	15
1102	PALM		1.25	25	15
1103	PALM		1.25	25	15
1104	PALM		1.25	25	15
1105	PALM		1.25	25	15
1106	PALM		1.25	25	15
1107	PALM		1.25	25	15
1108	PALM		1.25	25	15
1109	PALM		1.25	25	15
1110	PALM		1.25	25	15
1111	PALM		1.25	25	15
1112	PALM		1.25	25	15
1113	PALM		1.25	25	15
1114	PALM		1.25	25	15
1115	PALM		1.25	25	15
1116	PALM		2	15	20
1117	PALM		0.60	10	8
1118	PALM		0.60	10	8
1119	PALM		0.60	10	8
1120	PALM		0.60	10	8
1121	PALM		0.60	10	8
1122	PALM		0.60	10	8
1123	PALM		0.60	10	8
1124	PALM		0.60	10	8
1125	PALM		0.3	8	5
1126	PALM		0.3	8	5
1127	PALM		1.25	15	10
1129	PALM		0.8	8	8
1130	PALMS		0.80	10	10
1131	PALMS		0.80	15	10
1132	PALM		2	15	20
1133	PALM		2	15	20
1134	PALM		2	15	20
1135	PALM		2	15	20
1136	PALM		2	15	20
1137	PALM		2	15	20
1138	PALM		2	8	20
1139	PALMS		1.25	25	25
1140	PALMS		1.25	25	25
1141	PALMS		1.25	25	25
1142	PALMS		1.25	25	25
1143	TREE		2	10	12
1144	TREE		1	15	20

3. SOURCES OF DATA:

AS TO HORIZONTAL CONTROL:

-North Arrow and Bearings refer to an assumed value of S08°54'53"W along the Erosion Control Line from Government cut to 87, Drawing SM-93F, Date: April 1993, Up-dated April 1997, of the Public Records of Miami-Dade County, Florida.

-The Erosion Control Line, Bulkhead Line and Coastal Construction Control Line as per Map from Government cut to 87, Drawing SM-93F Up-dated April 1997, of the Public Records of Miami-Dade County, Florida.

-Plat Book 105, Page 62, of the Public Records of Miami-Dade County, Florida.

AS TO VERTICAL CONTROL:

By scaled determination the subject property lies in Flood Zone X and Zone AE, base flood elevation 8 feet, as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651, Map No. 120860C0317, Suffix L, Revised Date: 09-11-2009.

An accurate Zone determination should be made by the preparer of the map, the Federal Emergency Management Agency, or the Local Government Agency having jurisdiction over such matters prior to any judgments being made from the Zone as noted. The referenced Federal Emergency Management Agency Map states in the notes to the user that "this map is for insurance purposes only".

The vertical control element of this survey was derived from the National Geodetic Vertical Datum, 1929.

Benchmark used:

Miami-Dade County Benchmark D-148R, Elev.=6.35'

Location: 15th Street— 105' South of C/L & Collins Avenue— 33' East of C/L
Description: PK nail and aluminum washer in conc. catch basin.

4. ACCURACY:

The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed the requirements.

5. LIMITATIONS:

Since no other information other than what is cited in the Sources of Data was furnished, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map or contained within this Report that may be found in the Public Records of Miami-Dade County, or the records of any other public and private entities as their jurisdiction may appear. The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual, and no appearance in public records, or any determination was made as to how the Subject Property is served by utilities. No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

This notice is required by the "Standards of Practice for Land Surveying in the State of Florida," pursuant to Rule 5J-17 of the Florida Administrative Code.

Notice is hereby given that Sunshine State One Call of Florida, Inc. must be contacted at 1-800-432-4770 at least 48 hours in advance of any construction, excavation or demolition activity within, upon, abutting or adjacent to the Subject Property. This Notice is given in compliance with the "Underground Facility Damage Prevention and Safety Act," pursuant to Chapter 556.101-111 of the Florida Statutes.

CERTIFY TO:

SURVEYOR'S CERTIFICATE:

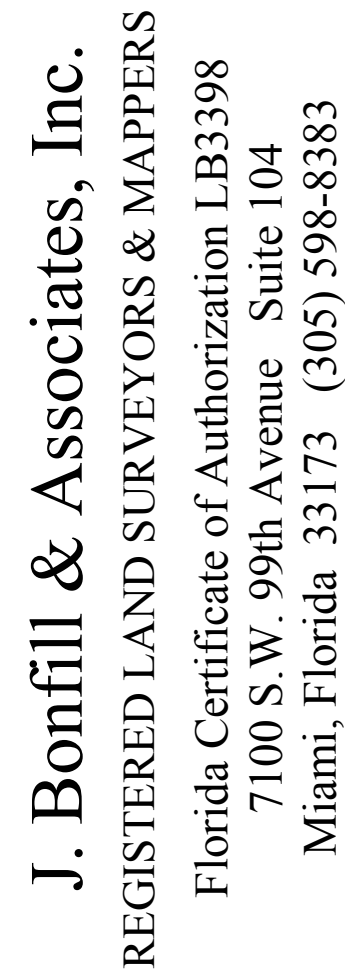
I HEREBY CERTIFY: That the Boundary Survey of the above described property is true and correct to the best of my knowledge and belief as recently surveyed under my direction. Further, there are no above ground encroachments unless shown. This survey meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers, in Chapter 5J-17, Florida Administrative Code, pursuant to section 472.027 Florida Statutes. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting the property. Location and identification of utilities adjacent to the property were not secured as such information was not requested. Ownership is subject to opinion of title.

J. BONFILL & ASSOCIATES, INC.

Florida Certificate of Authorization No. LB 3398

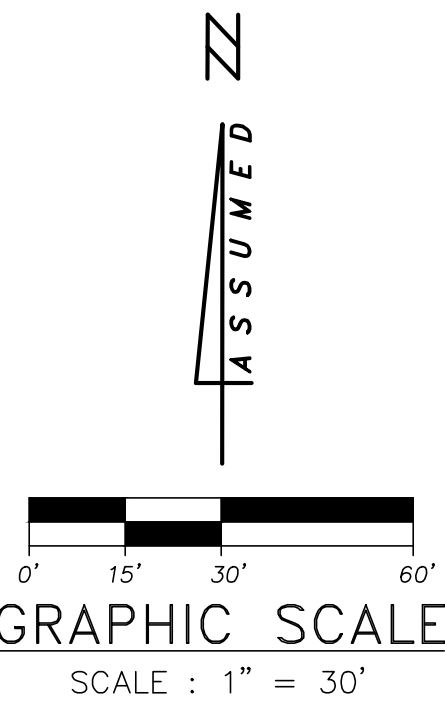
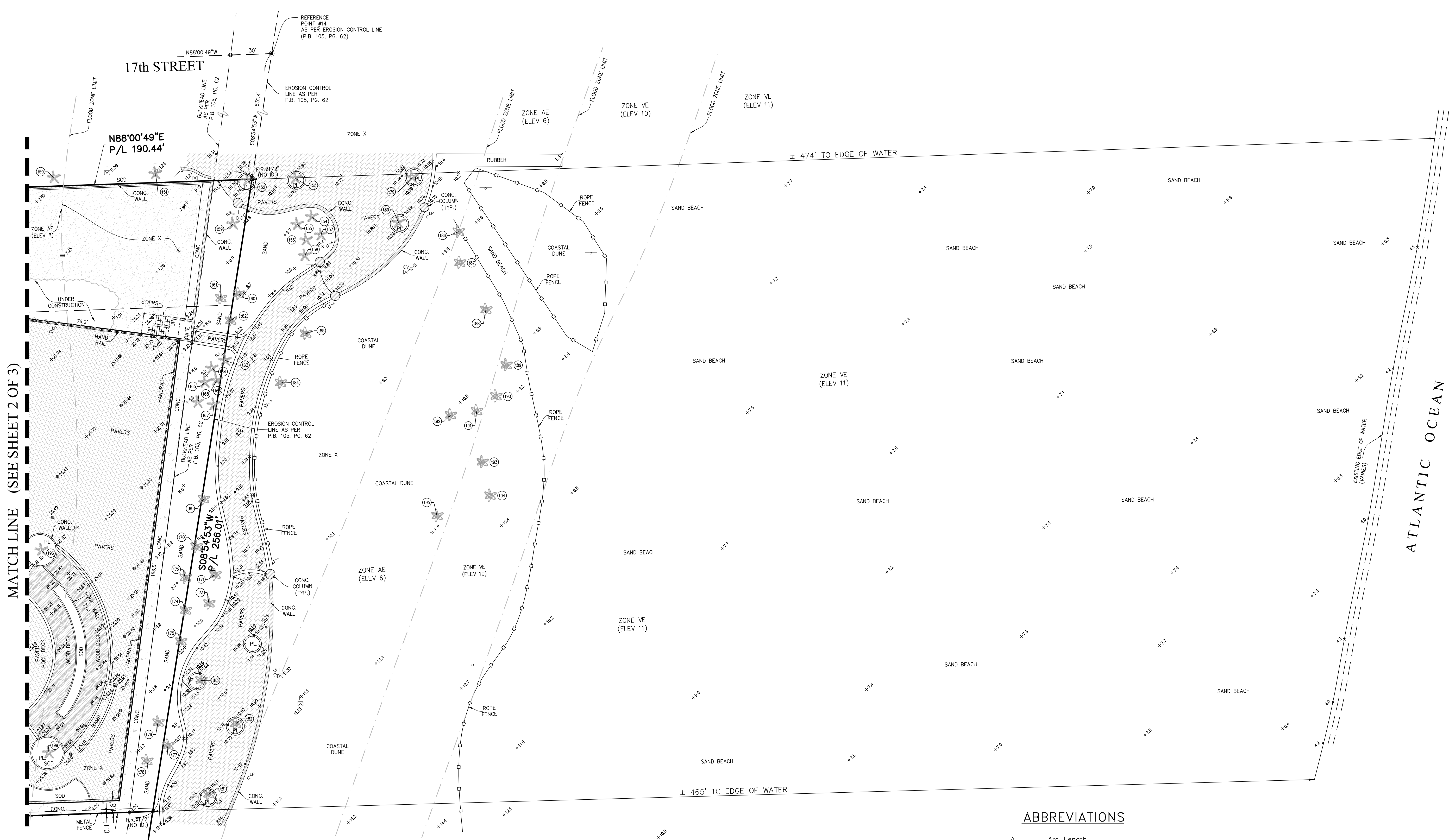
ORIA JANNET SUAREZ
PROFESSIONAL SURVEYOR AND MAPPER No. 6781
STATE OF FLORIDA

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.



BOUNDARY SURVEY
of
100 LINCOLN ROAD AVENUE, MIAMI BEACH
MIAMI-DADE COUNTY, FLORIDA 33139
for
CRESCENT HEIGHTS

[illegible]



- LEGEND**
- Air Conditioner
 - Back Flow Preventer
 - Cable Television
 - Catch Basin
 - Chain Link Fence
 - Clean Out
 - Concrete Light Pole
 - Concrete Power Pole
 - Control Valve
 - C.B.S. Wall
 - Diameter
 - Diameter-Height-Spread
 - Drain
 - Drainage Manhole
 - Electric Box
 - Electric Meter
 - Electric Motor

- Electric Panel
- Fire Hydrant
- Flag
- Floor Lamp
- Force Main Valve
- Gas Valve
- Gas Meter
- Grease Manhole
- Guard Pole
- Guy Wire
- Irrigation Control Valve
- Light Pole
- Mail Box
- Metal Fence
- Monitoring Well
- Overhead Utility Lines
- Parking Meter
- Property Corner

- Right-of-Way Lines
- Sewer Manhole
- Sewer Valve
- Spot Elevation
- Traffic Light
- Traffic Sign
- Telephone Booth
- Telephone Box
- Telephone Manhole
- Temporary Benchmark
- Unknown Manhole
- Utility Power Pole
- Valve (Unknown)
- Water Manhole
- Water Meter
- Water Pump
- Water Valve
- Wood Fence

TREE LEGEND

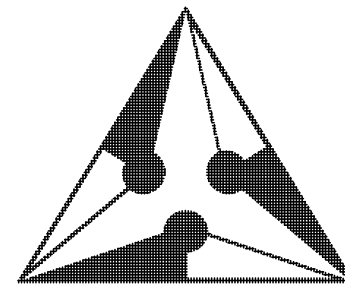
SYMBOL COMMON NAME

- Tree (Species unknown)
- Palm Tree
- Mango Tree
- Gumbo-Limbo
- Oak Tree
- Coconut Palm

* Tree types are determined to the best of our ability and should be confirmed by botanist or a trained specialist.

