



[STRANG]

ARCHITECTURE

2900 SW 28TH TERRACE, SUITE 301

COCONUT GROVE, FLORIDA 33133

PH: 305-373-4990 | FX: 305-373-4991

FIRM LICENSE # AA26001123

WWW.MAXSTRANGARCHITECTURE.COM

PROJECT NAME & LOCATION:

5840 N Bay Road Miami

Beach, FL 33140-2043

PROJECT CLIENT(S) / OWNER(S):

NEPTUNE CAPITOL

ARCHITECT:

MAX WILSON STRANG, RA / AIA

LICENSE # AR0017183

2900 SW 28TH TERRACE, SUITE 301

MIAMI, FL 33133

STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT:

CHRISTOPHER CAWLEY LANDSCAPE

ARCHITECTURE LLC

780 NE 69TH STREET, SUITE 1106

MIAMI FL, 33138

PH: 786-534-5327

PROFESSIONAL SEAL(S):

No.	Date	Description
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PROJECT ID: 58th 40 N&S		DRAWN BY: S.S
DATE: 10/05/2018		SCALE:
Sheet Title: <div>ABUTTING PROPERTIES ELEVATION</div>		
Sheet No: <div>A-23.1</div>		

PROJECT NAME & LOCATION:
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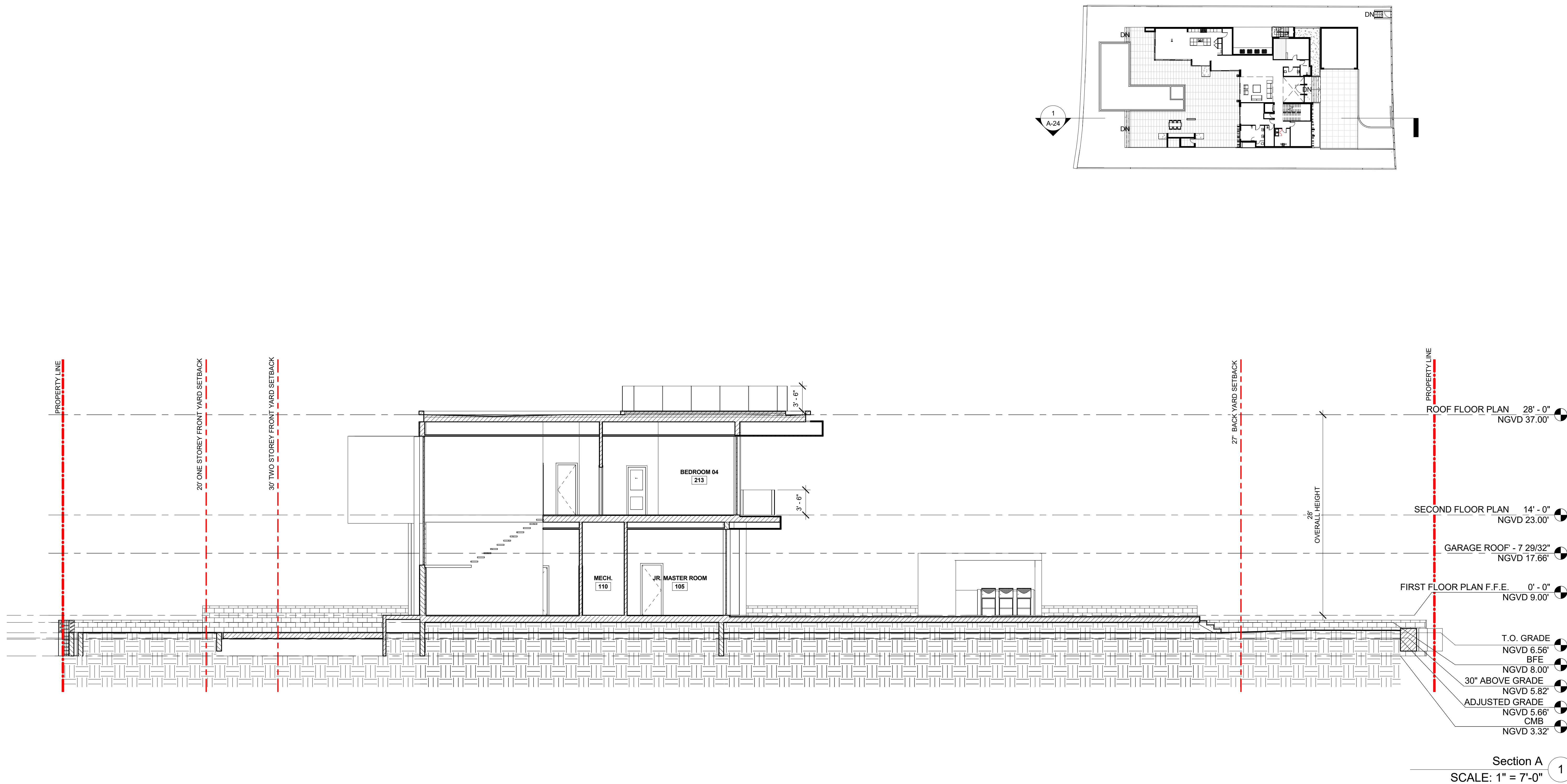
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Sheet Title:

SECTION A

Sheet No:

