

SINGLE FAMILY RESIDENTIAL ZONING DATA SHEET - SOUTH				
ITEM #	ZONING INFORMATION			
1	ADDRESS:	5840 N. BAY ROAD MIAMI BEACH, FL		
2	FOLIO NUMBER(S):	02-3215-003-0240		
3	ZONING DISTRICT:	RS-2		
4	CMB GRADE:	3.46FT NGVD		
5	BASE FLOOD ELEVATION:	8 FT	GRADE VALUE IN NGVD:	3.46 FT NGVD
6	ADJUSTED GRADE (FLOOD + GRADE/2):	5.73 FT NGVD	FREE BOARD:	1 FT
7	LOT AREA:	18,071 SQ FT		
8	LOT WIDTH:	89.70'	LOT DEPTH:	199'-3"
9	MAX LOT COVERAGE SF AND %:	4,517.75 SQ FT (25%)	PROPOSED LOT COVERAGE SF AND %:	4,259 SQ FT (23.5%)
10				
11	FRONT YARD OPEN SPACE SF AND %:	1,217 SQ FT (76%)	REAR YARD OPEN SPACE SF AND %:	1,642 SQ FT (65%)
12	MAX UNIT SIZE SF:	9,035.5 SQ FT (40%)	PROPOSED UNIT SIZE SF AND %:	7,212 SQ FT (39.9%)
13	PROPOSED FIRST FLOOR UNIT SIZE:	3,822 SQ FT (21.1%)	PROPOSED SECOND FLOOR UNIT SIZE:	3,390 SQ FT (18.8%)
14	PROPOSED ROOF FLOOR UNIT SIZE:	70 SQ FT (0.4%)		
15	PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	1004 SQ FT (25%)		

ITEM #		REQUIRED	PROPOSED
17	HEIGHT:	28' FLAT ROOF	28'
18	SETBACKS:		
19	FRONT FIRST LEVEL:	20'	20"
20	FRONT SECOND LEVEL:	30'	30"
21	SIDE 1:	10**	12'-41/2"
22	SIDE 2:	10**	10'
23	REAR:	MAX MIN 50' 20'	30' -4"
*THE SUM OF THE REQUIRED SIDE YARDS SHALL BE AT LEAST 25% OF THE LOT WIDTH;(22.4')			

ZONING LEGEND
N.T.S.

[STRANG]
ARCHITECTURE

2900 SW 28TH TERRACE, SUITE 301
COCONUT GROVE, FLORIDA 33133
PH: 305-373-4990 | FX: 305-373-4991
FIRM LICENSE # AA26001123
WWW.MAXSTRANG.DESIGN

PROJECT NAME & LOCATION:
5840 N Bay Road Miami Beach, FL
33140-2043

PROJECT CLIENT(S) / OWNER(S):
NEPTUNE CAPITOL

ARCHITECT:
MAX WILSON STRANG, RA / AIA
LICENSE # AR0017183
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:
CHRISTOPHER CAWLEY LANDSCAPE
ARCHITECTURE LLC
780 NE 69TH STREET, SUITE 1106
MIAMI, FL 33138
PH: 786-534-5327

PROFESSIONAL SEAL(S):

No.

