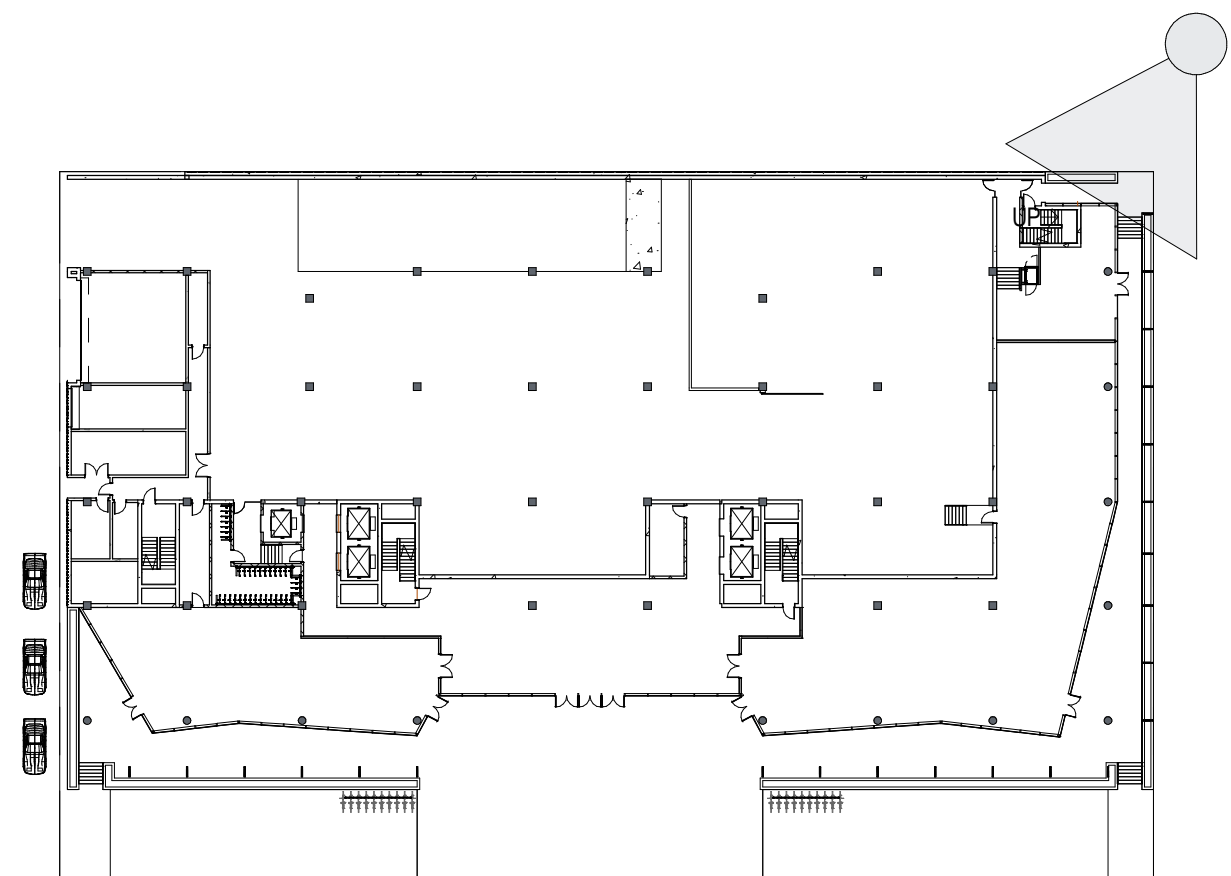
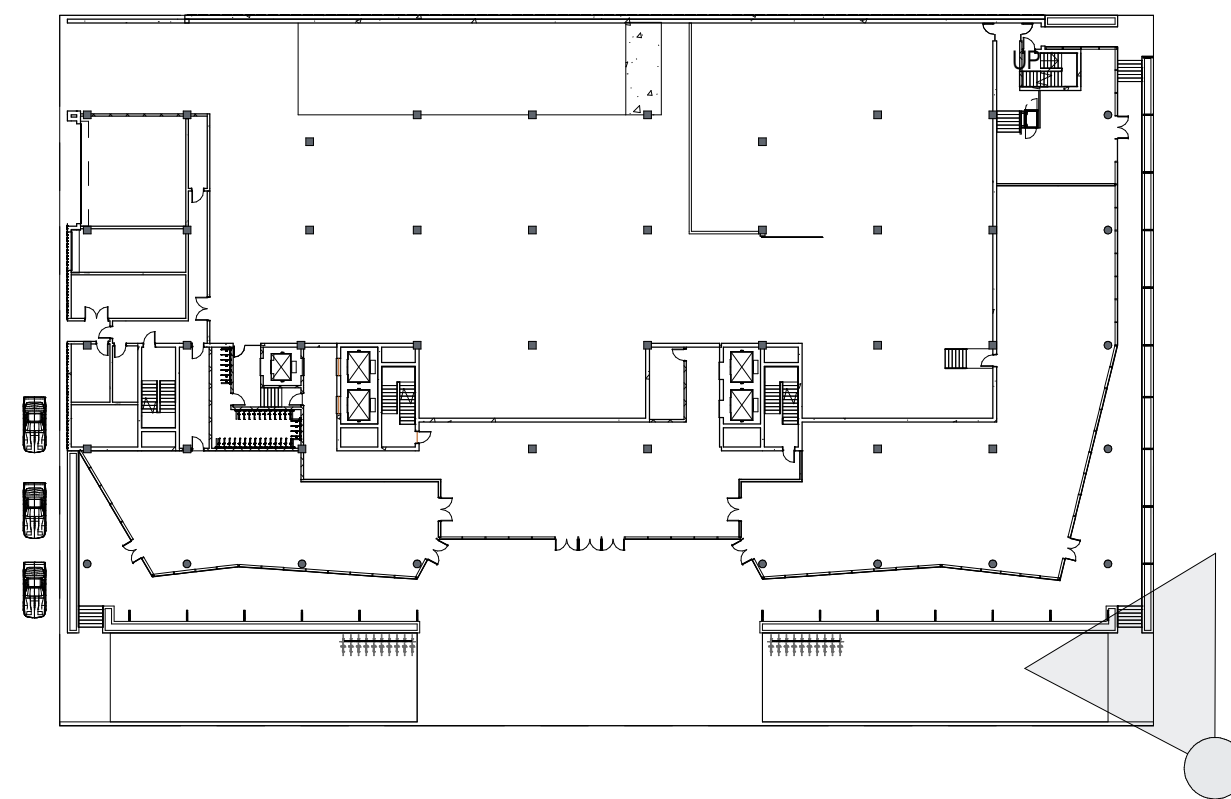


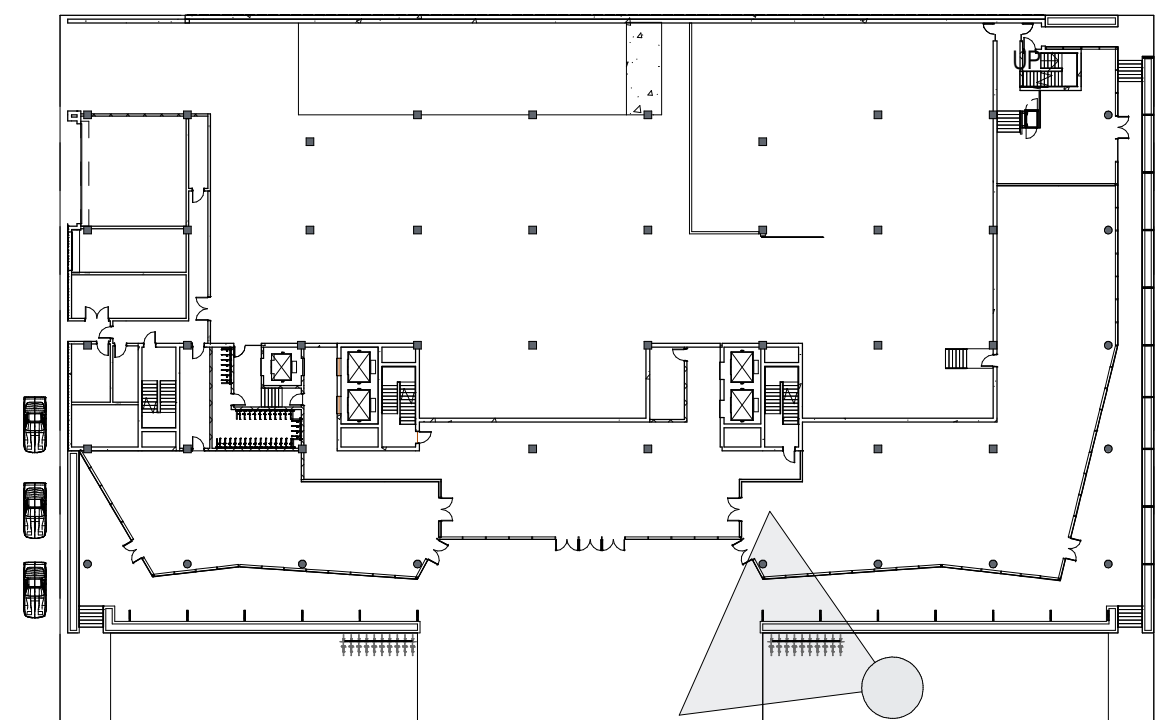
2340 COLLINS AVENUE

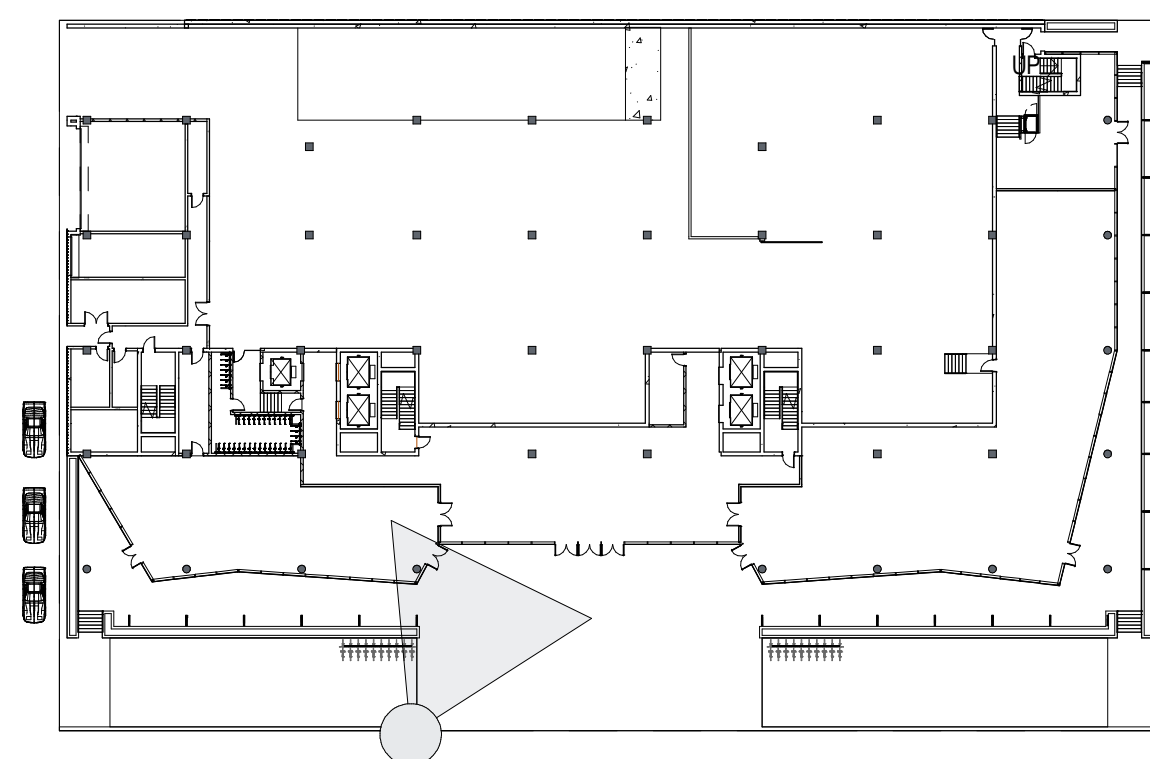


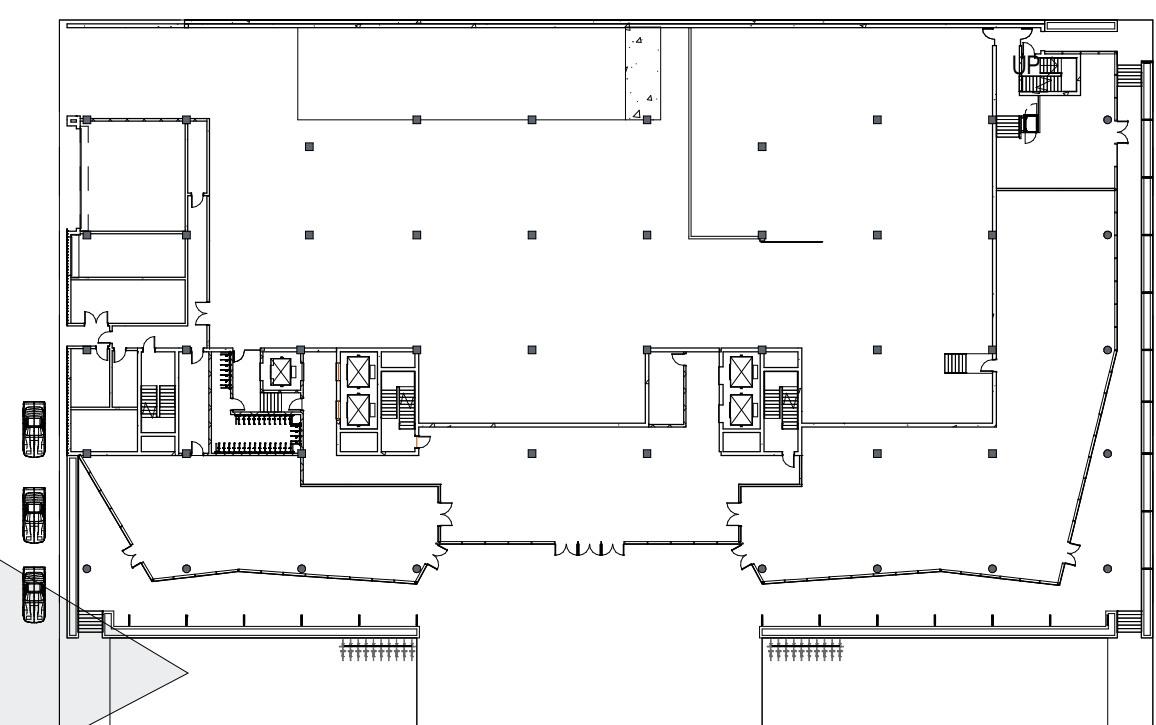
ZONING PACKAGE DRAWING INDEX	
SHEET NUMBER	SHEET NAME
ARCHITECTURE	
A-00	HPB - FINAL SUBMITTAL
A-01	RENDERING - NE CORNER VIEW
A-02	RENDERING - SE CORNER VIEW
A-03	RENDERING - PASEO
A-04	RENDERING - BREEZEWAY
A-05	RENDERING - SW CORNER VIEW
A-06	PROJECT DATA
A-07	PROJECT PROPERTY LOCATION
A-08	TRANSIT CORRIDOR LOCATION MAP
A-09	PROJECT CONTEXT PICTURES
A-10	PROJECT CONTEXT PICTURES
A-11	PROJECT CONTEXT IMAGES
A-12	PROJECT CONTEXT PICTURES
A-13	PROJECT CONTEXT IMAGES
A-14	PROJECT CONTEXT PICTURES
A-15	CONTEXT LINE DRAWINGS
A-16	EXISTING SITE SURVEY
A-17	DEMO DIAGRAMS
A-18	DEMO CONTEXT PICTURES
A-19	DEMO CONTEXT PICTURES
A-20	DEMO LINE DIAGRAMS
A-21	3 FT HEIGHT VARIANCE
A-22	3 FT HEIGHT VARIANCE, B.O.L.G HEIGHT, FREEBOARD & SUSTAINABILITY
A-23	CLASS A OFFICE COMPARISON
A-24	CLASS A OFFICE COMPARISON
A-25	BUILDING HEIGHT COMPARISON
A-26	SITE PLAN - GROUND LEVEL
A-26.1	SITE PLAN - ROOF
A-27	FAR DIAGRAMS
A-28	FAR - GROUND LEVEL
A-29	FAR - LEVEL 2
A-30	FAR - LEVEL 3
A-31	FAR - LEVEL 4
A-32	FAR - LEVEL 5
A-33	FAR - LEVEL 6
A-34	FAR - ROOF PLAN
A-35	GROUND & LEVEL 01 FLOOR PLAN
A-36	LEVEL 2 PARKING FLOOR PLAN
A-37	LEVEL 2 & P03 FLOOR PLAN
A-38	LEVEL 3 & P04 FLOOR PLAN
A-39	LEVEL 4 FLOOR PLAN
A-40	LEVEL 5 FLOOR PLAN
A-41	LEVEL 6 FLOOR PLAN
A-42	ROOF PLAN
A-43	EXTERIOR FINISH LIST
A-44	NORTH ELEVATION
A-45	EAST ELEVATION
A-46	SOUTH ELEVATION
A-47	WEST ELEVATION
A-48	BUILDING SECTION
A-49	BUILDING SECTION
A-50	BUILDING SECTION
A-51	SIGNAGE
A-52	TRUCK & LOADING ACCESS DIAGRAM
A-53	MANUEVERING DIAGRAMS
A-54	RENDERINGS
LANDSCAPE	
L1-100	GROUND FLOOR ILLUSTRATIVE PLAN
L1-200	LEVEL 2 ILLUSTRATIVE PLAN
L1-300	LEVEL 3 ILLUSTRATIVE PLAN
L1-400	LEVEL 4 ILLUSTRATIVE PLAN
L1-500	LEVEL 5 ILLUSTRATIVE PLAN
L1-600	LEVEL 6 ILLUSTRATIVE PLAN
L1-700	ROOF ILLUSTRATIVE PLAN
L2-100	PLANT PALETTE
L2-200	PLANT SELECTION
L2-300	PLANT SELECTION
L3	TREE SURVEY
L4	TREE DISPOSITION
L5-100	GROUND FLOOR LANDSCAPE PLAN
L5-200	LEVEL 02 LANDSCAPE PLAN
L5-300	LEVEL 03 LANDSCAPE PLAN
L5-400	LEVEL 04 LANDSCAPE PLAN
L5-500	LEVEL 05 LANDSCAPE PLAN
L5-600	LEVEL 06 LANDSCAPE PLAN
L5-700	ROOF LANDSCAPE PLAN
L5-701	NORTH FACADE GREEN WALL
L6-800	LANDSCAPE NOTES & DETAILS
L6-801	LANDSCAPE NOTES & DETAILS
L6-802	LANDSCAPE NOTES & DETAILS
L7-100	GROUND FLOOR IRRIGATION PLAN
L7-200	LEVEL 02 IRRIGATION PLAN
L7-300	LEVEL 03 IRRIGATION PLAN
L7-400	LEVEL 04 IRRIGATION PLAN
L7-500	LEVEL 05 IRRIGATION PLAN
L7-600	LEVEL 06 IRRIGATION PLAN
L7-700	ROOF IRRIGATION PLAN
L8	IRRIGATION DETAILS - NOTES
L9-100	LIGHTING PLAN - GROUND FLOOR
L9-200	LIGHTING PLAN - LEVEL 4
APPENDIX	
A-55	NORTH FACADE DETAILS
A-56	NORTH FACADE DETAILS
A-57	NORTH FACADE DETAILS
A-58	NORTH FACADE DETAILS
A-59	SITE SURVEY
SCOPE OF WORK	
PROJECT IS A DEVELOPER SPEC, CORE AND SHELL, LEED PLATINUM OFFICE BUILDING IN MIAMI BEACH. THE PROJECT IS APPROXIMATELY 144,700 SQUARE FOOT NEW CONSTRUCTION CREATIVE OFFICE AND EXCLUSIVE MULTI-TENANT RETAIL BUILDING LOCATED ON AT 2218, 2232, 2340 COLLINS AVENUE, MIAMI BEACH, FLORIDA. THE PARCEL IS APPROXIMATELY 1.21 ACRE (52,725 SF). THE DEVELOPMENT WILL CONSIST APPROXIMATELY 130K SF OF CORE AND SHELL OFFICE SPACE, APPROXIMATELY 14K SF OF RETAIL, AND SUPPORTING PODIUM PARKING GARAGE.	











Starwood Capital - Zoning Analysis

ZONING DATA SUMMARY				
SITE AREA:		52,725	SF	
ZONING DESIGNATION:		CD-3 COMMERCIAL HIGH INTENSITY		

142-337 DEVELOPMENT REGULATIONS				
REGULATION	REQUIREMENT	PROPOSED		VARIANCE REQUEST
MAXIMUM FLOOR AREA RATIO (2.75)	144,994 SF MAX.	144,430 SF		
MINIMUM LOT WIDTH (COMMERCIAL)	0 FT			
MAXIMUM BUILDING HEIGHT	75 FT	78 FT		ADDITIONAL 3FT -

142-338 SETBACK REQUIREMENTS (Subterranean, pedestal and tower (non-oceanfront))				
REGULATION (PEDESTAL + TOWER)	REQUIREMENT	PROPOSED		VARIANCE REQUEST
FRONT	0 FT	0 FT		
SIDE INTERIOR (NORTH)	0 FT	4'-11" FT		H
SIDE INTERIOR (SOUTH)	0 FT	9'-10" FT		
REAR	N/A FT	N/A FT		

130-40. - ALTERNATIVE PARKING INCENTIVES.				
	PROPOSED	PARKING REDUCTION	%	
(a) BICYCLE PARKING LONG TERM (5 BIKES PER 1 SPACE)	106 BIKES	-21 SPACES	7%	
(b) BICYCLE PARKING SHORT TERM (10 BIKES PER 1 SPACE)	22 BIKES	-2 SPACES	1%	
(c) CARPOOL/VAN PARKING (1 CARPOOL SPACE PER 3 SPACES)	4 SPACES	-12 SPACES	4%	
(d) DROP-OFF AND LOADING ZONES FOR TRANSPORTATION FOR COMPENSATION VEHICLES:	3 CURB DROP OFF	-9 SPACES	3%	
(e) SCOOTER, MOPED AND MOTORCYCLE PARKING (3 SCOOTER PER 1 SPACES)	35 SCOOTER	-12 SPACES	4%	
(f) SHOWERS (2 SPACES PER 1 SHOWER)	4 SHOWERS	-8 SPACES	3%	
TOTAL REDUCTION:		-64 SPACES		

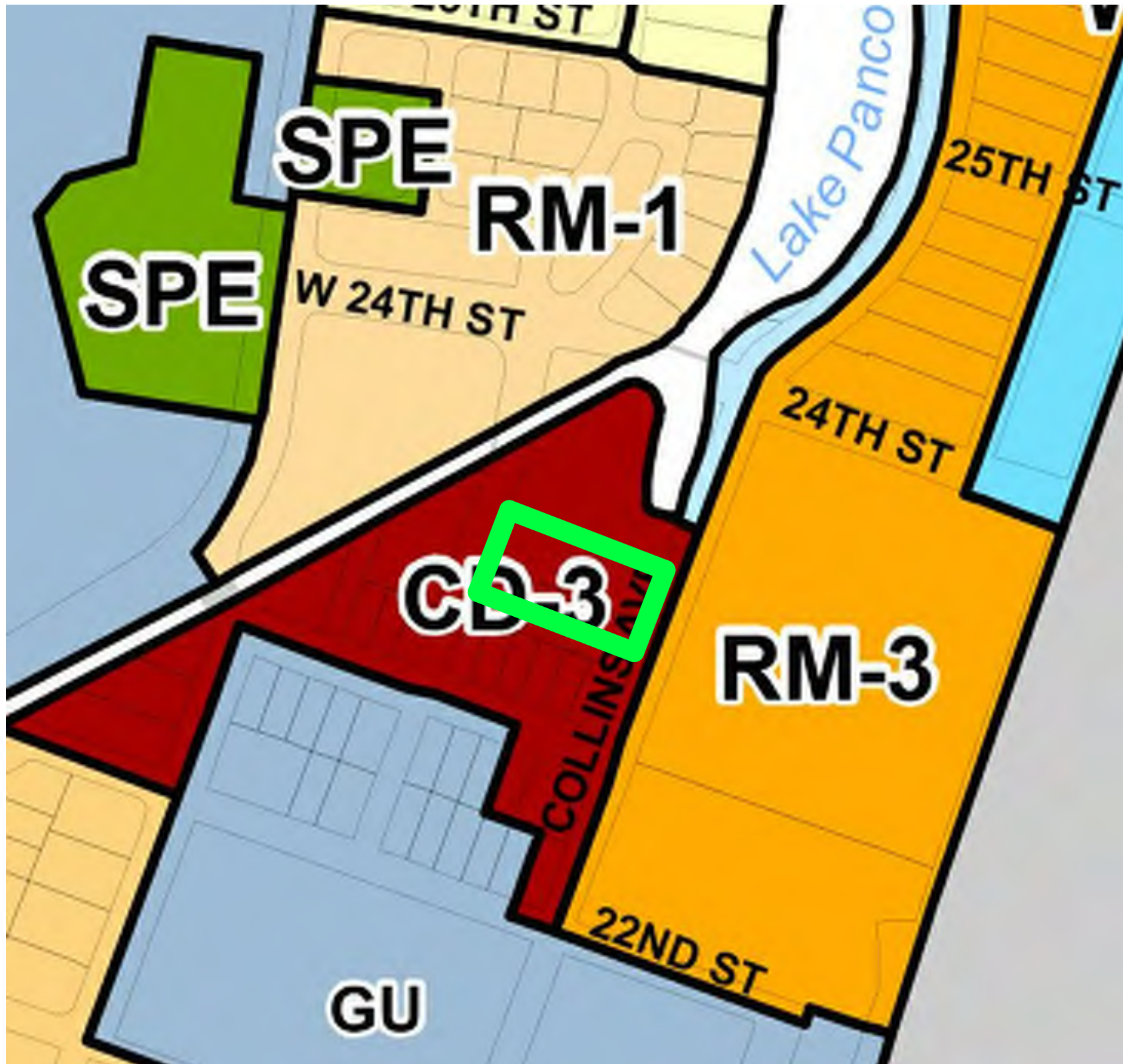
142-739. - PARKING				
REGULATION	REQUIREMENT	PROPOSED		VARIANCE REQUEST
OFFICE (1 SPACE PER 400 SF) : 136,342 / 400 =	341 SPACES	174 SPACES		
MECHANICAL LIFTS (2 SPACES PER LIFT)		104 SPACES		
RETAIL (1 SPACES PER 300 SF) 8,088 / 300 =	27 SPACES	28 SPACES		
REDUCTION PER ALTERNATIVE PARKING INCENTIVES (130-40)	-64 SPACES			
TOTAL:	304 SPACES	305 SPACES		

130-101. SPACE REQUIREMENTS AND LOCATION				
REGULATION	REQUIREMENT	PROPOSED		VARIANCE REQUEST
OFFICE (Over 100,000 but not over 200,000: Three spaces)	3 SPACES	3 SPACES		
RETAIL (Over 2,000 but not over 10,000: One space)	1 SPACES	1 SPACES		
TOTAL:	4 SPACES	4 SPACES		

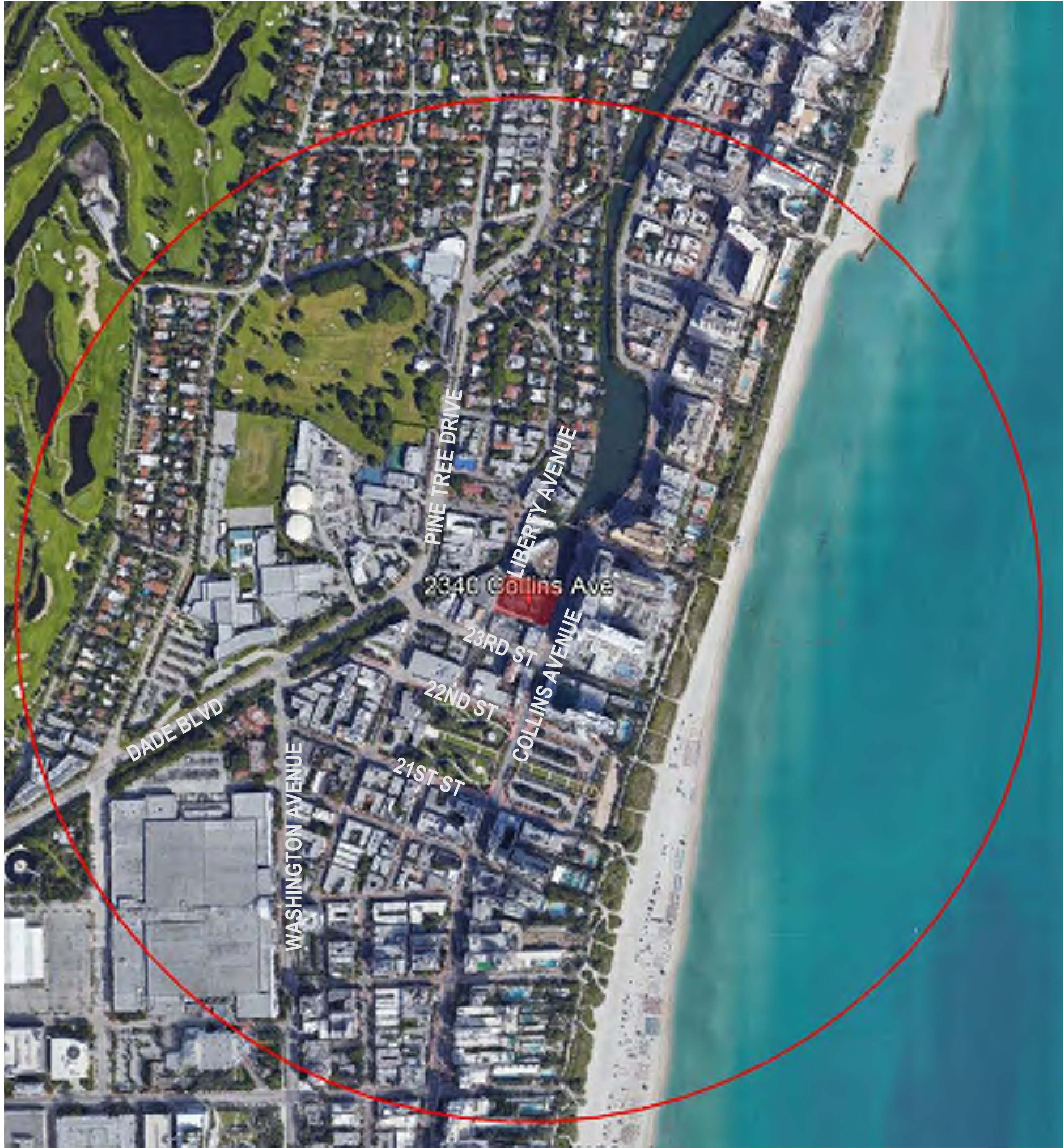
133- SUSTAINABILITY AND RESILIENCY				
REGULATION	REQUIREMENT	PROPOSED		VARIANCE REQUEST
PRIOR TO OBTAINING TEMPORARY CERTIFICATE OF OCCUPANCY (TCO), CERTIFICATE OF OCCUPANCY (CO) OR CERTIFICATE OF COMPLETION (CC)	MINIMUM GOLD CERTIFICATION INTERNATIONAL LIVING FUTURE INSTITUTE PETALS NET ZERO ENERGY CERTIFIED	LEED GOLD aiming for LEED PLATINUM		