A-24

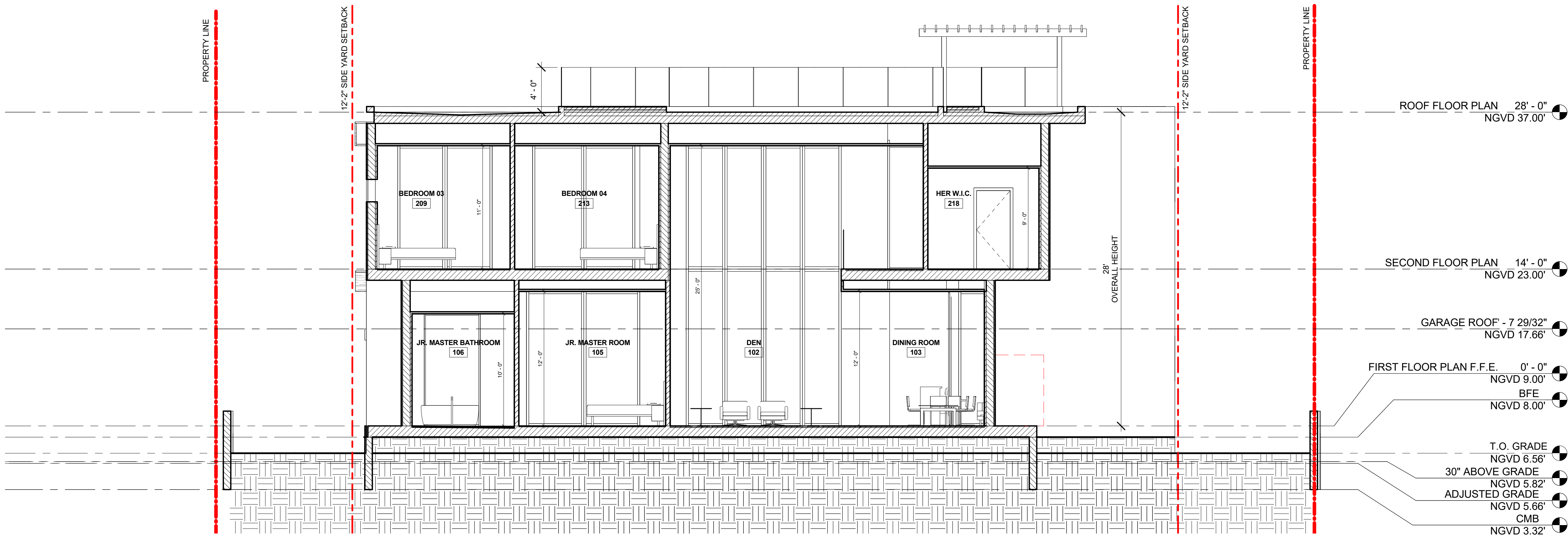
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PROFESSIONAL SEAL(S):

Section B

SCALE: 3/16" = 1'-0"

1

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Sheet Title:

SECTION B

Sheet No:

A-25

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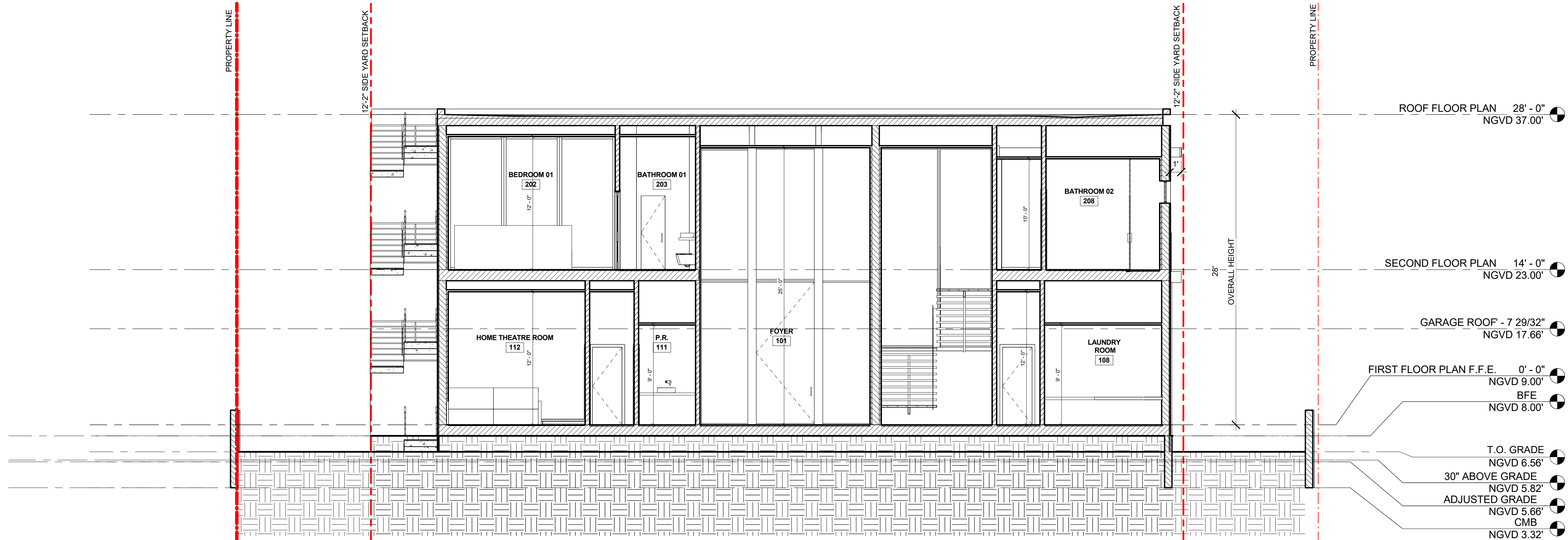
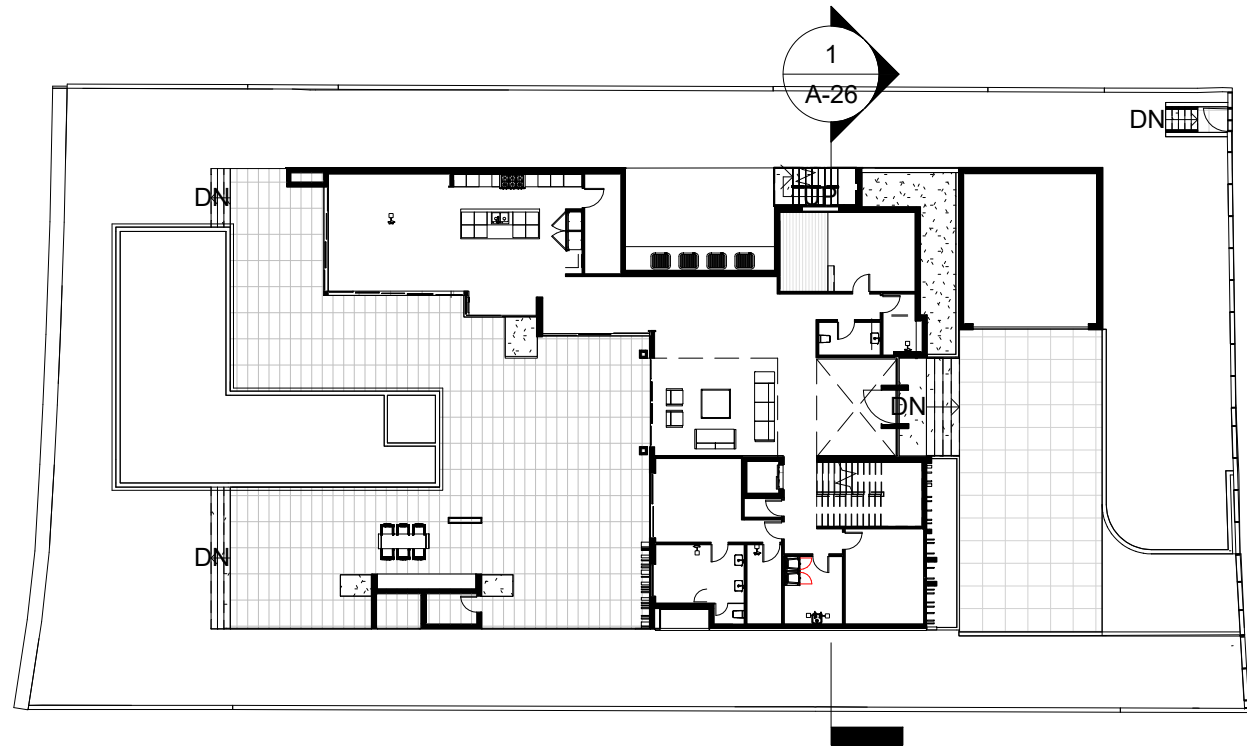
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Sheet Title:
SECTION C