Date

Description

Revision Schedule

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PROJECT ID:
58th 40 N&S

DRAWN BY:
FRC

DATE:
10/31/2018

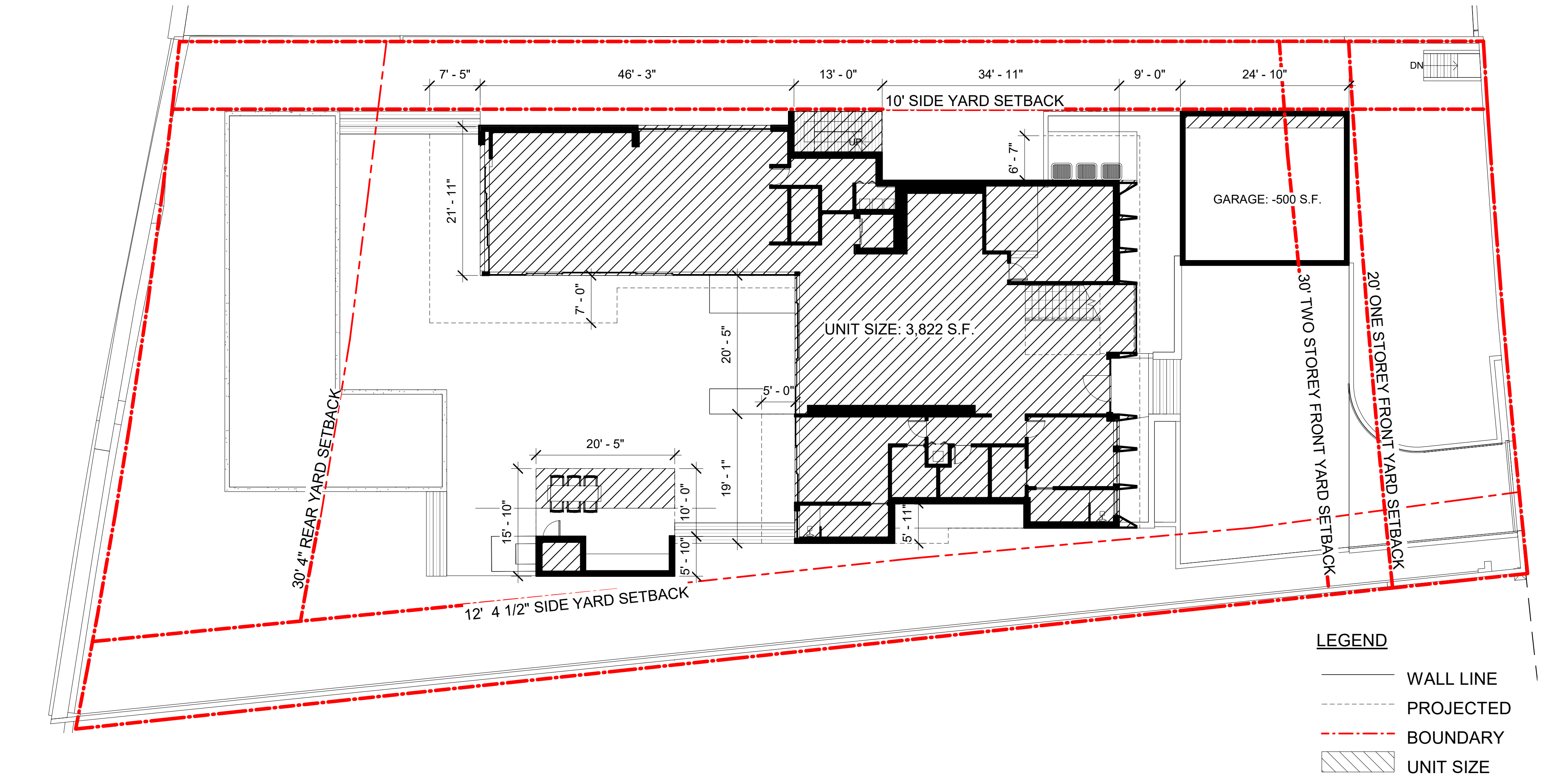
SCALE:

Sheet Title:

ZONING DATA

Sheet No:

A-6



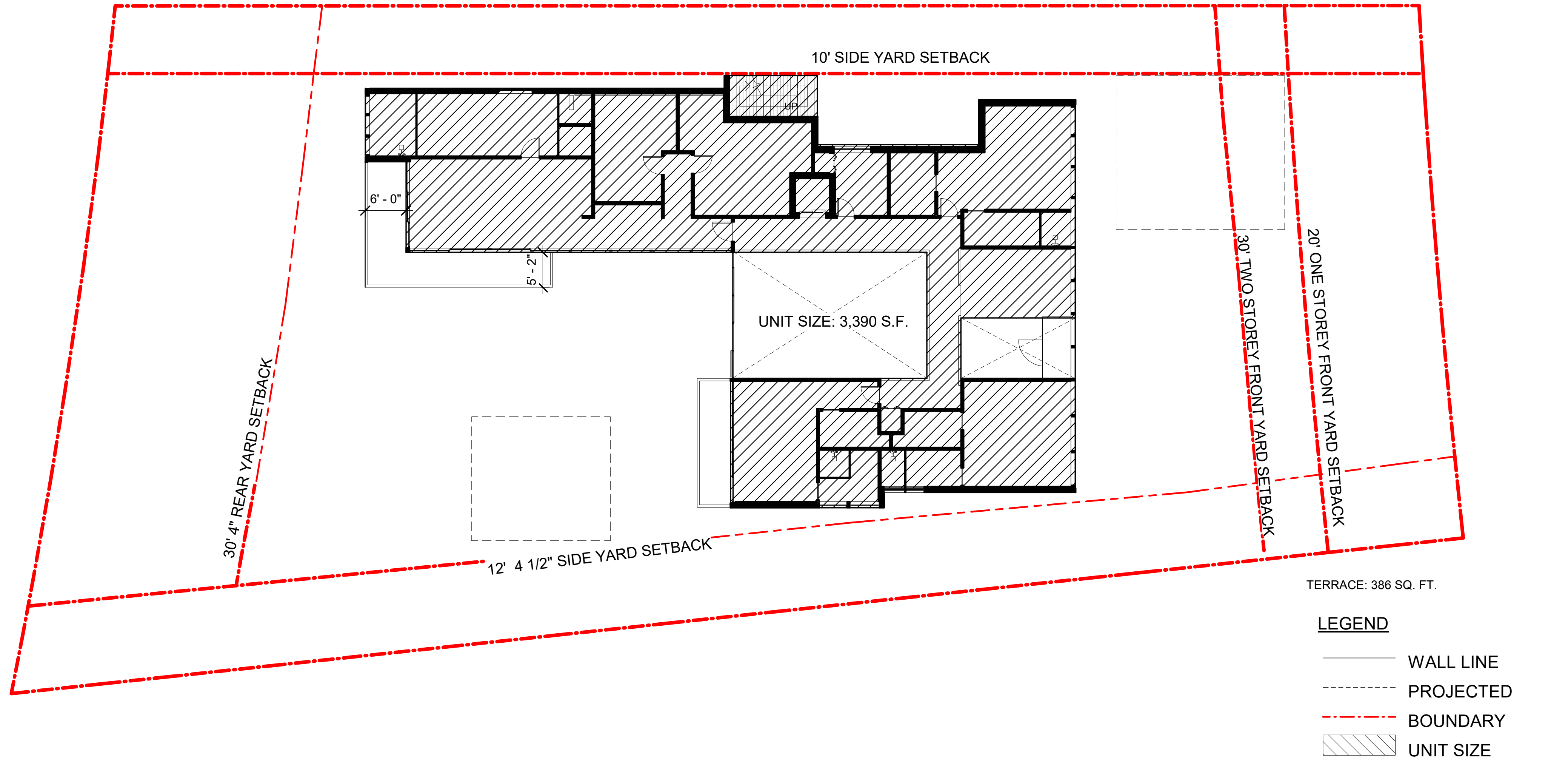
LEGEND

- WALL LINE
- PROJECTED
- BOUNDARY
- UNIT SIZE

FIRST FLOOR UNIT SIZE

SCALE: 3/32" = 1'-0"

1



LEGEND

- WALL LINE
- PROJECTED
- BOUNDARY
- UNIT SIZE

SECOND FLOOR UNIT SIZE

SCALE: 3/32" = 1'-0"

2

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PROJECT ID: 58th 40 N&S	DRAWN BY: FRC
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DATE: 10/31/2018	SCALE: As indicated
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Sheet Title:

**ZONING FIRST
& SECOND
FLOOR**

Sheet No:

A-8

No.	Date	Description
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PROJECT ID: 58th 40 N&S	DRAWN BY: FRC
DATE: 10/31/2018	SCALE: 1" = 7'

Sheet Title:

SITE PLAN

Sheet No:

A-11

BISCAYNE BAY

192' PROPERTY LINE

NGVD: 6' - 6 1/2"
T.O. GRADE

NGVD: 6' - 6 1/2"
T.O. GRADE

10' SIDE YARD SETBACK

EL: -1' - 0" NGVD: 8' - 0"
T.O. ROOF

EL: 28' - 6" NGVD: 37' - 6"
T.O. ROOF DECK

EL: -1' - 0" NGVD: 9'-0"
T.O. ELEVATOR

NOTE: FLAT ROOF
SLOPE 1/4" - 12"

EL: -1' - 0" NGVD: 8' - 0"
T.O. ROOF

T.O. GARAGE ROOF
GREEN ROOF

EL: 8' - 6" NGVD: 17.51'
T.O. GARAGE

EL: -2' - 5" NGVD: 6' - 6 1/2"
T.O. DRIVEWAY

NEW DRIVEWAY

REFLECTIVE POOL

NGVD: 6' - 6 1/2"
T.O. RAMP

NEW 5' SITE WALL

NGVD: 6' - 6 1/2"
T.O. GRADE

NGVD: 6' - 6 1/2"
T.O. WALL

NGVD: 3' - 5 1/2"
CMB

NGVD: 6' - 6 1/2"
T.O. WALL

NGVD: 6' - 6 1/2"
T.O. GRADE

74' - 6"

215' PROPERTY LINE

LOT AREA: 18,071 SQ. FT
LOT WIDTH: 89.70' FT.
LOT DEPTH: 199'-3" FT.

SITE PLAN
SCALE: 1" = 7'

1

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PROFESSIONAL SEAL(S):