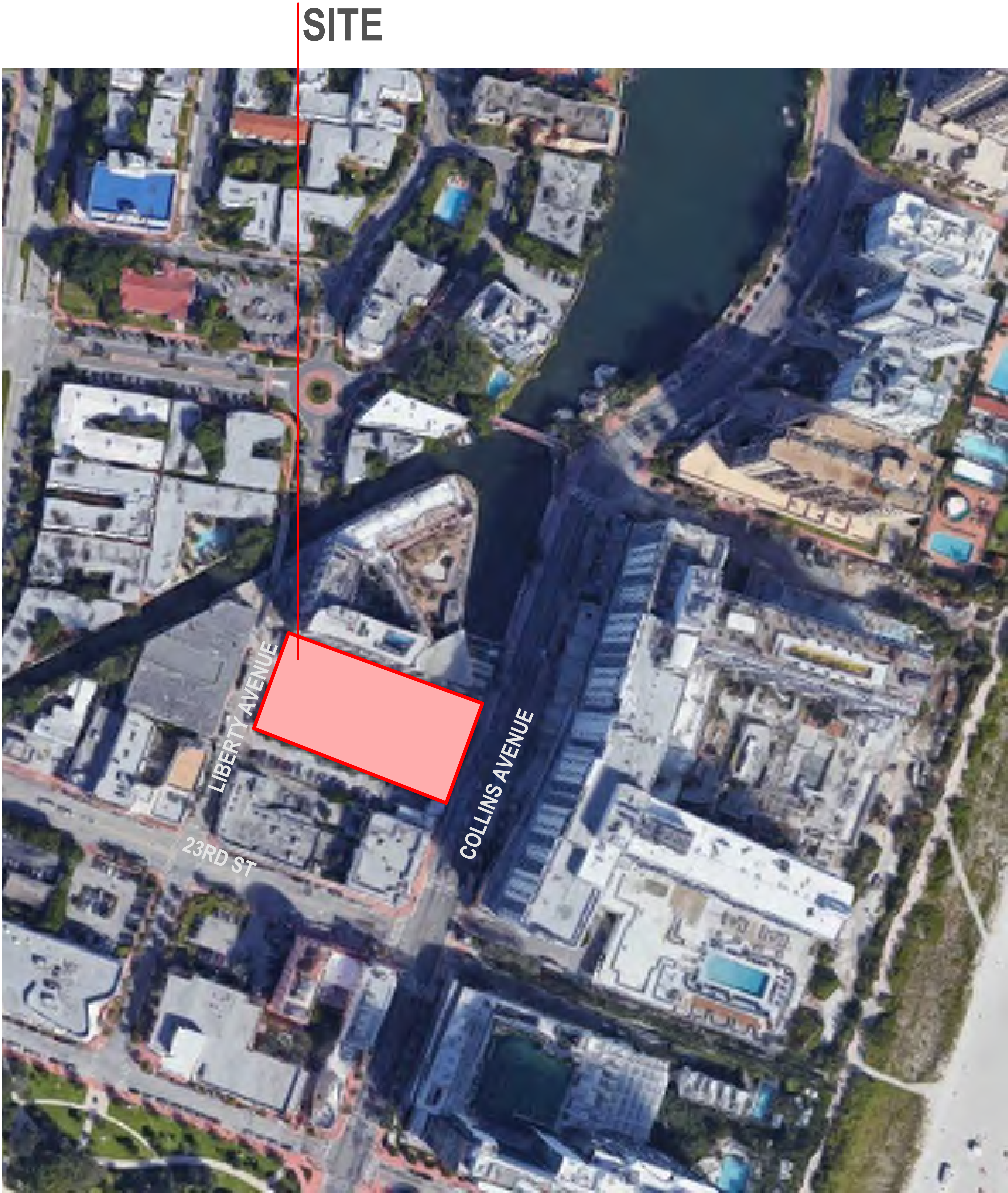
01 PROJECT PROPERTY LOCATION
SCALE: 3" = 1'-0"



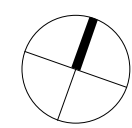
02 MIAMI ZONING IMAGE
SCALE: 3" = 1'-0"



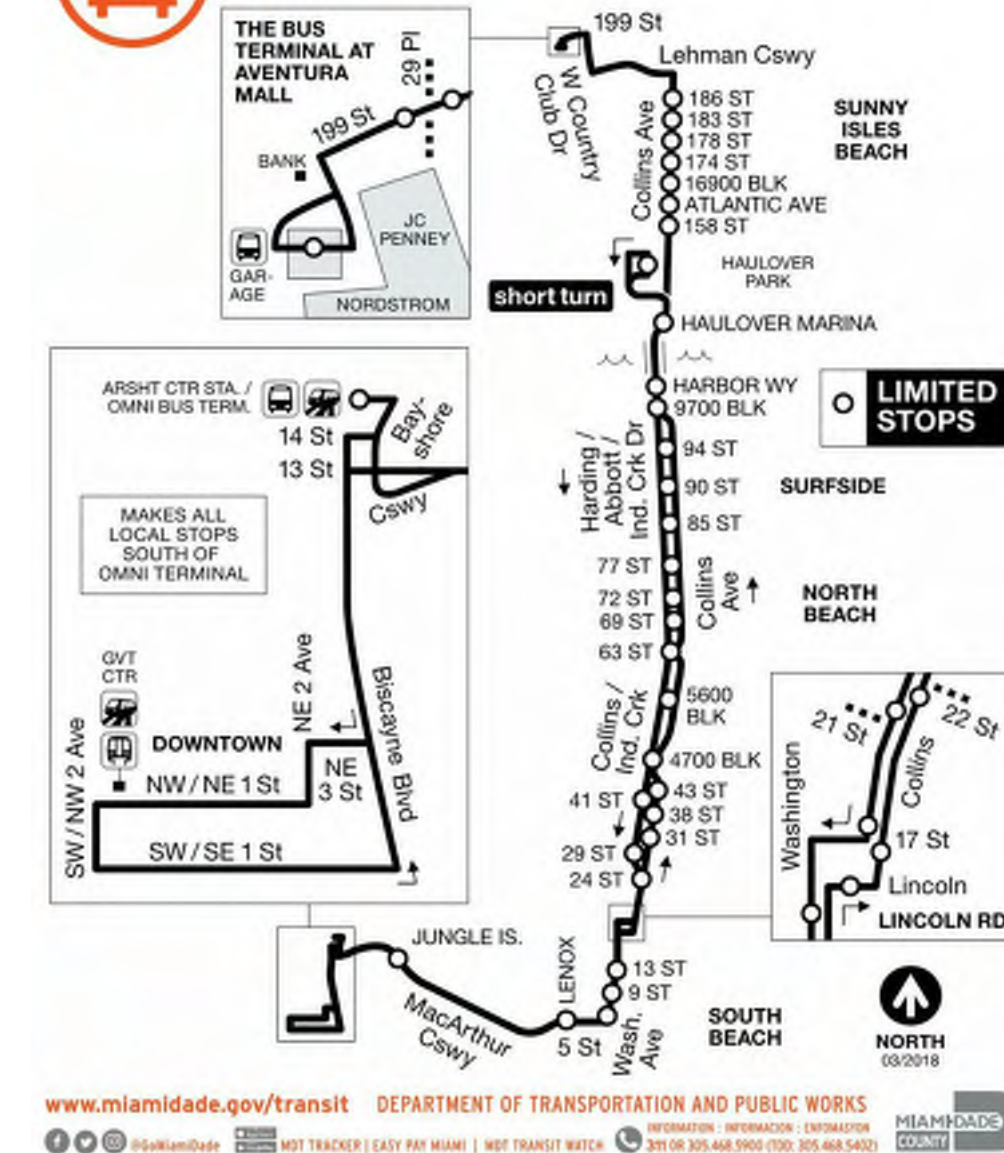
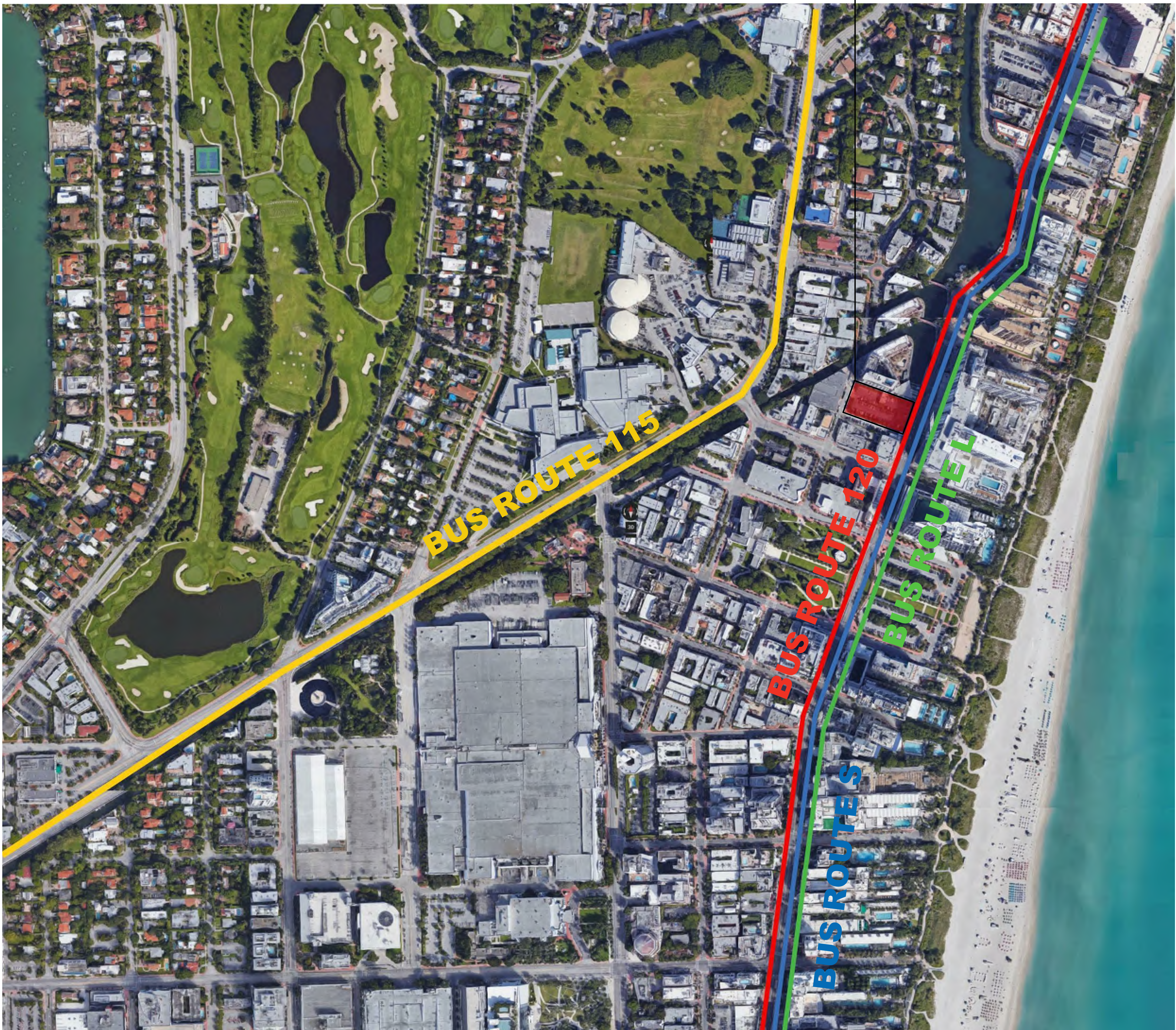
1/2 MILE RADIUS AERIAL

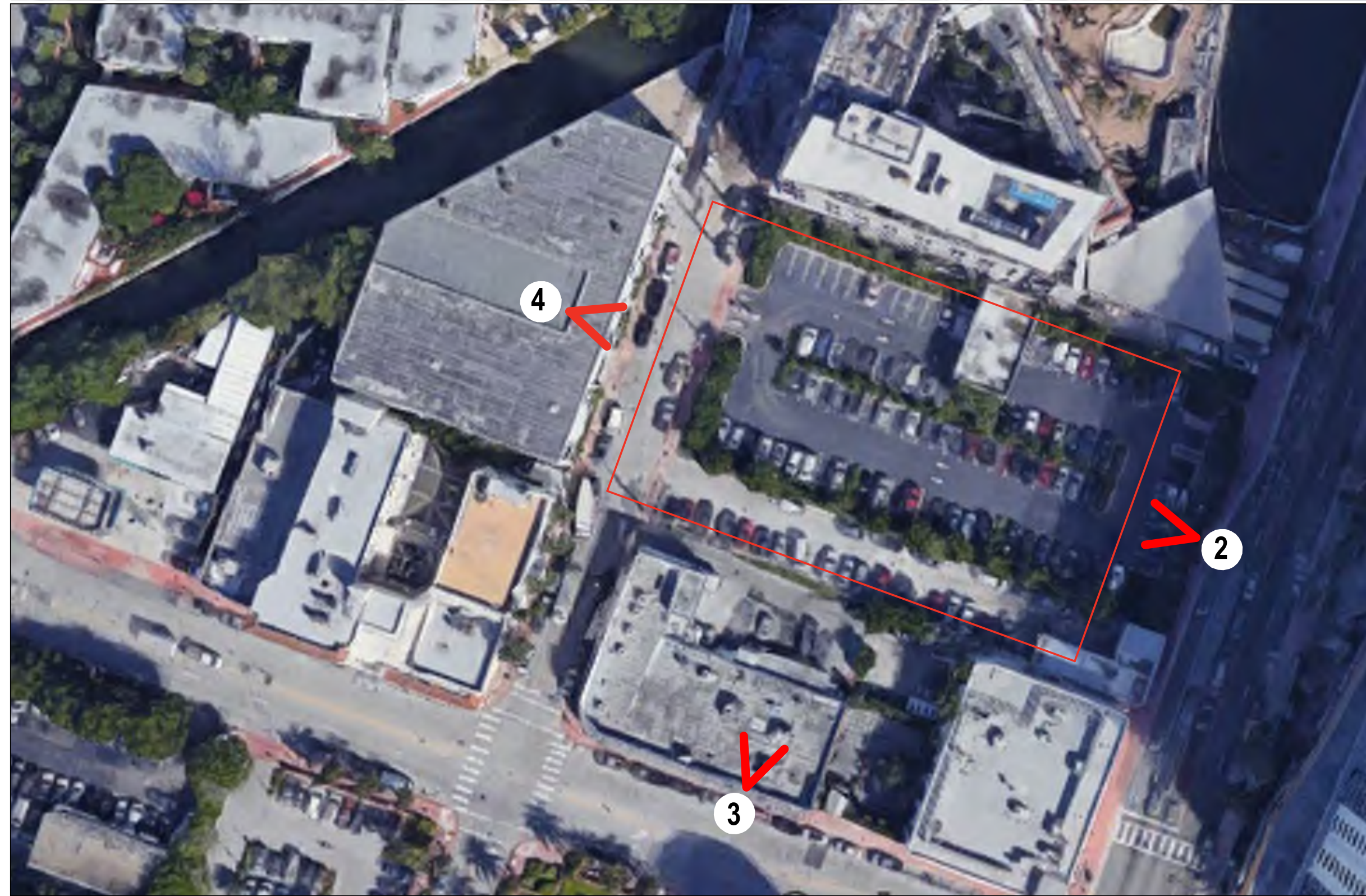


CONTEXT AERIAL



SITE





1. KEY PLAN



2. AERIAL VIEW FROM COLLINS AVENUE



3. AERIAL VIEW FROM 23RD ST



4. AERIAL VIEW FROM LIBERTY AVENUE



1. KEY PLAN



2. VIEW OF SITE FROM LIBERTY AVENUE



3. VIEW OF SITE FROM LIBERTY AVENUE



4. VIEW OF SITE CORNER LIBERTY AVENUE



1. KEY PLAN



2. VIEW OF SITE FROM COLLINS AVENUE



3. VIEW OF SITE FROM COLLINS AVENUE



1. KEY PLAN



2. VIEW OF THE ONE HOTEL FROM SITE



3. VIEW OF 2300 WALGREENS BUILDING FROM SITE



4. VIEW OF STUDIO 23 BUILDING FROM SITE



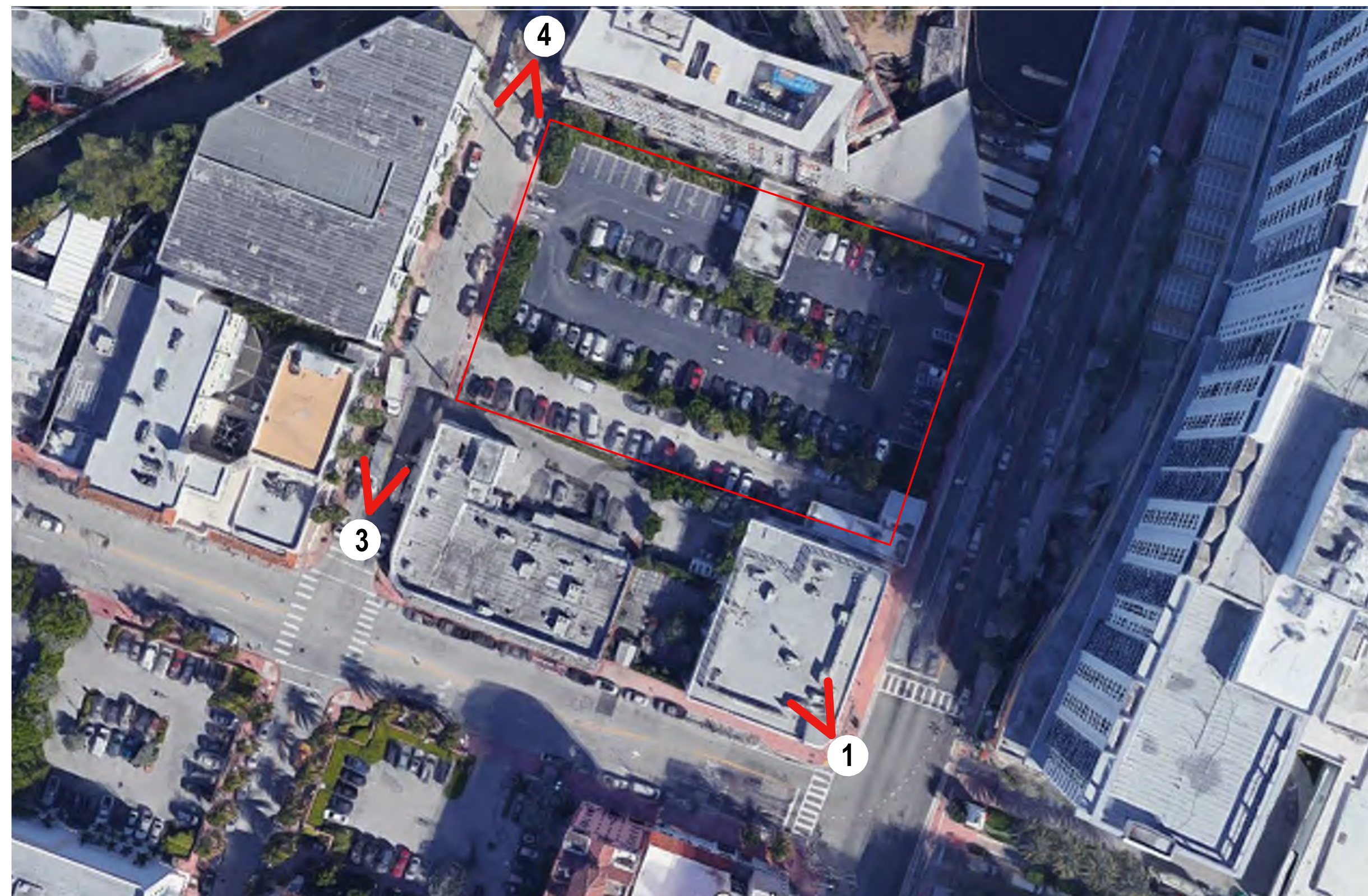
1. KEY PLAN



2. VIEW OF 435 RONEY SUBSTATION BUILDING FROM SITE



3. VIEW OF THE GATES HOTEL FROM SITE



1. KEY PLAN



2. VIEW OF 23 STREET AND COLLINS AVENUE LOOKING NORTH WEST



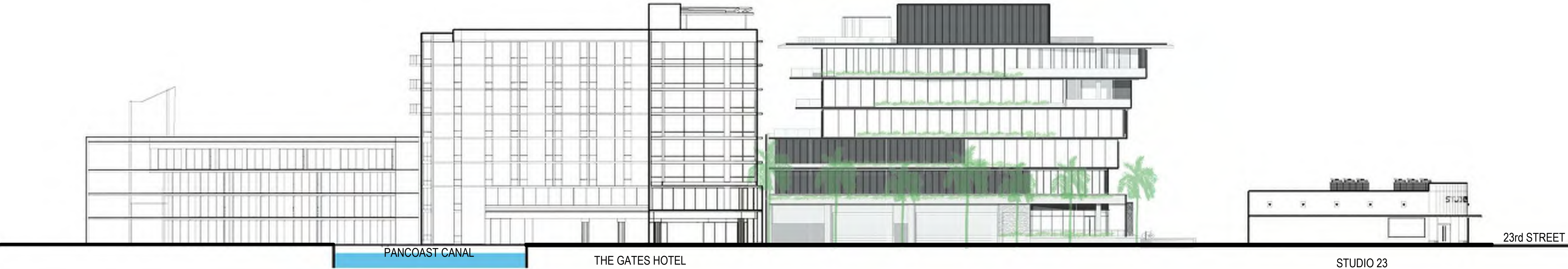
3. VIEW OF LIBERTY AVENUE FROM 23 STREET LOOKING NORTH



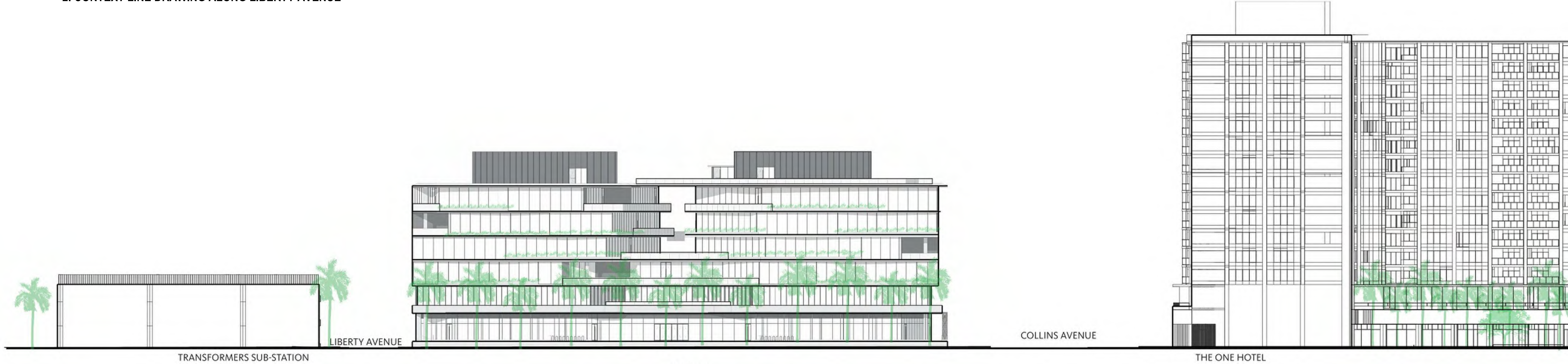
4. VIEW OF LIBERTY AVE FROM GATES HOTEL DRIVEWAY LOOKING SOUTH



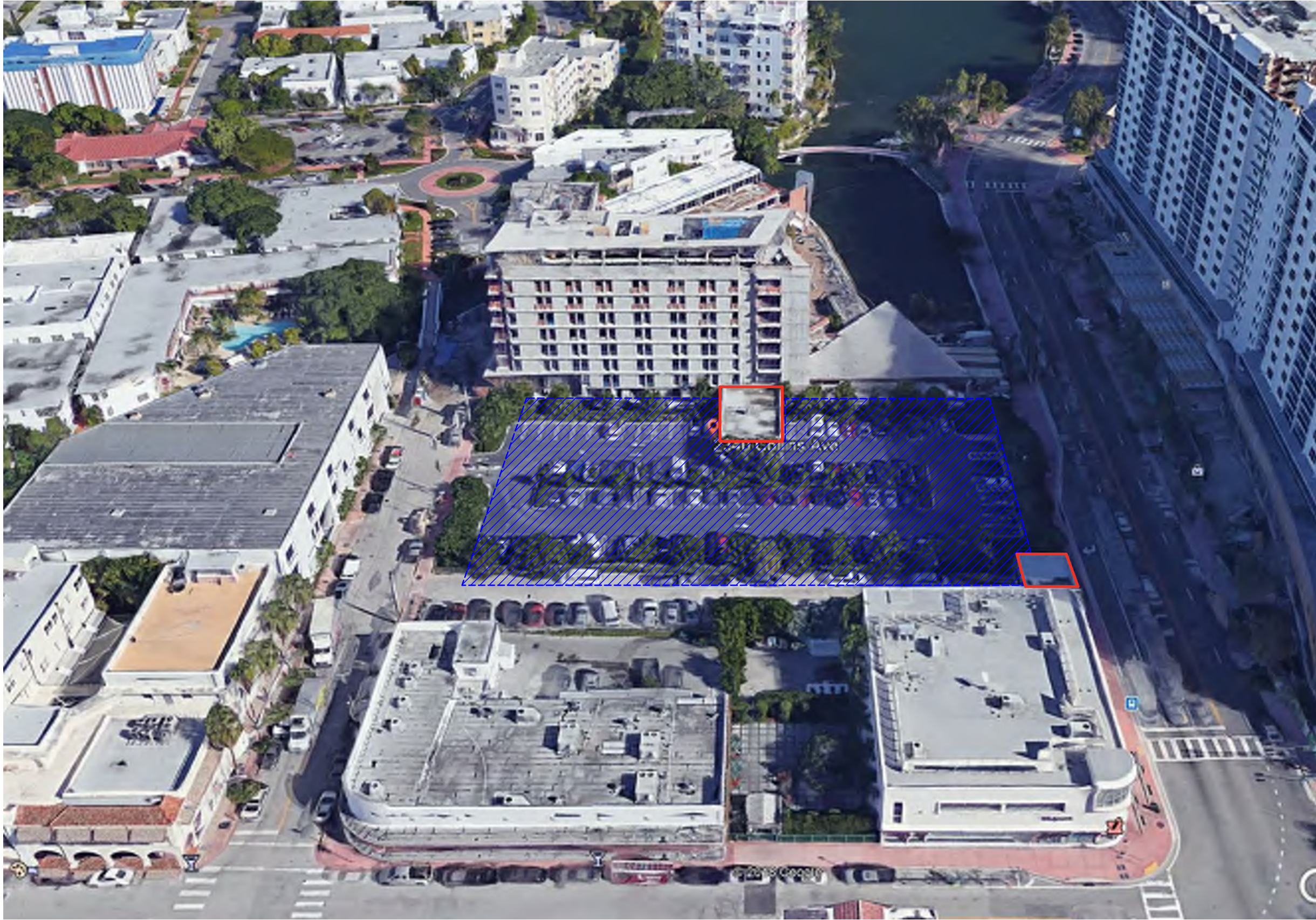
1. CONTEXT LINE DRAWING ALONG COLLINS AVENUE



2. CONTEXT LINE DRAWING ALONG LIBERTY AVENUE



3. CONTEXT LINE DRAWING SOUTH ELEVATION



1. Aerial of Property from 23rd Street

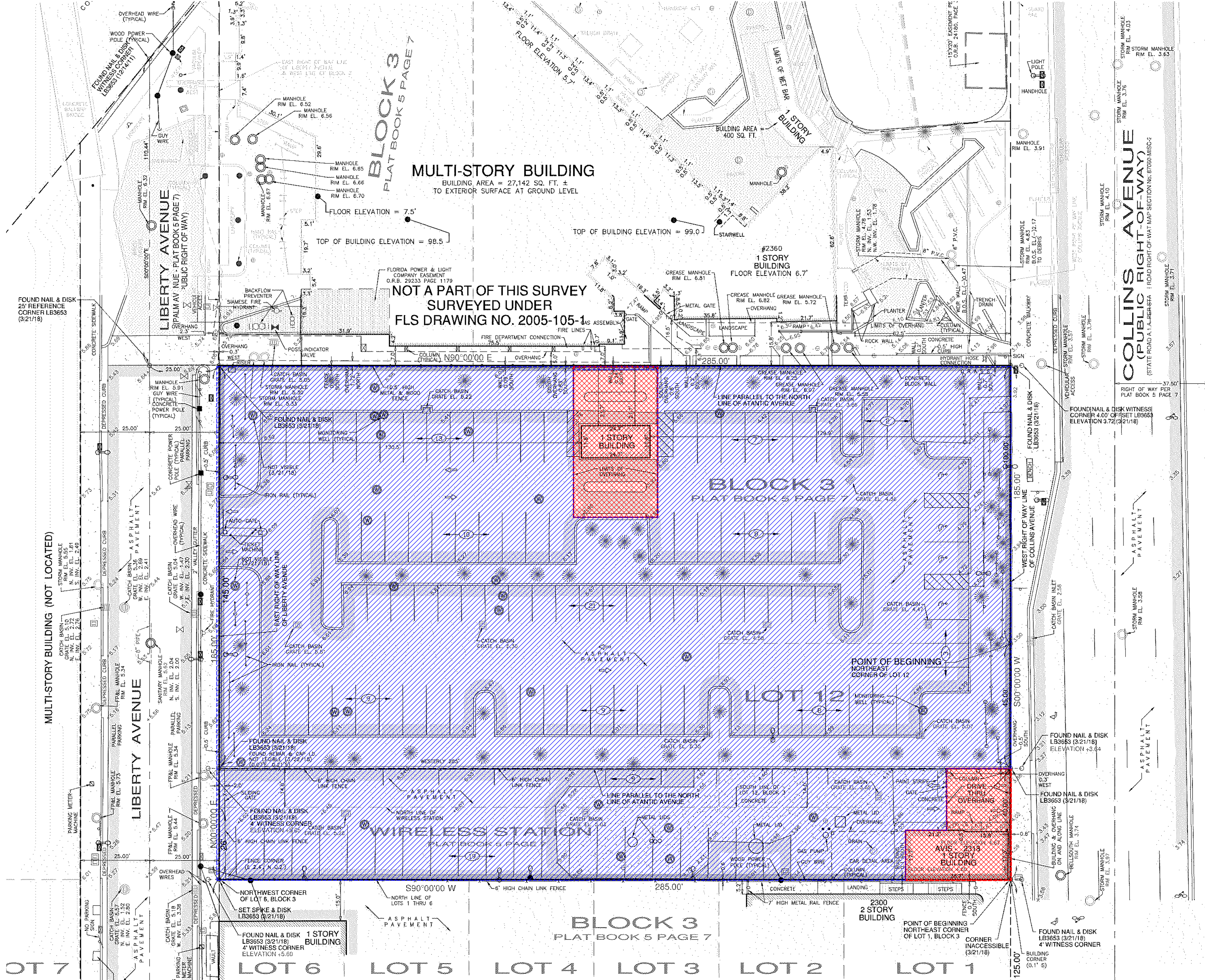


2. Aerial of Property from Collins Avenue

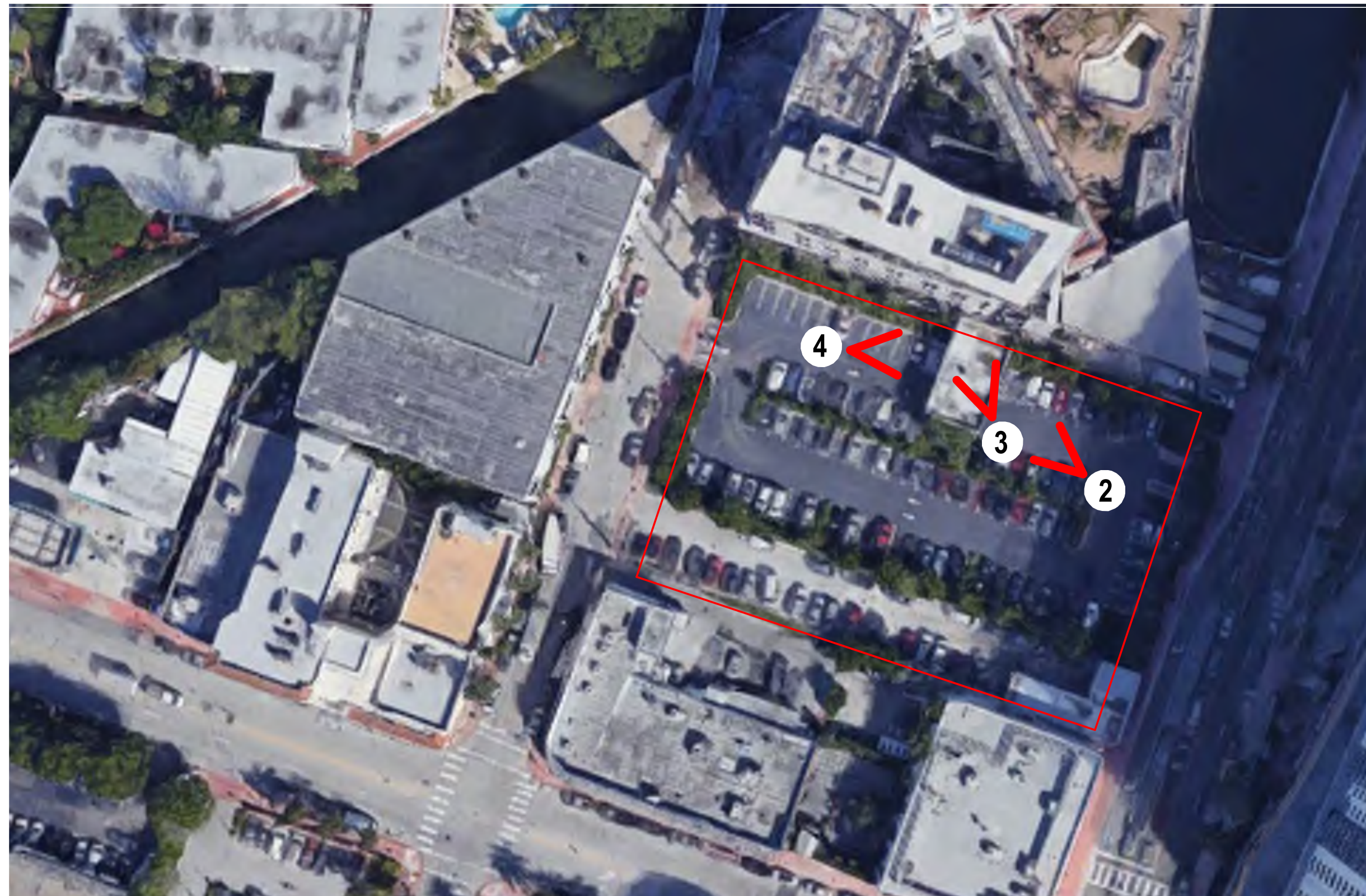
LEGEND

NON-CONTRIBUTING BUILDINGS TO BE DEMOLISHED

SITework, PAVING & SURFACE MATERIAL TO BE DEMOLISHED.