Sheet No:

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ROOF FLOOR PLAN 28'-0"
NGVD 37.00'

SECOND FLOOR PLAN 14'-0"
NGVD 23.00'

GARAGE ROOF - 7 29/32"
NGVD 17.66'

FIRST FLOOR PLAN F.F.E. 0'-0"
NGVD 9.00'
BFE
NGVD 8.00'

T.O. GRADE
NGVD 6.56'
30" ABOVE GRADE
NGVD 5.82'
ADJUSTED GRADE
NGVD 5.66'
CMB
NGVD 3.32'

Section C
SCALE: 3/16" = 1'-0"

1

No.	Date	Description
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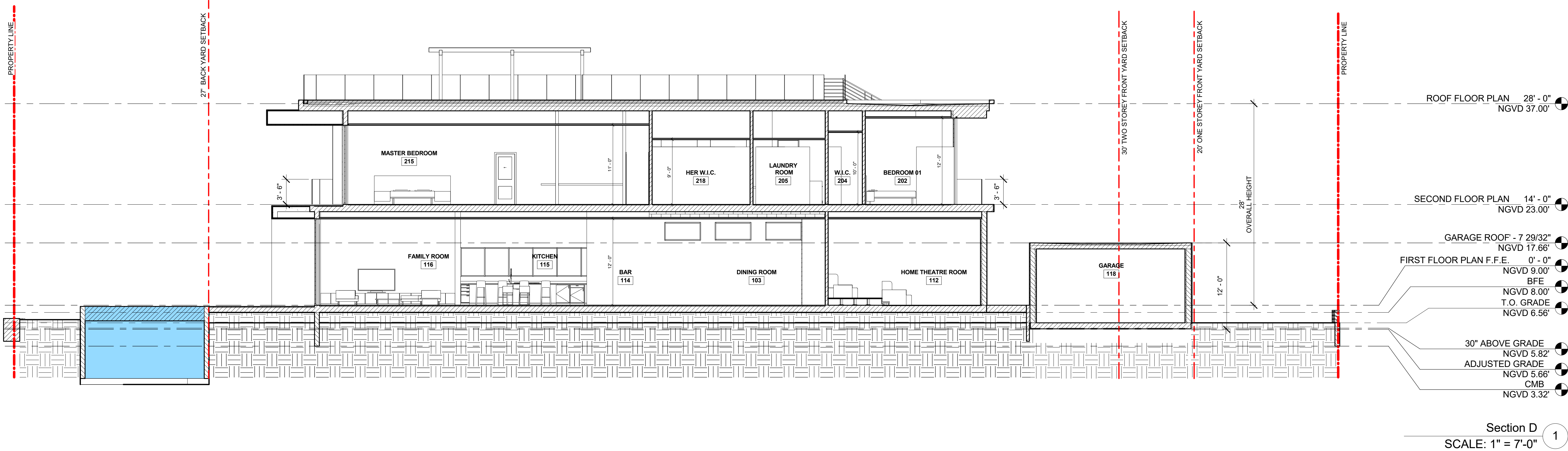
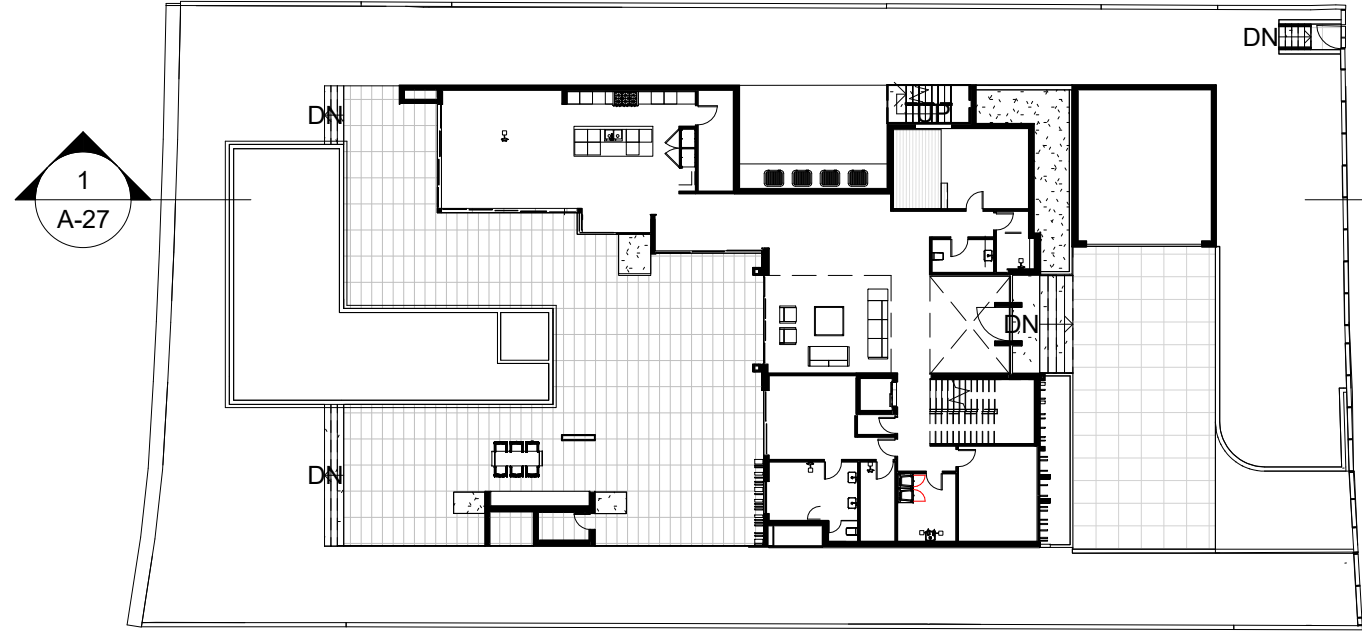
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Sheet Title:
SECTION D