ABBREVIATIONS

- A Arc Length
- A/C Air Conditioner Pad
- ASPH. Asphalt
- B.M. Benchmark
- C.B.S. Concrete Block Structure
- C.G. Curb & Gutter
- C/L Center Line
- C.L.F. Chain Link Fence
- CONC. Concrete
- C.S. Concrete Slab
- D.W.Y. Driveway
- E.T.P. Electric Transformer Pad
- F.F.E. Finished Floor Elevation
- F.I.P. Found Iron Pipe
- F.N.D. Found Nail & Disc
- F.R. Found Rebar
- I.D. Identification
- INV. Inverts
- L.F.E. Lowest Floor Elevation
- M/L Monument Line
- P.B. Plat Book
- P.C.P. Permanent Control Point
- P.G. Page
- PL. Planter
- P/L Property Line
- P.O.B. Point of Beginning
- P.O.C. Point of Commencement
- P.R.M. Permanent Reference Monument
- R/W Right-of-Way Line
- SWK. Sidewalk
- T.B.M. Temporary Benchmark
- V.G. Valley Gutter

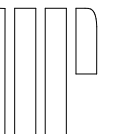


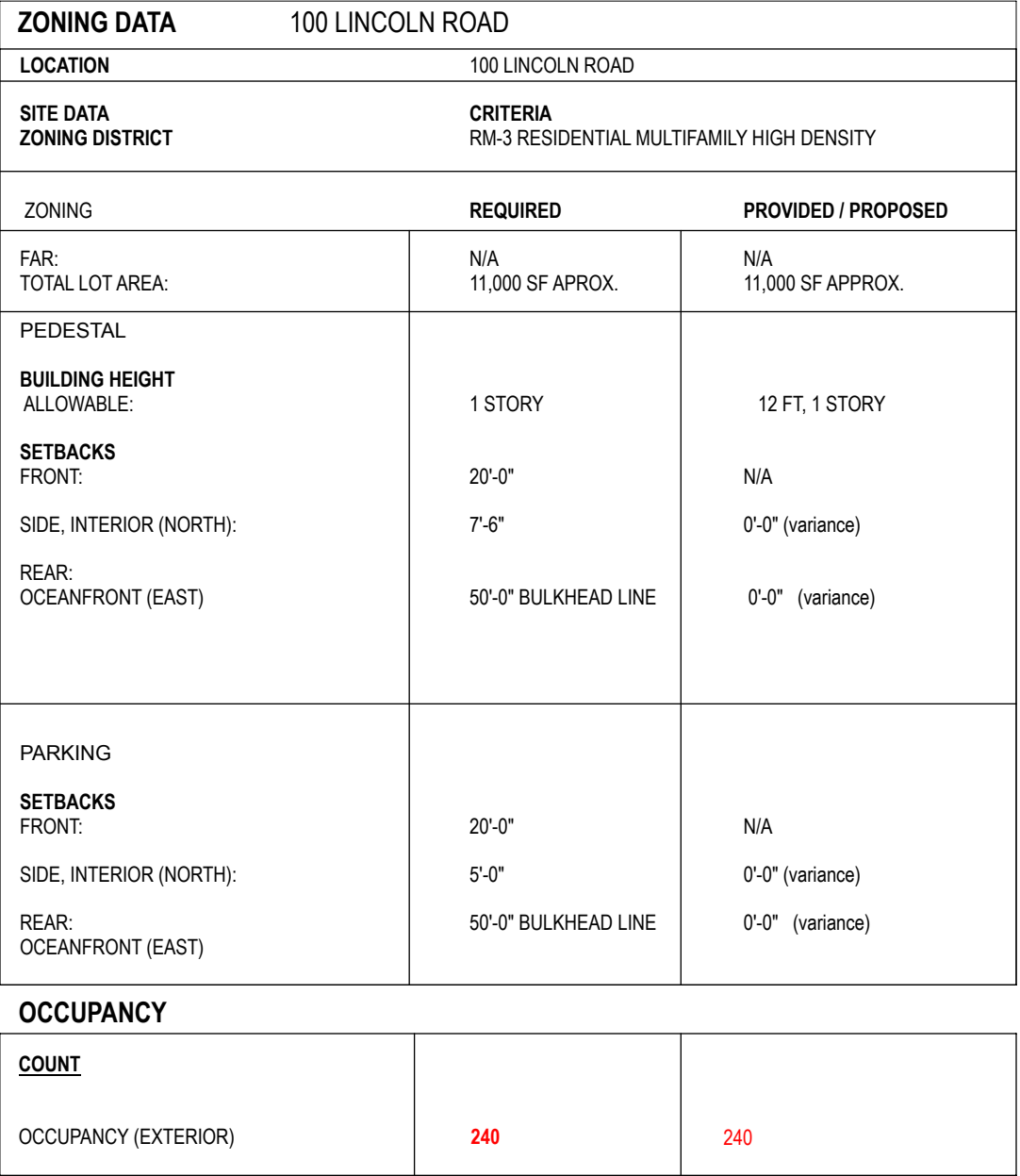
J. Bonfill & Associates, Inc.
REGISTERED LAND SURVEYORS & MAPPERS
Florida Certificate of Authorization LB33398
7100 S.W. 99th Avenue Suite 104
Miami, Florida 33173 (305) 598-8383

BOUNDARY SURVEY
of
100 LINCOLN ROAD AVENUE, MIAMI BEACH
MIAMI-DADE COUNTY, FLORIDA 33139
for
CRESCENT HEIGHTS

REVISIONS	BY

Proj:	06-0644
Job:	18-0101
Date:	05-03-2018
Drawn:	G.P., J.S., C.B., M.R.
Checked:	J.S.
Scale:	AS SHOWN
Field Book:	ON FILE
SHEET 3 OF 3	



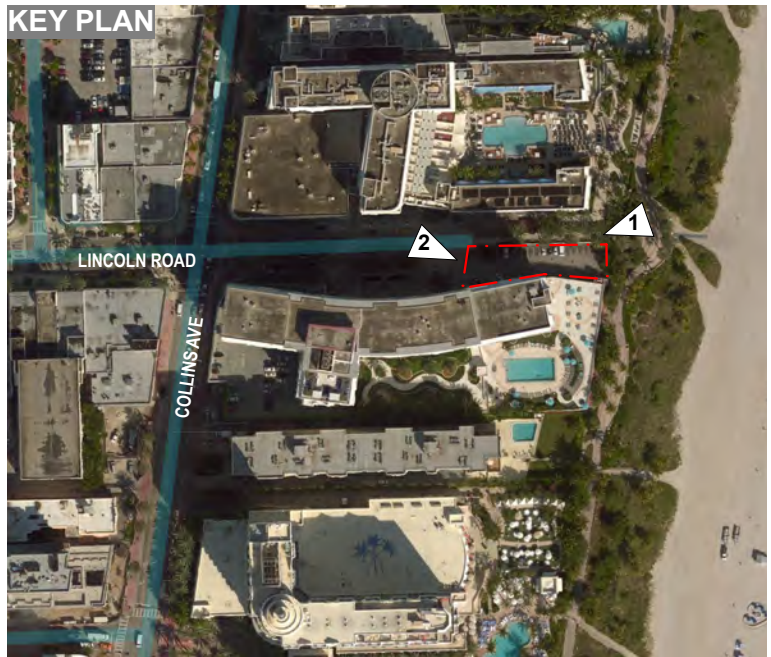




1.



2.





1.



2.



5.



3.



4.





1.



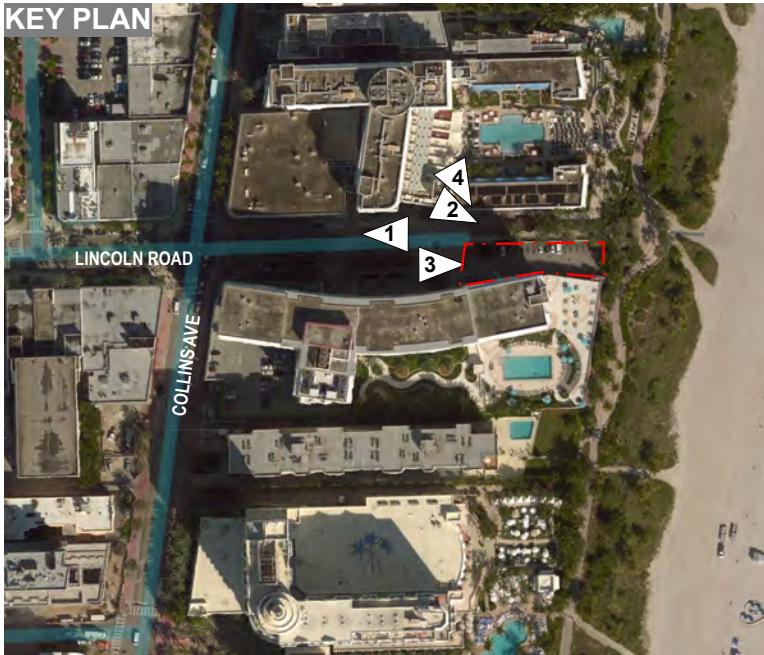
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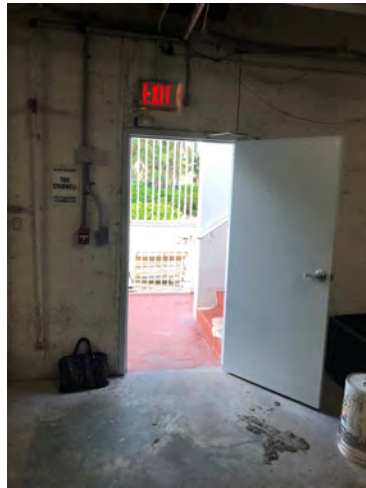
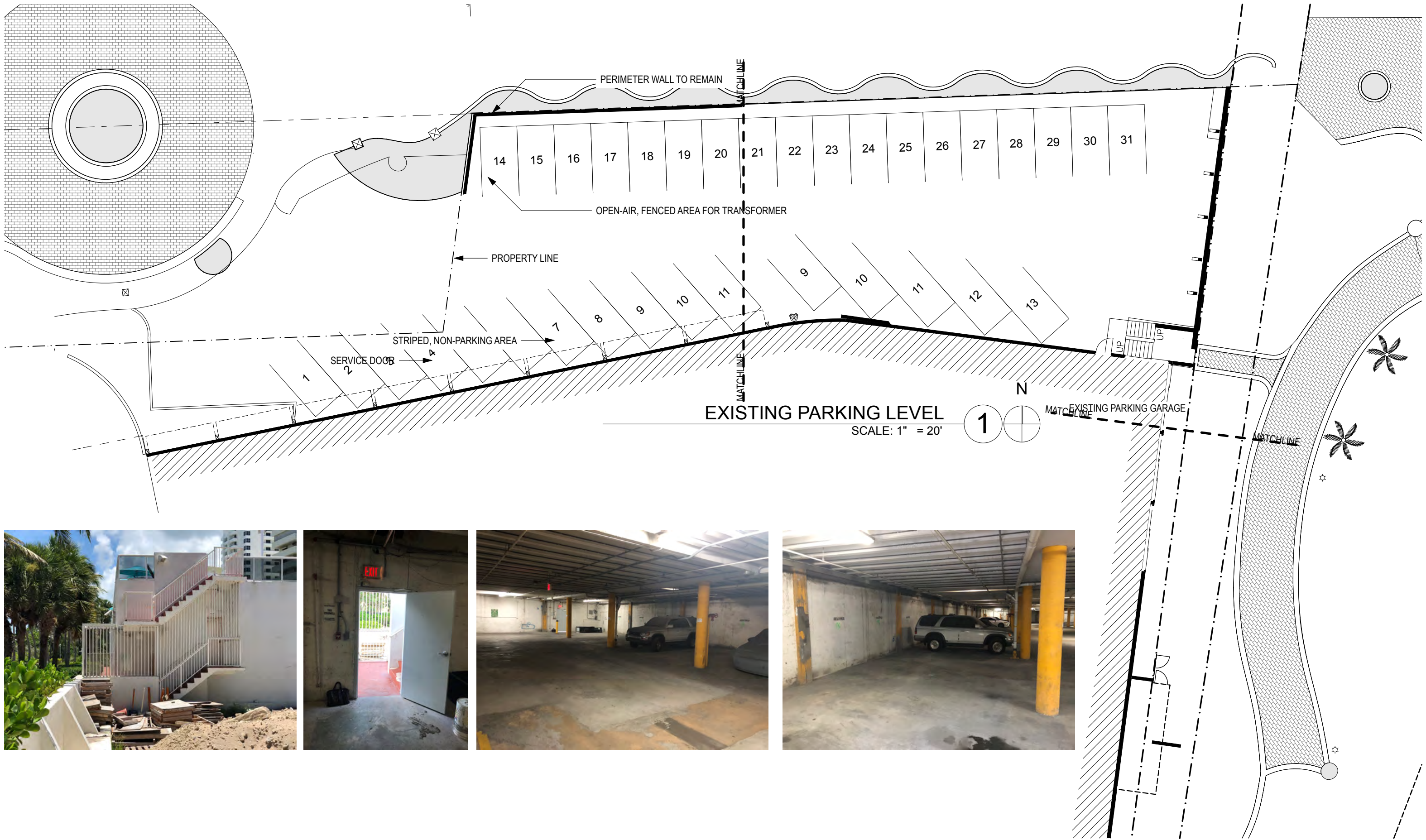


3.