3. Site Survey



1. KEY PLAN



2. DRIVE THRU BUILDING - EAST VIEW



3. DRIVE THRU BUILDING - WEST VIEW



2. DRIVE THRU BUILDING - INTERIOR VIEW



1. KEY PLAN



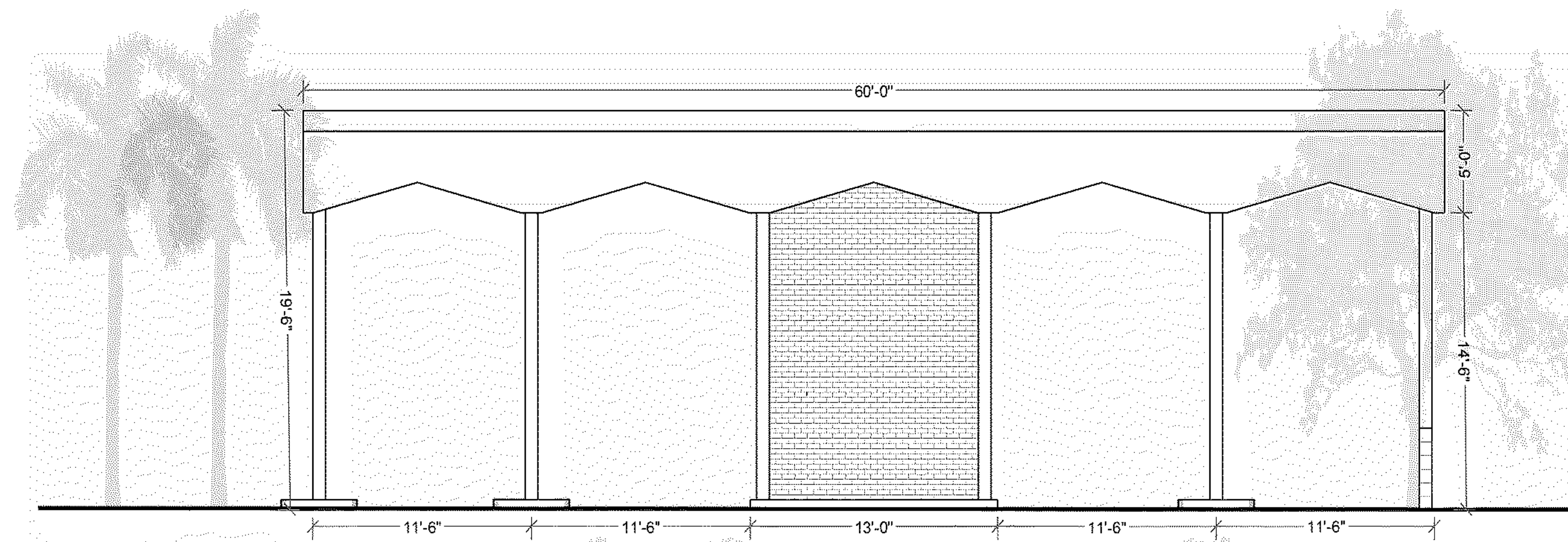
2. RETAIL BUILDING - EAST VIEW



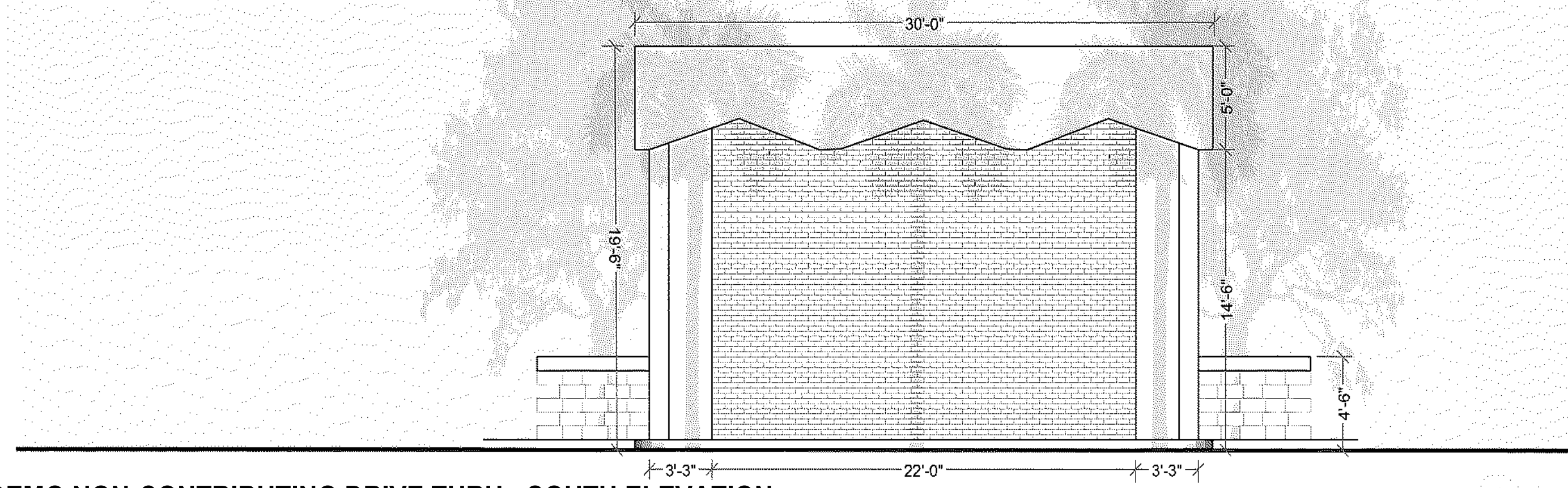
3. RETAIL BUILDING - WEST VIEW



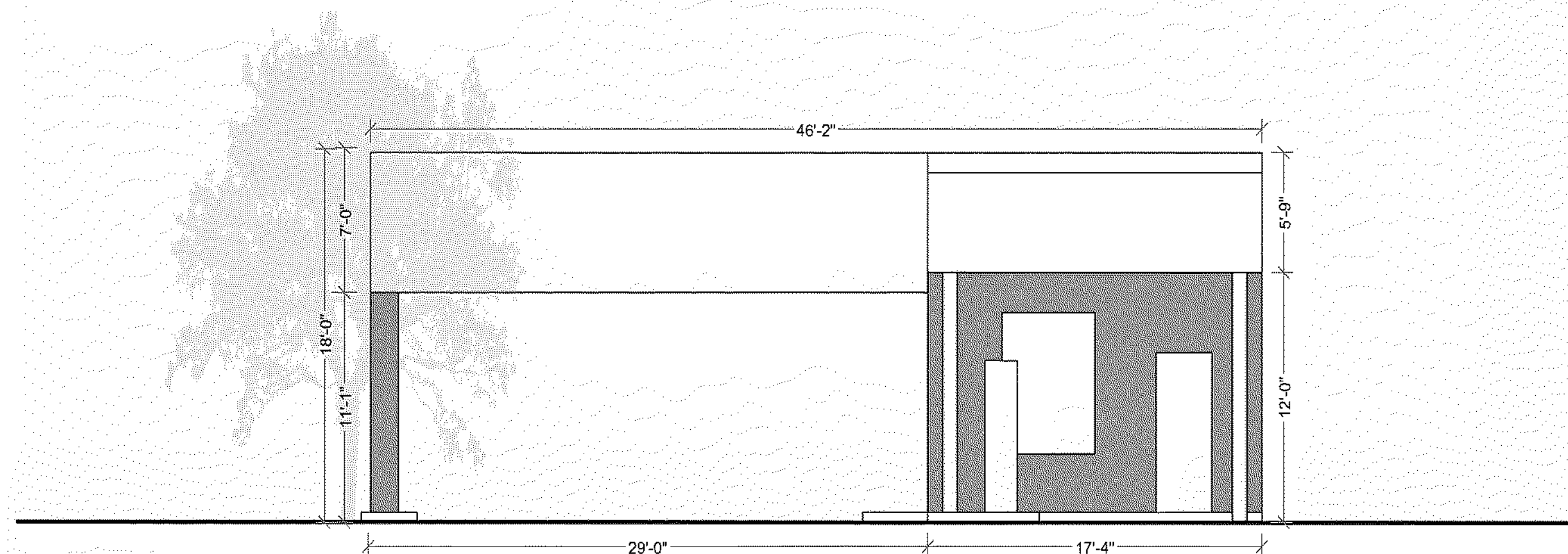
2. RETAIL BUILDING - INTERIOR VIEW



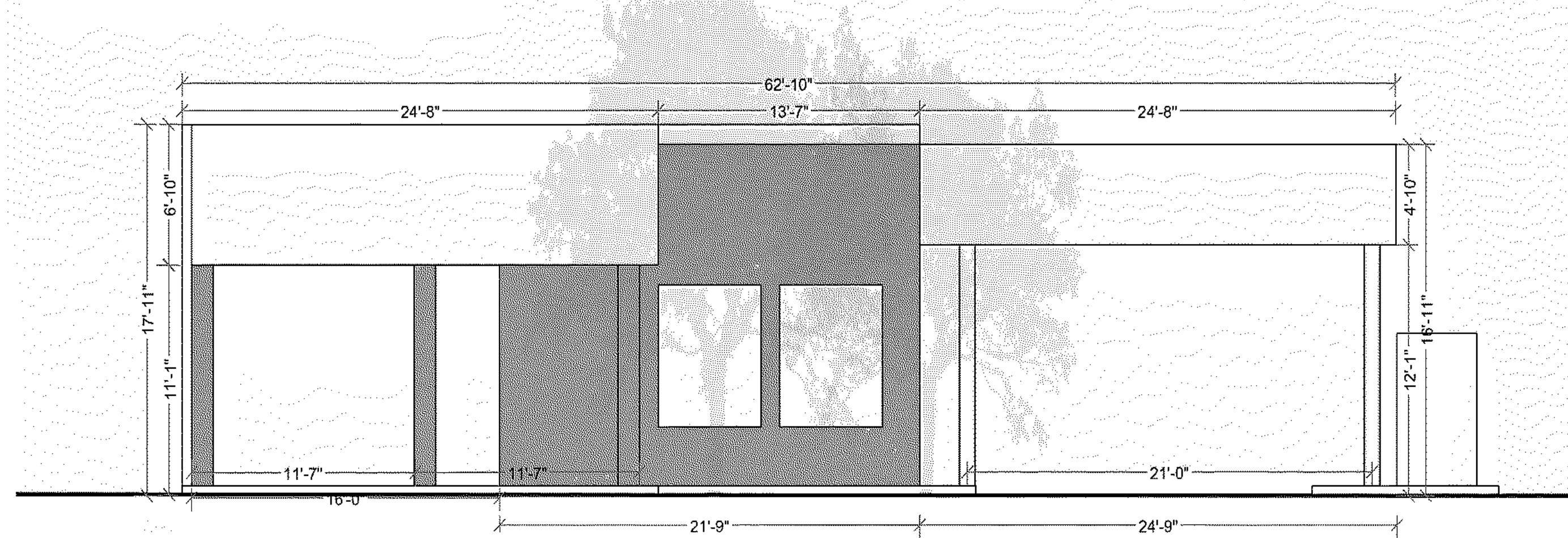
DEMO NON-CONTRIBUTING DRIVE THRU - EAST ELEVATION



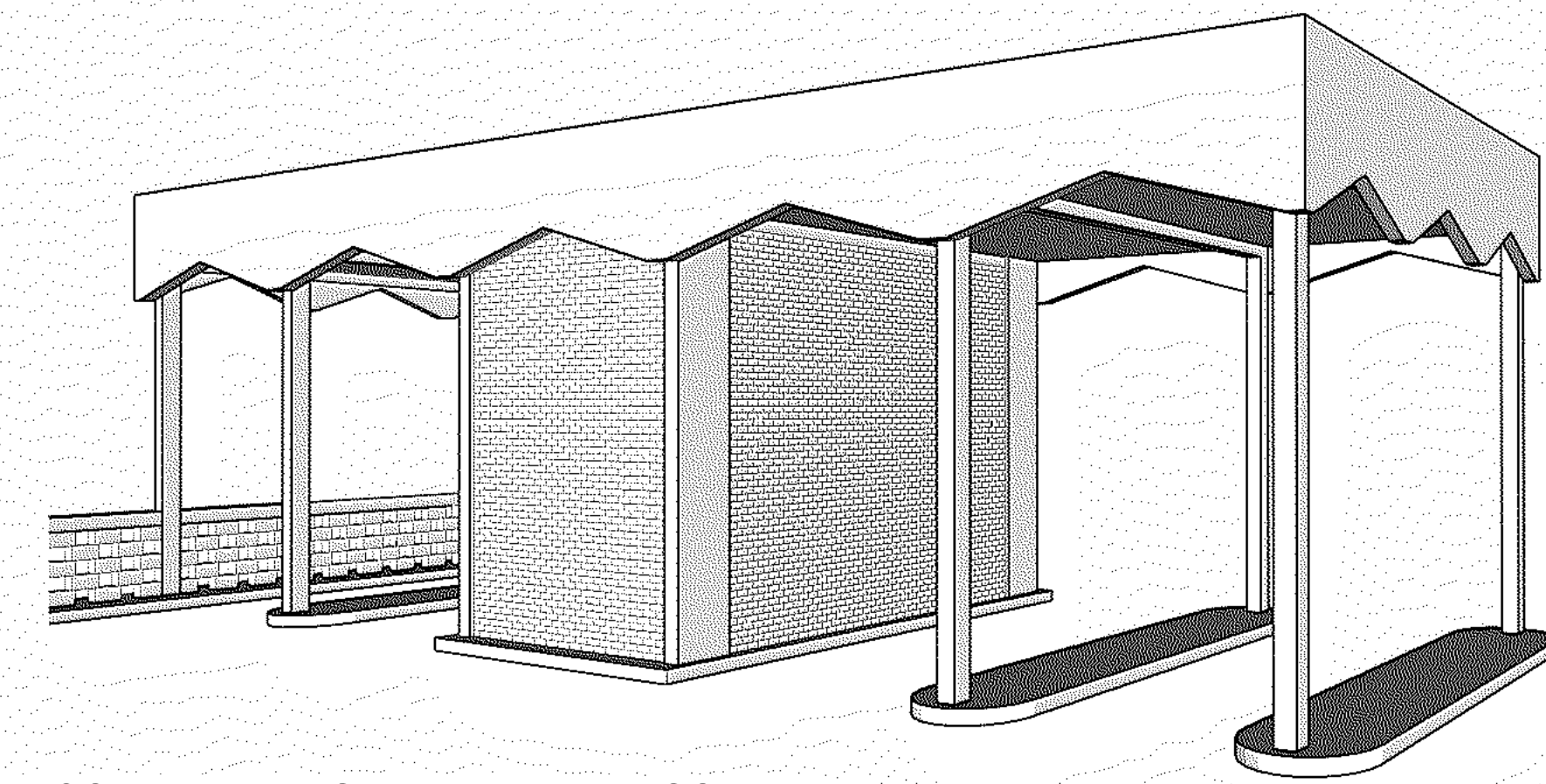
DEMO NON-CONTRIBUTING DRIVE THRU - SOUTH ELEVATION



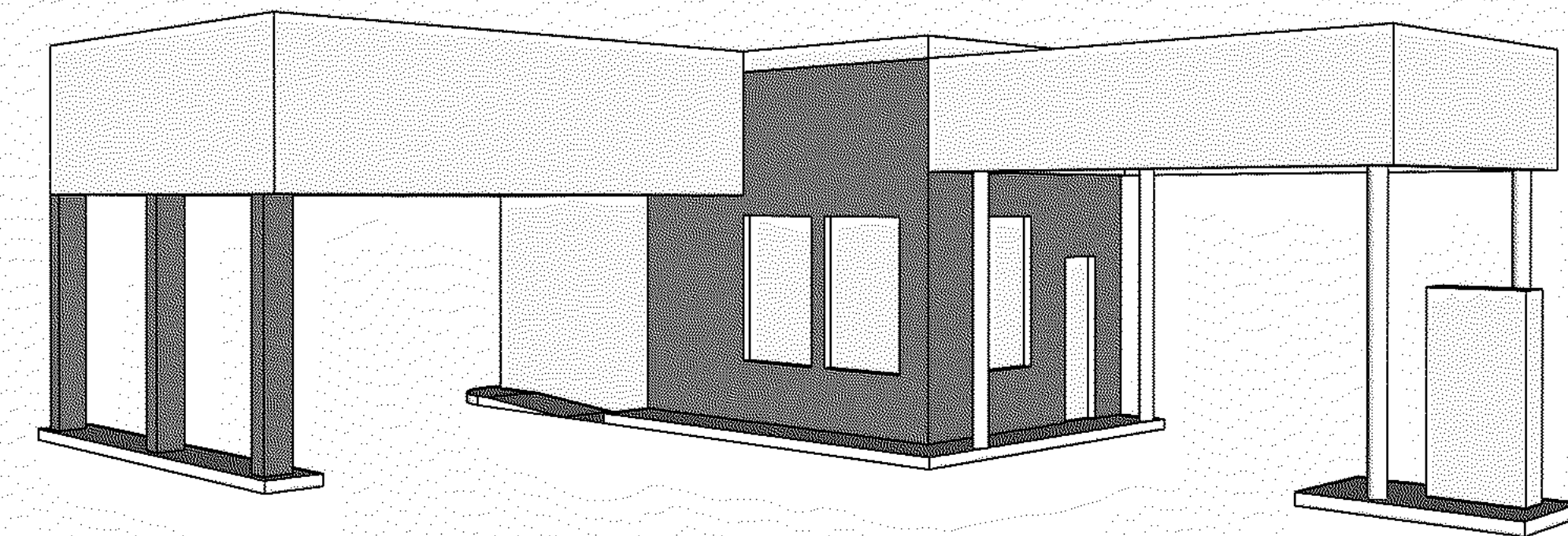
DEMO NON-CONTRIBUTING RETAIL BDLG - SOUTH ELEVATION



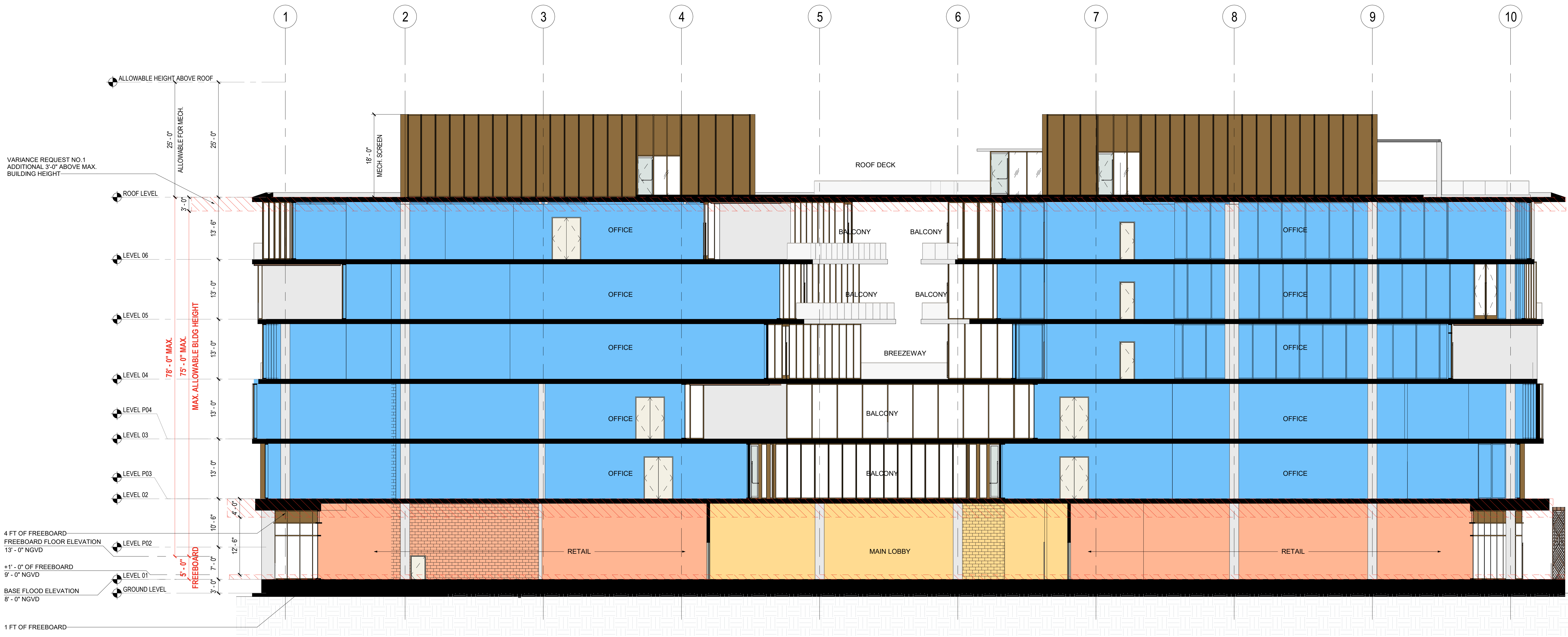
DEMO NON-CONTRIBUTING RETAIL BDLG - WEST ELEVATION

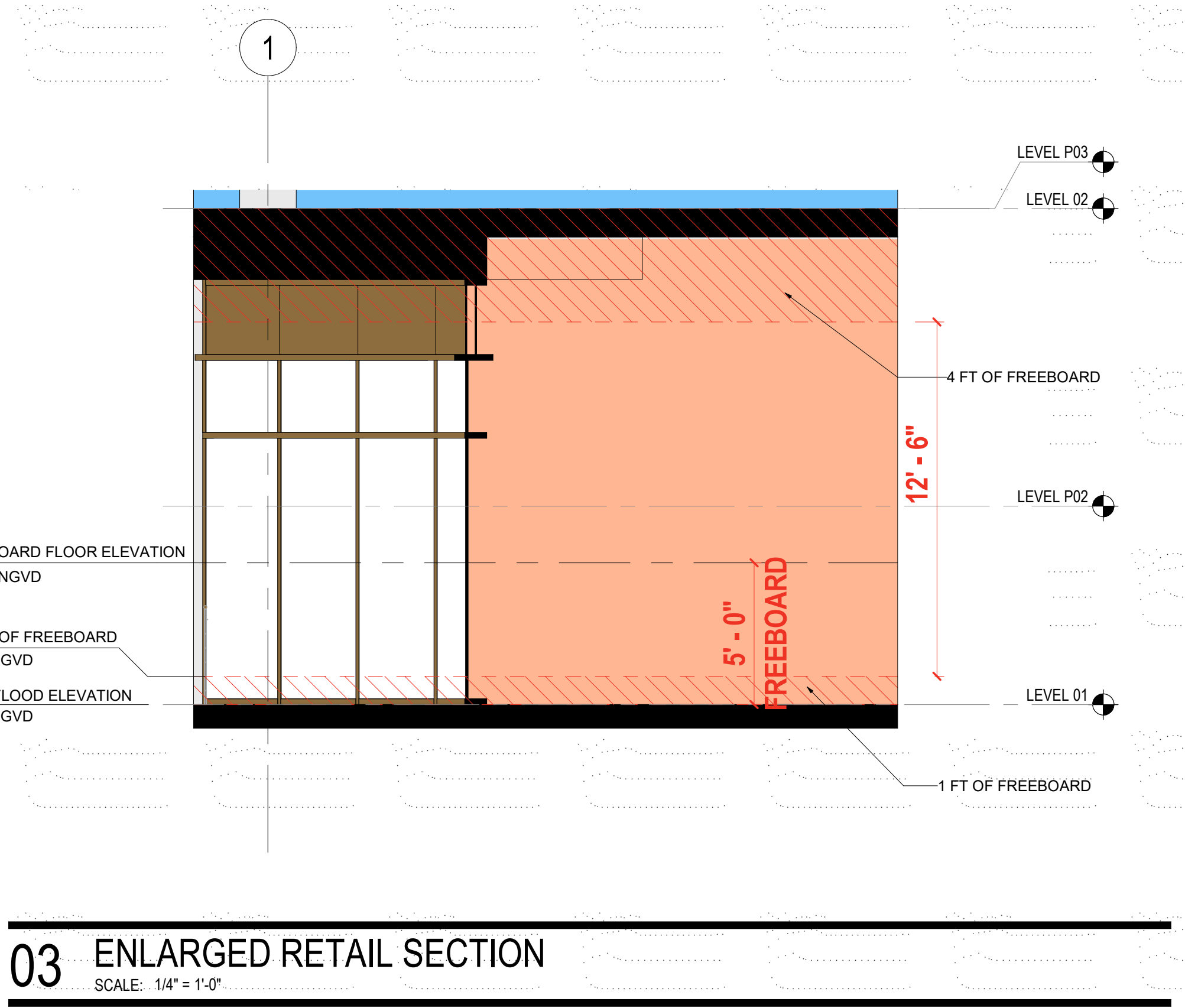
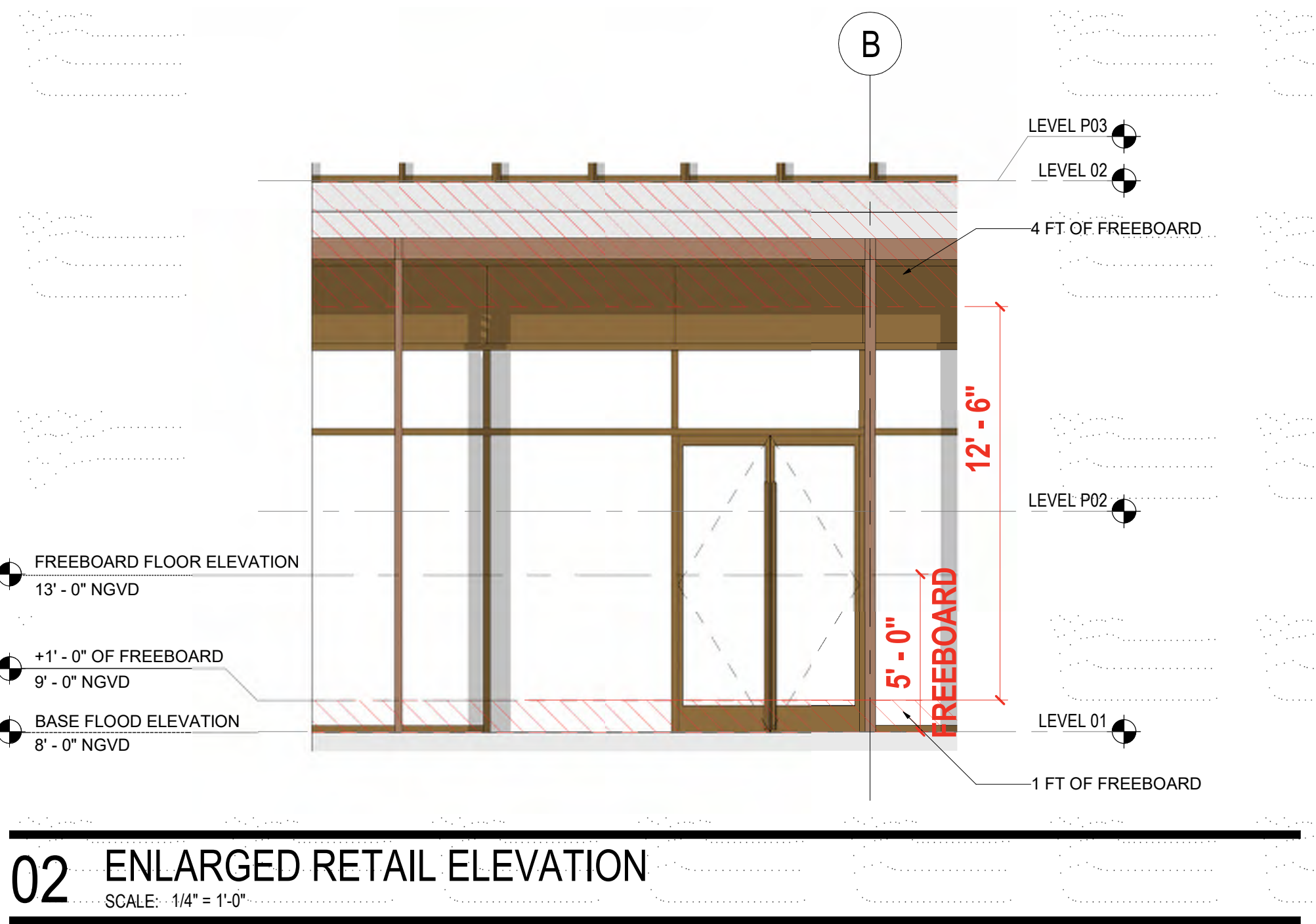
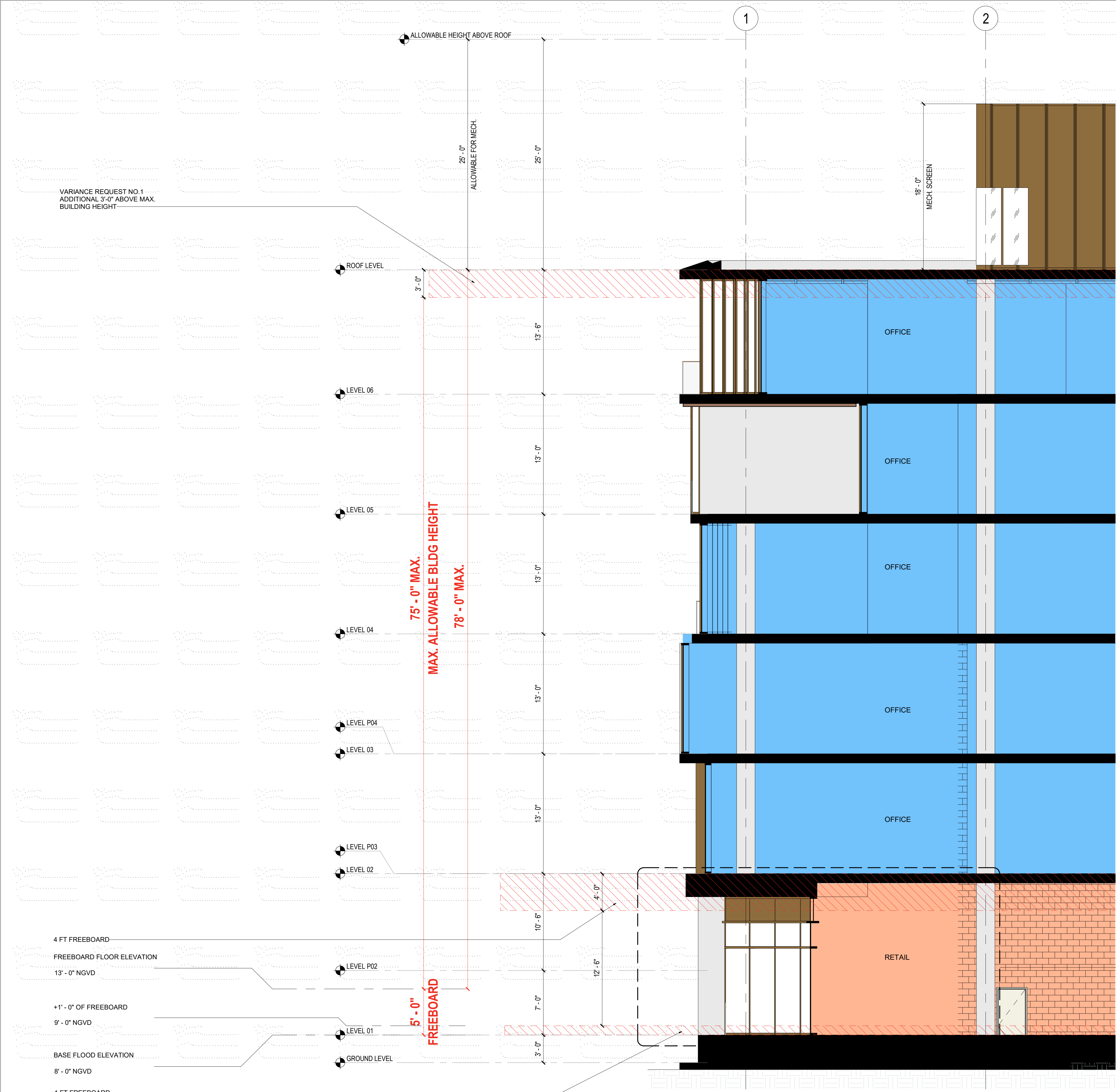