Sheet No:

A-27



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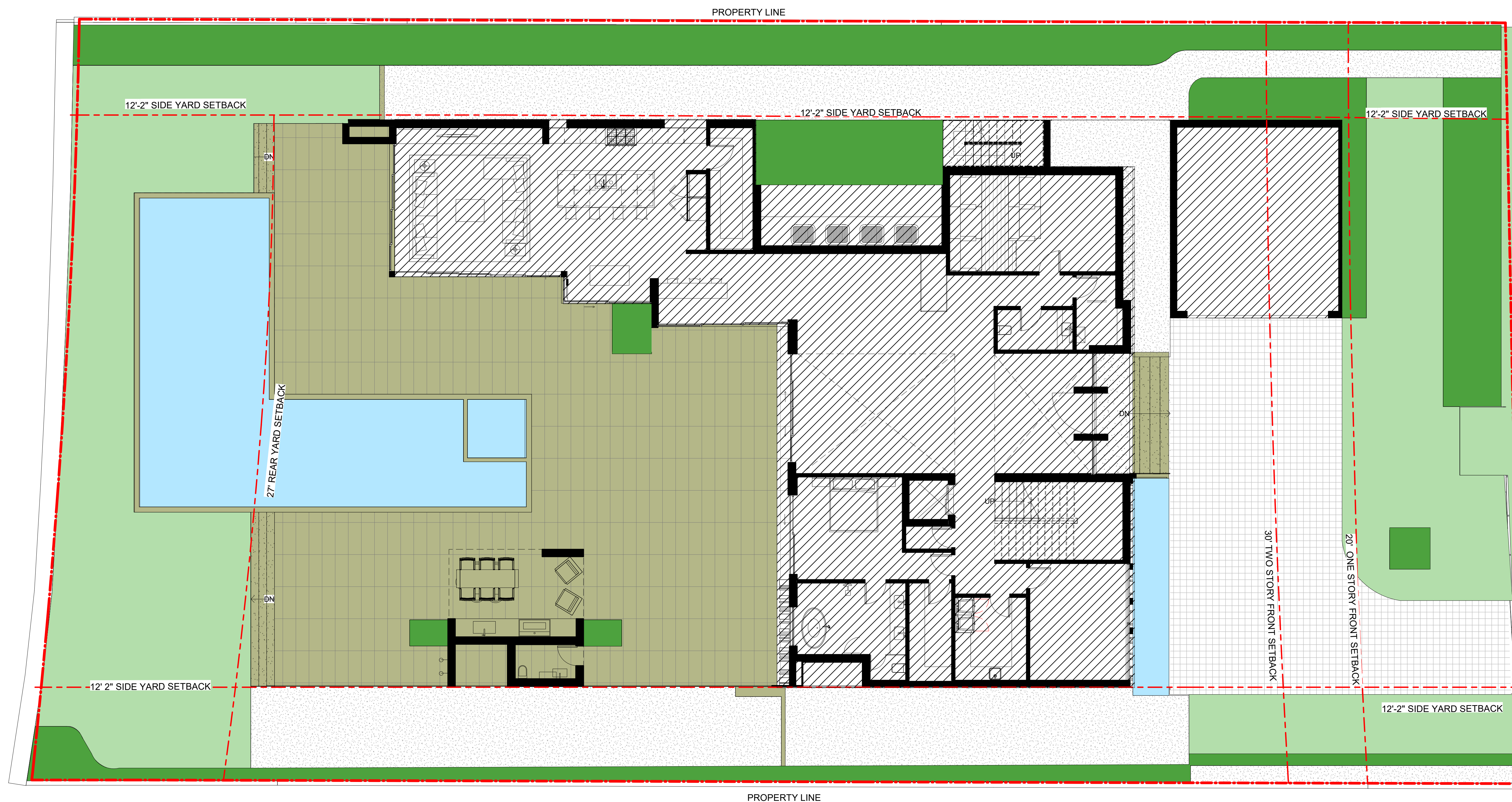
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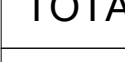



DATE:	SCALE:
10/05/2018	As indicated







Sheet Title:

OPEN SPACE DIAGRAM

Sheet No: _____



<u>PERVIOUS</u>	
	PLANTING: 2,025 SQ.FT.
	LAWN: 3,046 SQ.FT.
	GRAVEL: 2,391 SQ.FT.
TOTAL: 7,474 SQ.FT -- 41%	
<u>IMPERVIOUS</u>	
	STONE PAVEMENT: 3,319 SQ.FT.
	DRIVEWAY: 1,348 SQ.FT.
	WATER FEATURE: 1,215 SQ.FT.
	RESIDENCE: 4,692 SQ.FT.
TOTAL: 10,574 SQ.FT-- 59%	

<u>OPEN SPACE DIAGRAM LEGEND</u>	
<u>TOTAL LOT AREA: 18,072 SQ.FT.</u>	
	PLANTING: 2,025 SQ.FT.
	LAWN: 3,046 SQ.FT.
	GRAVEL: 2,391 SQ.FT.
PROPOSED OPEN SPACE: 7,474 SQ.FT.	
	STONE PAVEMENT: 3,319 SQ.FT.
	DRIVEWAY: 1,348 SQ.FT.
	WATER FEATURE: 1,215 SQ.FT.

OPEN SPACE DIAGRAM

SCALE: 1" = 7'-0"