4.





G104

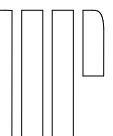
HPB SUBMITTAL

100 LINCOLN ROAD :: MIAMI BEACH, FL 33139

EXISTING PARKING LEVEL

11.05.2018

URBAN ROBOT © 2018





G105-A

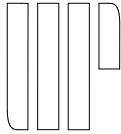
HPB SUBMITTAL

100 LINCOLN ROAD :: MIAMI BEACH, FL 33139

SITE PLAN - ENLARGED

11.05.2018

URBAN ROBOT © 2018





Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	100 LINCOLN ROAD			
2	Board and file numbers :	HP18-0199			
3	Folio number(s):	23240800001			
4	Year constructed:	1965	Zoning District:	RM-3	
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:	6.93' NGVD	
6	Adjusted grade (Flood+Grade/2):	9.0' NGVD	Lot Area:	11,000 SF	
7	Lot width:	204.23'	Lot Depth:	584.39'	
8	Minimum Unit Size		Average Unit Size		
9	Existing use:	PARKING LOT	Proposed use:	PEDESTRIAN ACCESSIBLE PARKING ROOF DECK	
		Maximum	Existing	Proposed	Deficiencies
10	Height	12'-0"		± 12'-0"	
11	Number of Stories	1	1	1	
12	FAR	N/A	N/A	N/A	
13	Gross square footage		11,000 SF	11,000 SF	
14	Square Footage by use			11,000 SF	
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	240	N/A		
18	Occupancy load	240	N/A		
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A			
20	Side Setback: NORTH	N/A	N/A		
21	Side Setback: OCEANFRONT , EAST	N/A	N/A		
22	Side Setback facing street:	N/A			
23	Rear Setback:	N/A			
	At Grade Parking:				
24	Front Setback:	20'-0"		0'-0" VAR. REQ. SHEET A103	



25	Side Setback: NORTH	5'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
26	Side Setback:	10'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
27	Side Setback facing street:	N/A			
28	Rear Setback, OCEANFRONT EAST:	50'-0"		0'-0" VAR. REQ. SHEET A103	
	Pedestal:				
29	Front Setback:	20'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
30	Side Setback:	7'-6"		0'-0" VAR. REQ. SHEET A103	
31	Side Setback:	N/A			
32	Side Setback facing street:	16'-4"		0'-0" VAR. REQ. SHEET A103	
33	Rear Setback: OCEANFRONT , EAST	116'-11"	15'-9"	0'-0" VAR. REQ. SHEET A103	
	Tower:	N/A			
34	Front Setback:	N/A			
35	Side Setback:	N/A			
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback: NORTH	20'-0"	0'-0"	0'-0" VAR. REQ. SHEET A103	
37	Side Setback facing street:	N/A			
38	Rear Setback:	N/A			

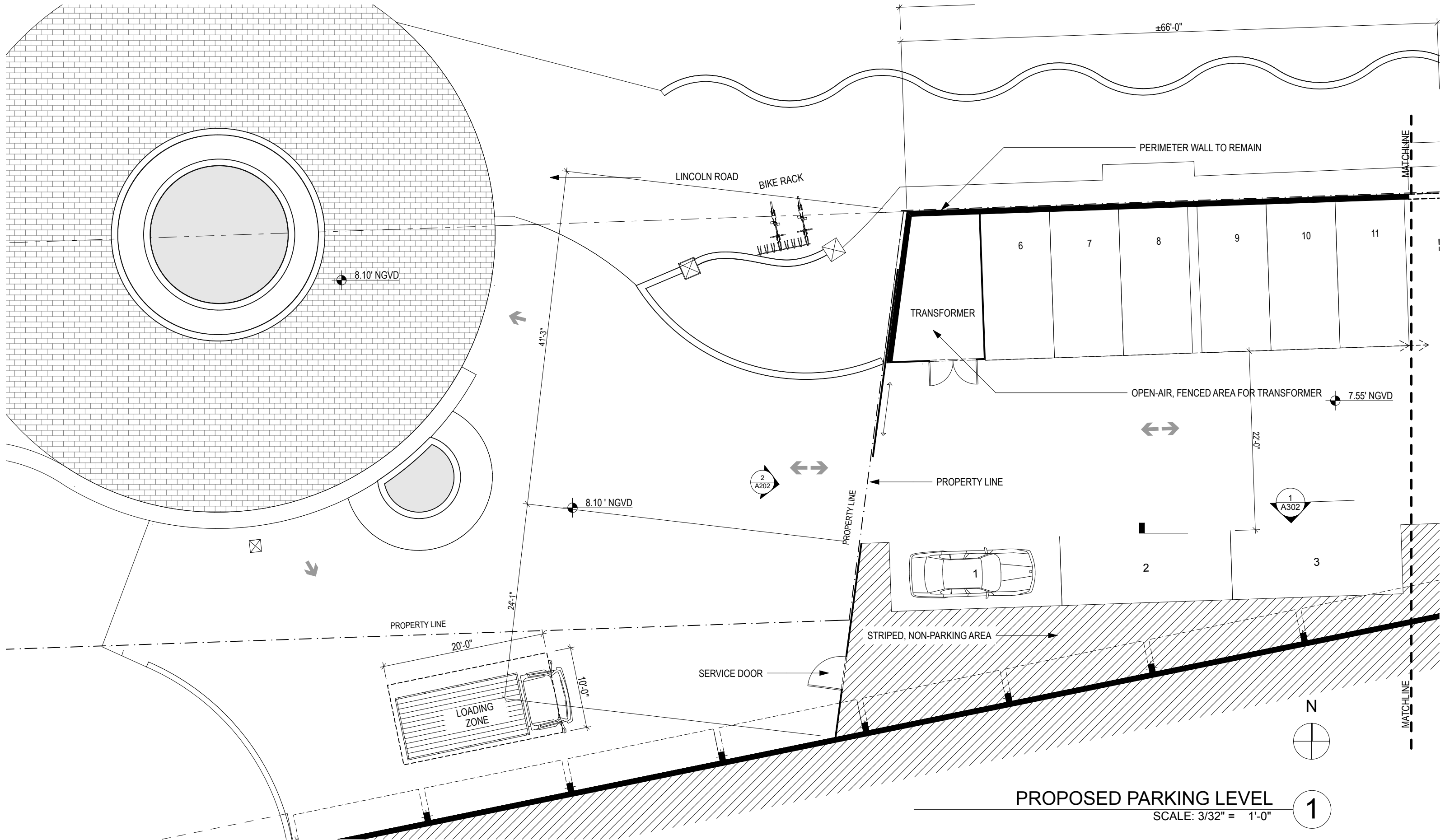
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	ZONE 4			
40	Total # of parking spaces	N/A	30	30	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	EXISTING			
44	Parking Space configuration (45o,60o,90o,Parallel)	EXISTING	ANGLED, 90º	ANGLED, 90º	
45	ADA Spaces	1	1	1	
46	Tandem Spaces	N/A			
47	Drive aisle width	EXISTING	12'-0"	12'-0"	

48	Valet drop off and pick up	YES	NO	YES	
49	Loading zones and Trash collection areas	SEE SHEET A104			
50	racks	NO	NO	YES, 8	

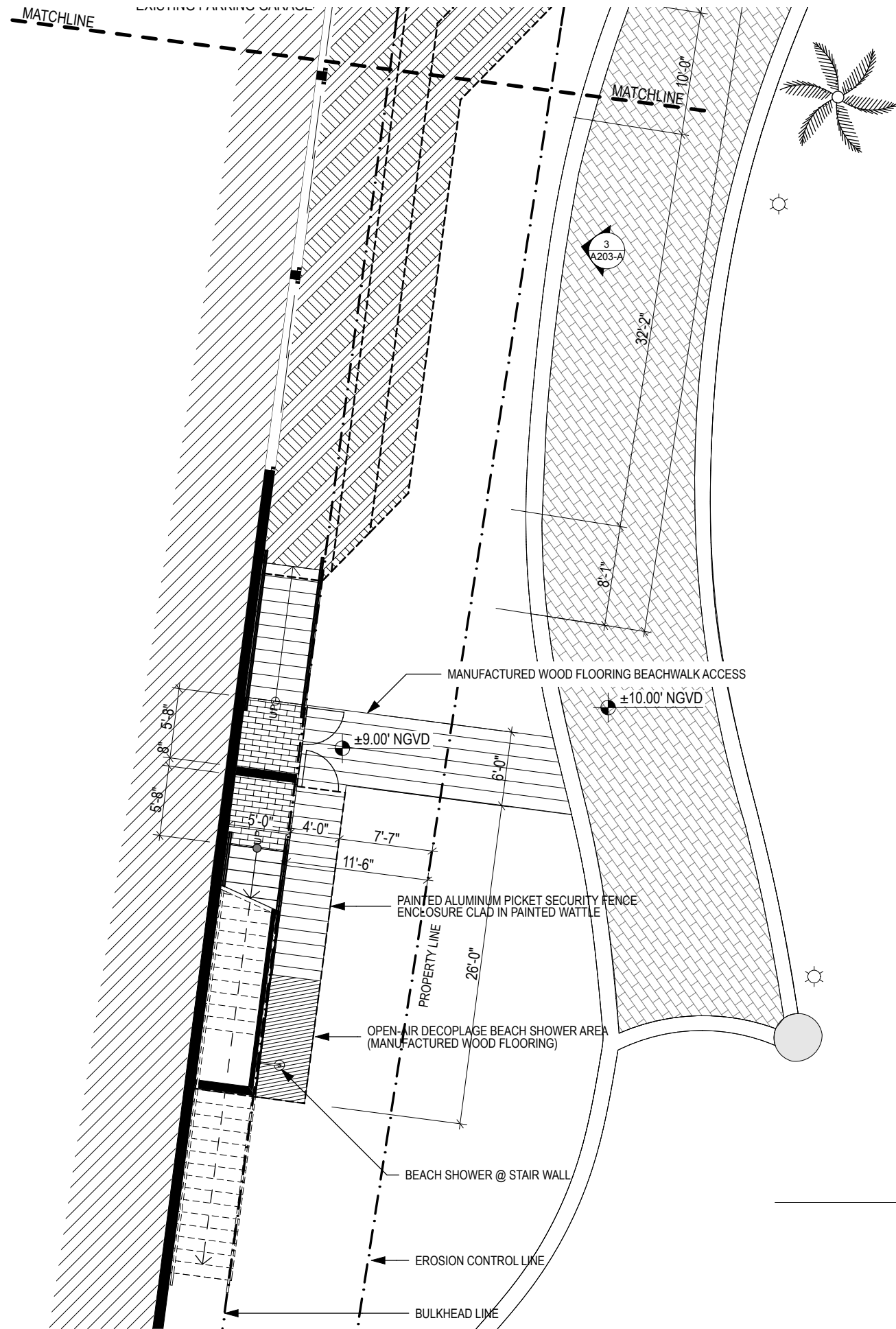
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	PEDESTRIAN ROOF DECK			
52	Number of seats located outside on private property	N/A	0	ALL SEATS	
53	Number of seats inside	N/A	0	0	
54	Total number of seats				
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	240	0	240	
56	Total occupant content	240	0	240	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	240	0	240	

58	Proposed hours of operation	7AM TO 3 HRS AFTER SUNSET
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	NO
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	NO
61	Is this a contributing building?	NO
62	Located within a Local Historic District?	YES

Notes:
If not applicable write N/A
All other data information may be required and presented like the above format.