DEMO NON-CONTRIBUTING DRIVE THRU - ISO



DEMO NON-CONTRIBUTING RETAIL BDLG - ISO

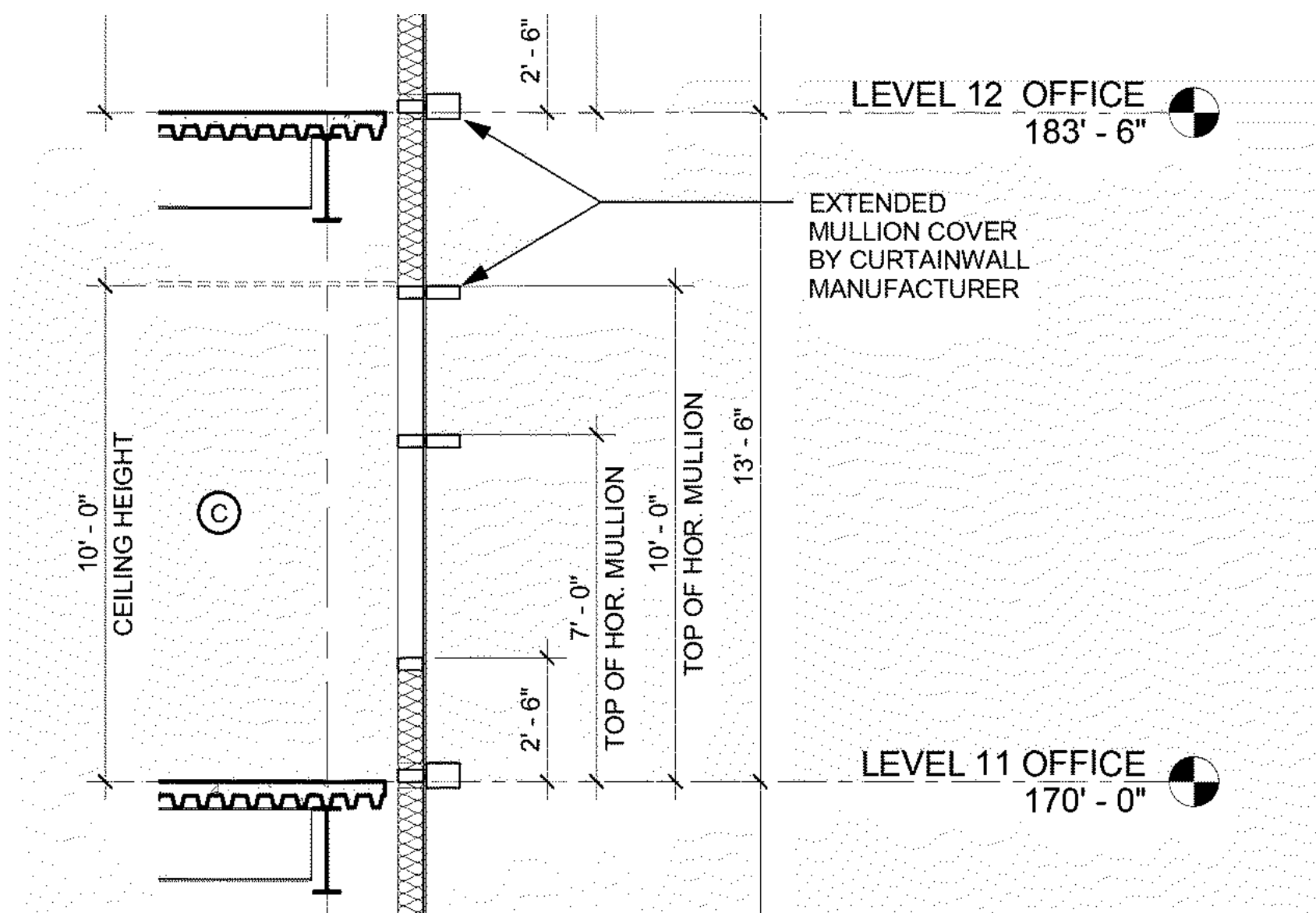
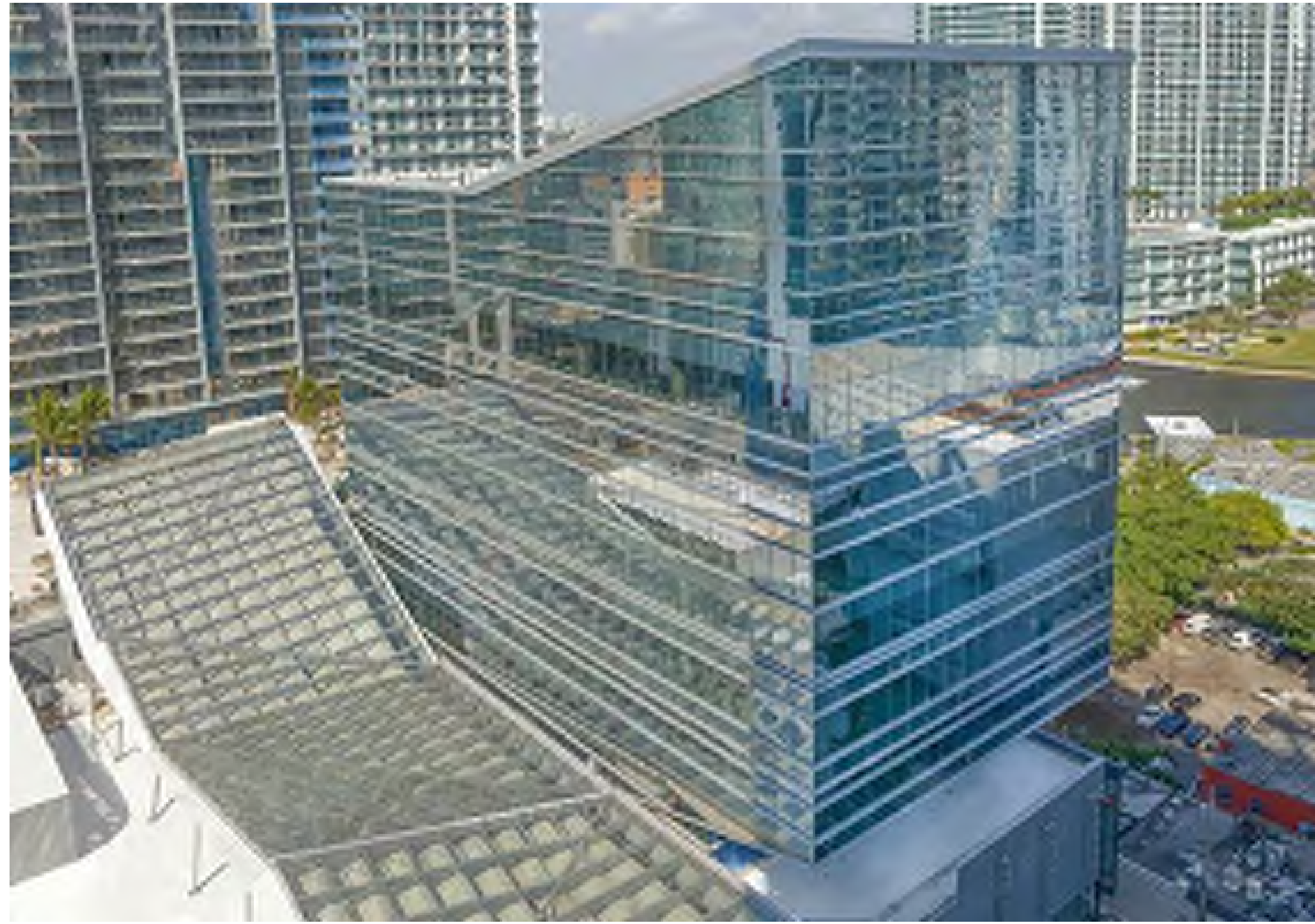




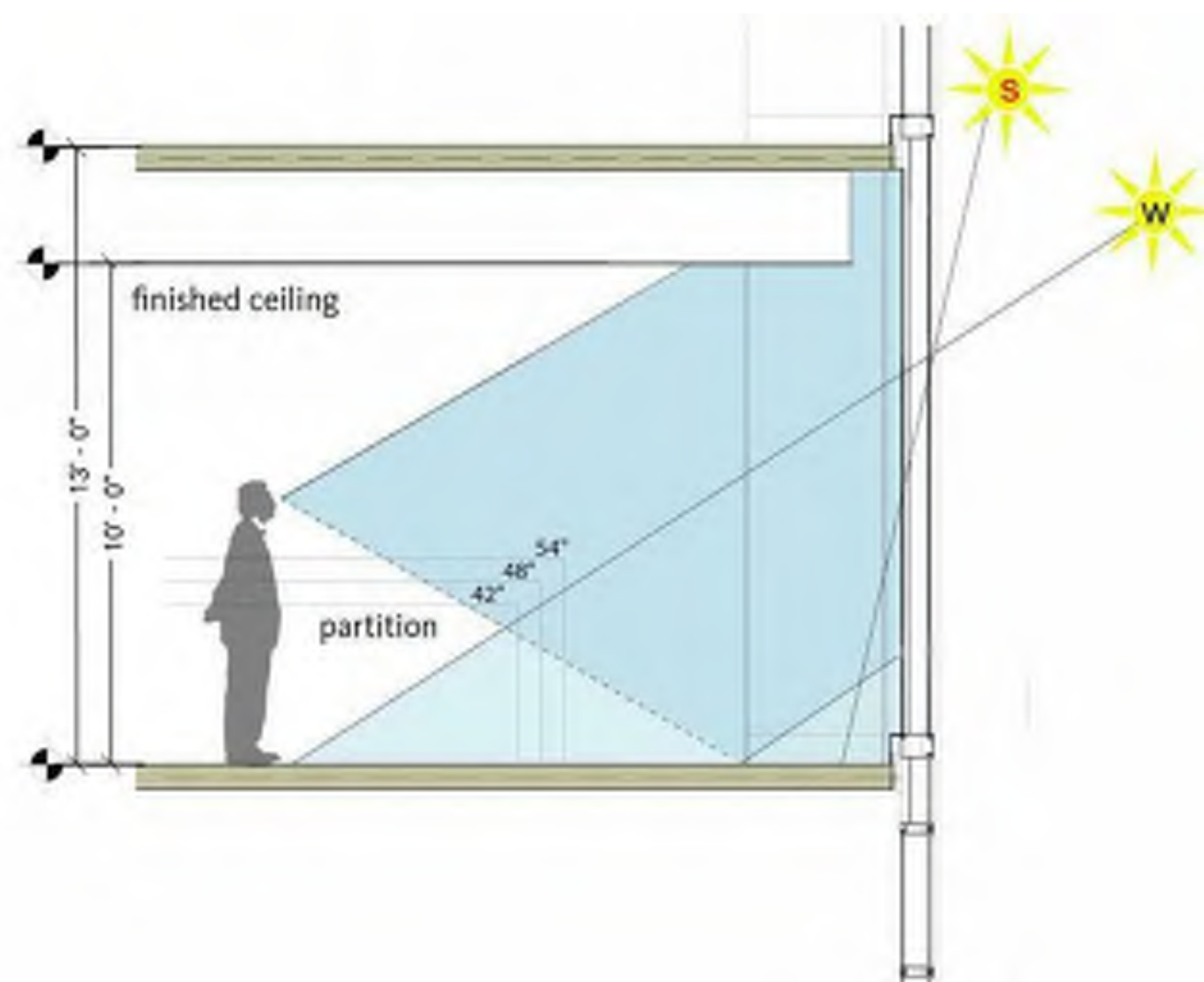


THREE BRICKELL CITY CENTER: CLASS A OFFICE TOWER
FLOOR TO FLOOR HEIGHT: 13'-6"
FINISHED CEILING HEIGHT: 11'-0"

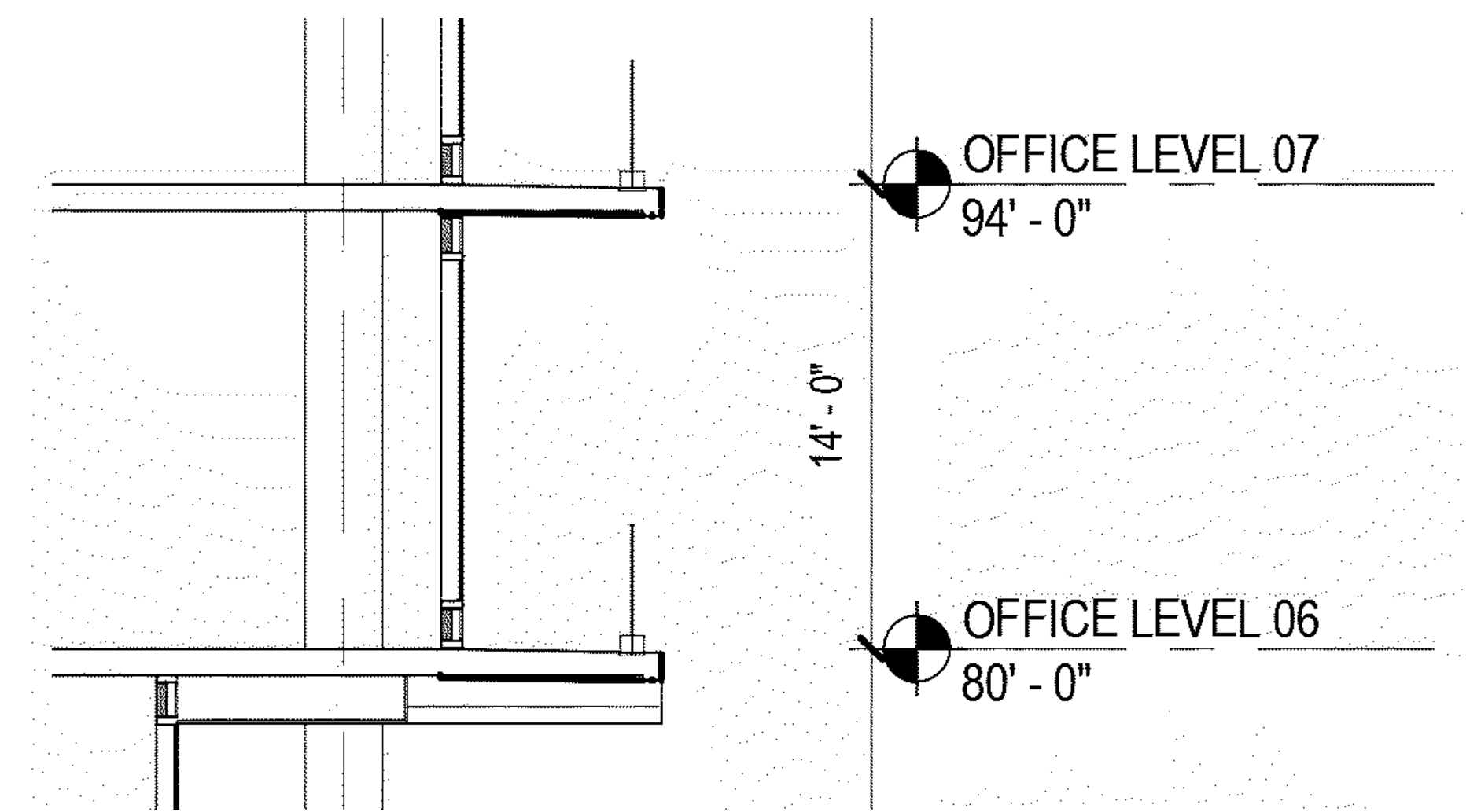
600 BRICKELL AVENUE: CLASS A OFFICE TOWER
FLOOR TO FLOOR HEIGHT: 13'-6"
FINISHED CEILING HEIGHT: 10'-0"



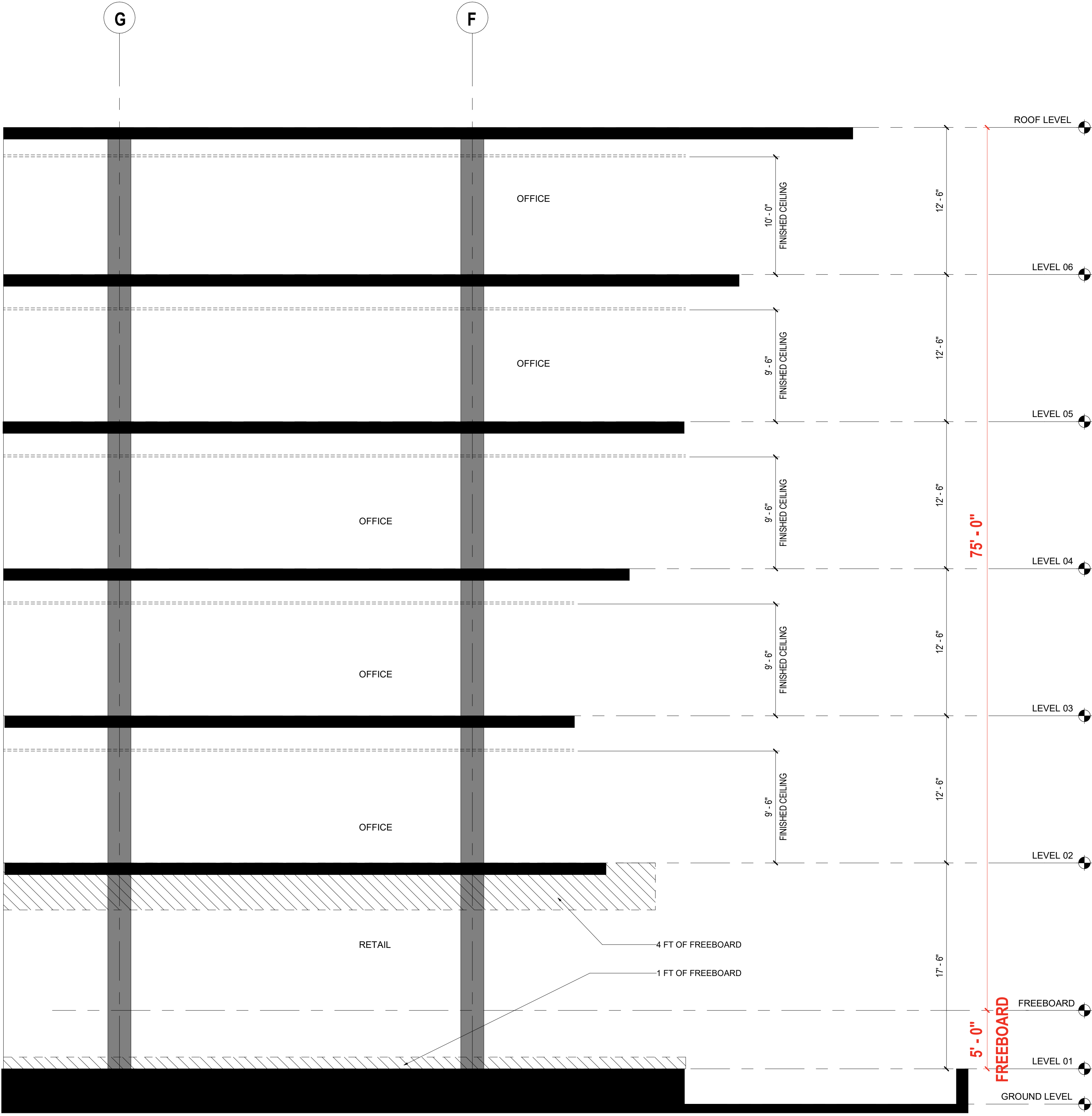
CLASS A OFFICE TOWER: THREE BRICKELL CITY CENTER
701 S MIAMI AVE MIAMI, FL 33130
OFFICE FLOOR TO FLOOR HEIGHT: 13' -6"



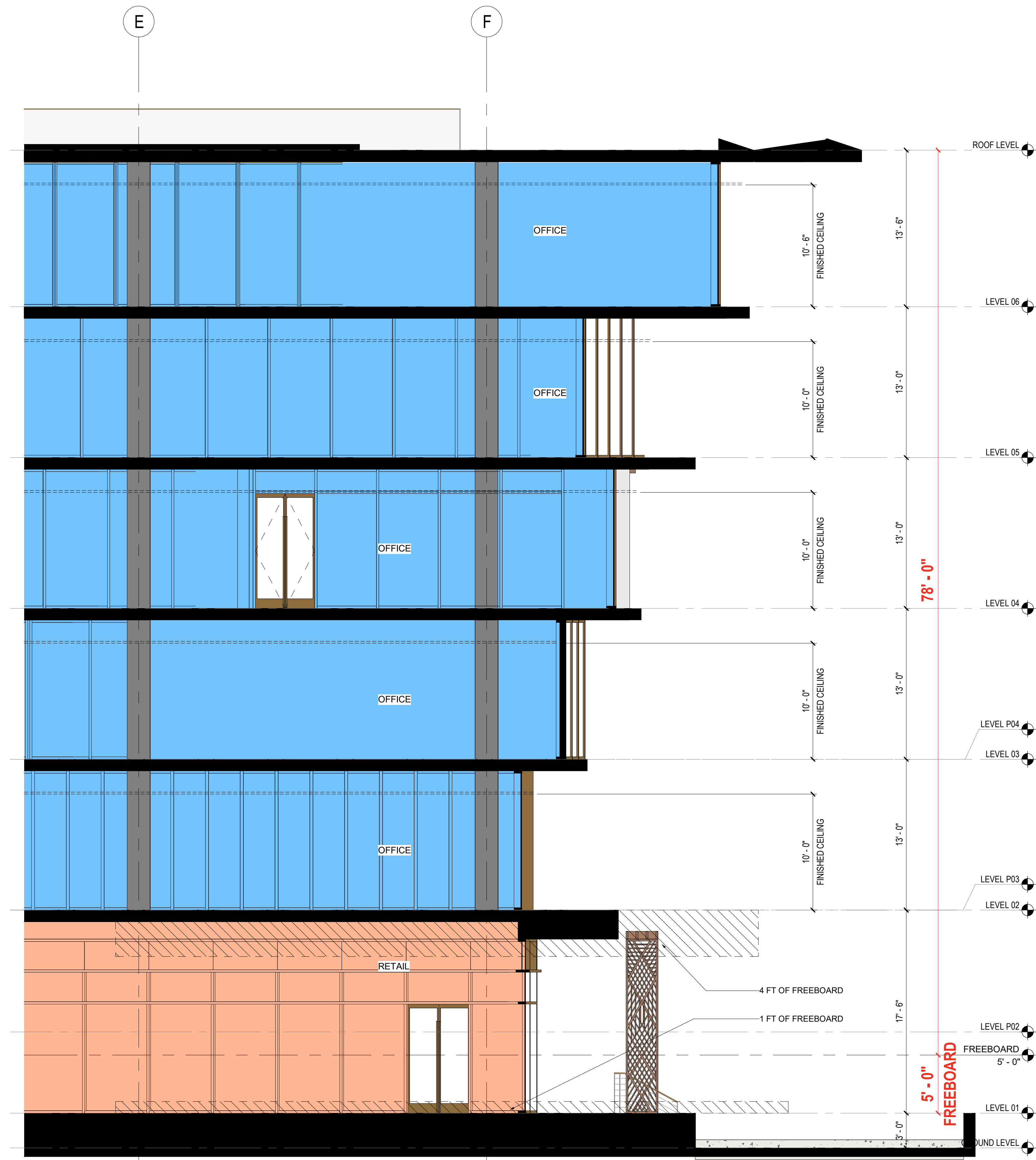
BRICKELL WORLD PLAZA: CLASS A OFFICE TOWER
600 BRICKELL AVENUE MIAMI, FL 33131
OFFICE FLOOR TO FLOOR HEIGHT: 13' -0"



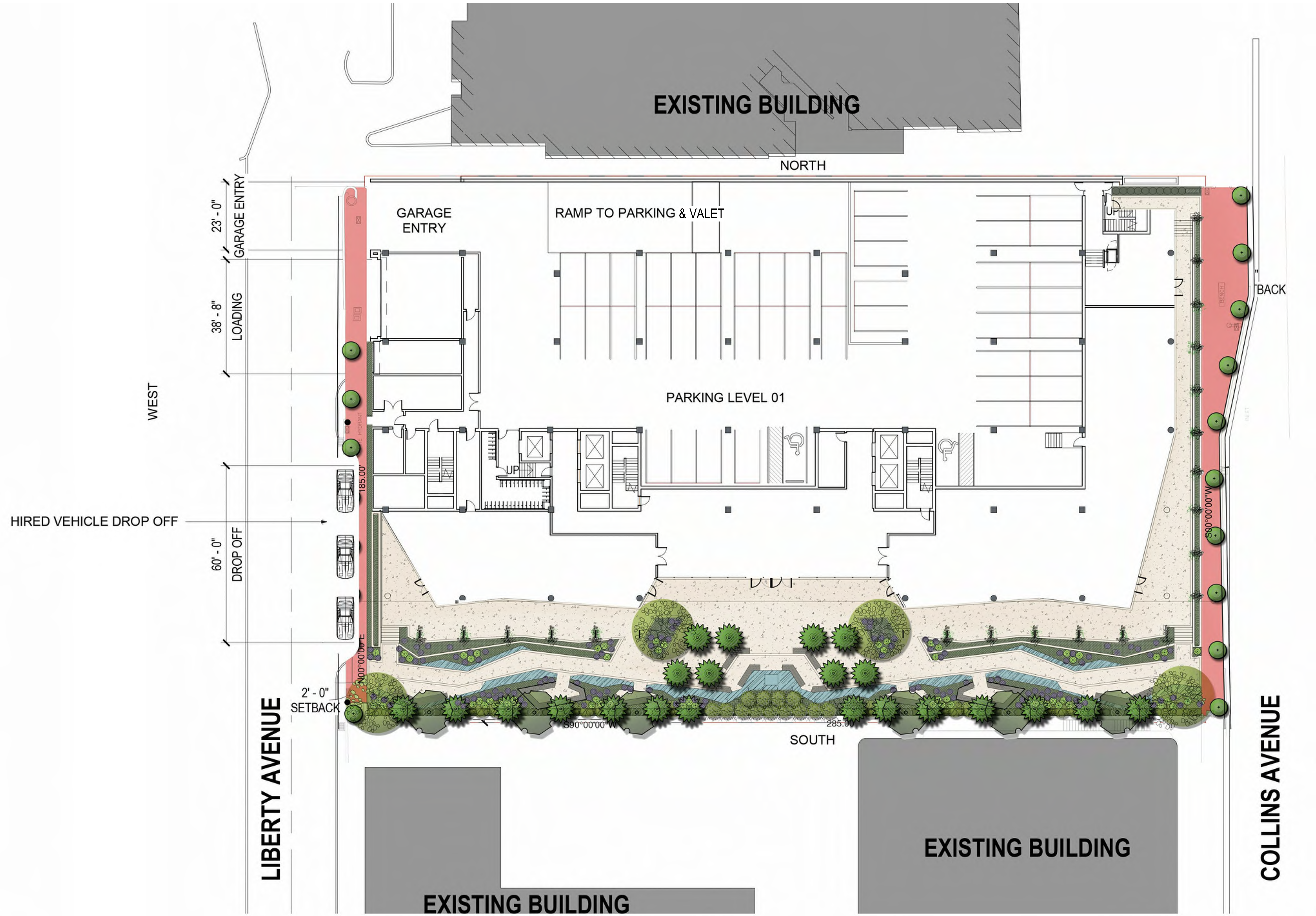
545 WYN: CLASS A OFFICE TOWER
545 NW 26TH STREET MIAMI, FL 33127
OFFICE FLOOR TO FLOOR HEIGHT: 14' -0"

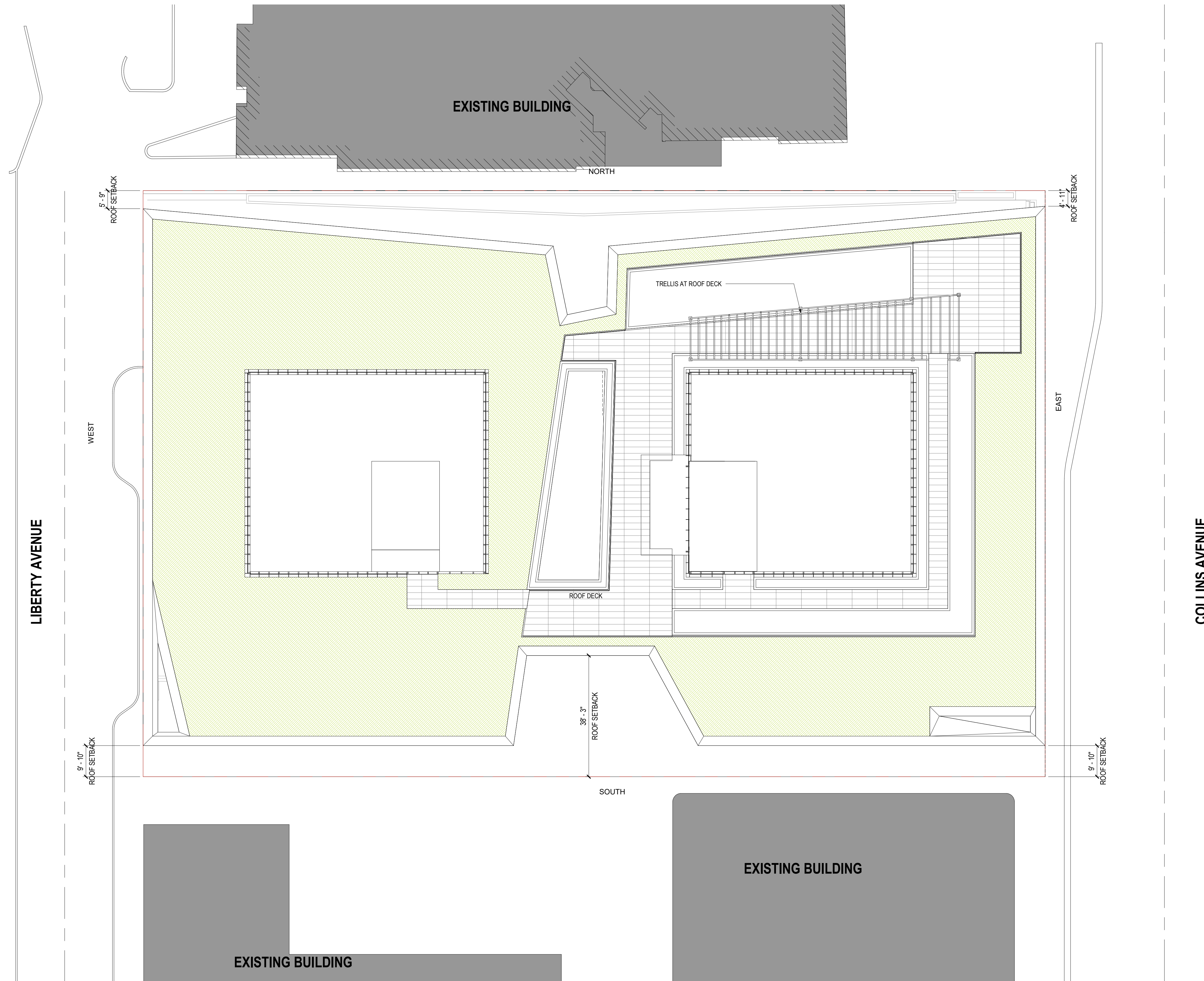


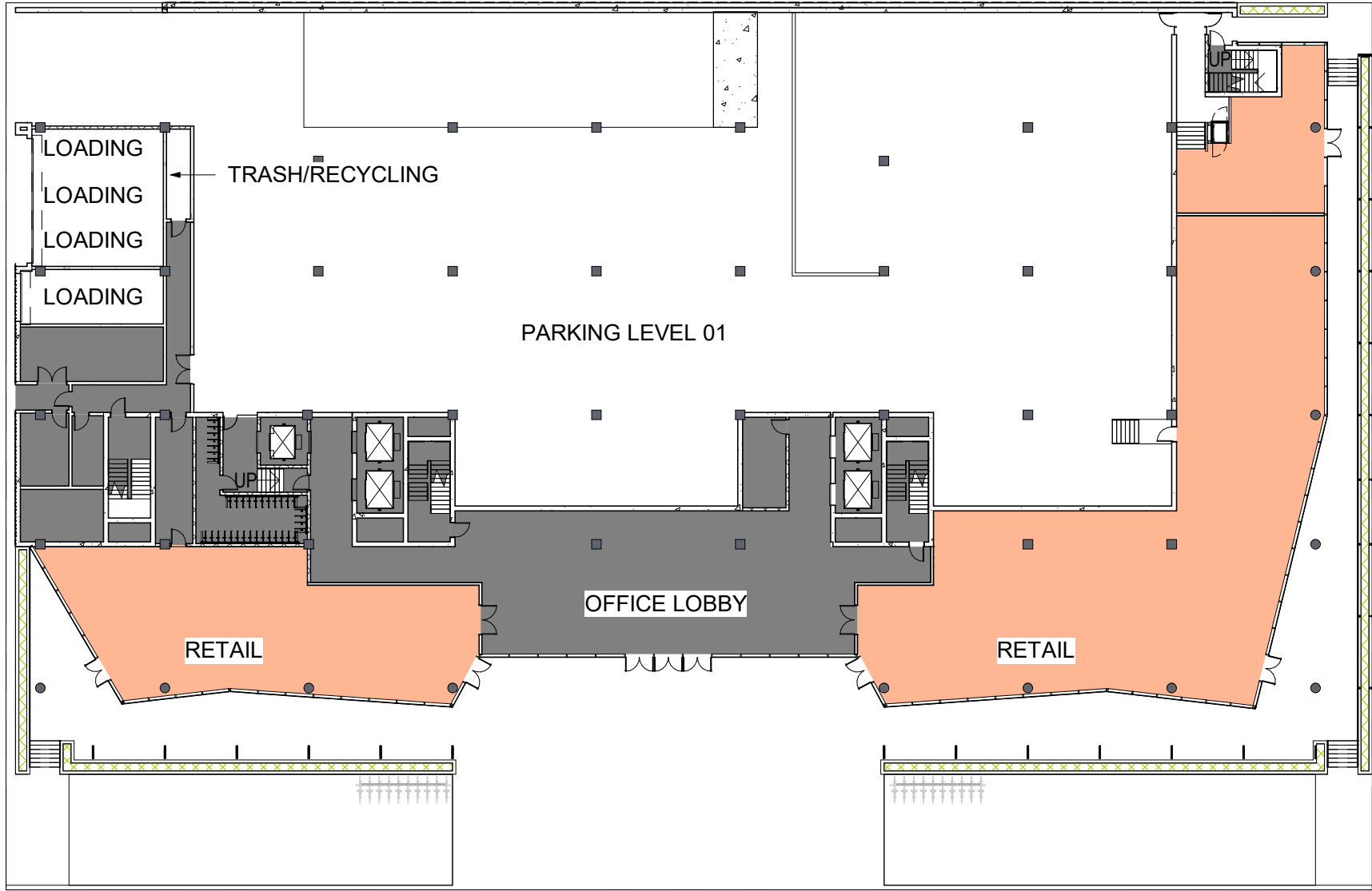
01 CLASS B SECTION WITHOUT HEIGHT VARIANCE
SCALE: 3/16" = 1'-0"