1

No.	Date	Description
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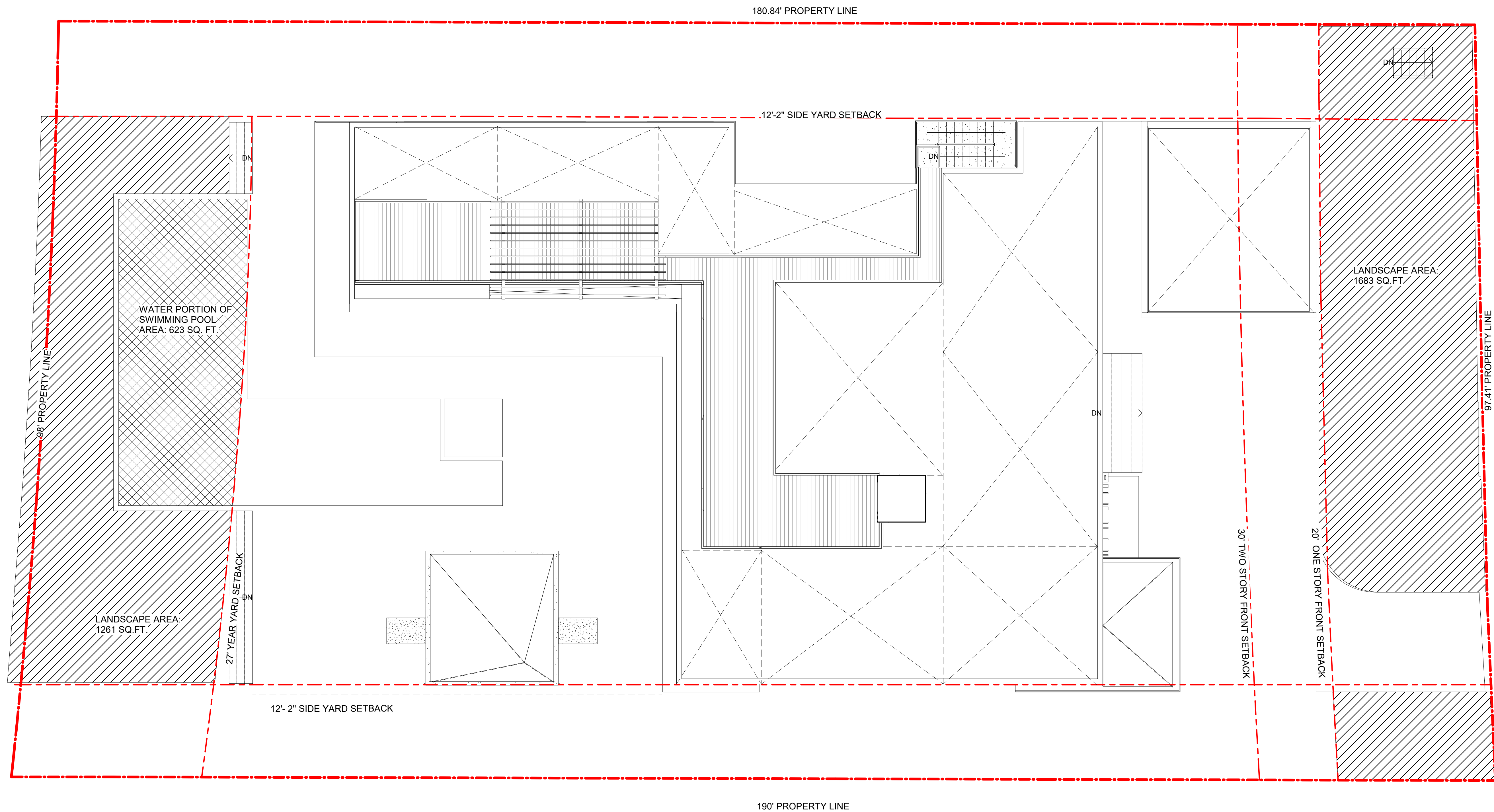
DATE: 05/05/2018 SCALE: 1" = 7'-0"

Sheet Title:

**OPEN SPACE
FRONT & REAR
YARD**

Sheet No:

A-29



FRONT YARD CALCULATIONS:

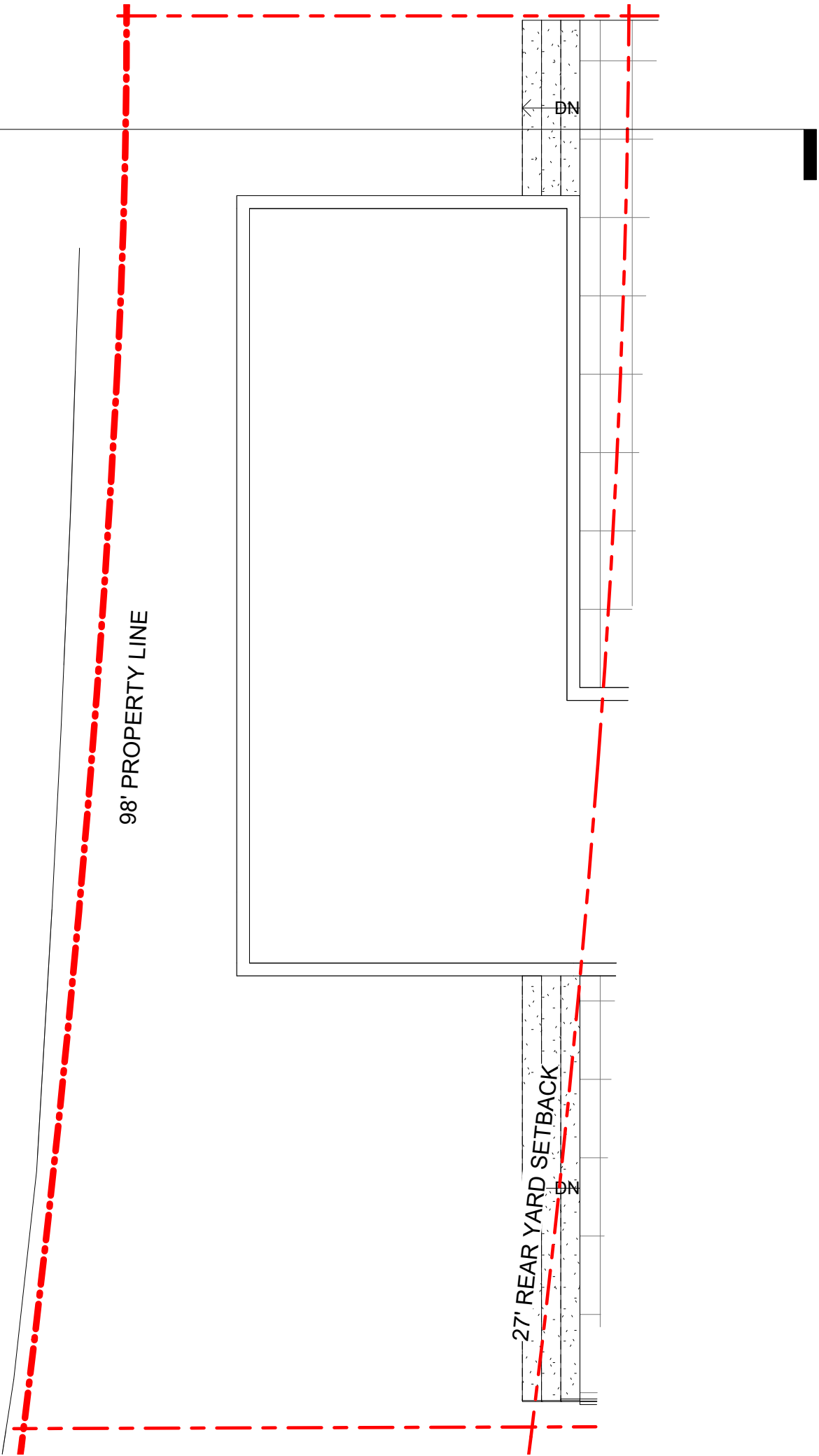
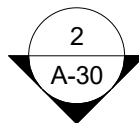
OPEN SPACE MIN. REQUIRED (50% LANDSCAPE): 967 SQ FT
OPEN SPACE PROPOSED: 1683 SQ FT (87%)