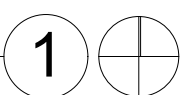


PROPOSED PARKING LEVEL 1
SCALE: 3/32" = 1'-0"



PROPOSED PARKING LEVEL

SCALE: 3/32" = 1'-0"



A101-C

H P B S U B M I T T A L

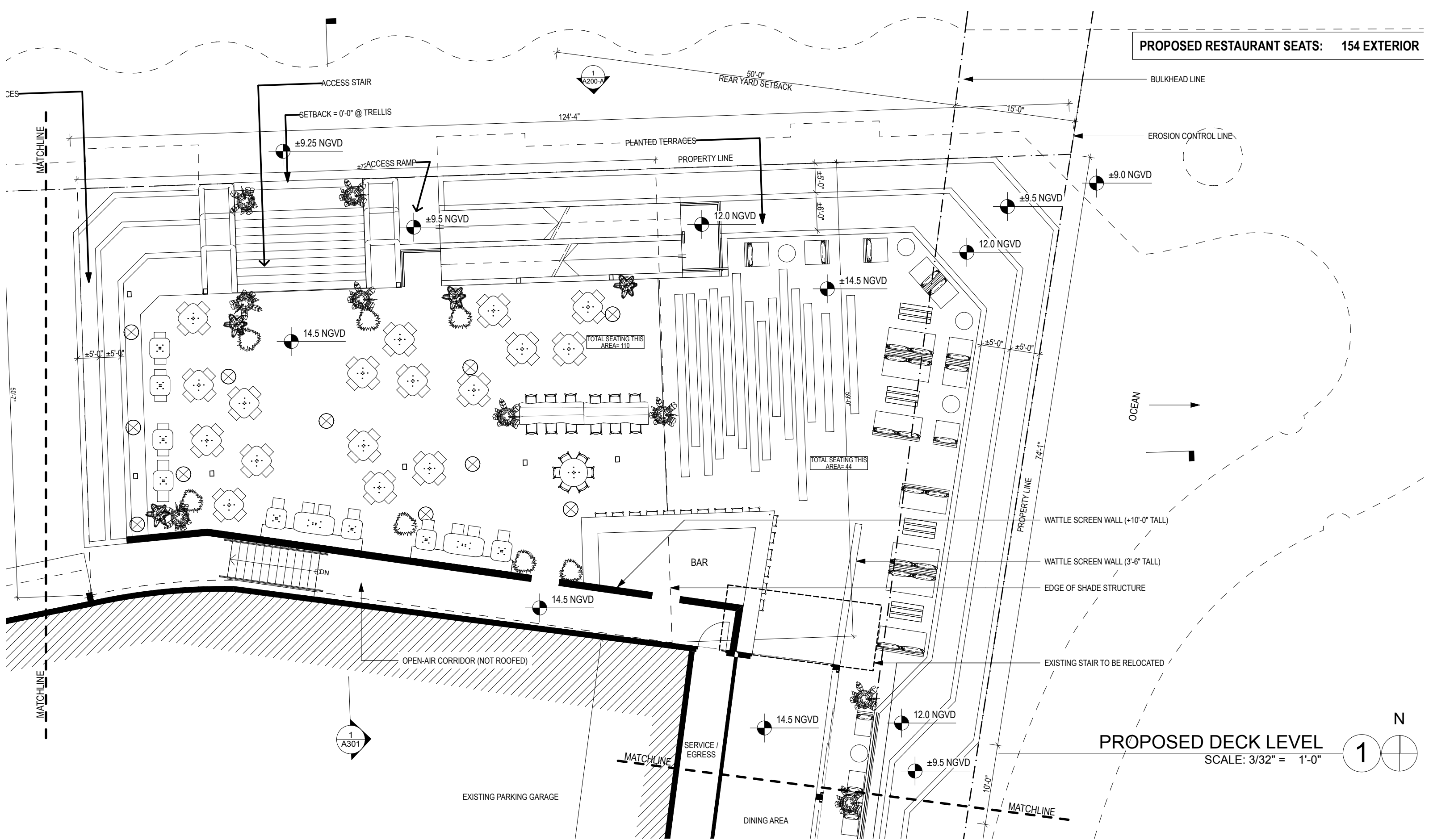
100 LINCOLN ROAD :: MIAMI BEACH, FL 33139

PROPOSED PARKING LEVEL

11.05.2018

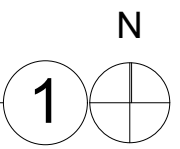
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PROPOSED RESTAURANT SEATS: 154 EXTERIOR

PROPOSED DECK LEVEL
SCALE: 3/32" = 1'-0"



A102-A H P B SUBMITTAL

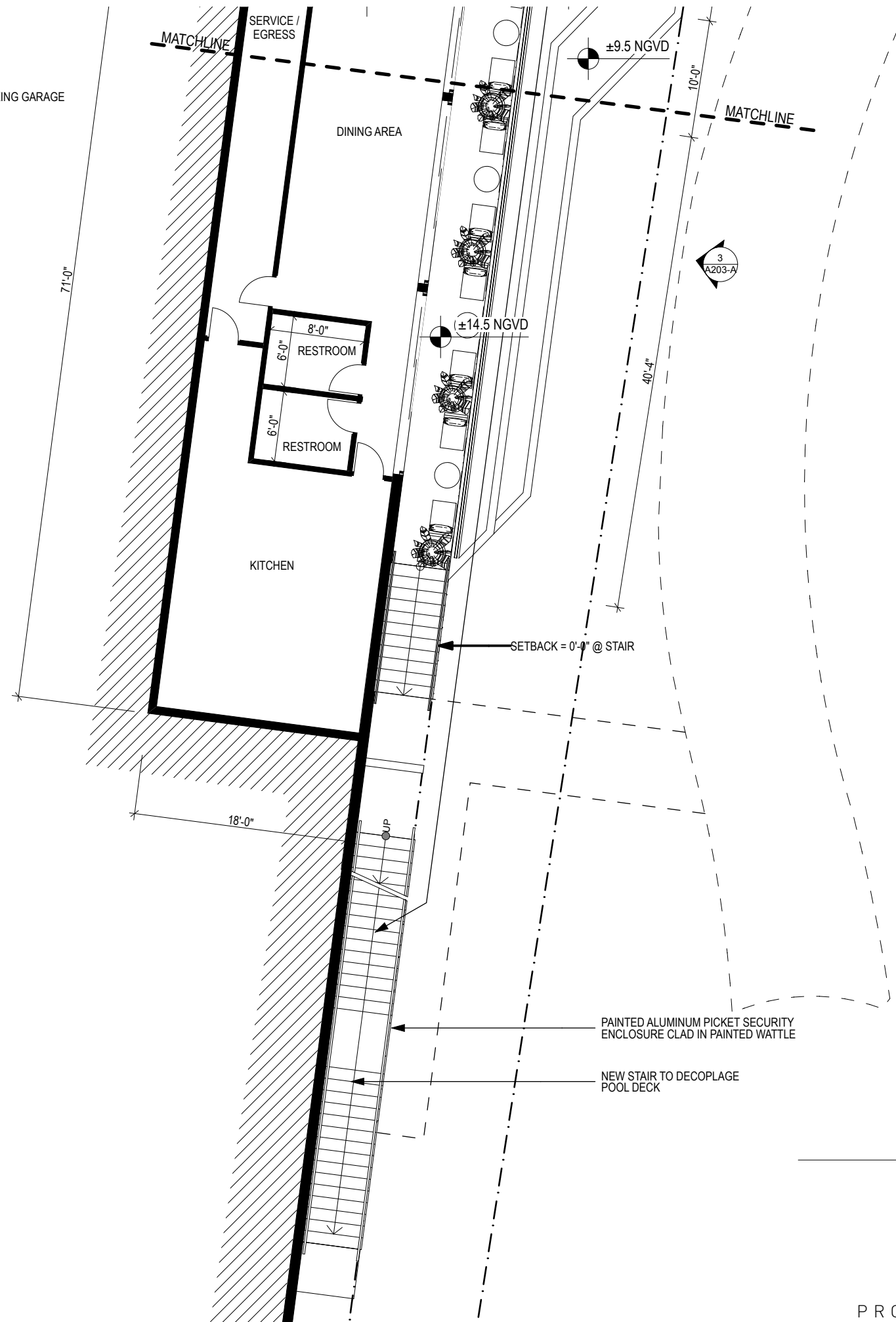
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PROPOSED DECK LEVEL

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EXISTING PARKING GARAGE

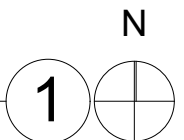


PROPOSED RESTAURANT SEATS: 240

FINAL ACCESSIBLE SEATS SHALL EQUAL	5%
MIN. ACCESSIBLE SEATS REQUIRED:	15
ACCESSIBLE SEATS PROVIDED:	15

PROPOSED DECK LEVEL

SCALE: 3/32" = 1'-0"



A102-B

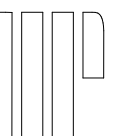
H P B S U B M I T T A L

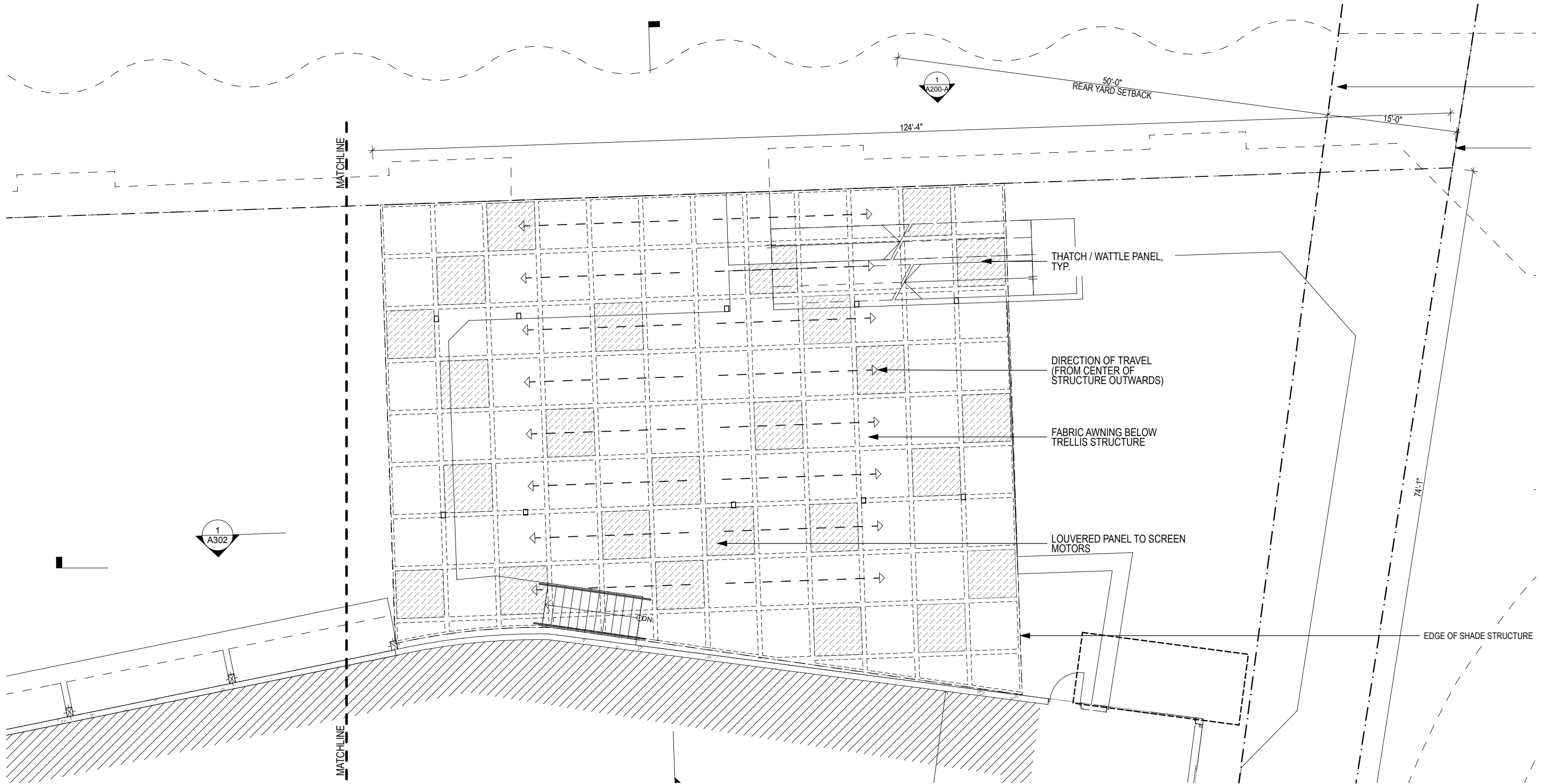
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PROPOSED DECK LEVEL