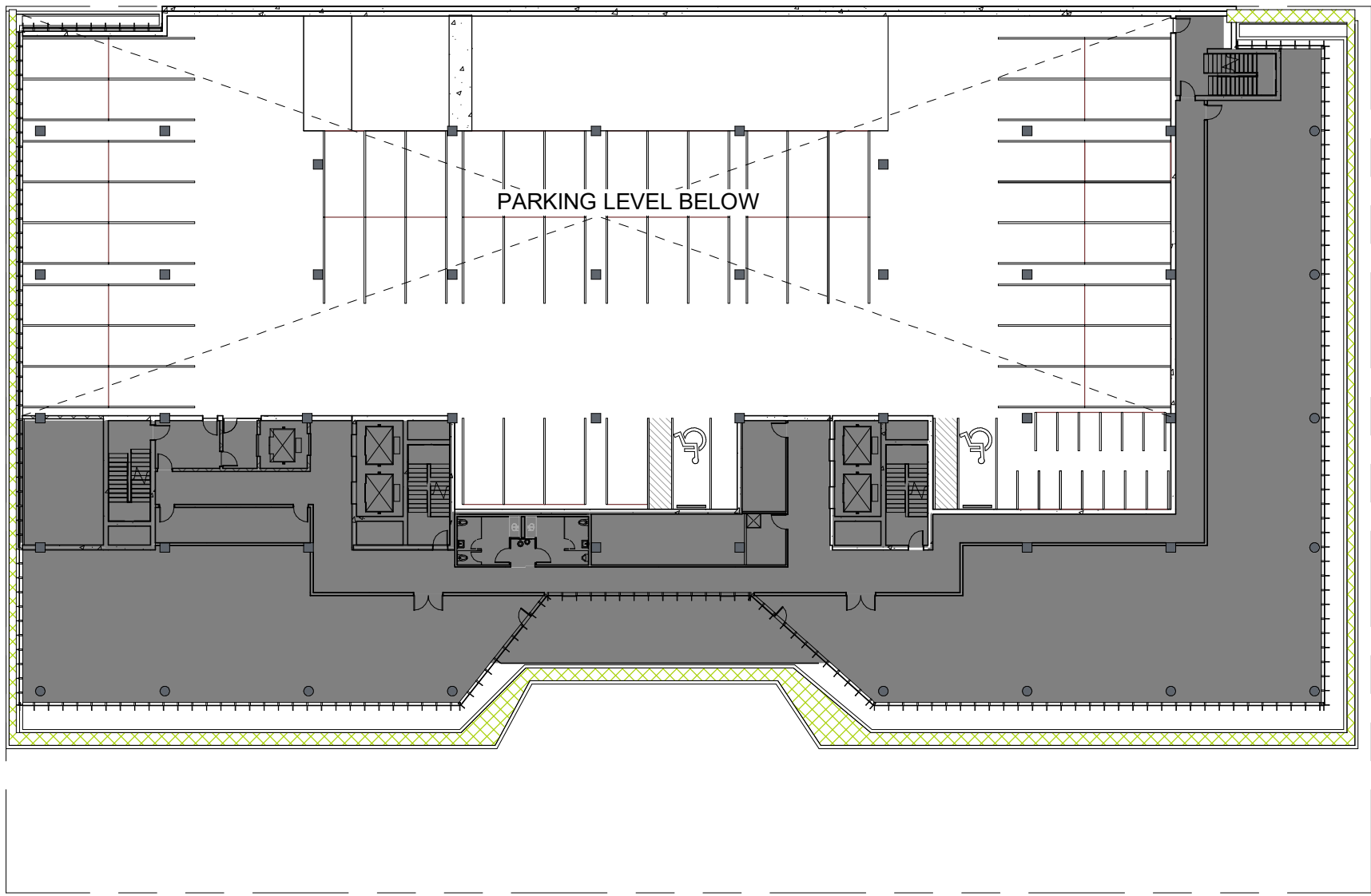
02 PROPOSED CLASS A SECTION WITH HEIGHT VARIANCE
SCALE: 3/16" = 1'-0"



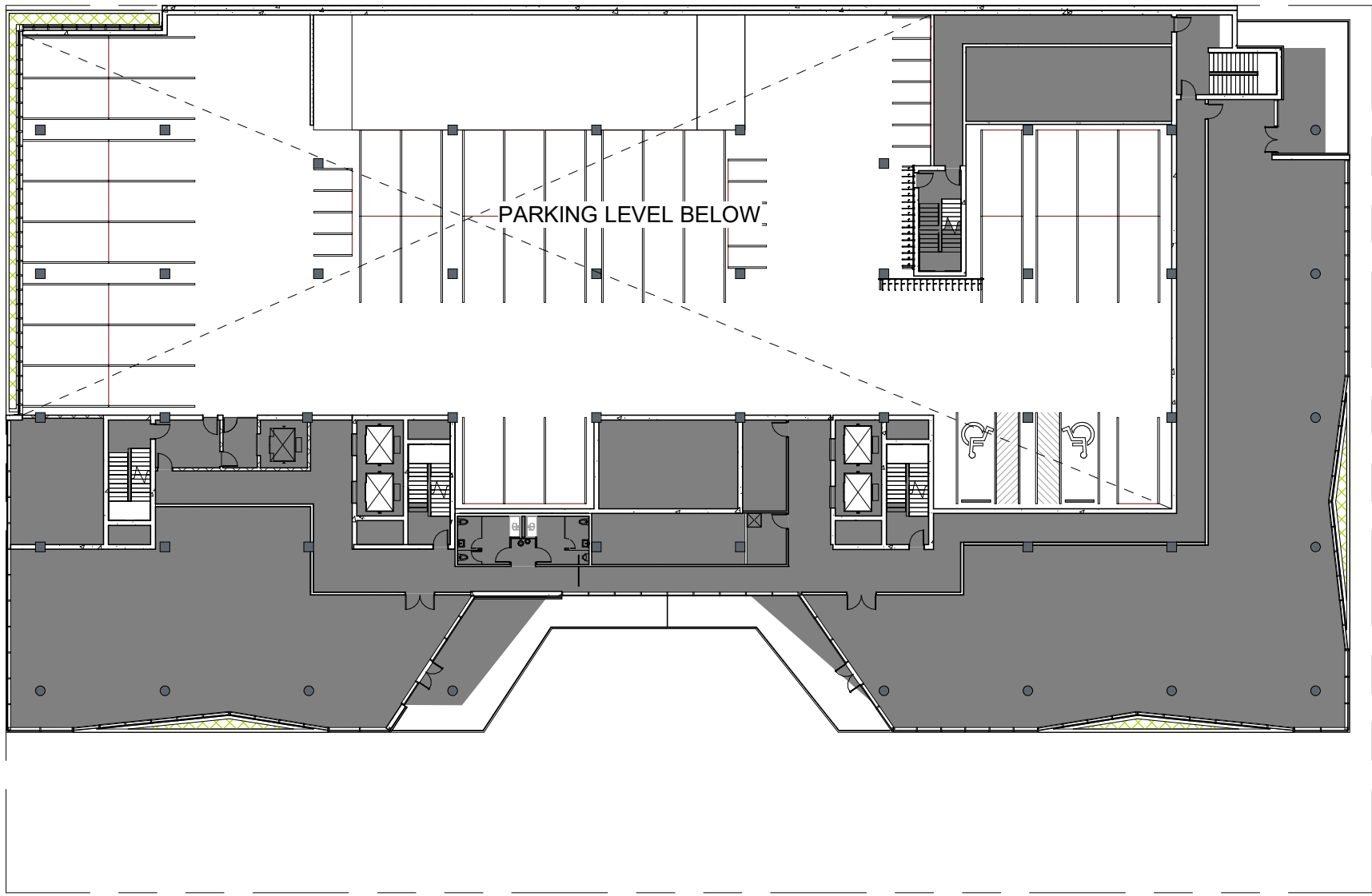




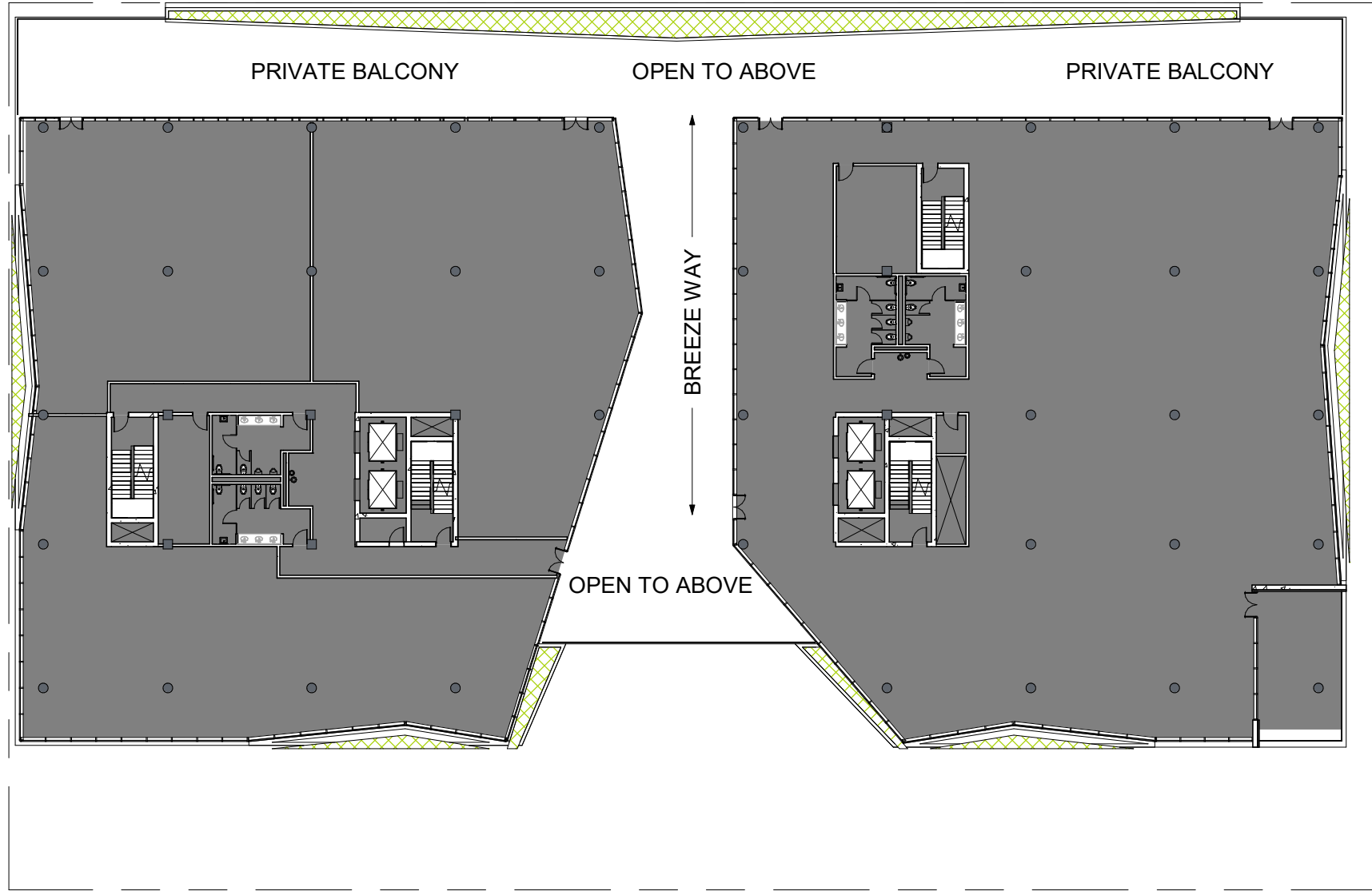
1 GROUND & LEVEL 01 - FAR
SCALE: 1/32" = 1'-0"



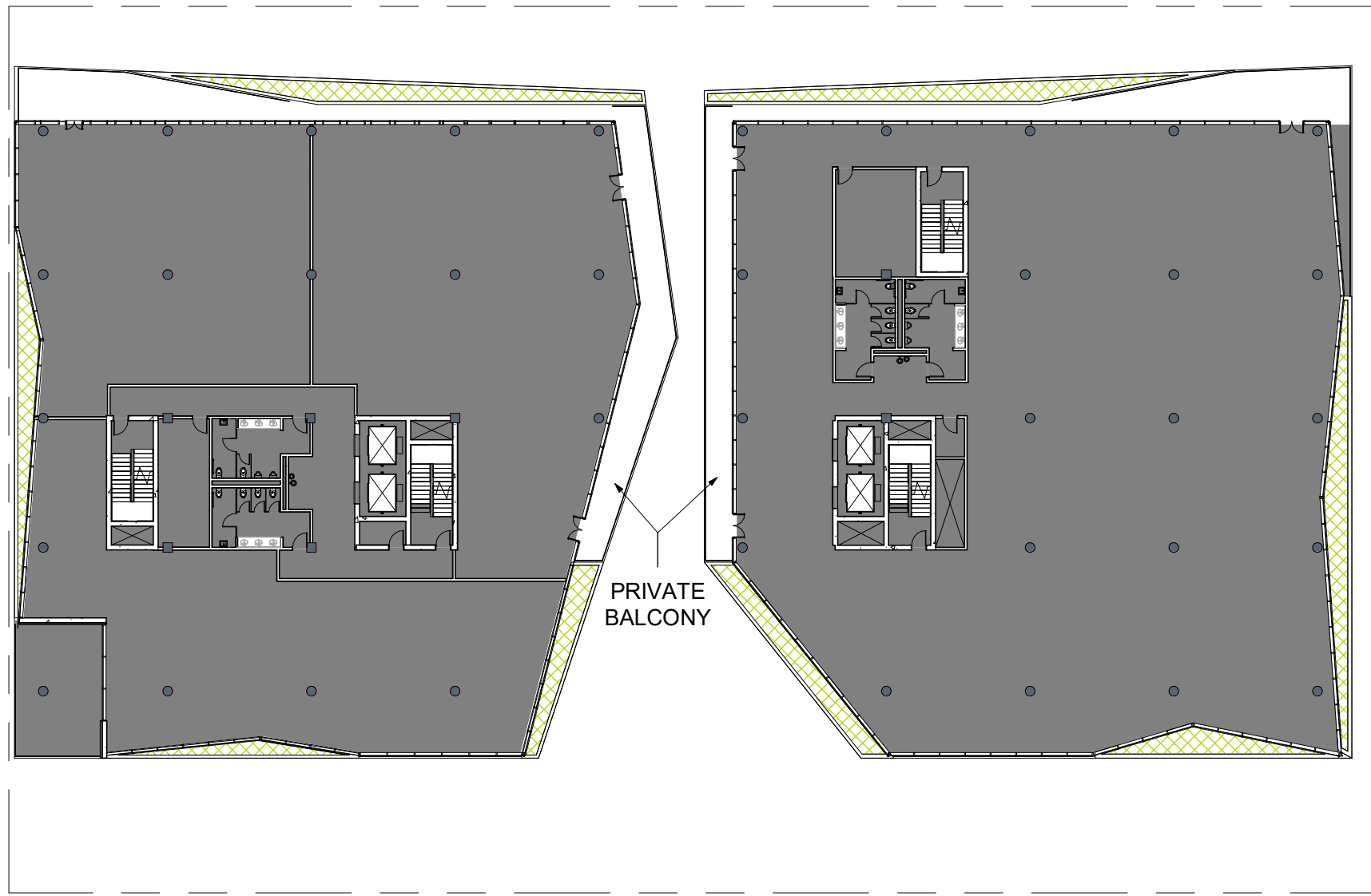
2 LEVEL 02 & P03 . FAR
SCALE: 1/32" = 1'-0"



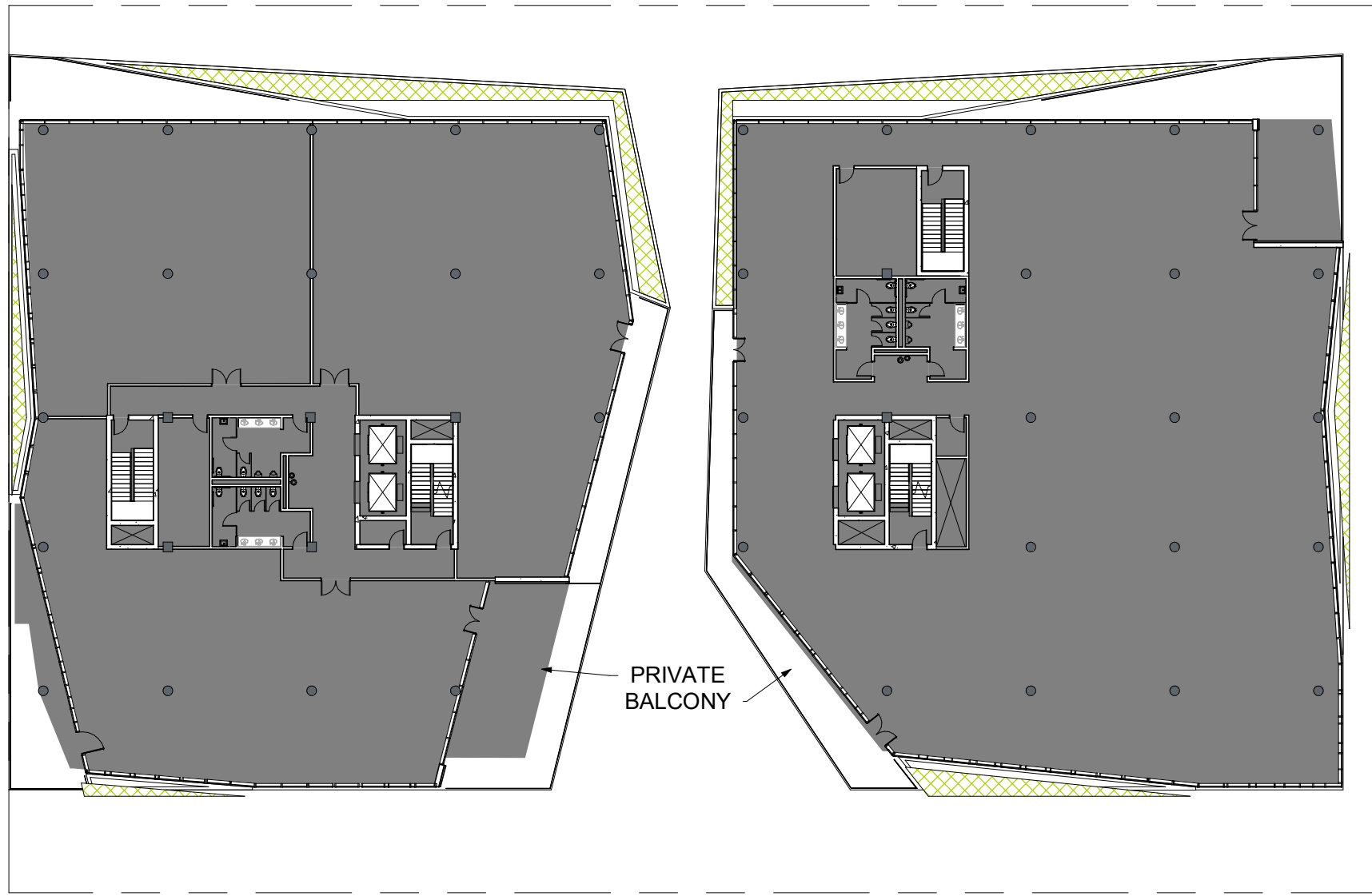
3 LEVEL 03 & P04 . FAR
SCALE: 1/32" = 1'-0"



4 LEVEL 04 . FAR
SCALE: 1/32" = 1'-0"



5 LEVEL 05 . FAR
SCALE: 1/32" = 1'-0"



6 LEVEL 06 . FAR
SCALE: 1/32" = 1'-0"

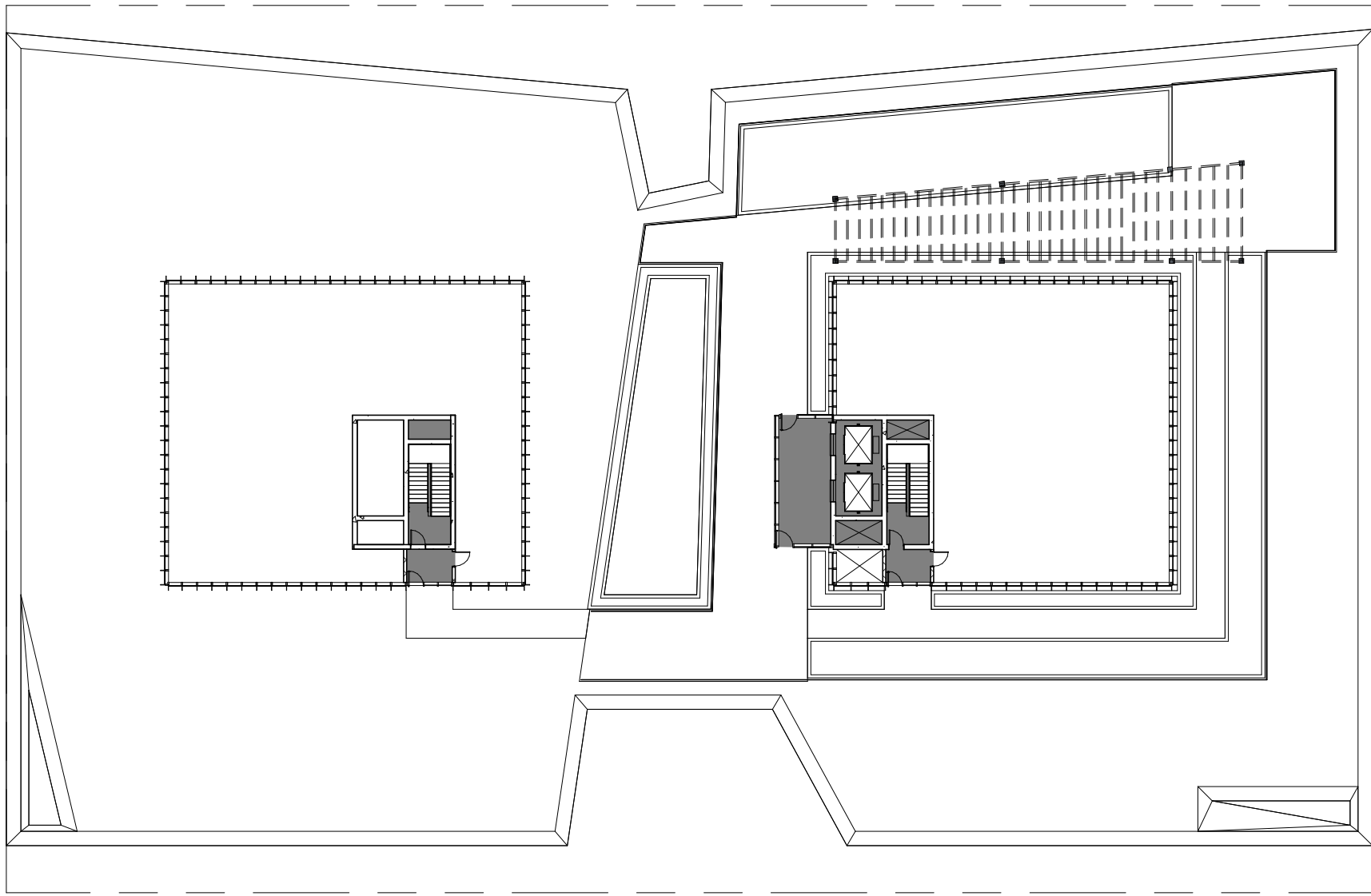
F.A.R. - ALL LEVELS		
Level	Area	Program
LEVEL 01	8,034 SF	OFFICE LOBBY
LEVEL 01	8,088 SF	RETAIL
	16,121 SF	
LEVEL 02	15,580 SF	OFFICE
	15,580 SF	
LEVEL 03	18,306 SF	OFFICE
	18,306 SF	
LEVEL 04	30,166 SF	OFFICE
	30,166 SF	
LEVEL 05	30,979 SF	OFFICE
	30,979 SF	
LEVEL 06	31,908 SF	OFFICE
	31,908 SF	
ROOF LEVEL	1,369 SF	OFFICE
	1,369 SF	
Grand total	144,430 SF	

FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE

PARKING REQUIREMENTS				
LEVEL	AREA	PROGRAM	SF PARKING FACTOR	REQUIRED PARKING COUNT
LEVEL 01	8,034 SF	OFFICE LOBBY	400	20
LEVEL 01	8,088 SF	RETAIL	300	27
	16,121 SF			
LEVEL 02	15,580 SF	OFFICE	400	39
	15,580 SF			
LEVEL 03	18,306 SF	OFFICE	400	45
	18,306 SF			
LEVEL 04	30,166 SF	OFFICE	400	76
	30,166 SF			
LEVEL 05	30,979 SF	OFFICE	400	78
	30,979 SF			
LEVEL 06	31,908 SF	OFFICE	400	79
	31,908 SF			
ROOF LEVEL	1,369 SF	OFFICE	400	4
	1,369 SF			
Grand total	144,430 SF			

368 PARKING SPACES
- 64 SPACE REDUCTION DUE TO
ALTERNATIVE PARKING INCENTIVES
TOTAL REQUIRED = 305 PARKING SPACES



7 ROOF LEVEL FAR
SCALE: 1/32" = 1'-0"



F.A.R. - LEVEL 01		
Level	Area	Name
LEVEL 01	4,812 SF	OFFICE
LEVEL 01	3,221 SF	OFFICE LOBBY
LEVEL 01	8,088 SF	RETAIL
Grand total	16,121 SF	

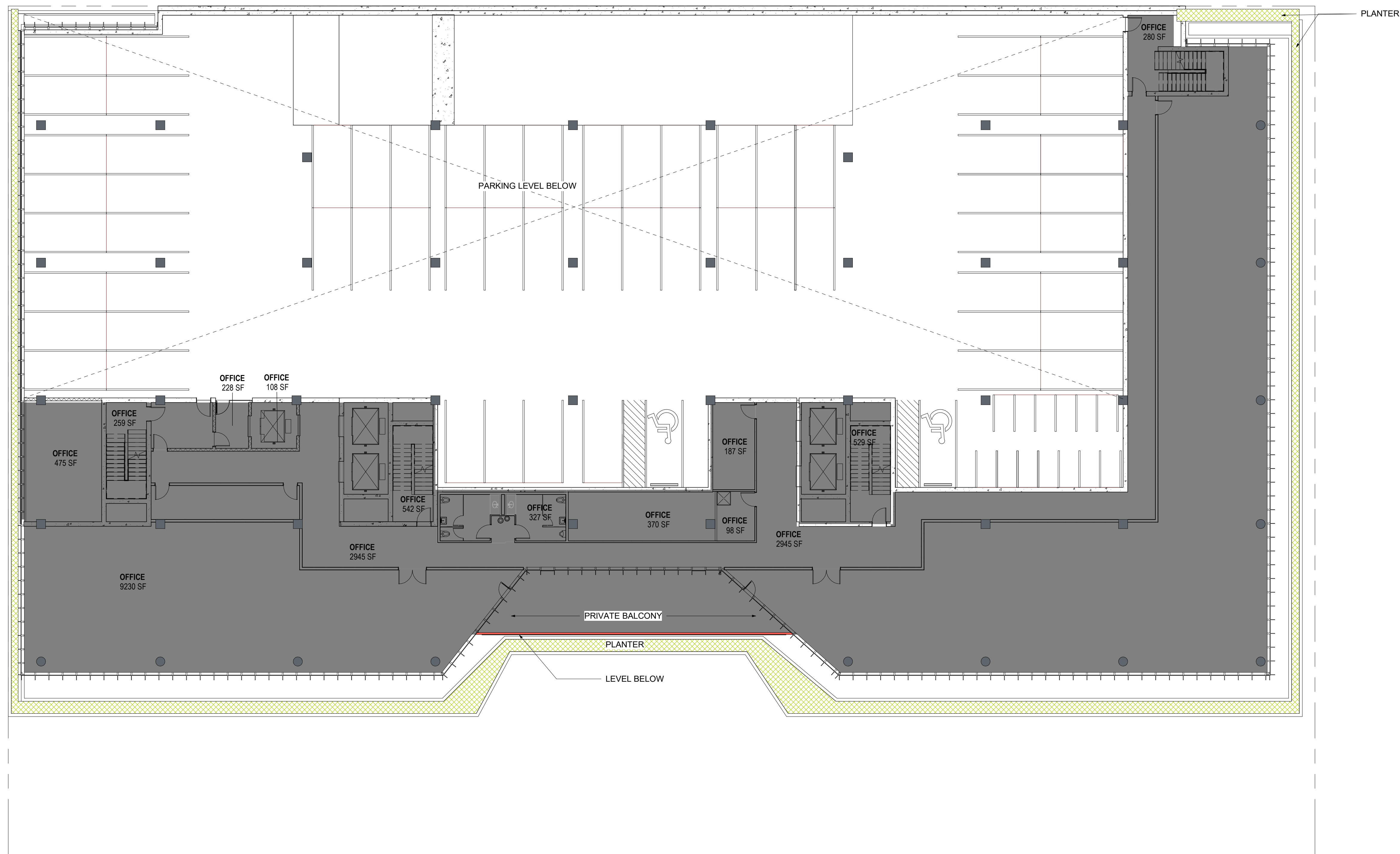
FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE
- PLANTER

NOTE:
PRIVATE BALCONIES WILL BE DIVIDED AS NECESSARY SO THAT NO
ACCESS TO OTHER UNITS IS PROVIDED.