REAR YARD CALCULATIONS:

OPEN SPACE MIN. REQUIRED:
- 70% LANDSCAPE: 1371 SQ.FT

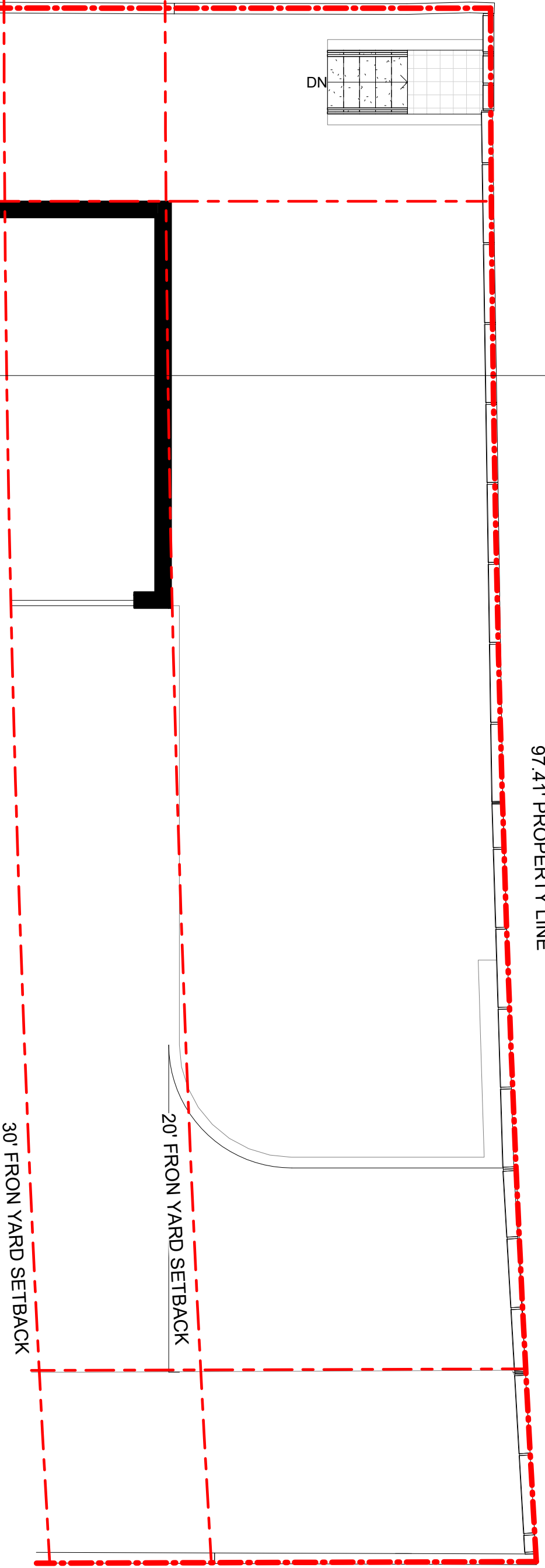
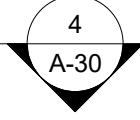
OPEN SPACE PROPOSED:
-LANDSCAPE AREA: +50% OF WATER PORTION OF THE SWIMMING POOL: 1261 SQ.FT. + 312 SQ.FT: 1573 SQ.FT.(80%)

OPEN SPACE FRONT & REAR YARD
SCALE: 1" = 7'-0"



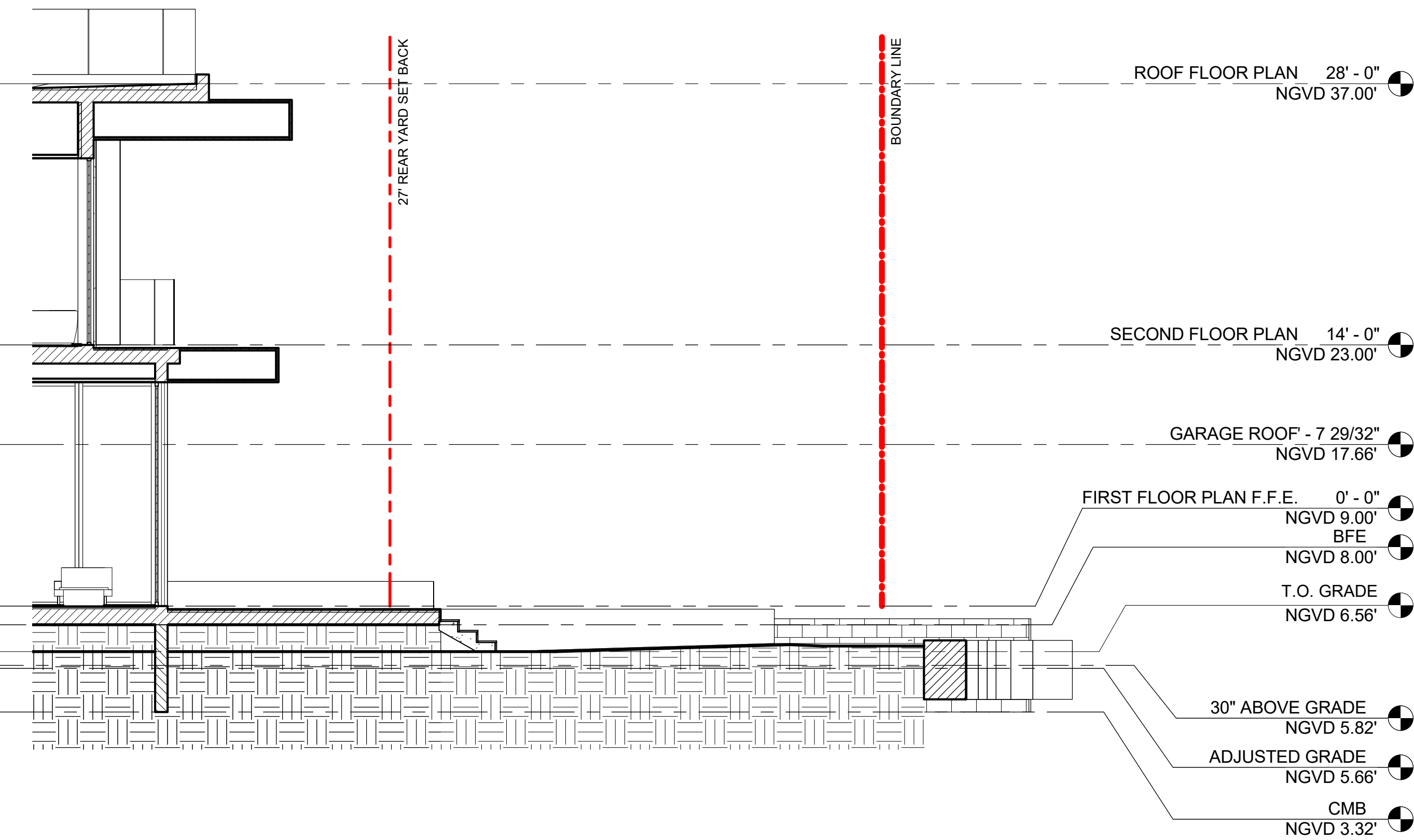
FIRST FLOOR PLAN - CALLOUT 3
SCALE: 1" = 7'-0"