11.05.2018

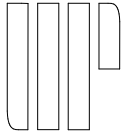
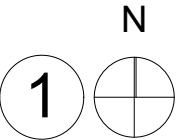
URBAN ROBOT © 2018

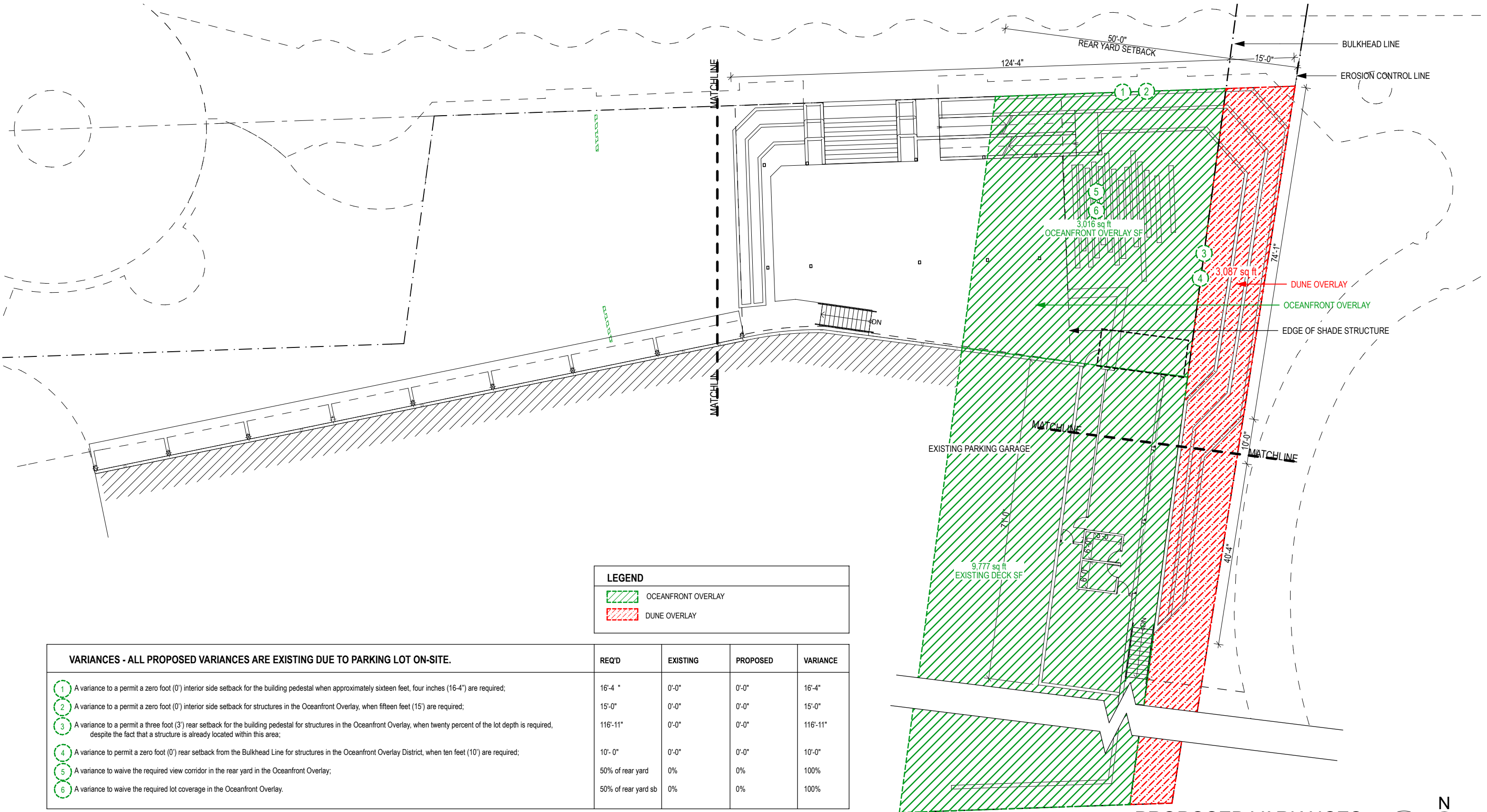






PROPOSED DECK LEVEL - TRELLIS

SCALE: 3/32" = 1'-0"





LEGEND	
	OCEANFRONT OVERLAY
	DUNE OVERLAY

VARIANCES - ALL PROPOSED VARIANCES ARE EXISTING DUE TO PARKING LOT ON-SITE.				
	REQ'D	EXISTING	PROPOSED	VARIANCE
1 A variance to a permit a zero foot (0') interior side setback for the building pedestal when approximately sixteen feet, four inches (16'-4") are required;	16'-4 "	0'-0"	0'-0"	16'-4"
2 A variance to a permit a zero foot (0') interior side setback for structures in the Oceanfront Overlay, when fifteen feet (15') are required;	15'-0"	0'-0"	0'-0"	15'-0"
3 A variance to a permit a three foot (3') rear setback for the building pedestal for structures in the Oceanfront Overlay, when twenty percent of the lot depth is required, despite the fact that a structure is already located within this area;	116'-11"	0'-0"	0'-0"	116'-11"
4 A variance to permit a zero foot (0') rear setback from the Bulkhead Line for structures in the Oceanfront Overlay District, when ten feet (10') are required;	10'- 0"	0'-0"	0'-0"	10'-0"
5 A variance to waive the required view corridor in the rear yard in the Oceanfront Overlay;	50% of rear yard	0%	0%	100%
6 A variance to waive the required lot coverage in the Oceanfront Overlay.	50% of rear yard sb	0%	0%	100%

PROPOSED VARIANCES

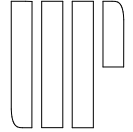
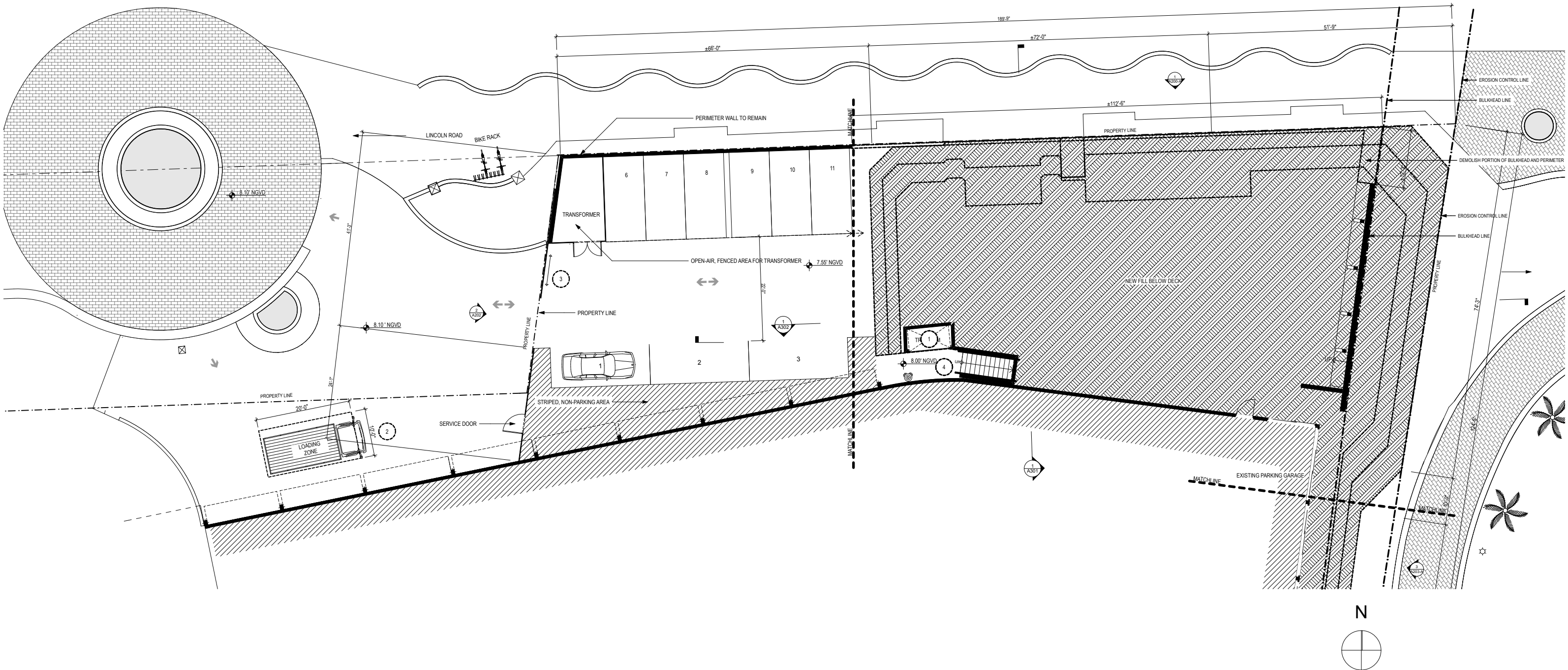
SCALE: 1" = 20'

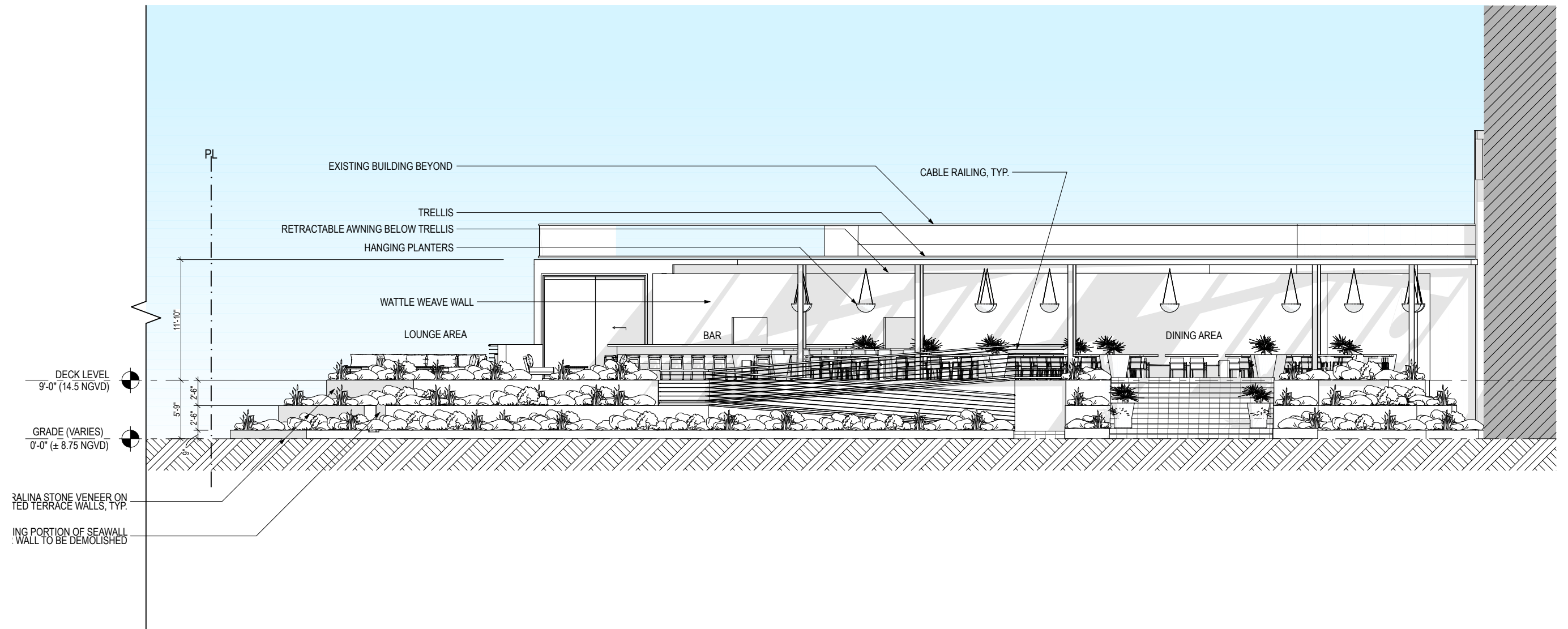
1

N

OPERATION LEGEND

- 1 TRASH ENCLOSURE
- 2 LOADING ZONE
- 3 GATE / VALET / CONTROLLED ACCESS
- 4 SERVICE / EGRESS CORRIDOR





NORTH ELEVATION

SCALE: 3/32" = 1'-0"