2 GROUND & LEVEL 01 - FAR

SCALE: 1 : 150



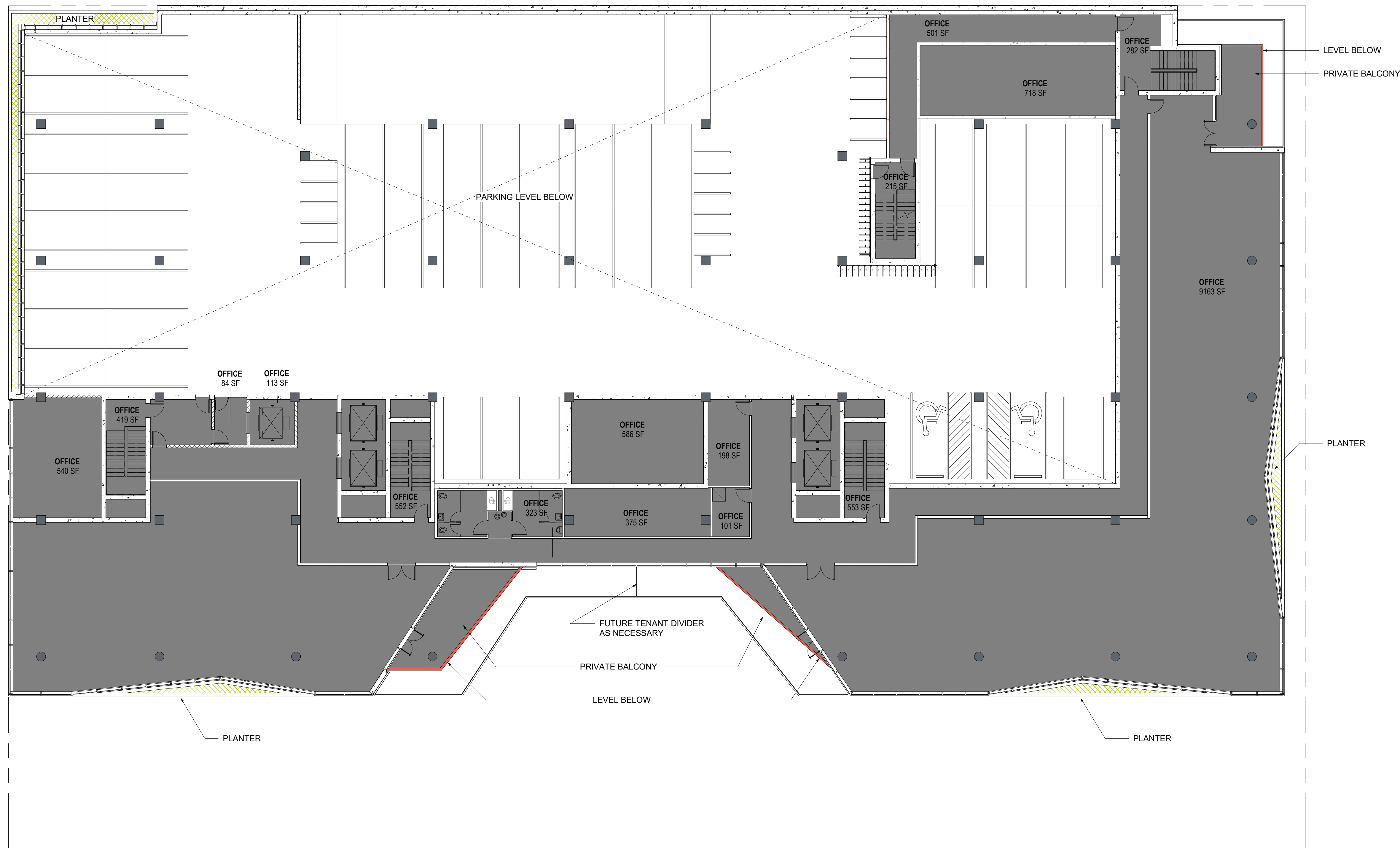
F.A.R. - LEVEL 02		
Level	Area	Name
LEVEL 02	15,580 SF	OFFICE
Grand total	15,580 SF	

FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE
- PLANTER

NOTE:
PRIVATE BALCONIES WILL BE DIVIDED AS NECESSARY SO THAT NO ACCESS TO OTHER UNITS IS PROVIDED.

2 LEVEL 02 & P03 - FAR
SCALE: 1 : 150



F.A.R. - LEVEL 03		
Level	Area	Name
LEVEL 03	18,306 SF	OFFICE
Grand total	18,306 SF	

FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE
- PLANTER

NOTE:
PRIVATE BALCONIES WILL BE DIVIDED AS NECESSARY SO THAT NO
ACCESS TO OTHER UNITS IS PROVIDED.

2 LEVEL 03 & P04 - FAR
SCALE: 1 : 150



F.A.R. - LEVEL 04		
Level	Area	Name
LEVEL 04	30,166 SF	OFFICE
Grand total	30,166 SF	

FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE
- PLANTER

NOTE:
PRIVATE BALCONIES WILL BE DIVIDED AS NECESSARY SO THAT NO ACCESS TO OTHER UNITS IS PROVIDED.

2 LEVEL 04 - FAR
SCALE: 1 : 150



F.A.R. - LEVEL 05		
Level	Area	Name
LEVEL 05	30,979 SF	OFFICE
Grand total	30,979 SF	

FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE
- PLANTER

NOTE:
PRIVATE BALCONIES WILL BE DIVIDED AS NECESSARY SO THAT NO ACCESS TO OTHER UNITS IS PROVIDED.

2 LEVEL 05 - FAR

SCALE: 1 : 150



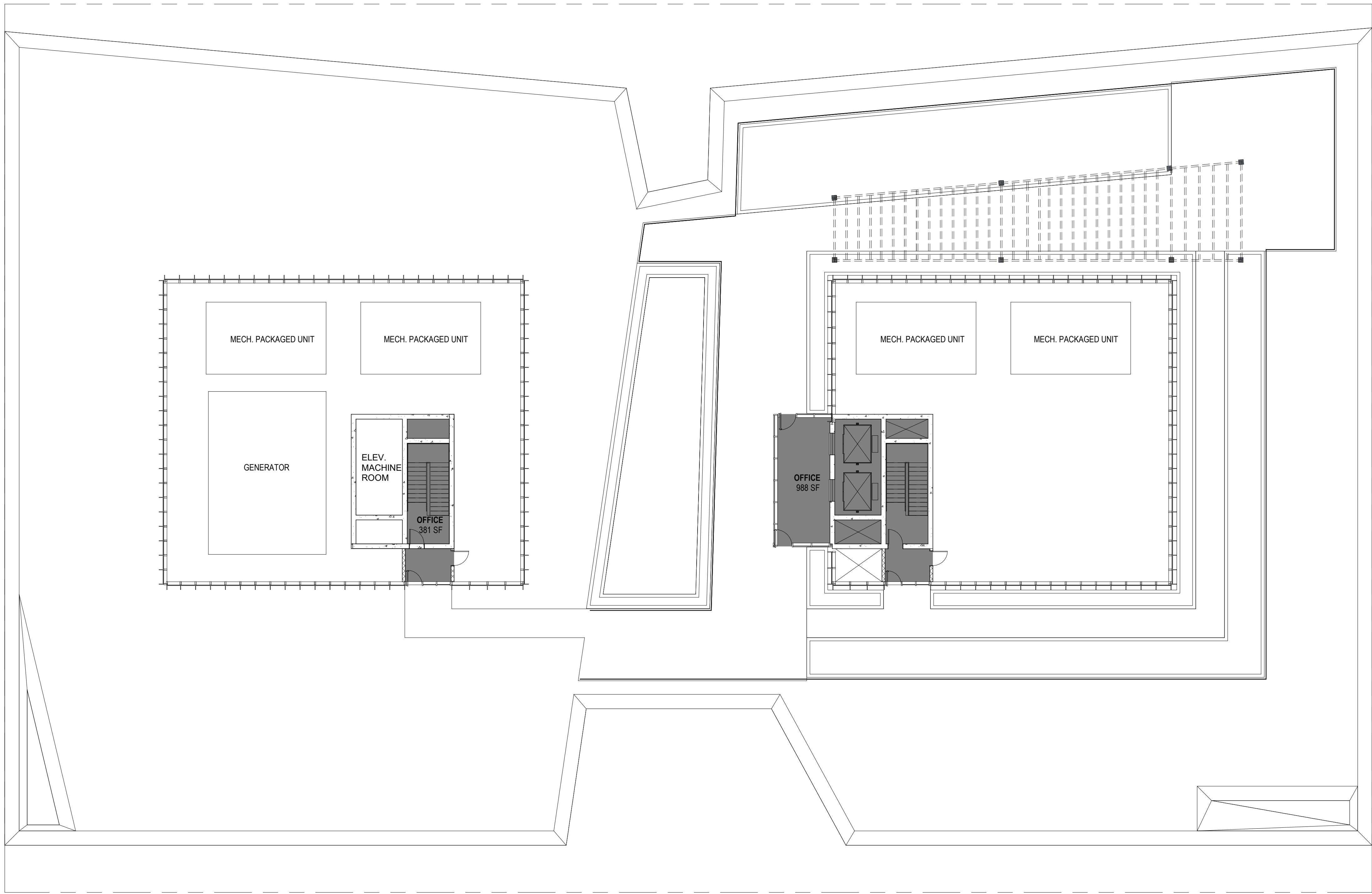
F.A.R. - LEVEL 06		
Level	Area	Name
LEVEL 06	31,908 SF	OFFICE
Grand total	31,908 SF	

FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE
- PLANTER

NOTE:
PRIVATE BALCONIES WILL BE DIVIDED AS NECESSARY SO THAT NO ACCESS TO OTHER UNITS IS PROVIDED.

2 LEVEL 06 - FAR
SCALE: 1 : 150



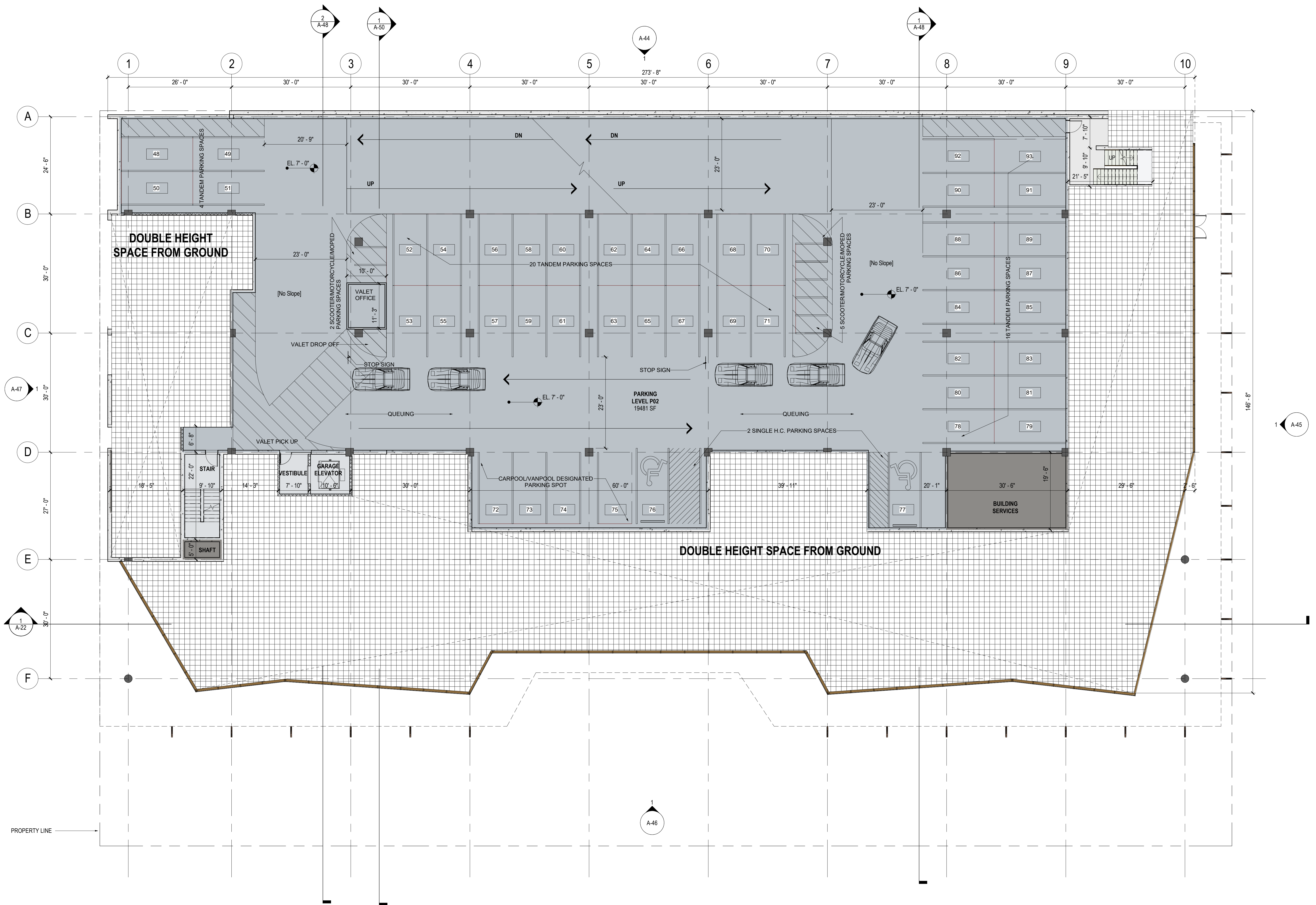
F.A.R. - ROOF LEVEL		
Level	Area	Name
ROOF LEVEL	1,369 SF	OFFICE
Grand total	1,369 SF	

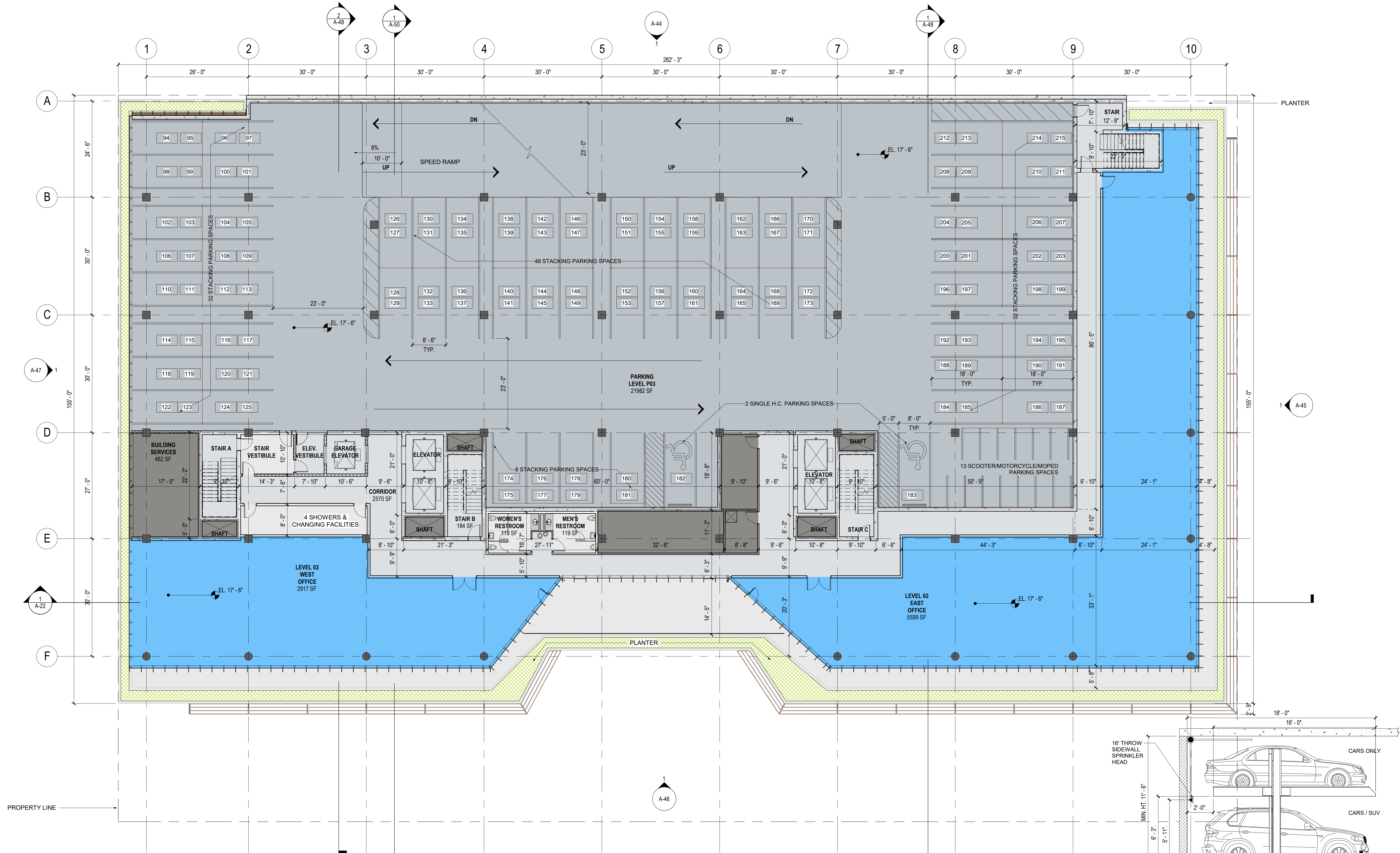
FAR LEGEND

- RETAIL
- OFFICE LOBBY
- OFFICE
- PLANTER

NOTE:
PRIVATE BALCONIES WILL BE DIVIDED AS NECESSARY SO THAT NO
ACCESS TO OTHER UNITS IS PROVIDED .

1 FAR - ROOF LEVEL
SCALE: 1 : 150

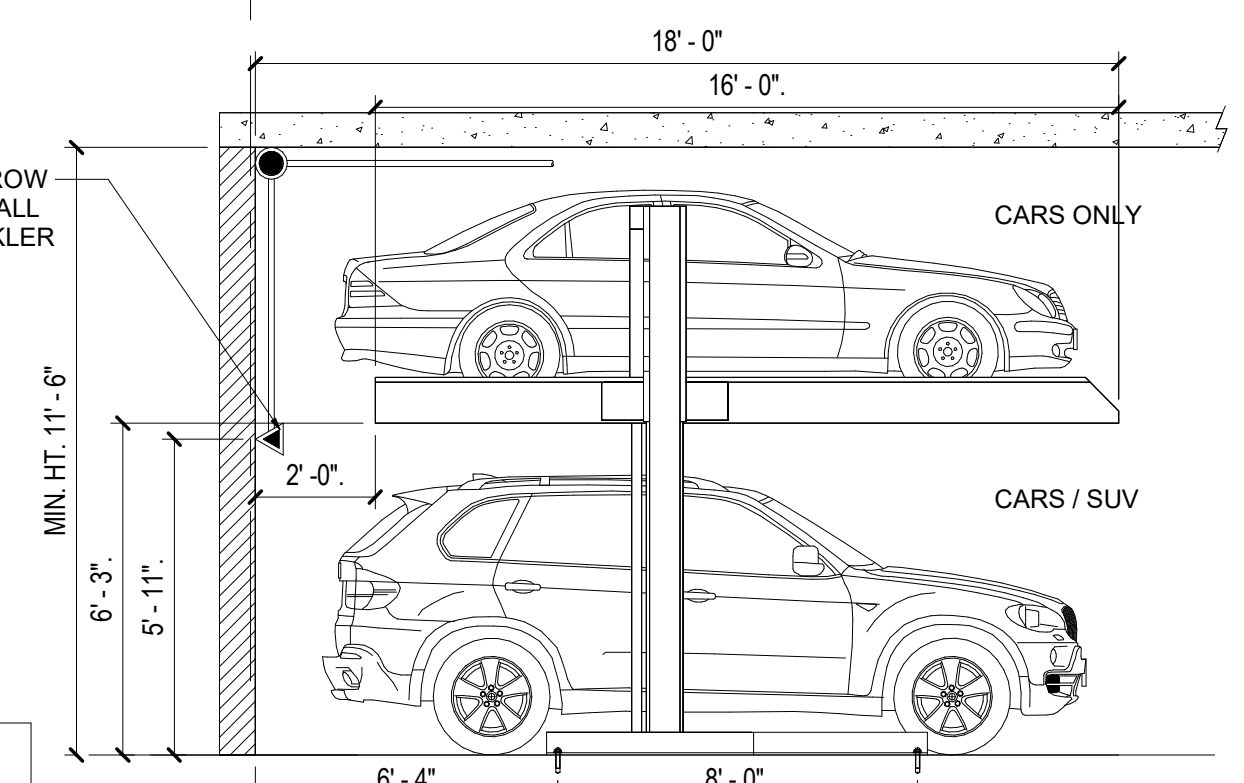




Mechanical parking devices, robotic parking systems and/or vehicle elevators must also satisfy the following conditions:

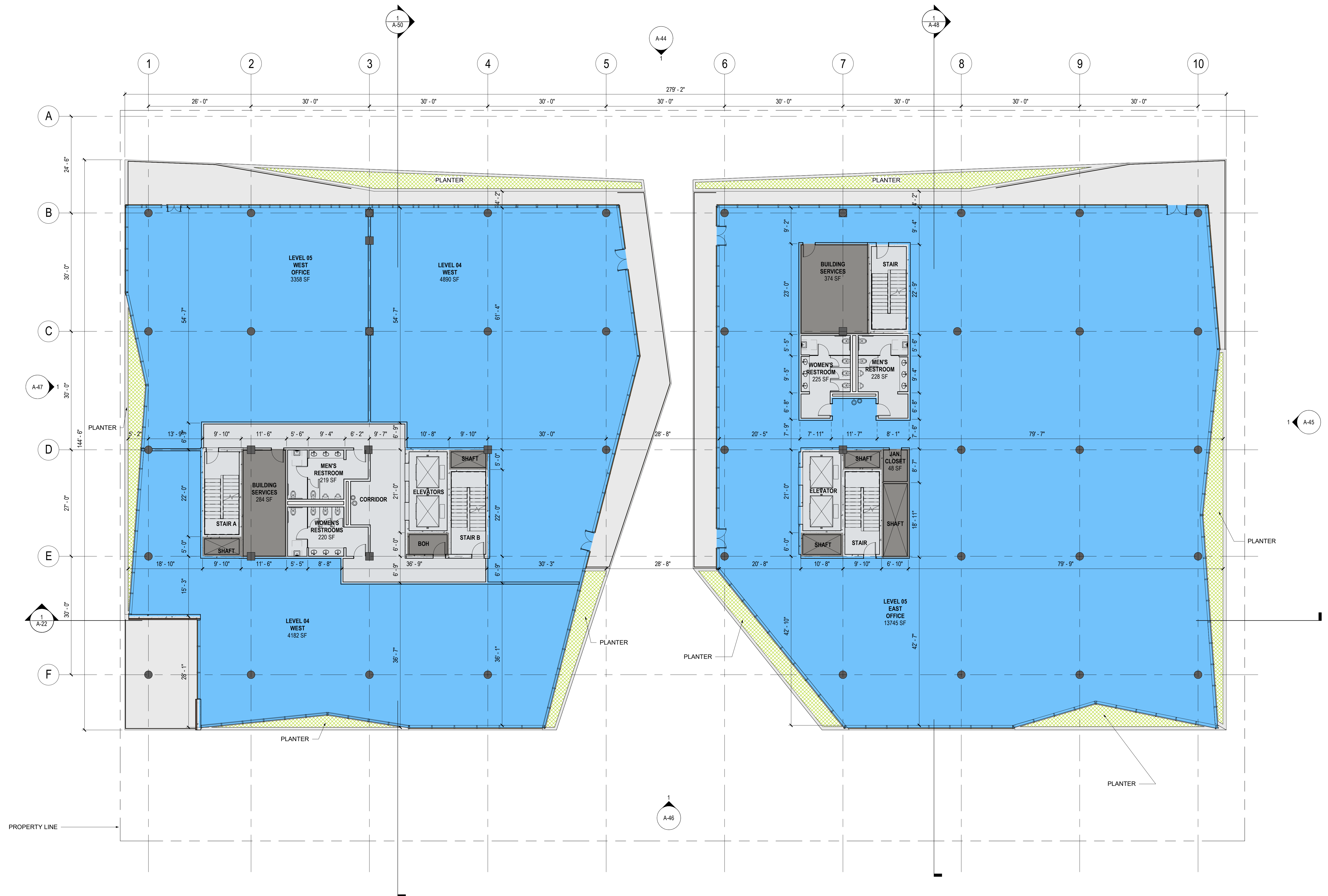
- The noise or vibration from the operation of mechanical parking lifts, car elevators, or robotic parking systems shall not be plainly audible to or felt by any individual standing outside an apartment or hotel unit at any adjacent or nearby property. In addition, noise and vibration barriers shall be utilized to ensure that surrounding walls decrease sound and vibration emissions outside of the parking garage;
- For mechanical lifts, the parking lift platform must be fully load-bearing, and must be sealed and of a sufficient width and length to prevent dripping liquids or debris onto the vehicle below;
- All free-standing mechanical parking lifts must be designed so that power is required to lift the car, but that no power is required to lower the car, in order to ensure that the lift can be lowered and the top vehicle can be accessed in the event of a power outage; robotic garages and vehicle elevators must have backup generators sufficient to power the system;
- All mechanical lifts must be designed to prevent lowering of the lift when a vehicle is parked below the lift;
- The ceiling heights of any parking level with parking lifts within the parking garage shall be a minimum of 11 feet by six inches;
- All mechanical parking systems, including lifts, elevators and robotic systems, must be inspected and certified as safe and in good working order by a licensed mechanical engineer at least once per year and the findings of the inspection shall be summarized in a report signed by the same licensed mechanical engineer or firm. Such report shall be furnished to the planning director and the building official; and
- All parking lifts shall be maintained and kept in good working order.

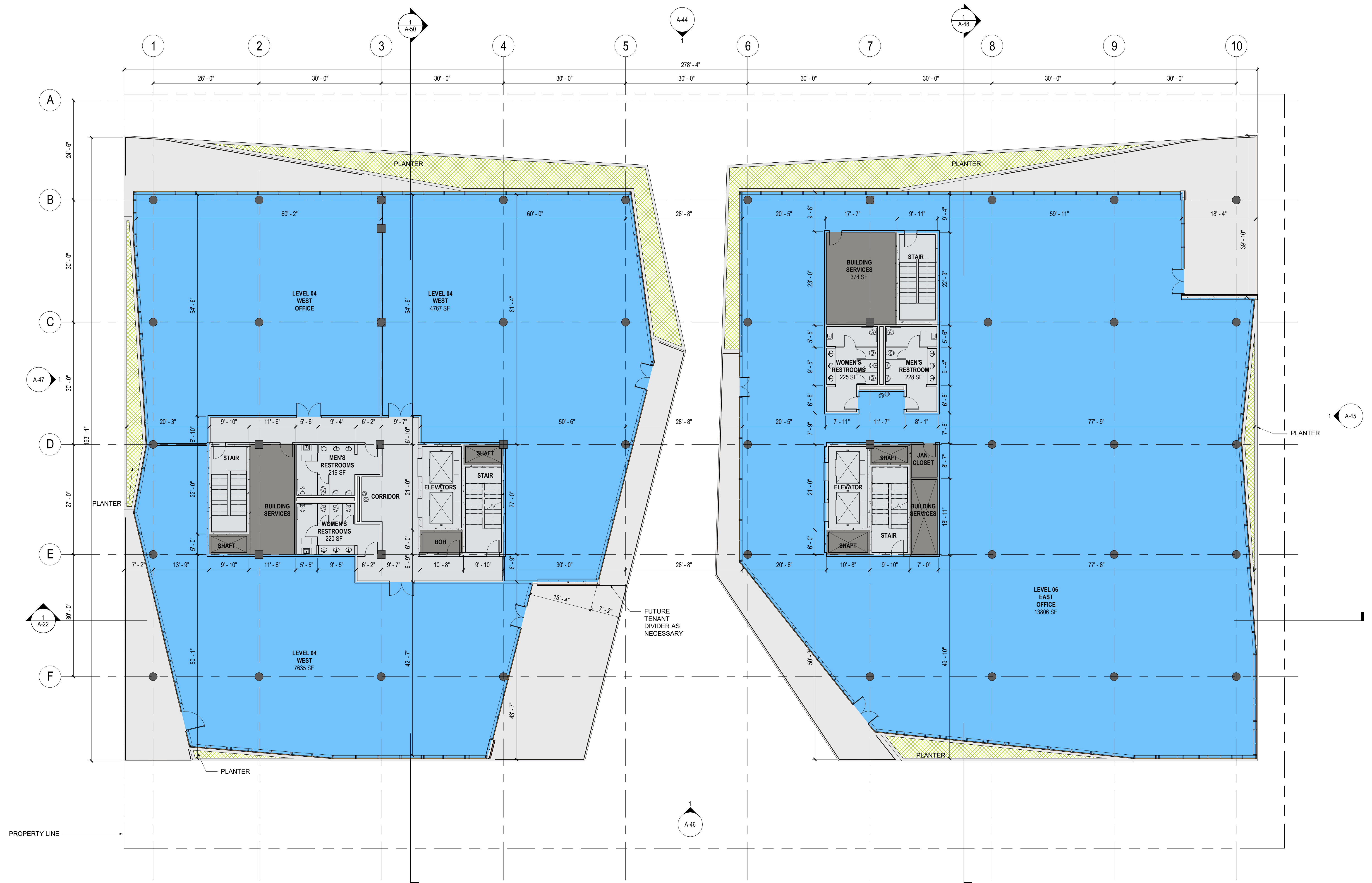
2 PARKING LIFT DETAIL
SCALE: 1/4" = 1'-0"

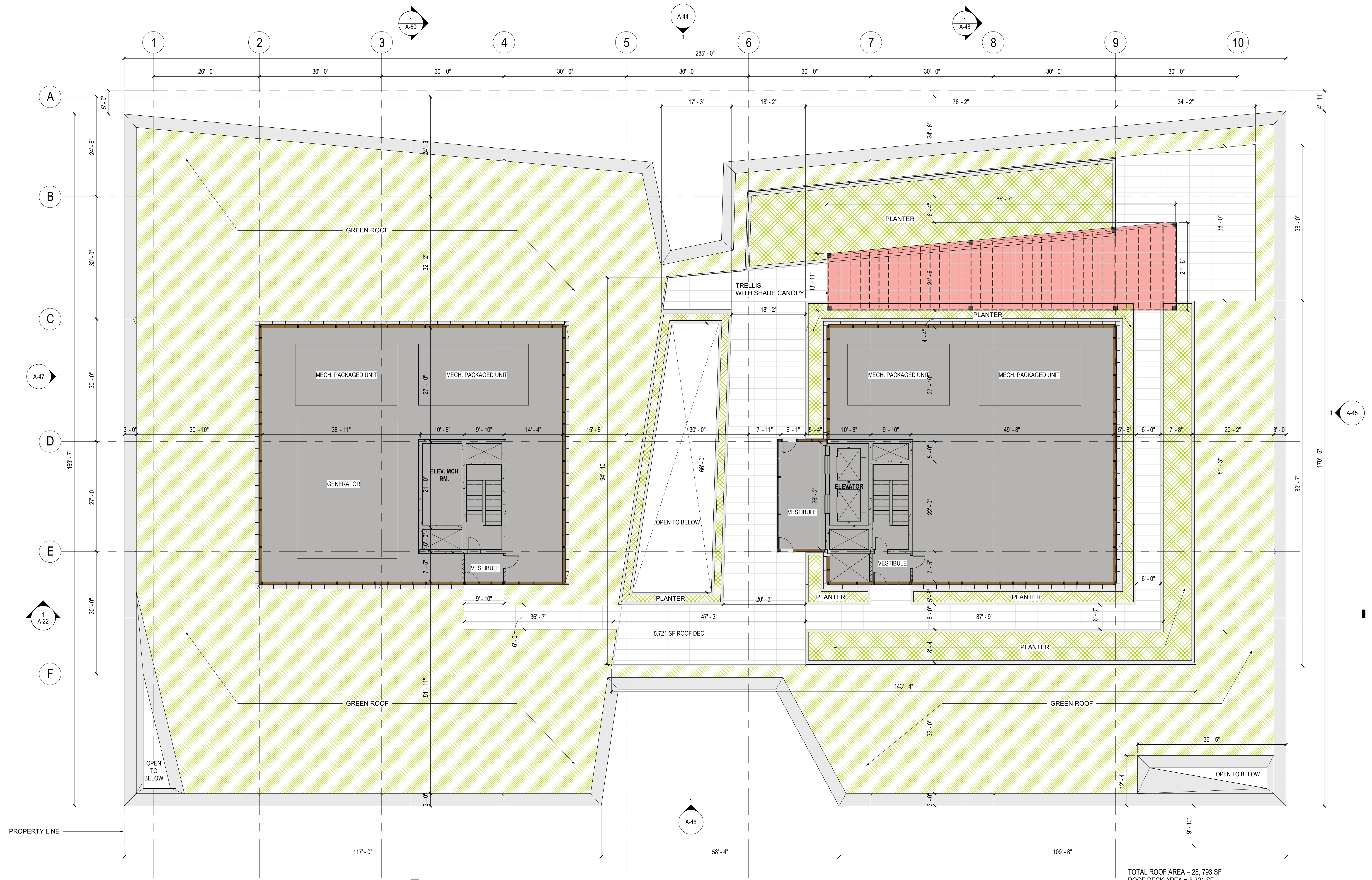


2 PARKING LIFT DETAIL

SCALE: 1/4" = 1'-0"







TOTAL ROOF AREA = 28,793 SF
 ROOF DECK AREA = 5,721 SF
 ROOF DECK COVERS 19.87% OF TOTAL ROOF AREA.
 MAXIMUM ALLOWED BY CITY OF MIAMI BEACH MUNICODE = 50.00%
 AREA COVERED BY TRELLIS STRUCTURE = 1,527 SF
 TRELLIS STRUCTURE COVERS 5.30% OF TOTAL ROOF AREA
 Sec. 142-194, Sec. 142-1161, Sec. 142-1161