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No.	Date	Description
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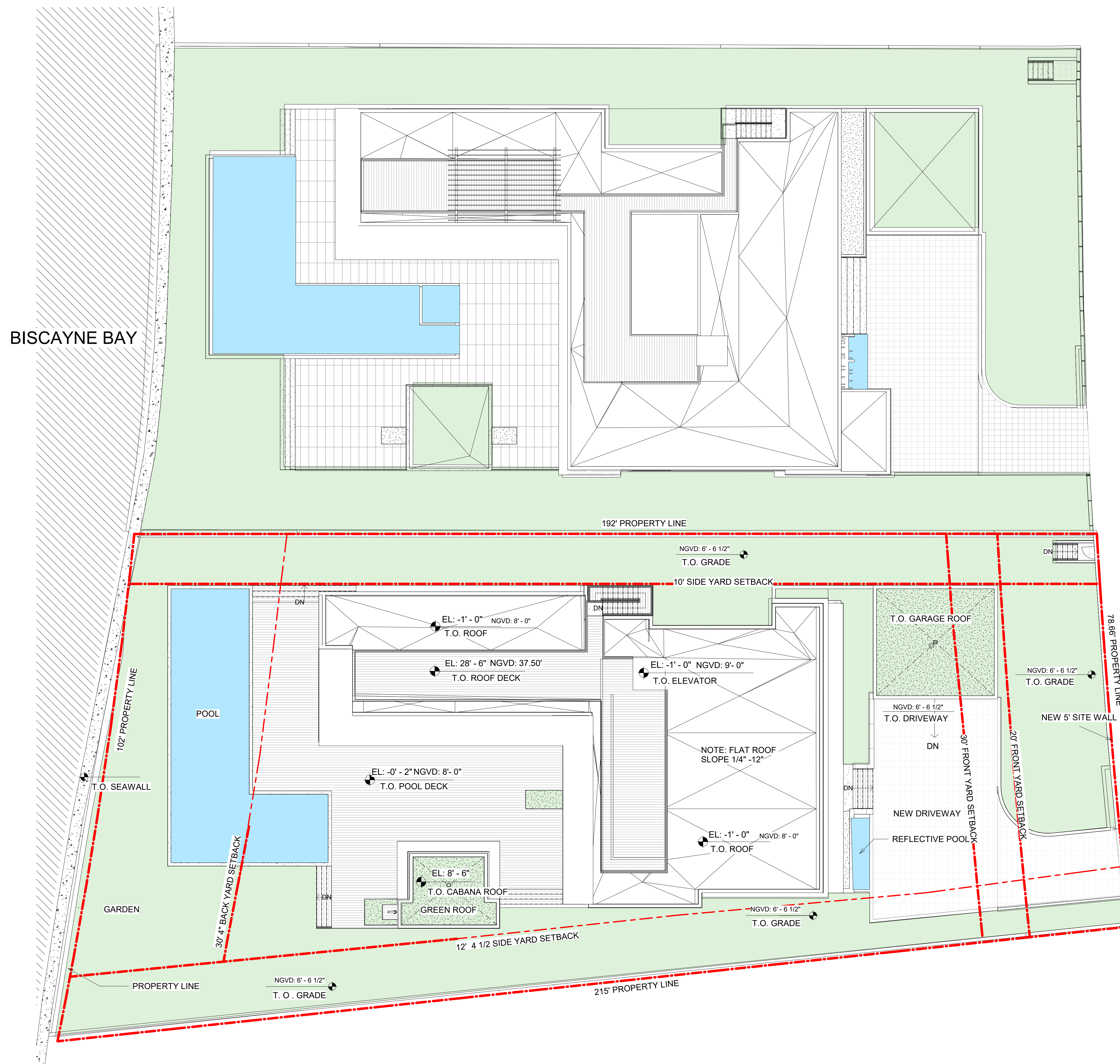
DATE:	SCALE:
10/31/2018	1" = 10'-0"

Sheet Title:

ADJACENT SITE PLANS

Sheet No:

A-12





ENTRY DRIVE PERSPECTIVE
N.T.S. 1



STREET PERSPECTIVE
N.T.S. 2

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DATE: 10/31/2018		SCALE:
Sheet Title: FRONT PERSPECTIVES		
Sheet No: A-36		



WATERSIDE PERSPECTIVE
N.T.S. 1



BACKYARD PERSPECTIVE
N.T.S. 2

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DATE: 10/31/2018		SCALE:
Sheet Title: REAR PERSPECTIVES		
Sheet No: A-37		



ADJACENT FRONT VIEW
N.T.S.

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DATE: 10/31/2018	SCALE:

Sheet Title:
ADJACENT
FRONT
RENDER

Sheet No:
A-38



LOW-E GREY TINTED CURTAIN WALL WITH A FLUSH WHITE STUCCO 10" BAND AROUND ALL SIDES.

SMOOTH WHITE STUCCO 16" BAND

TRAVERTINE CLAD CONCRETE FINS AT 30 DEGREE ANGLE

TRAVERTINE CLAD CONCRETE FINS AT 7 DEGREE ANGLE

GLASS WITH GREY TINT

LIGHT WOOD FRONT DOOR

FRAMES IN ANODIZED ALUMINUM FINISH

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Sheet Title:

FRONT
CLOSE-UP
RENDER

Sheet No:

A-39



ADJACENT REAR VIEW
N.T.S.

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DATE: 10/31/2018
SCALE:

Sheet Title:
ADJACENT
REAR RENDER

Sheet No:

A-40

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SCALE:

Sheet Title:
**REAR
CLOSE-UP
RENDER**

Sheet No:

A-42



WHITE TRAVERTINE

ANGLED EXTERIOR CEILING
WITH THIN 10" EDGE IN
LIGHT WOOD FINISH

FRAMES IN ANODIZED
ALUMINUM FINISH

GLASS WITH GREY TINT