1

A200-A

H P B S U B M I T T A L

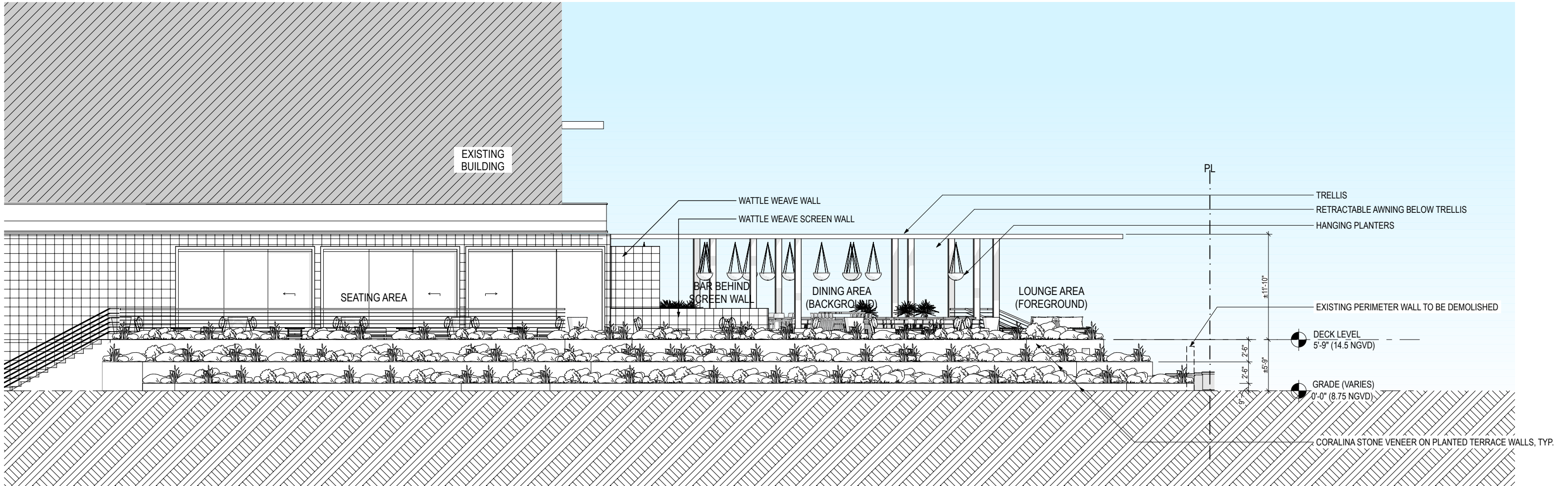
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NORTH ELEVATION

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EAST ELEVATION

SCALE: 3/32" = 1'-0"

3

A203-A

H P B S U B M I T T A L

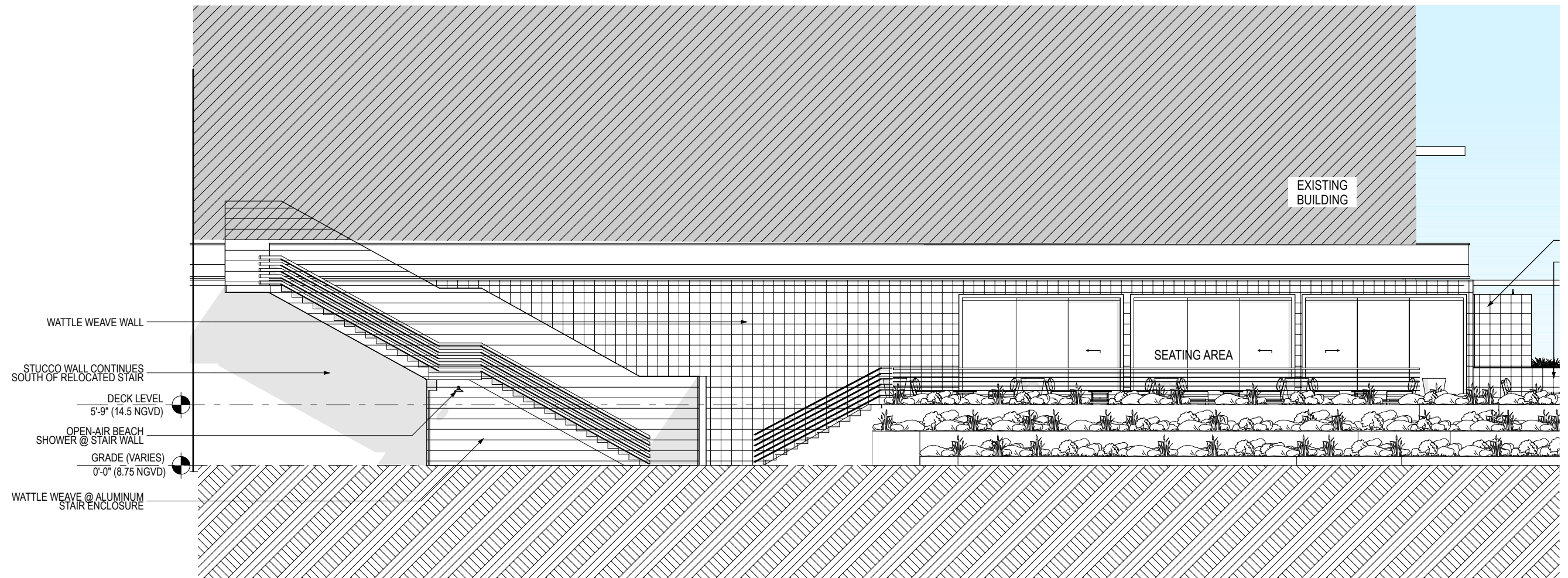
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EXTERIOR EAST ELEVATION

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EAST ELEVATION SCALE: 3/32" = 1'-0"

3

A203-B

H P B S U B M I T T A L

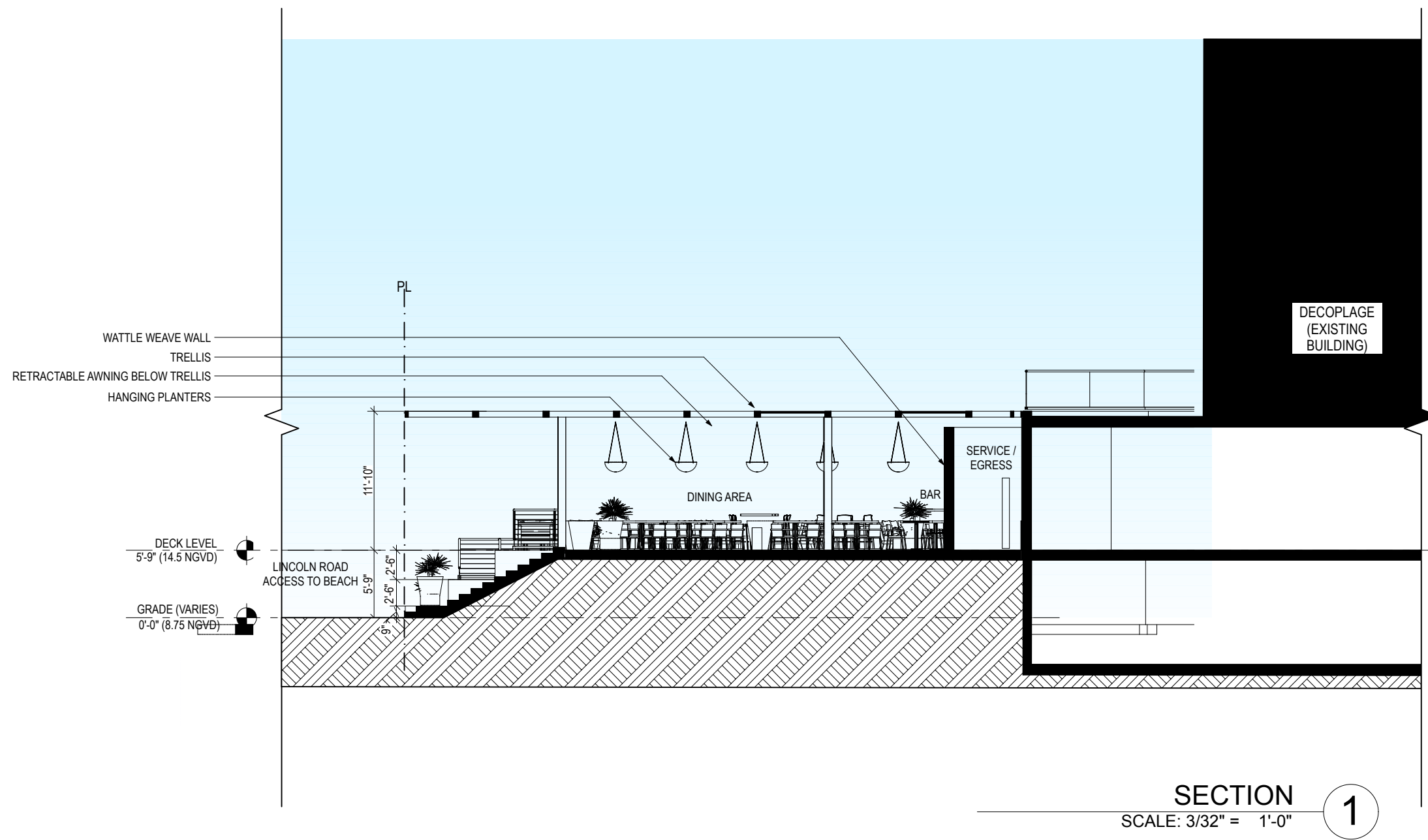
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EXTERIOR EAST ELEVATION

11.05.2018

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A301

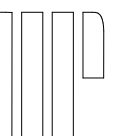
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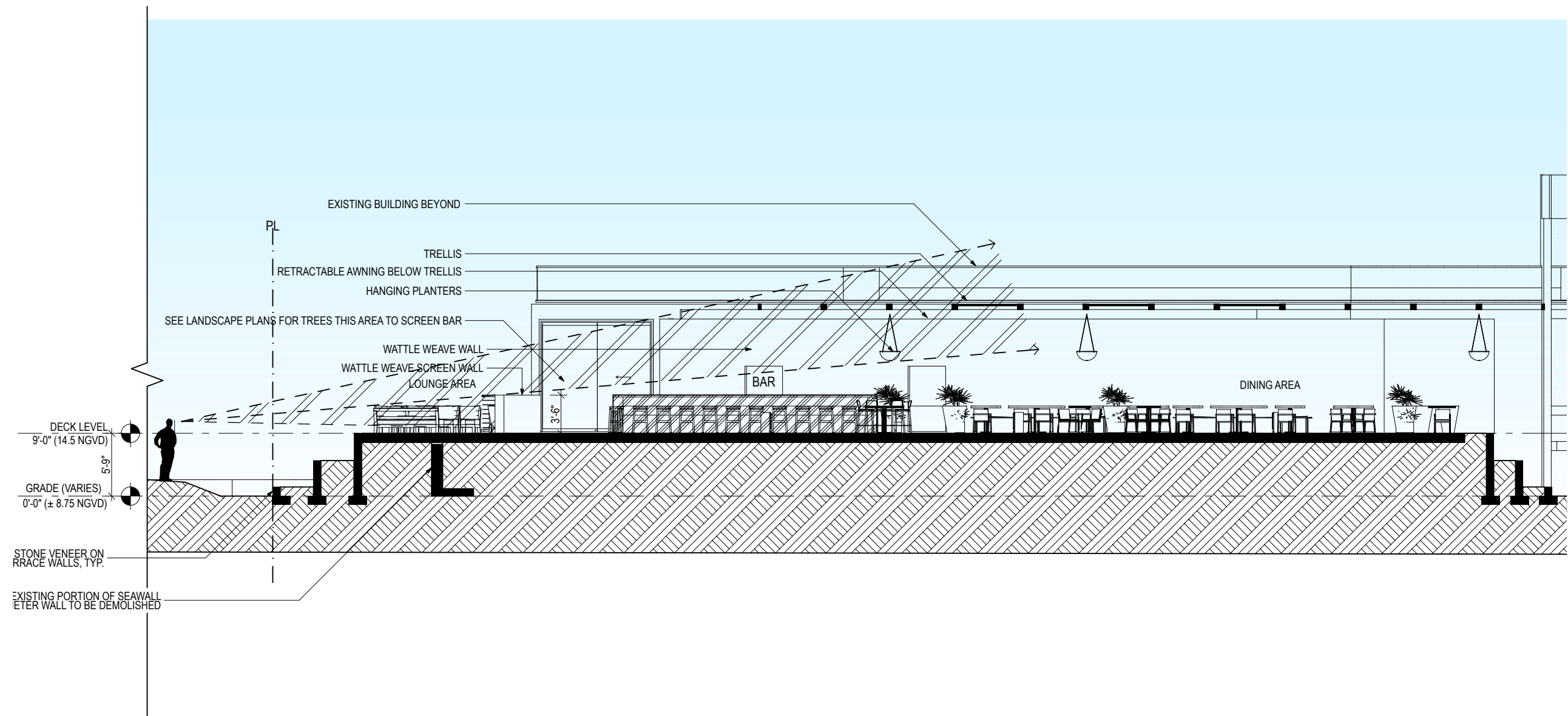
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SECTION