1



MATERIAL: BALCONY RAILING BASE SHOE
AND CAP
FINISH: STAINLESS STEEL

2



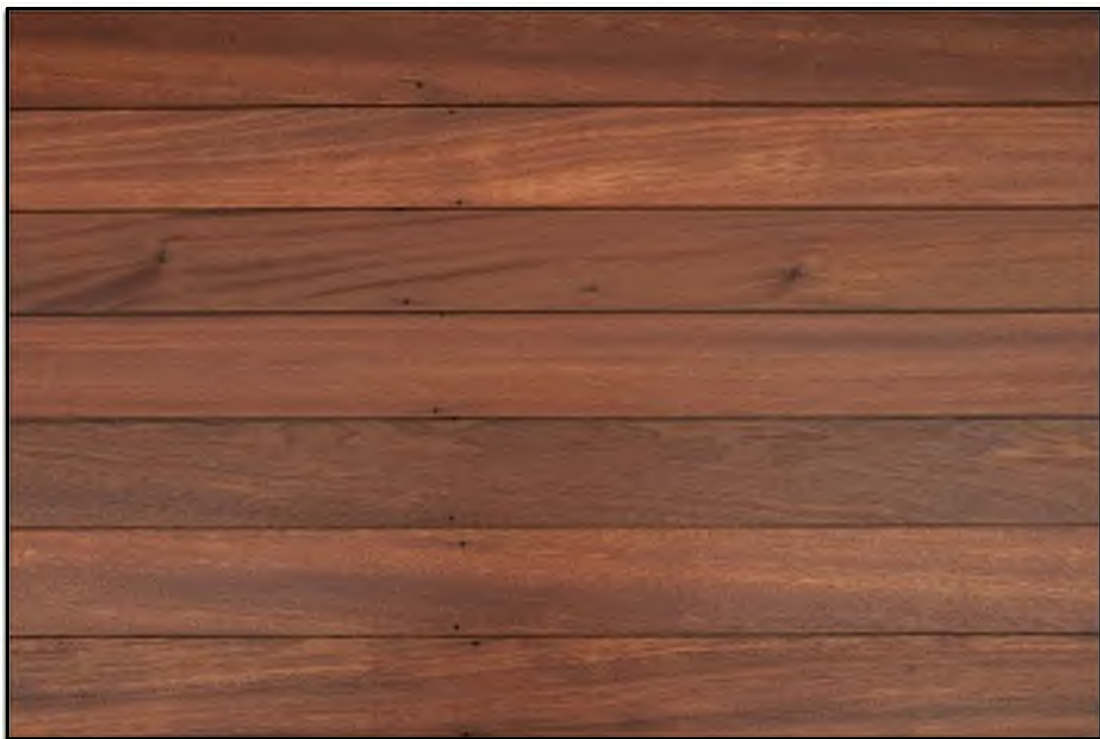
MATERIAL: BALCONY RAILING
FINISH: MONOLITHIC GLASS

3



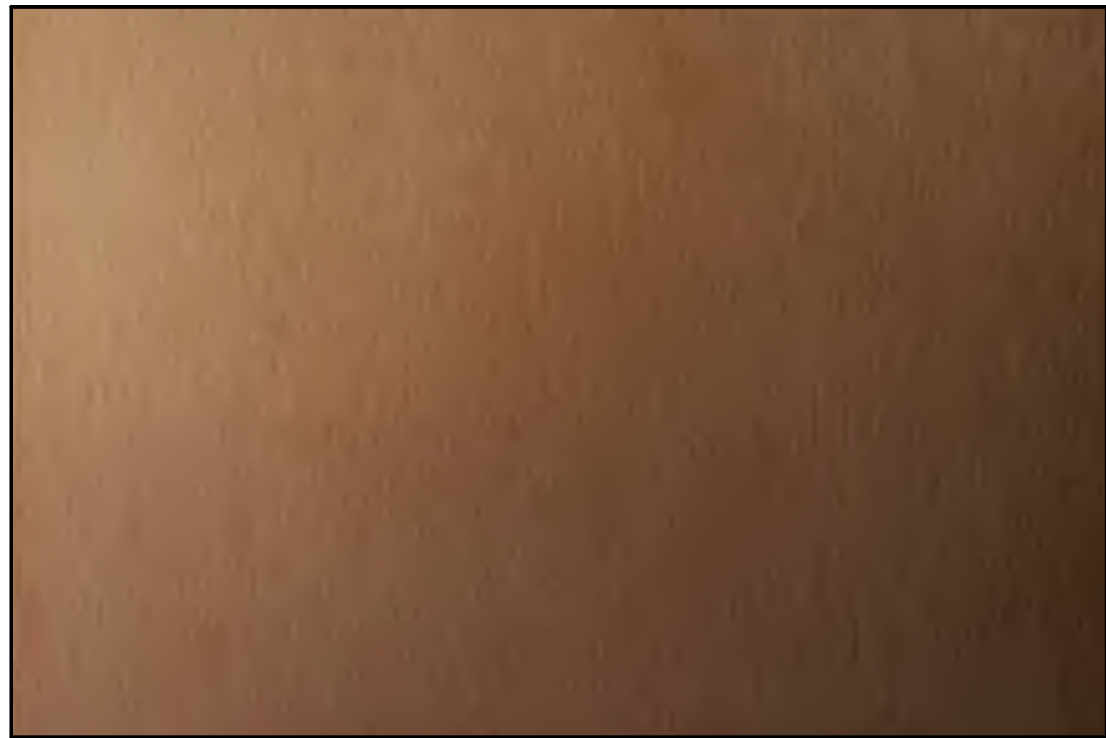
MATERIAL: GLASS WINDOW WALL
FINISH: B.O.D. VIRACON VRE24-85

4



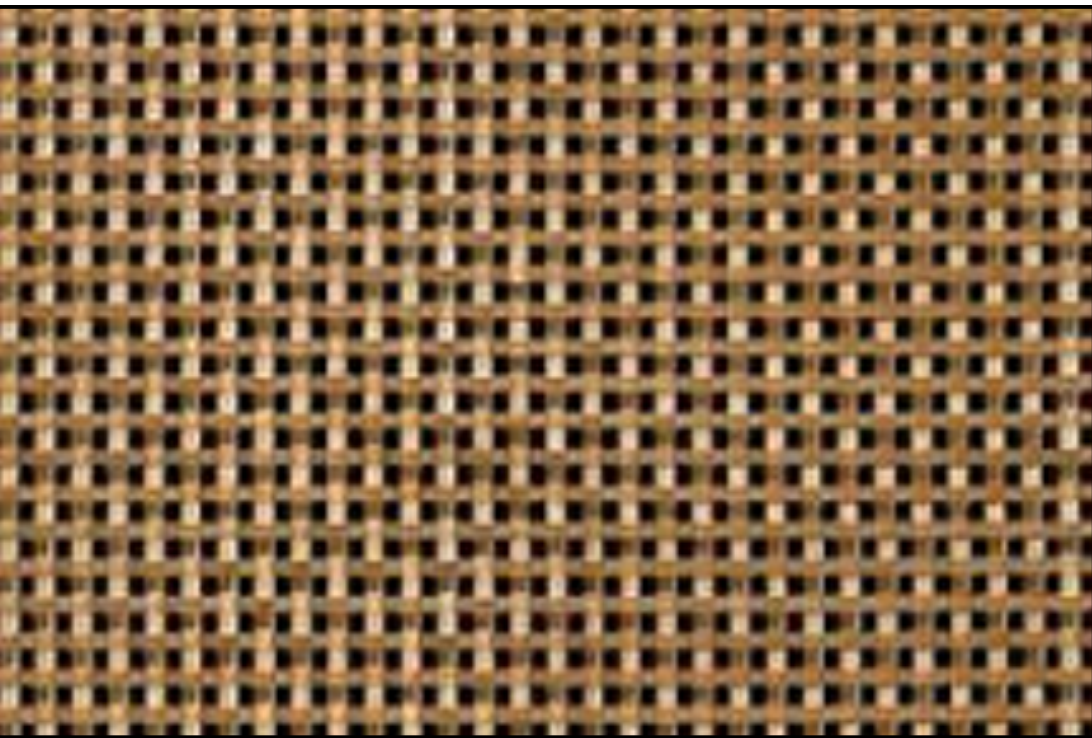
MATERIAL: BALCONY CLADDING AND TRELLIS
FINISH: IPE CLEAR COATED

5



MATERIAL: METAL FINS
FINISH: BRONZE

6



MATERIAL: MECHANICAL PENTHOUSE CLADDING
FINISH: EXPANDED/PERFORATED METAL

7



MATERIAL: EXPOSED CONCRETE

8



MATERIAL: PRECAST CONCRETE WITH INTEGRATED PLANTING

9

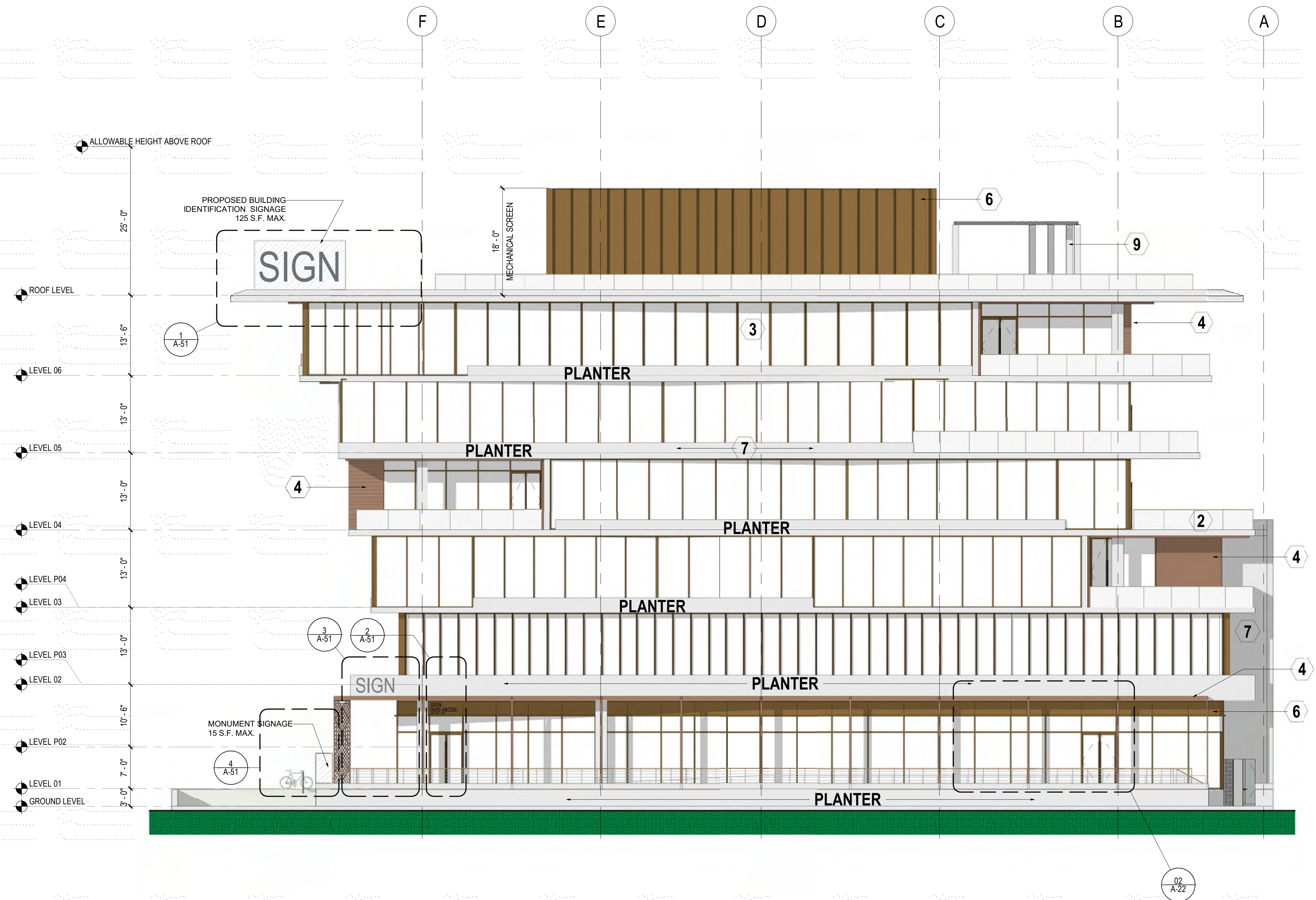


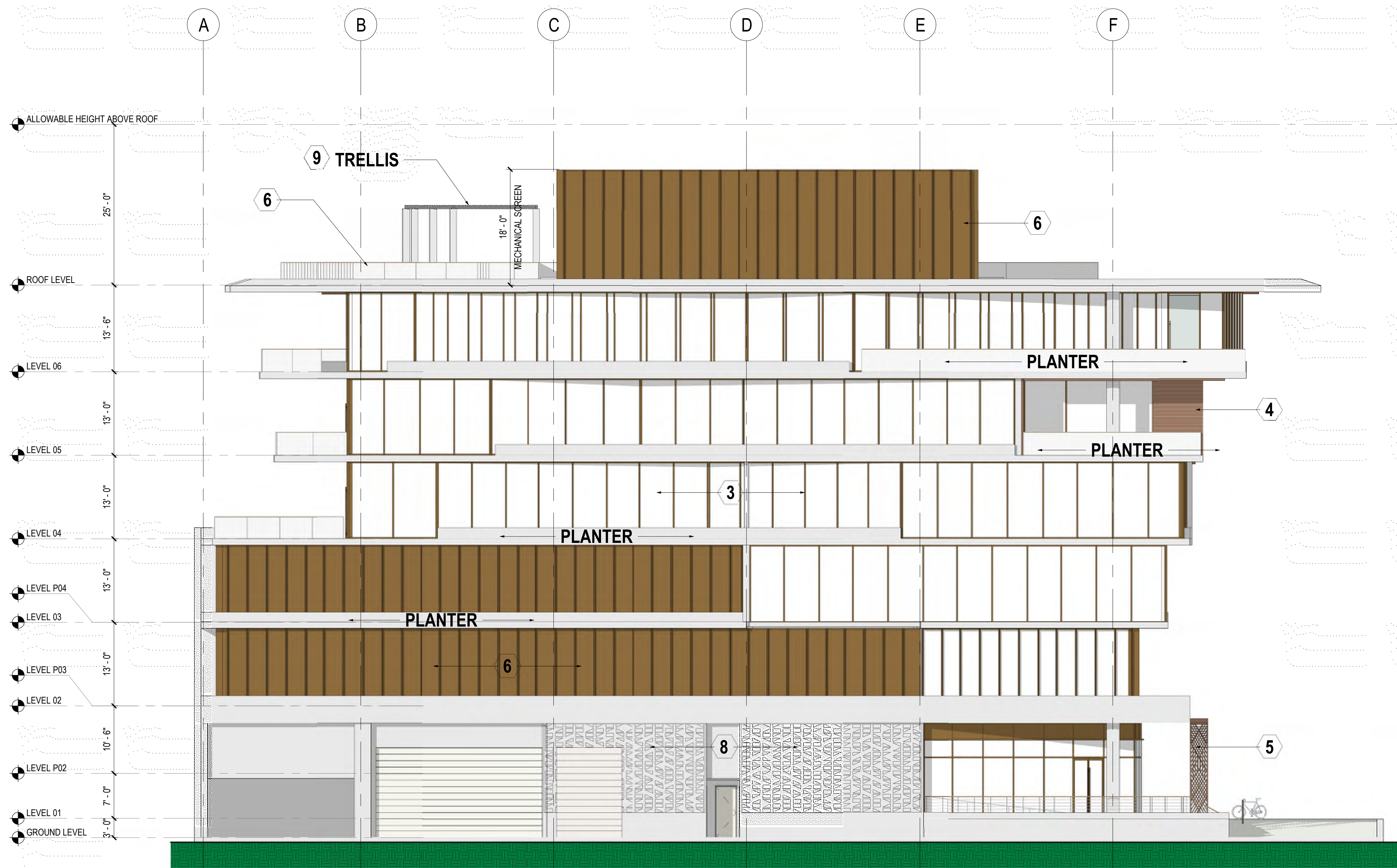
MATERIAL: RETRACTABLE SHADE STRUCTURE EXAMPLE
FURNITURE NOT INCLUDED



EXTERIOR MATERIAL LEGEND

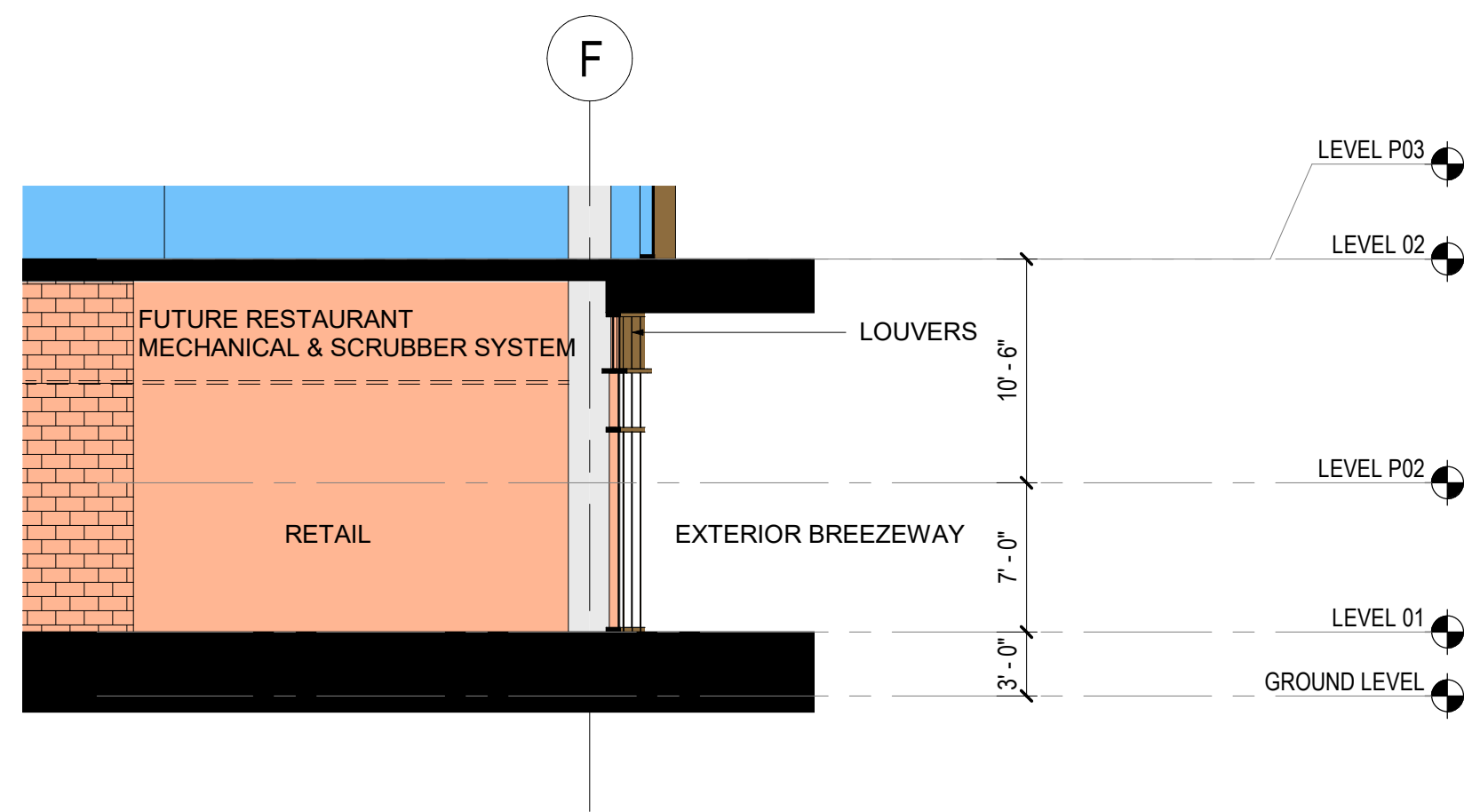
- | | | | | |
|---|--|--|--|-------------------------------|
| 1 BALCONY RAILING, BASE SHOE AND CAP
FINISH: STAINLESS STEEL | 3 WINDOW WALL
FINISH: B.O.D. VIRACON VRE24-85 | 5 METAL FINS
FINISH: BRONZE | 7 EXPOSED CONCRETE | 9 RETRACTABLE SHADE STRUCTURE |
| 2 BALCONY GUARDRAIL MATERIAL
FINISH: MONOLITHIC GLASS | 4 BALCONY CLADDING AND TRELLIS
FINISH: IPE CLEAR COATED | 6 MECHANICAL PENTHOUSE CLADDING
FINISH: EXPANDED/PERFORATED METAL | 8 PRECAST CONCRETE WITH INTEGRATED PLANTING
REFER TO DETAILS ON SHEETS A-36 THRU A-39 | |





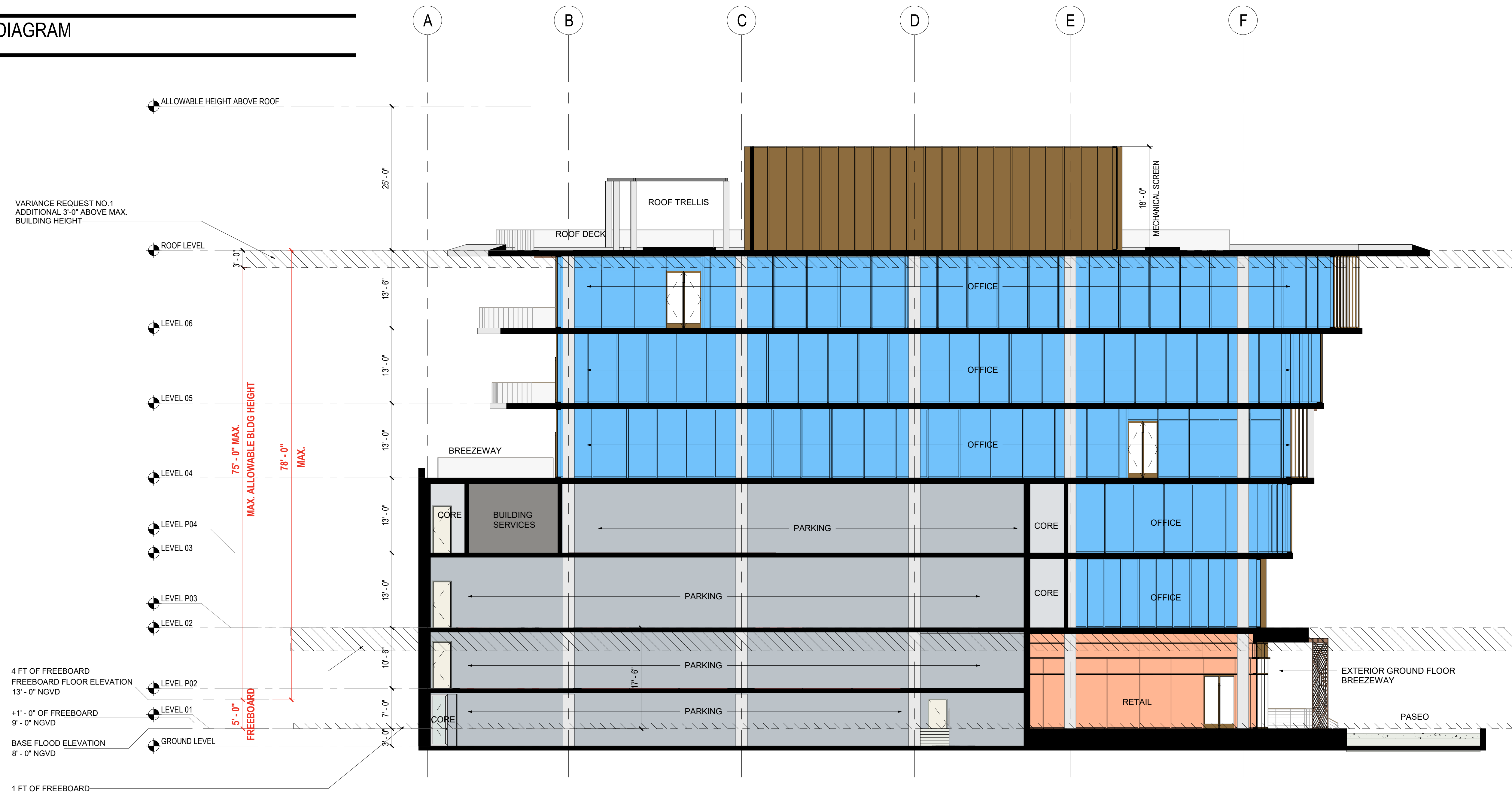
EXTERIOR MATERIAL LEGEND

- | | | | | |
|---|--|--|--|-------------------------------|
| 1 BALCONY RAILING, BASE SHOE AND CAP
FINISH: STAINLESS STEEL | 3 WINDOW WALL
FINISH: B.O.D. VIRACON VRE24-85 | 5 METAL FINS
FINISH: BRONZE | 7 EXPOSED CONCRETE | 9 RETRACTABLE SHADE STRUCTURE |
| 2 BALCONY GUARDRAIL MATERIAL
FINISH: MONOLITHIC GLASS | 4 BALCONY CLADDING AND TRELLIS
FINISH: IPE CLEAR COATED | 6 MECHANICAL PENTHOUSE CLADDING
FINISH: EXPANDED/PERFORATED METAL | 8 PRECAST CONCRETE WITH INTEGRATED PLANTING
REFER TO DETAILS ON SHEETS A-36 THRU A-39 | |



2 RETAIL / RESTAURANT DIAGRAM

SCALE: 1/8" = 1'-0"





Sec. 138-3. - General requirements.
The following requirements shall apply to signs, in addition to provisions appearing elsewhere in these land development regulations:

- (1) Unless otherwise exempted in section 138-4, no sign shall be erected, constructed, posted, painted, altered, or relocated without the issuance of a building permit or planning permit.
- (2) Building permit applications shall be filed together with such drawing and specification as may be necessary to fully advise the city with the location, construction, materials, illumination, structure, numeration, design, and copy of the sign.
- (3) Structural features and electrical systems shall be in accordance with the requirements of the Florida Building Code.
- (4) No sign shall conflict with the corner visibility clearance requirements of section 142-1135.
- (5) All signs, unless otherwise stipulated in this chapter, shall be located only upon the lot on which the business, residence special use, activity, service, product or sale is located.
- (6) All signs shall be maintained in good condition and appearance.
- (7) Any persons responsible for the erection or maintenance of a sign which fails to comply with the regulations of this chapter shall be subject to enforcement procedures as set forth in section 114-8.
- (8) No sign shall be approved for use unless it has been inspected and found to be in compliance with all the requirements of these land development regulations and applicable technical codes.

Sec. 138-4. - Exempt signs.
The following signs may be erected, posted or constructed without a permit but in accordance with the structural and safety requirements of the South Florida Building Code and all other requirements of these land development regulations:

- (1) Official traffic signs or sign structures, or governmental information signs and provisional warning signs or sign structures, when erected or required to be erected by a governmental agency, and temporary signs indicating danger.
 - (2) Historical markers approved by the historic preservation board.
 - (3) Signs directing and guiding pedestrians and traffic and parking on private property, but bearing no advertising matter and not exceeding two square feet in area.
 - (4) Changing of the copy on a bulletin board, poster board, display encasement directory sign or marquee.
 - (5) Signage on vehicles as authorized in section 138-61.
 - (6) Temporary signs authorized by section 138-131, which are composed of paper, cardboard, plastic film or other similar material and are affixed directly to a window.
 - (7) Address signs, not to exceed one per street frontage, maximum two square feet in area. Copy shall be limited to the address of the property.
- (Ord. No. 2016-4045, § 1, 10-19-16)

- Sec. 138-9. - Yard requirements.
- (a) Unless otherwise specified in these regulations, all signs shall comply with the yard requirements of the district in which they are located.
 - (b) No sign, portable or otherwise, is to be placed or located to conflict with the vision clearance requirements of section 142-1135.
 - (c) Detached signs shall have the following setback requirements:
 - (1) Front yard: Ten feet.
 - (2) Interior side yard: Seven and one-half feet.
 - (3) Side yard facing a street: Ten feet.
- (Ord. No. 2016-4045, § 1, 10-19-16)

ARTICLE II. - DESIGN STANDARDS, WINDOW, AWNING, WALL, PROJECTING, AND DETACHED (MONUMENT) SIGNS

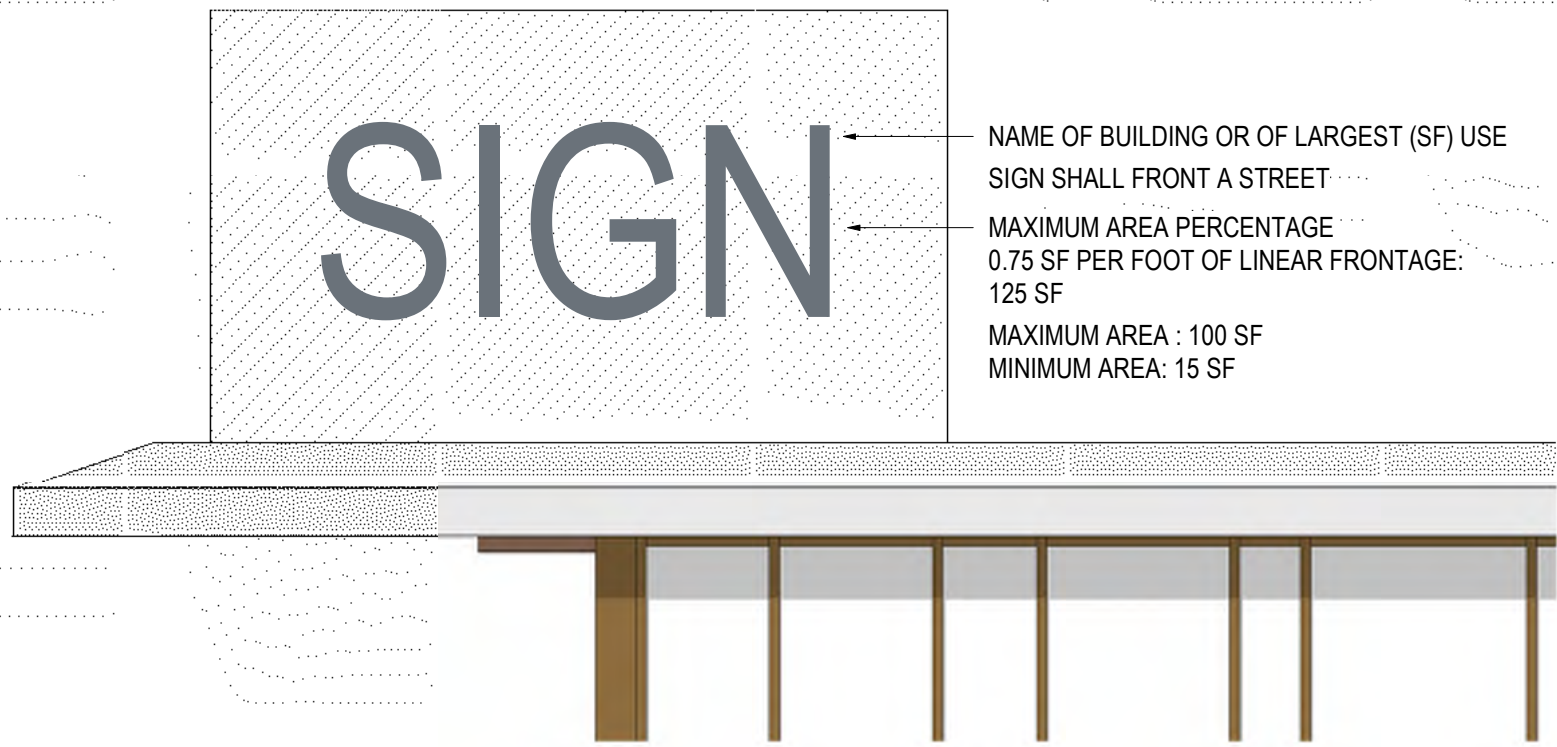
Sec. 138-13. - General sign requirements and design standards.
The following standards shall apply to all signs unless otherwise exempted in this chapter or these land development regulations:

- (1) Direct access to the street or waterway from the licensed establishment is required for a sign that faces a public right-of-way or waterway.
 - (2) Signs shall front a street or waterway. Signs may be permitted to front alleys where the alley frontage provides a means of public entrance, or is adjacent to a parking lot or garage.
 - (3) Signs located above the ground floor shall be limited to the name of the building or the use that encompasses the largest amount of floor area in the building.
 - (4) Electrical conduit, support structures, receptacle boxes, or any other operational devices associated with a sign shall be designed in such a manner as to be visually unnoticeable.
 - (5) Sign copy for main business signs, with the exception of window signs, shall be limited to licensed permitted uses.
 - (6) Only one wall, projecting, or detached sign shall be permitted per allowed frontage for each principal or licensed accessory use, unless otherwise allowed in this chapter.
 - (7) All signs shall be subject to design review procedures.
- The following diagram shows an example of the signs described within this article:

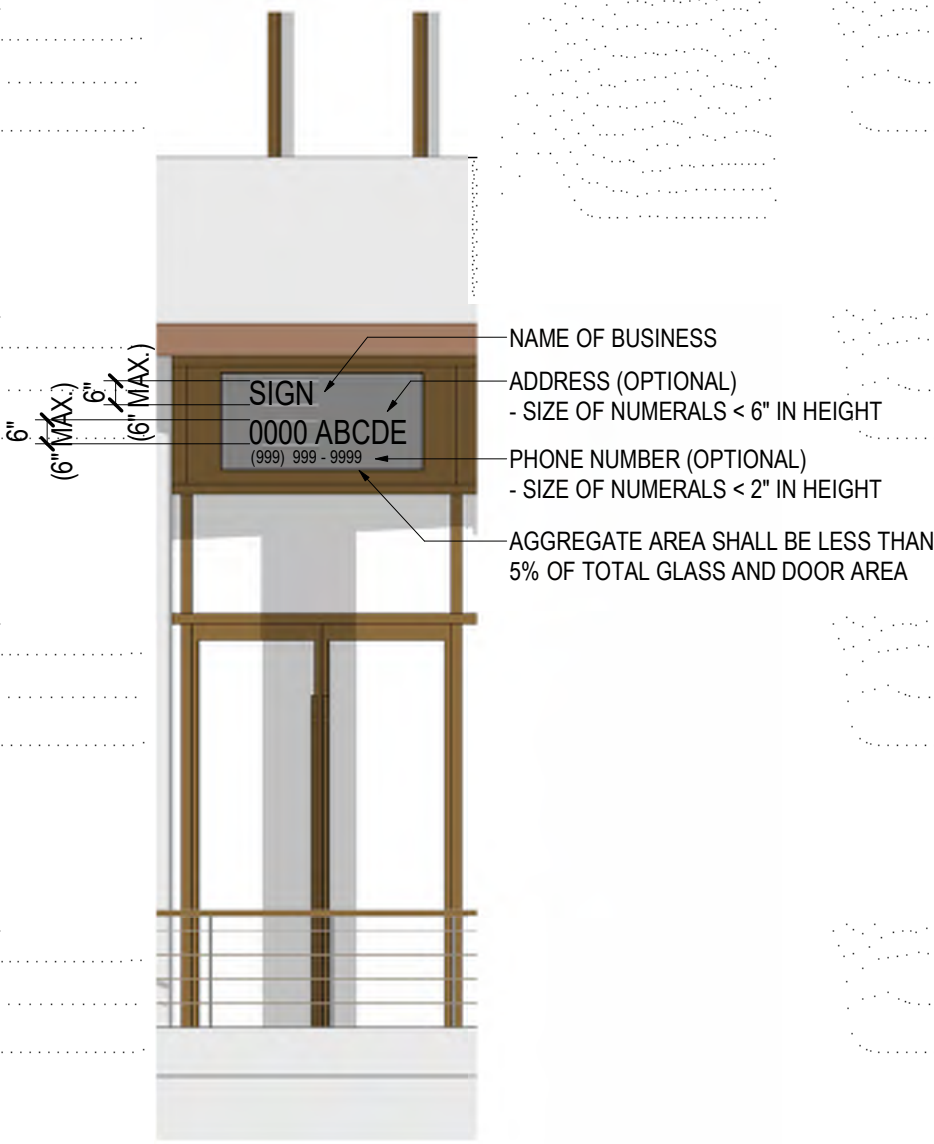
- Sec. 138-14. - Window signs.
- (a) In addition to other permitted signs licensed commercial establishments, are permitted one sign on one window or door with copy limited to the address, phone number and hours of operation, in accordance with the following:
 - (1) The size of the numerals for the address shall not exceed six inches in height.
 - (2) The numerals and letter size for the phone number and hours of operation shall not exceed two inches in height.
 - (3) The name of the establishment may be repeated more than once subject to design review approval. The letters shall not exceed six inches in height.
 - (b) An "open"/"closed" sign, illuminated or non-illuminated shall be permitted. Such "open"/"closed" sign shall not exceed two square feet, letters shall not exceed 12 inches in height, and shall be subject to the design review process.
 - (c) The aggregate area of the above signs of this section shall not exceed five percent of the total glass window area and door area.
 - (d) When there are no other signs associated with the use, the main permitted sign or signs may be located on the window with a total aggregate size not to exceed 20 square feet.
 - (e) Restaurants may also have a menu board besides other signs provided herein. When a menu board is affixed to a window, it shall be limited to an area of three square feet. If a menu display case is affixed to the building wall, it shall be limited to an overall area of four square feet.
 - (f) Commercial uses may also have one establishment services identification sign located on one window or door with letters no higher than two inches and a total area of two square feet.
 - (g) Commercial establishments that offer for sale or lease products which are not located on the premises (e.g., real estate) may place up to three display board type signs on the window. Such display boards shall be limited to six square feet each and are subject to design review approval.
- (Ord. No. 2016-4045, § 1, 10-19-16)

- Sec. 138-15. - Signs located on the valance and underside of awnings or canopies.
- (a) Signs under awnings or canopies. In all districts except RS (1-4), and in addition to other permitted signs, one non-illuminated sign, not exceeding three square feet in area with letters not exceeding six inches in height, hanging from the underside of an awning or canopy with a minimum height clearance of seven feet six inches is permitted.
 - (b) Signs on the valance of an awning or canopy. For purposes of this section, a valance is defined as that vertical portion of the awning that hangs down from the structural brace. Signs on other surface areas of an awning, canopy or roller curtain are not permitted.
- In all districts except RS (1-4), and in addition to other permitted signs, one sign on the valance of an awning or canopy may also be permitted in accordance with the following:

- (1) The length of such sign shall not exceed 25 percent of the length of a single awning, or the length of that portion of the awning or canopy associated with the establishment, up to a maximum of ten square feet.
 - (2) Letters shall not exceed eight inches in height.
 - (3) Signs on continuous awnings shall be placed centered on the portion of the valance that corresponds to the individual storefront and be a uniform color.
 - (4) All valance signs shall be subject to the design review process.
- (Ord. No. 2016-4045, § 1, 10-19-16)



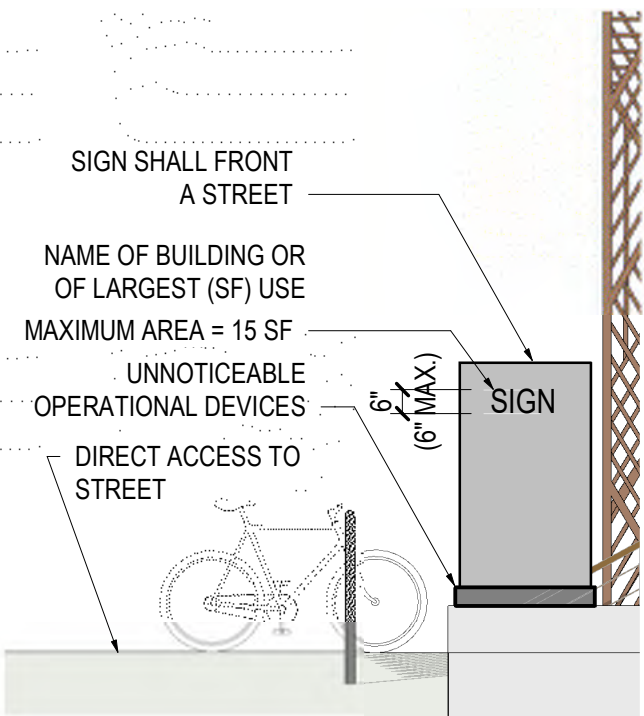
1 PROPOSED BUILDING WALL SIGN
SCALE: 1/4" = 1'-0" REF: 1 / A-45



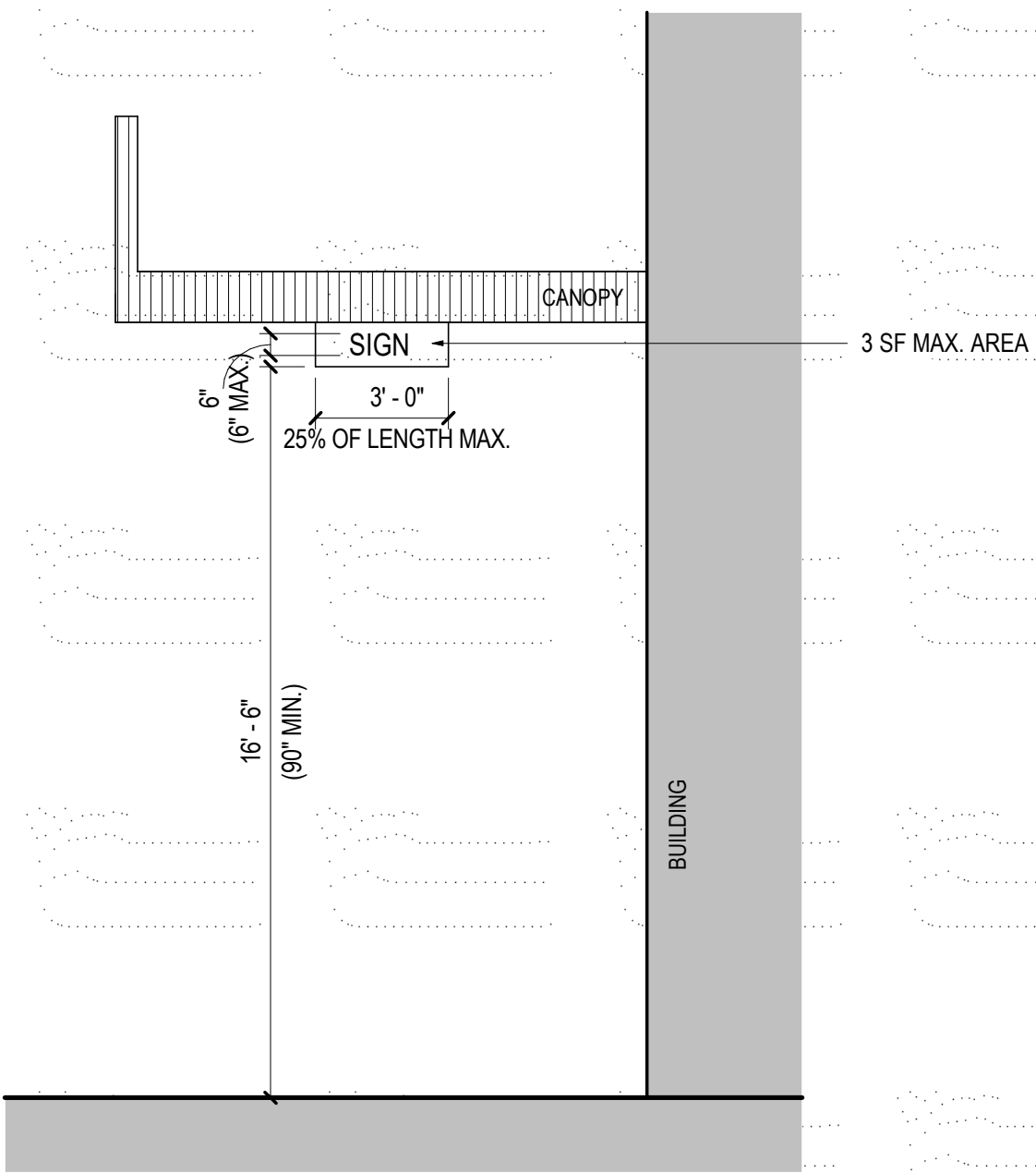
2 PROPOSED WINDOW SIGN
SCALE: 1/4" = 1'-0" REF: 1 / A-45



3 PROPOSED BUILDING WALL SIGN.
SCALE: 1/4" = 1'-0" REF: 1 / A-45




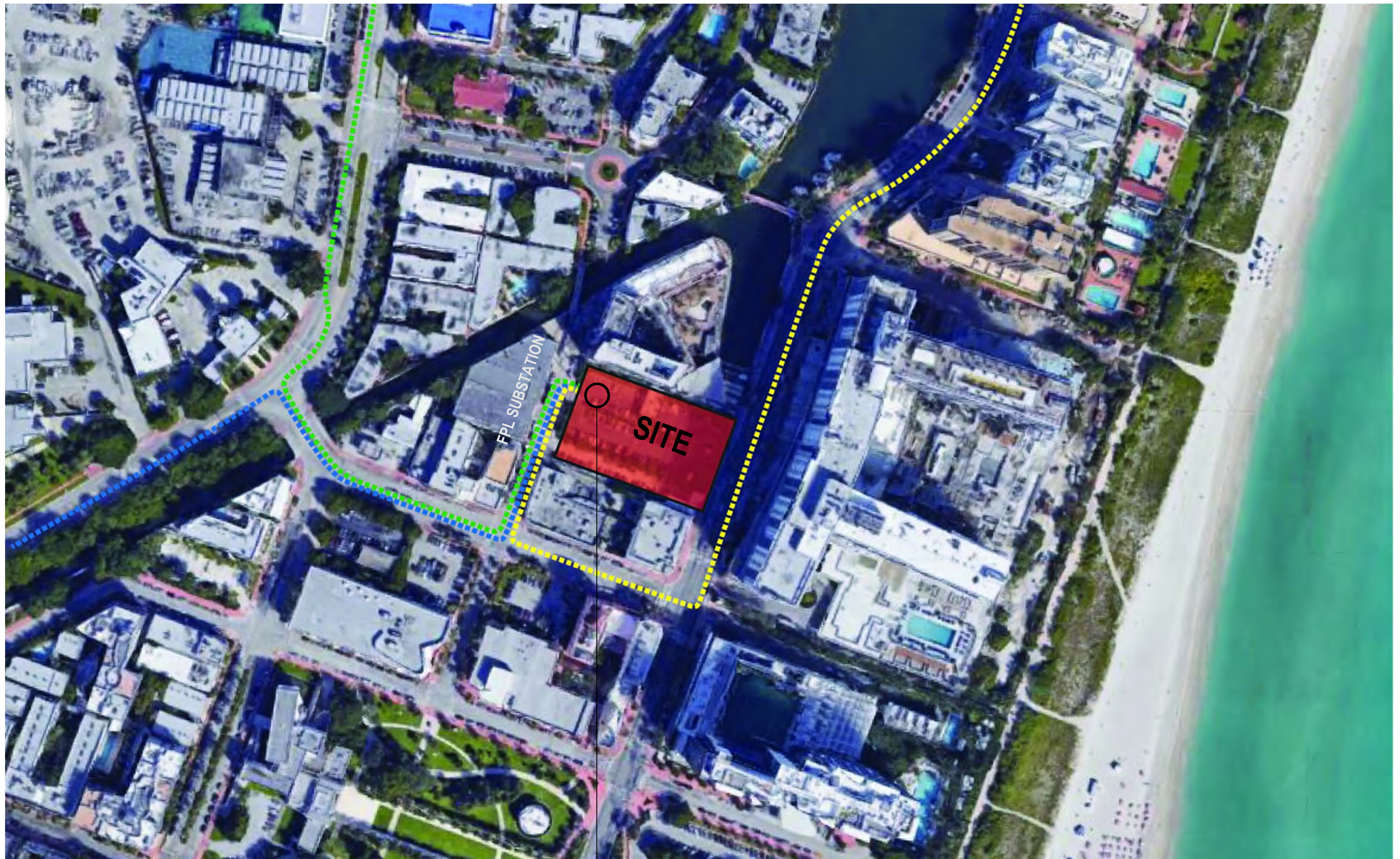
4 DETACHED BUILDING SIGN
SCALE: 1/4" = 1'-0" REF: 1 / A-45



5 PROPOSED UNDER-CANOPY SIGN
SCALE: 1/4" = 1'-0"

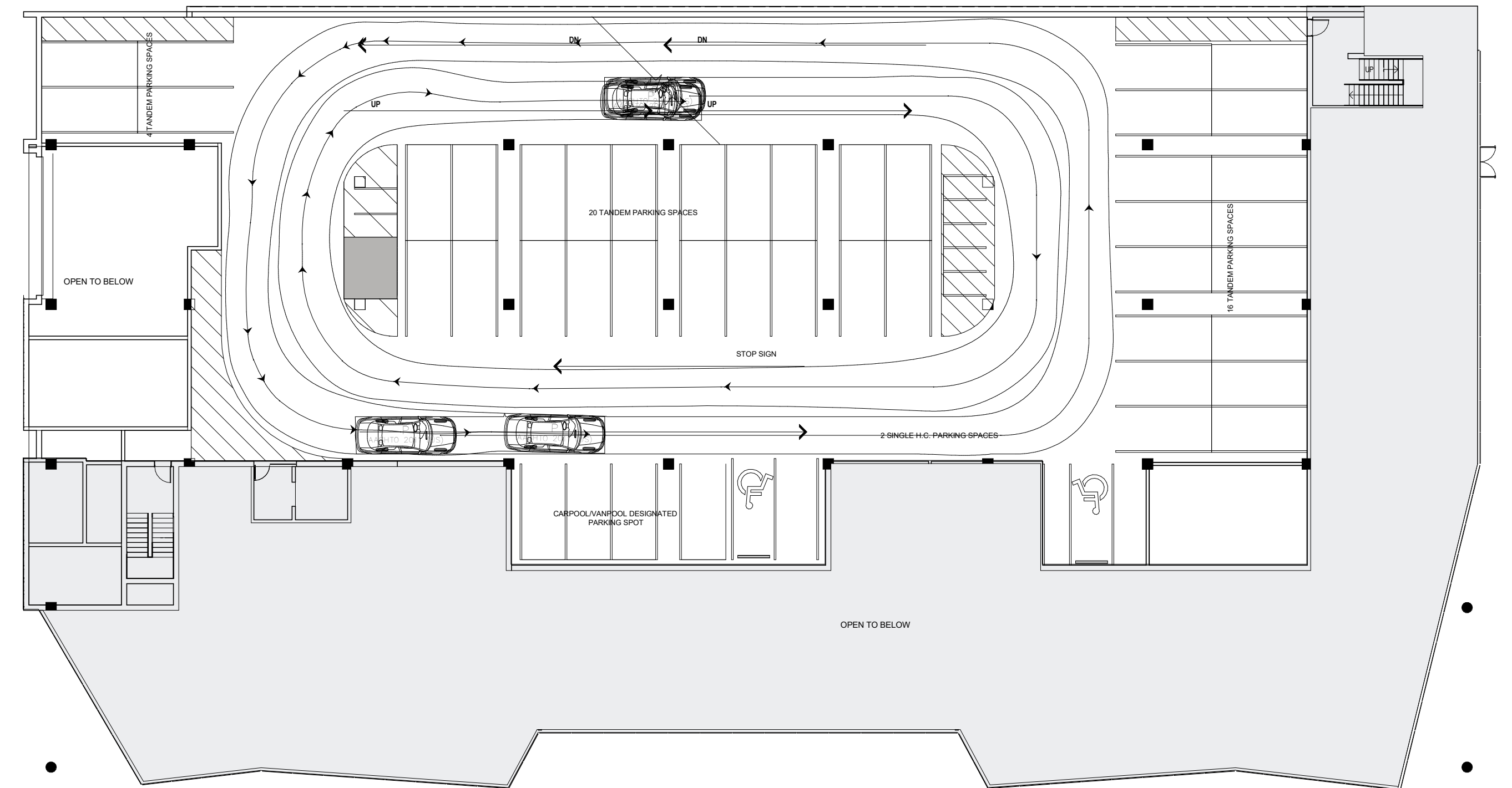
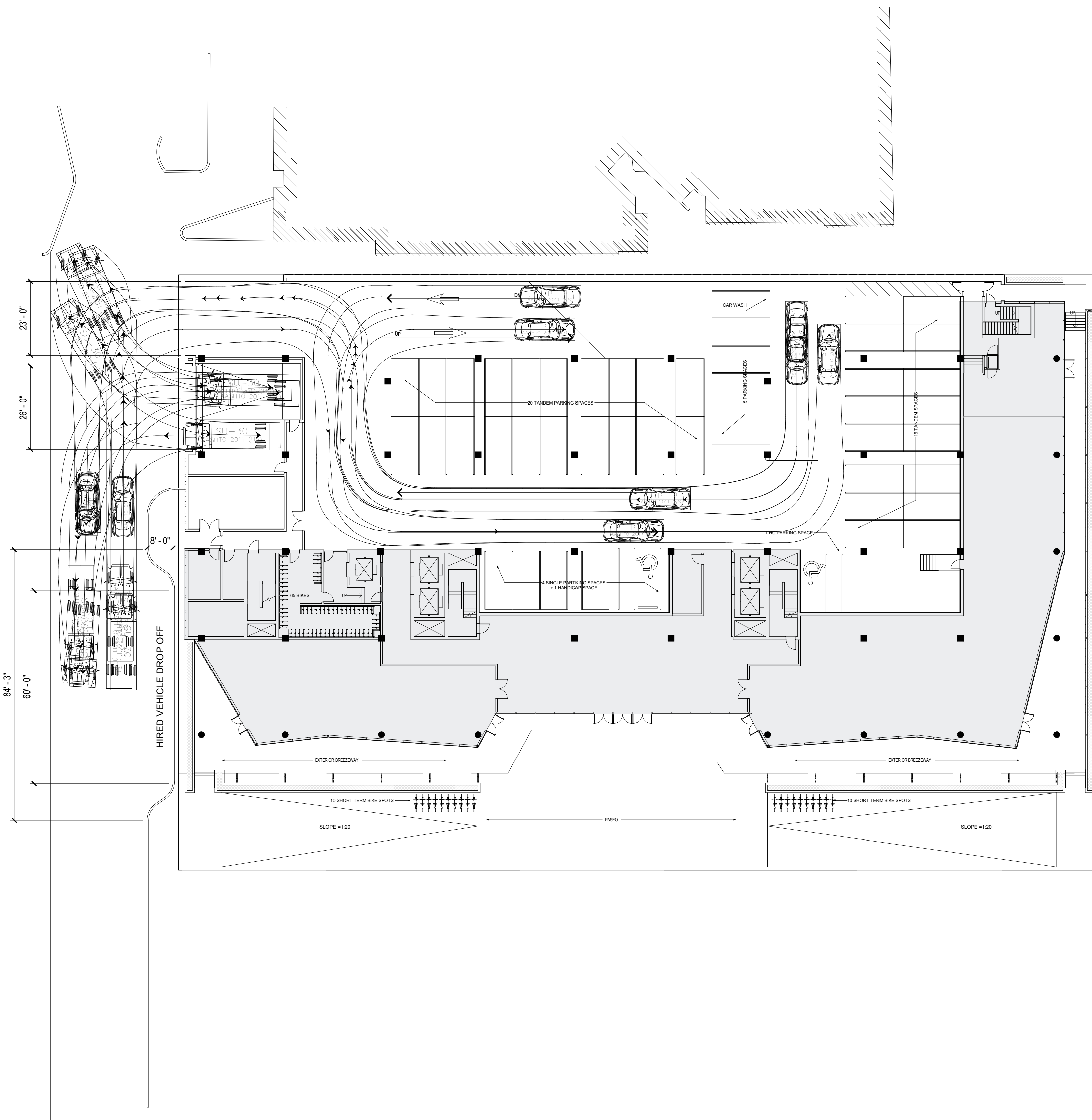
Sec. 138-13. - General sign requirements and design standards.
(2) Signs shall front a street or waterway. Signs may be permitted to front alleys where the alley frontage provides a means of public entrance, or is adjacent to a parking lot or garage.
(3) Signs located above the ground floor shall be limited to the name of the building or the use that encompasses the largest amount of floor area in the building.
Sec. 138-18. - Projecting sign.
Projecting signs are signs attached to and projecting more than 12 inches from the face of a wall of a building. This includes marquee signs. A projecting sign which extends more than 36 inches above a roof line or parapet wall shall be designated as a roof sign. Such signs shall be governed by the following chart.

Will Sign				
Design Standards per District				
Zoning Districts				
	CD (1-3) C-PS (1-4) R-1	RM (1-2) R-PS (1-4) RD	RS (1-4) SPE GC	
	MXE TC (1-2) RM-3 HD MR	TC-3 RM-PS1 TH WD (1-2)		
Maximum area percentage	0.75 square feet for every foot of linear frontage	0.33 square feet for every foot of linear frontage		
Maximum area	• Max.: 100 square feet • Min.: 15 square feet	• Max.: 30 square feet • Min.: 20 square feet	GC and SPE: 30 square feet RS (1-4): Two square feet	
Height restrictions	Shall not be located above ground floor			
Maximum quantity per frontage	Multiple signs for the same establishment may be permitted through the design review process if the aggregate sign area does not exceed the largest maximum permitted area	One wall, projecting or detached	One	
Accessory use	• Maximum 75% of main use sign, or 20 square feet, whichever is less • For uses located in hotel and ap. buildings, must have direct access to street/sidewalk; follows same regulations as main permitted use		Not permitted	
Special conditions	Corner buildings may provide one combined sign instead of the two permitted signs. This sign shall be located on the corner of the building visible from both streets and shall have a maximum size of 40 square feet		Residential use: Copy limited to address and name of building	
Supplemental standard	Hotels, apartments-hotels, and commercial buildings two stories or higher may be permitted one building identification sign above the roofline with an area not to exceed one percent of the wall area on which it is placed. The placement and design of the sign shall be subject to approval through the design review process			



- NORTH BOUND TRUCK ACCESS
- SOUTH BOUND TRUCK ACCESS
- ALTERNATIVE ACCESS

TRASH & LOADING DOCK



01 GROUND FLOOR - LOADING DIAGRAM
SCALE: 1" = 20'-0"

02 PARKING LEVEL 02 - VALET
SCALE: 1" = 20'-0"



VIEW FROM SE CORNER



VIEW AT PASEO



VIEW FROM ABOVE OF BREEZEWAY



VIEW FROM NE CORNER

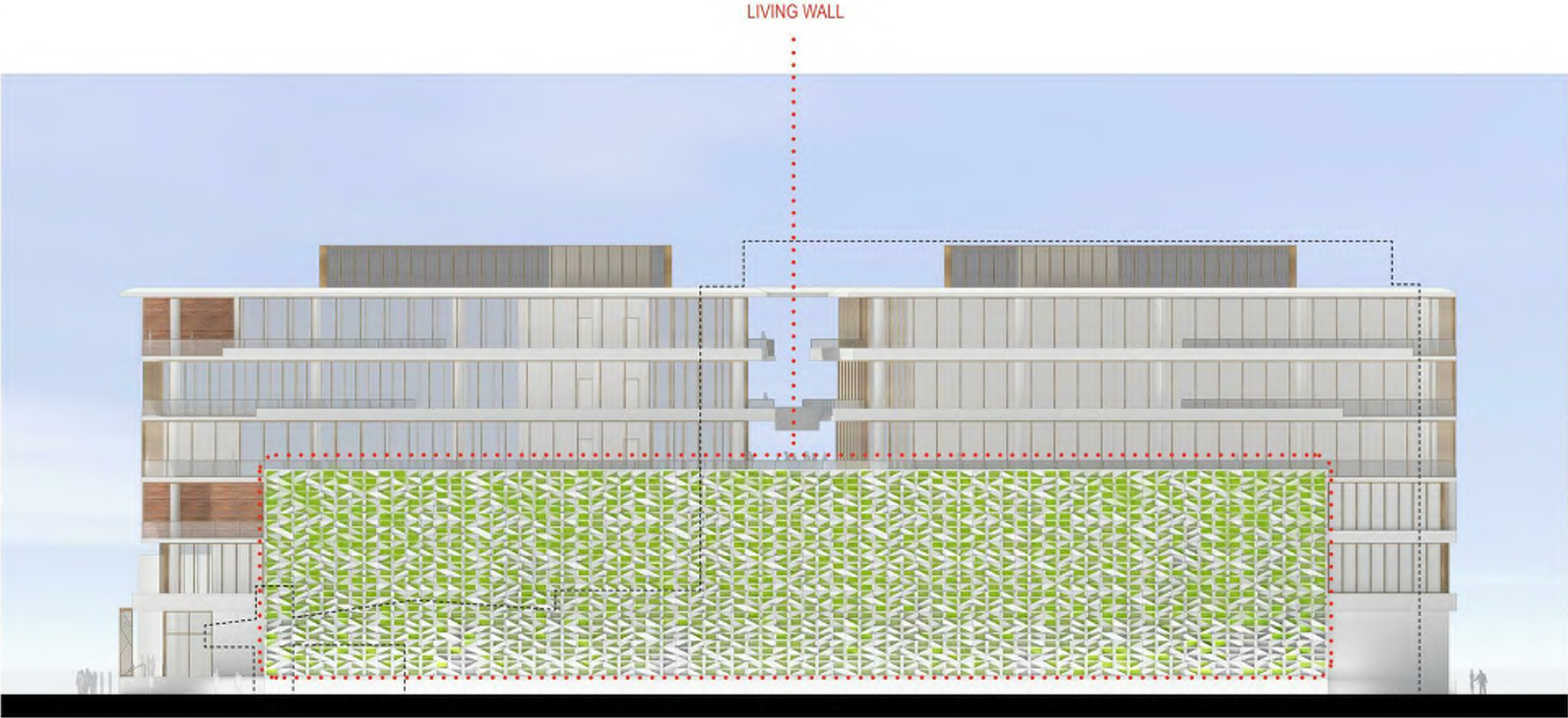


VIEW FROM SW CORNER

MODULAR BLOCK + PLANTINGS



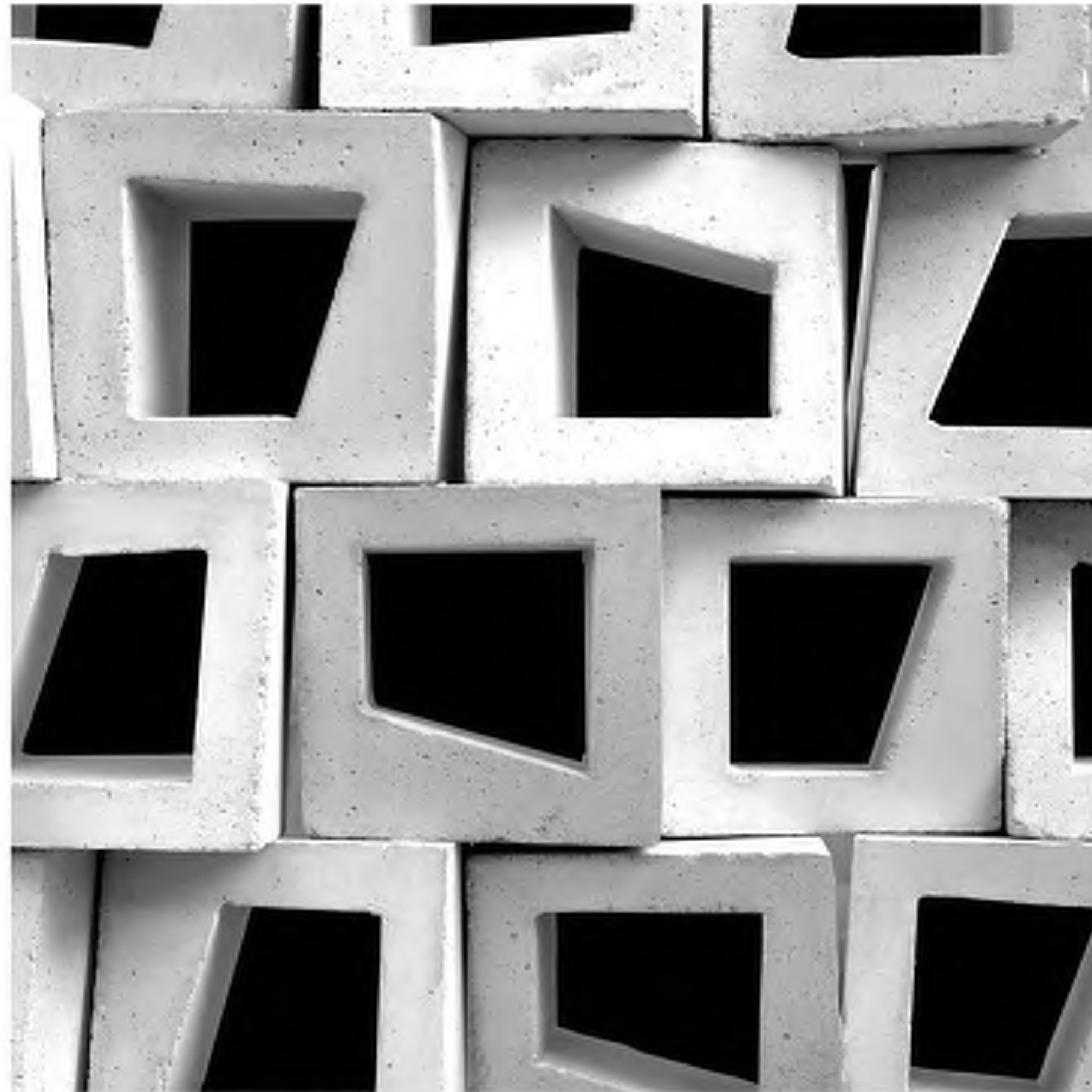
MODULAR BLOCK + PLANTINGS



MODULAR BLOCK + PLANTINGS



ARCHITECTURAL ELEMENTS



MODULAR BLOCKS

TAKING INSPIRATION FROM HISTORIC MIAMI BEACH ARCHITECTURE - CONCRETE BLOCK CAN BE USED IN A CONTEMPORARY WAY TO CREATE PATTERN AND DEPTH.



PLANTINGS

LOW LIGHT PLANTINGS TO BE EMBEDDED WITHIN POCKETS IN THE MODULAR BLOCKS OR PRECAST PANELS TO SOFTEN THE TEXTURE OF THE FACADE.