11.05.2018

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SECTION
SCALE: 3/32" = 1'-0"

1

A302

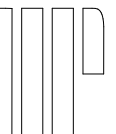
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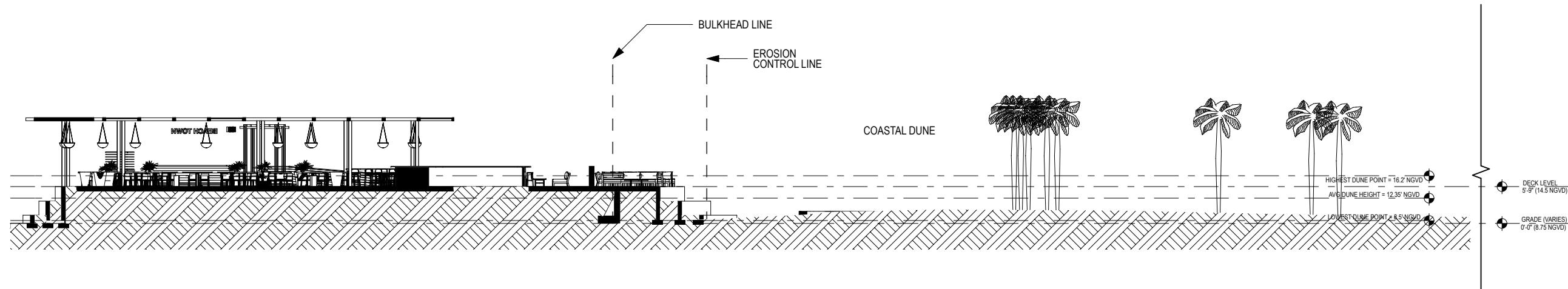
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SECTION

11.05.2018

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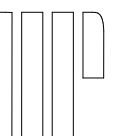


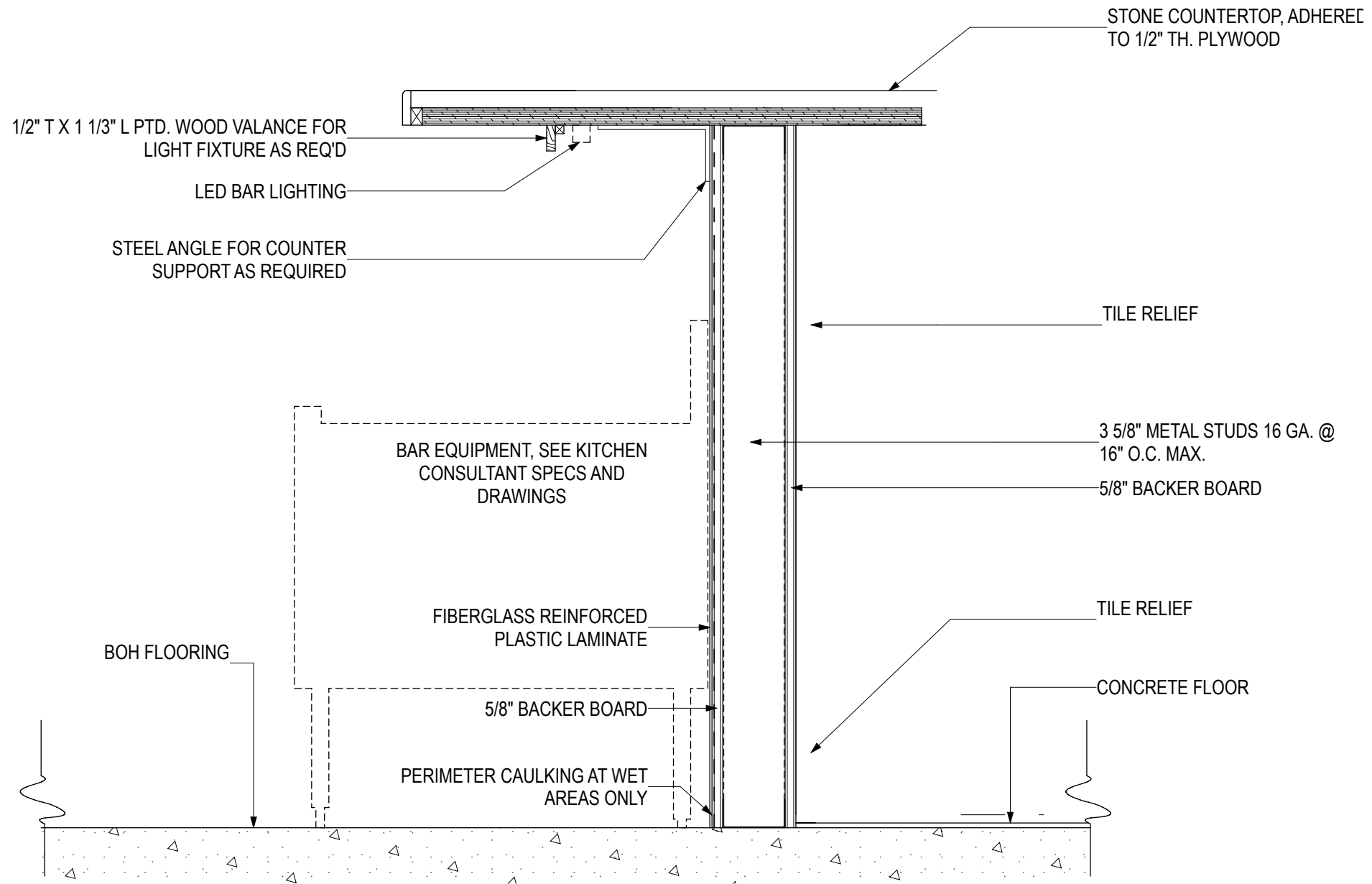


DUNE SECTION

SCALE: 1" = 20'

1





BAR DETAILS

A501

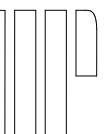
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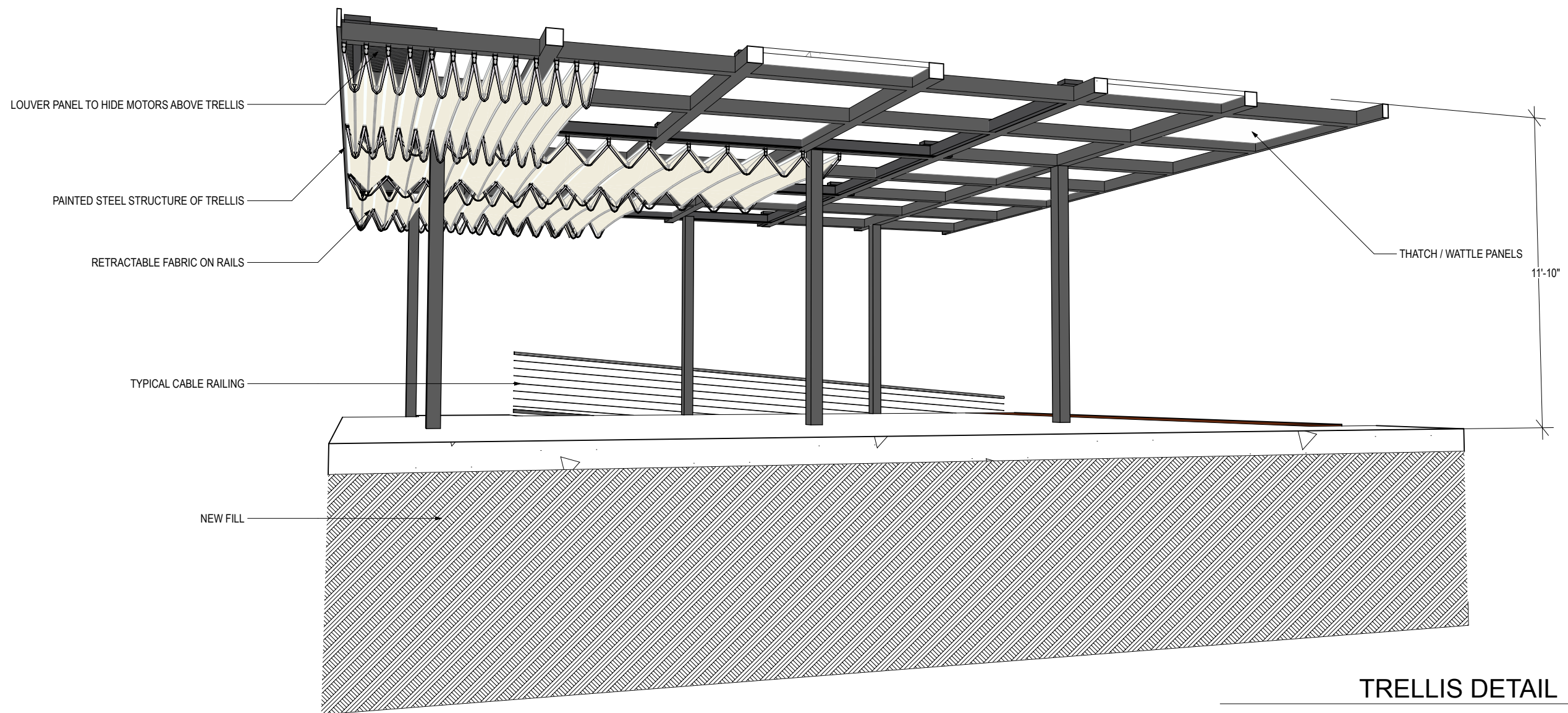
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BAR DETAILS

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TRELLIS DETAIL
NOT TO SCALE

1



A601

H P B S U B M I T T A L

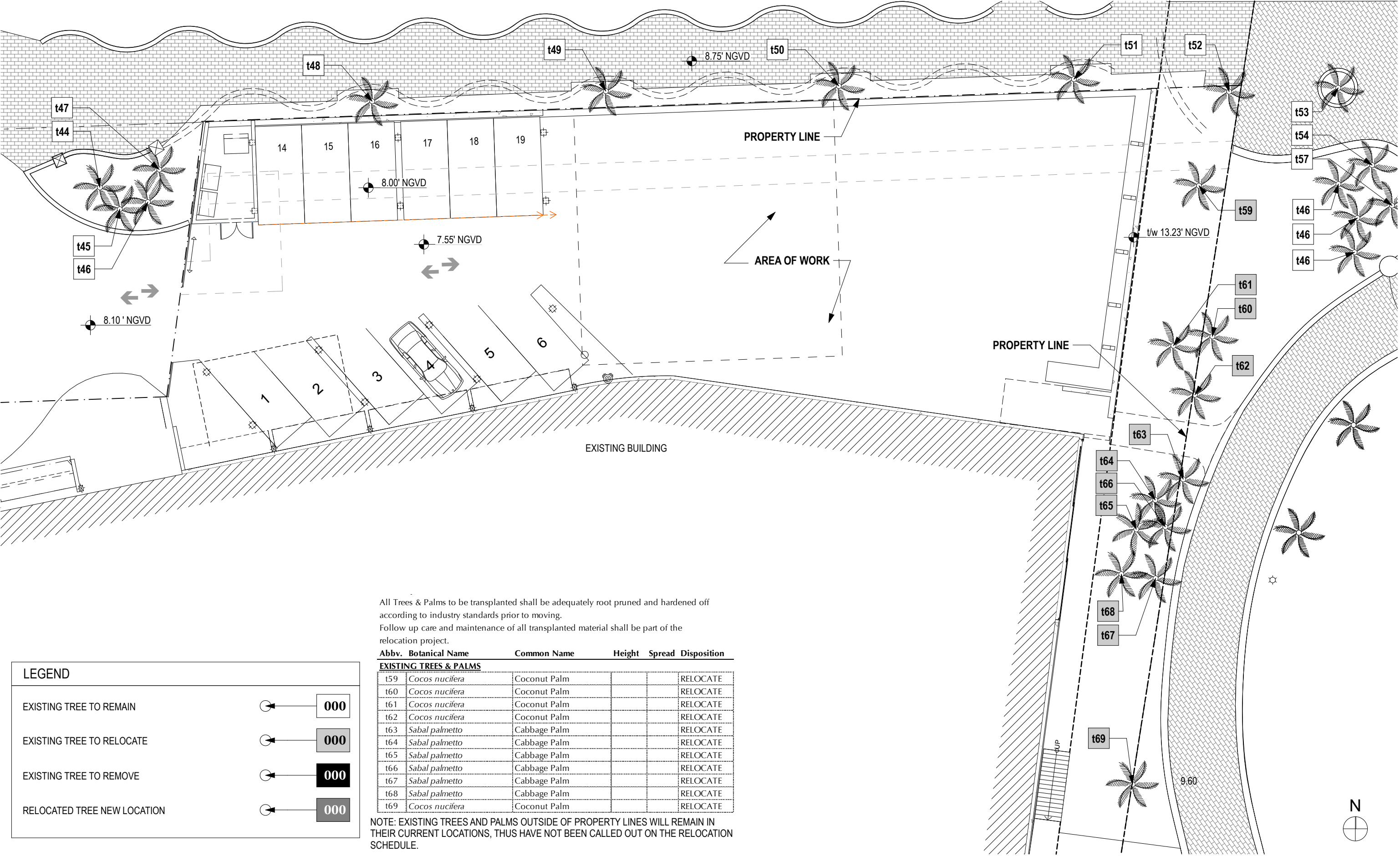
100 LINCOLN ROAD :: MIAMI BEACH, FL 33139

R E N D E R I N G

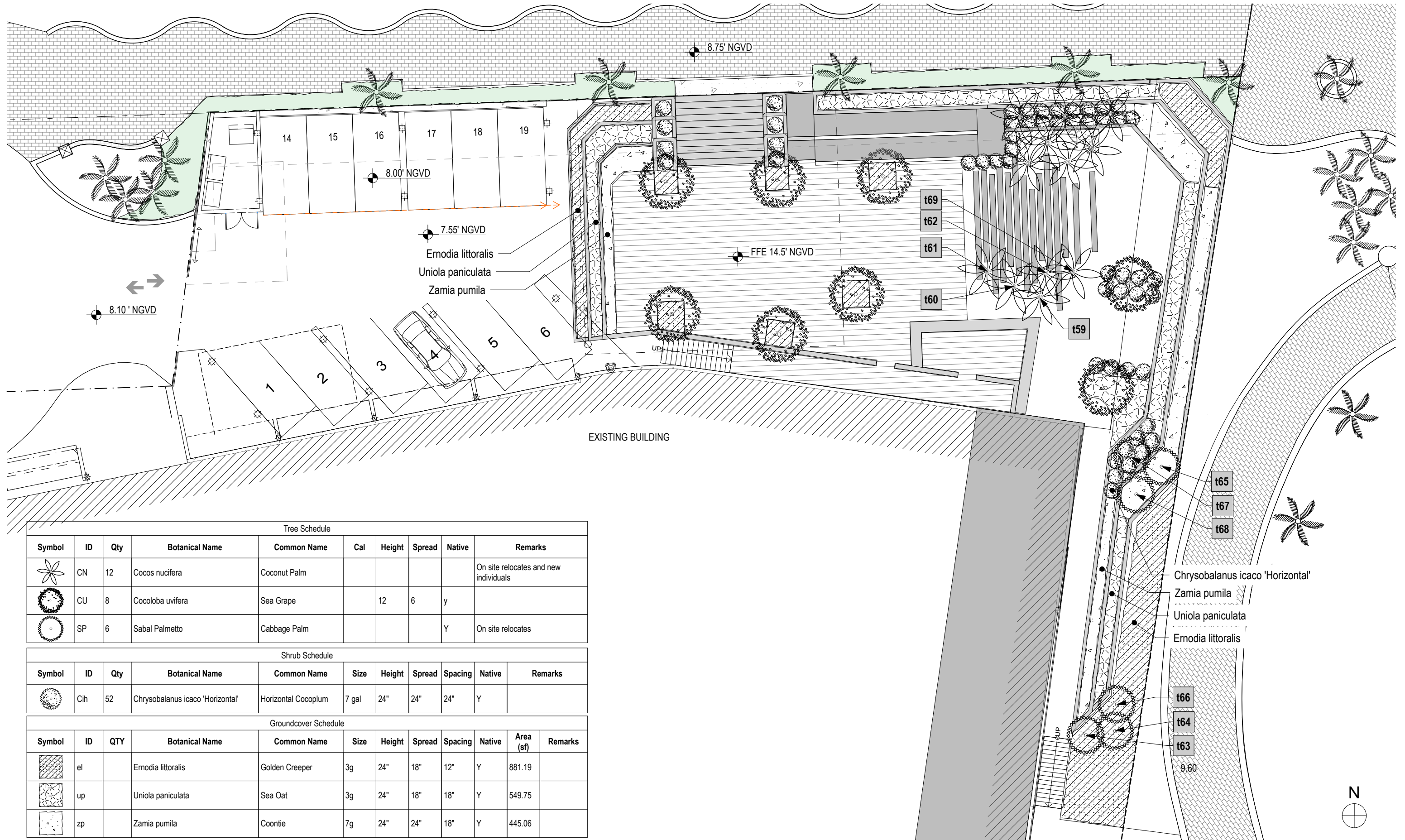
11.05.2018








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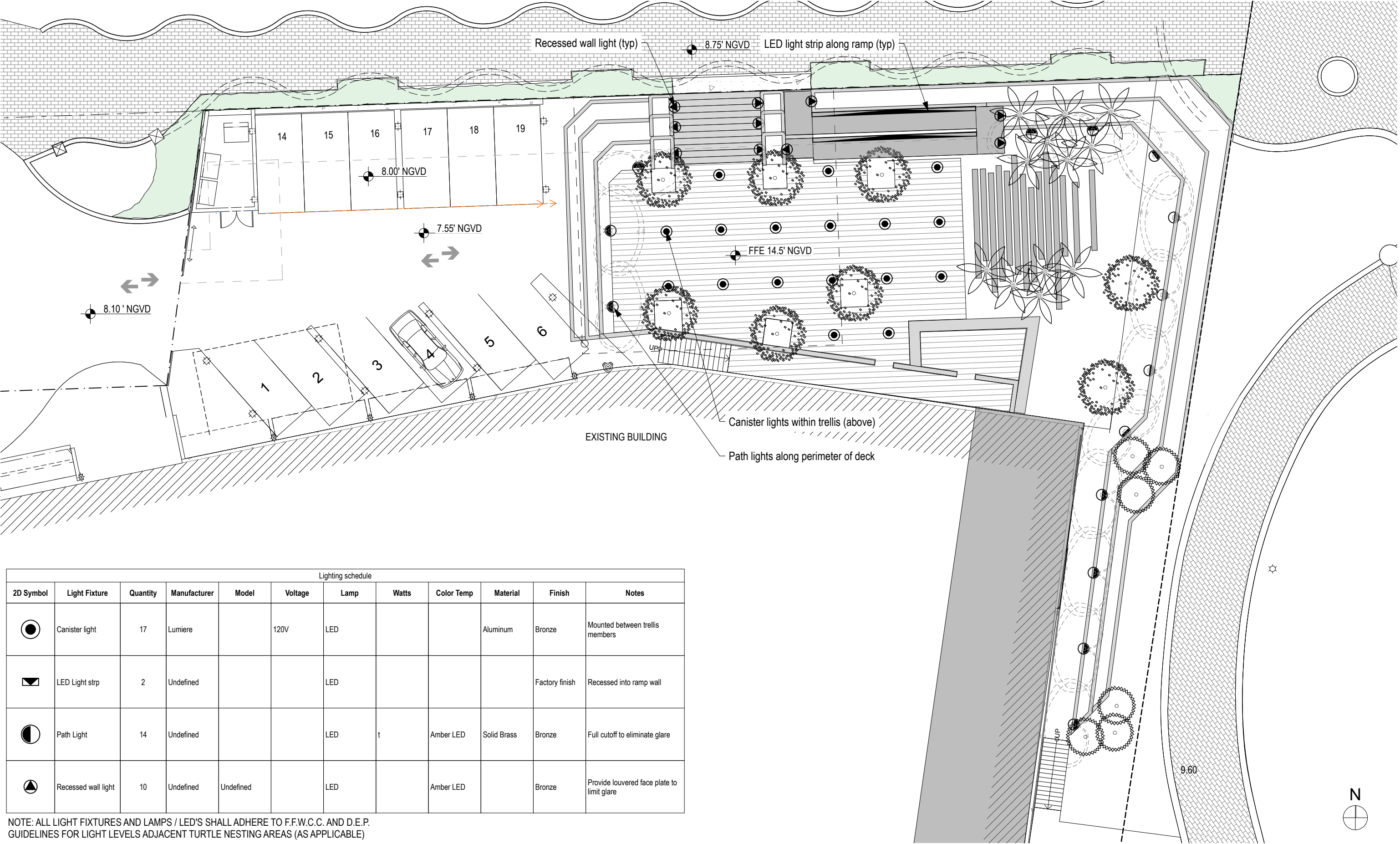












Tree Schedule											
Symbol	ID	Qty	Botanical Name	Common Name	Cal	Height	Spread	Native	Remarks		
	CN	12	Cocos nucifera	Coconut Palm					On site relocates and new individuals		
	CU	8	Cocoloba uvifera	Sea Grape		12	6	y			
	SP	6	Sabal Palmetto	Cabbage Palm				Y	On site relocates		
Shrub Schedule											
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Spacing	Native	Remarks	
	Cih	52	Chrysobalanus icaco 'Horizontal'	Horizontal Cocoplum	7 gal	24"	24"	24"	Y		
Groundcover Schedule											
Symbol	ID	QTY	Botanical Name	Common Name	Size	Height	Spread	Spacing	Native	Area (sf)	Remarks
	el		Ernodia littoralis	Golden Creeper	3g	24"	18"	12"	Y	881.19	
	up		Uniola paniculata	Sea Oat	3g	24"	18"	18"	Y	549.75	
	zp		Zamia pumila	Coontie	7g	24"	24"	18"	Y	445.06	



Lighting schedule											
2D Symbol	Light Fixture	Quantity	Manufacturer	Model	Voltage	Lamp	Watts	Color Temp	Material	Finish	Notes
	Canister light	17	Lumiere		120V	LED			Aluminum	Bronze	Mounted between trellis members
	LED Light strp	2	Undefined			LED				Factory finish	Recessed into ramp wall
	Path Light	14	Undefined			LED	t	Amber LED	Solid Brass	Bronze	Full cutoff to eliminate glare
	Recessed wall light	10	Undefined	Undefined		LED		Amber LED		Bronze	Provide louvered face plate to limit glare

NOTE: ALL LIGHT FIXTURES AND LAMPS / LED'S SHALL ADHERE TO F.F.W.C.C. AND D.E.P. GUIDELINES FOR LIGHT LEVELS ADJACENT TURTLE NESTING AREAS (AS APPLICABLE)