1



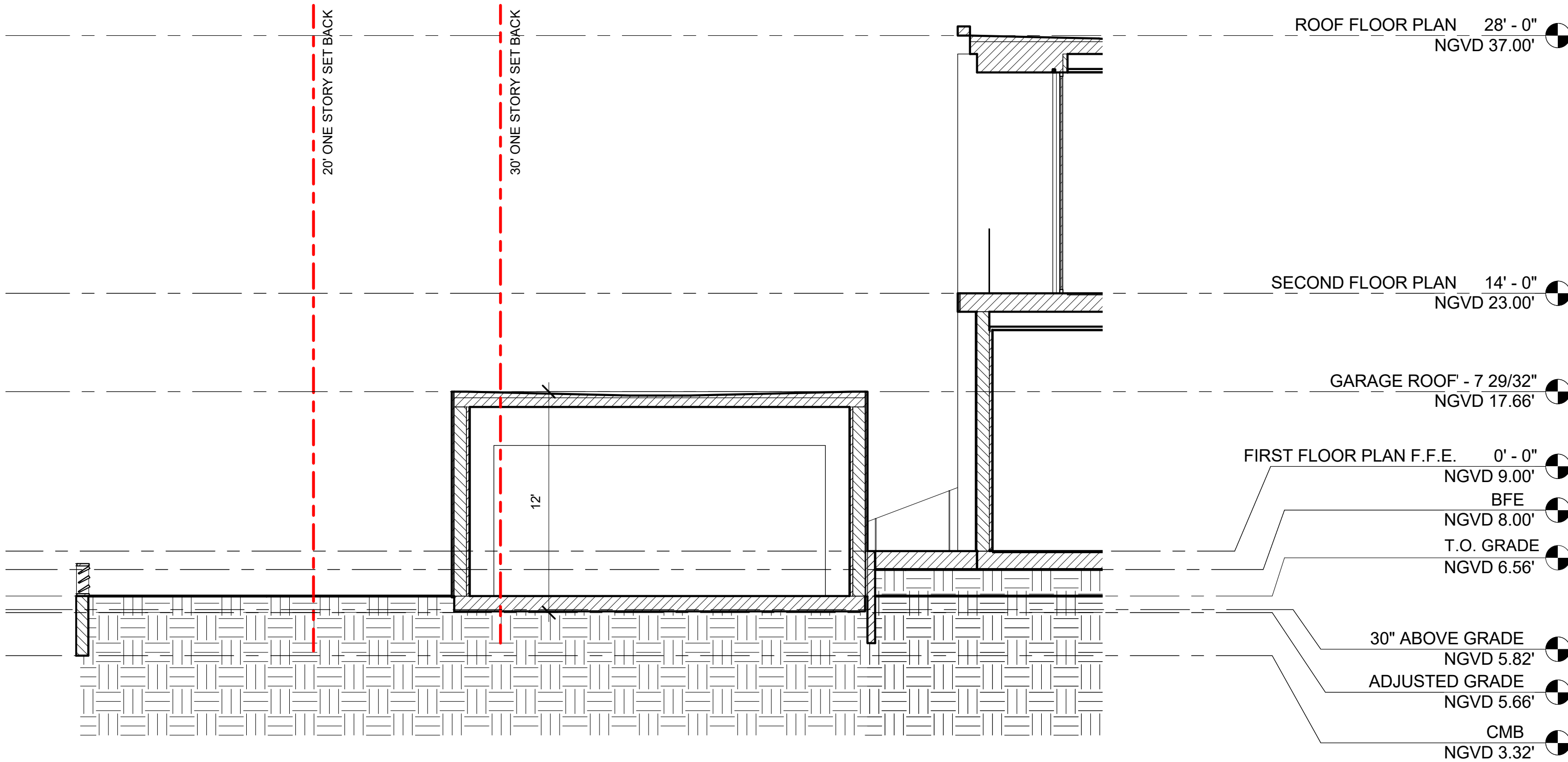
FIRST FLOOR PLAN - CALLOUT 4
SCALE: 1" = 7'-0"

3



BACK YARD 01
SCALE: 3/16" = 1'-0"

2



FRONT YARD 01
SCALE: 3/16" = 1'-0"

4

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DATE: 10/05/2018
SCALE: As indicated

Sheet Title:
**FRONT & REAR
YARD
DIAGRAMS**

Sheet No:

A-30

No.	Date	Description
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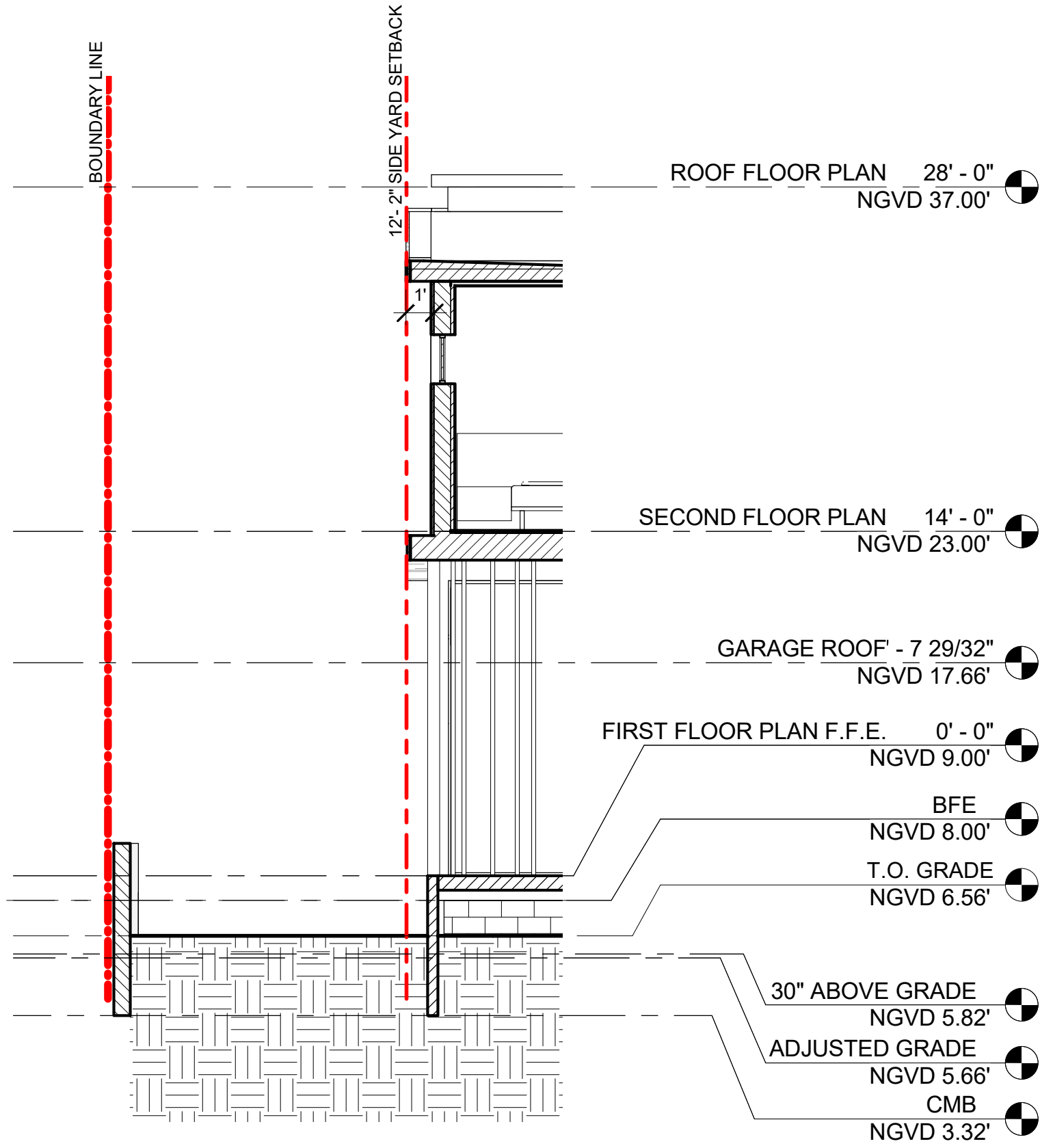
DATE: 10/05/2018
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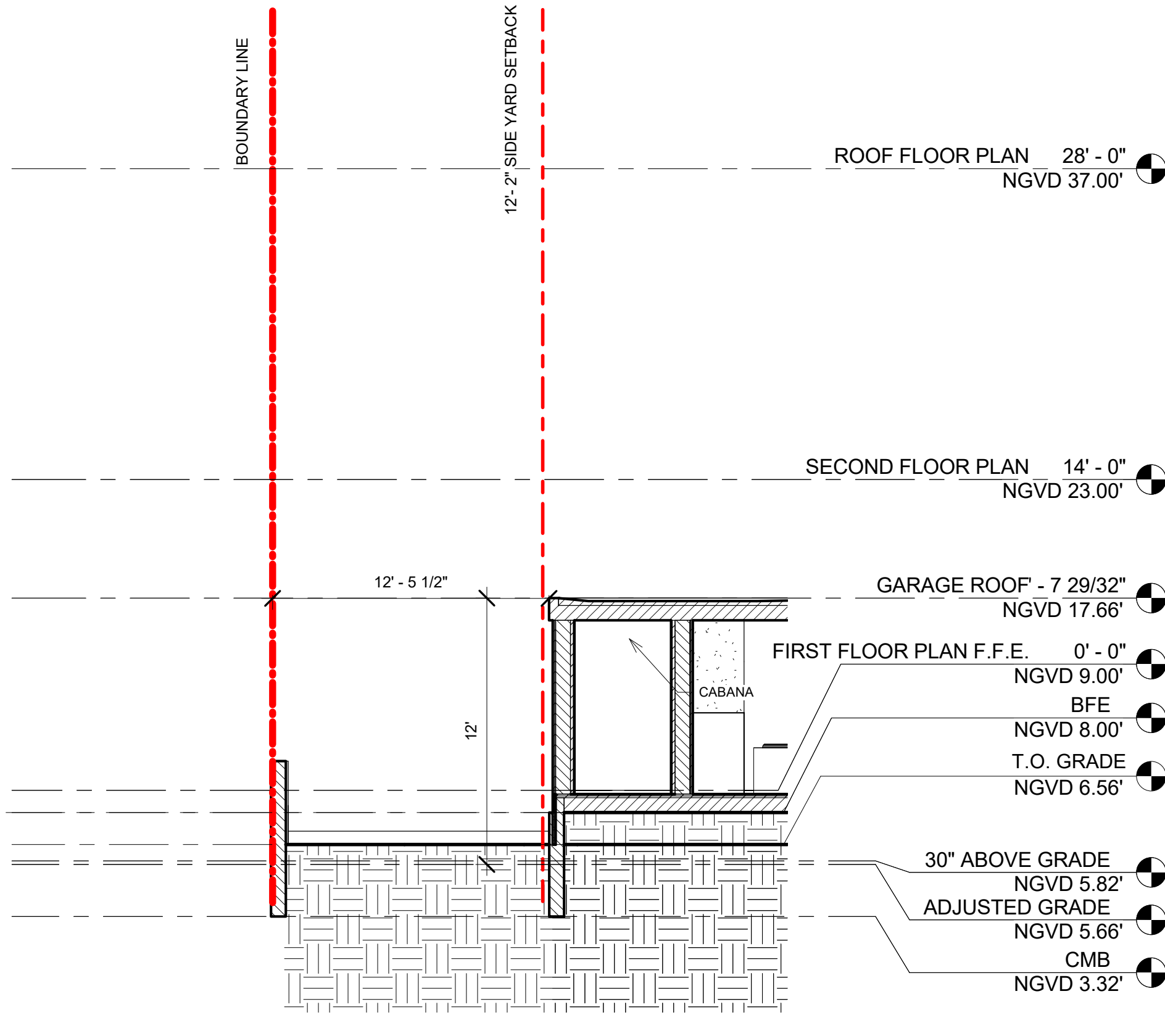
SIDE YARD
DIAGRAMS

Sheet No:

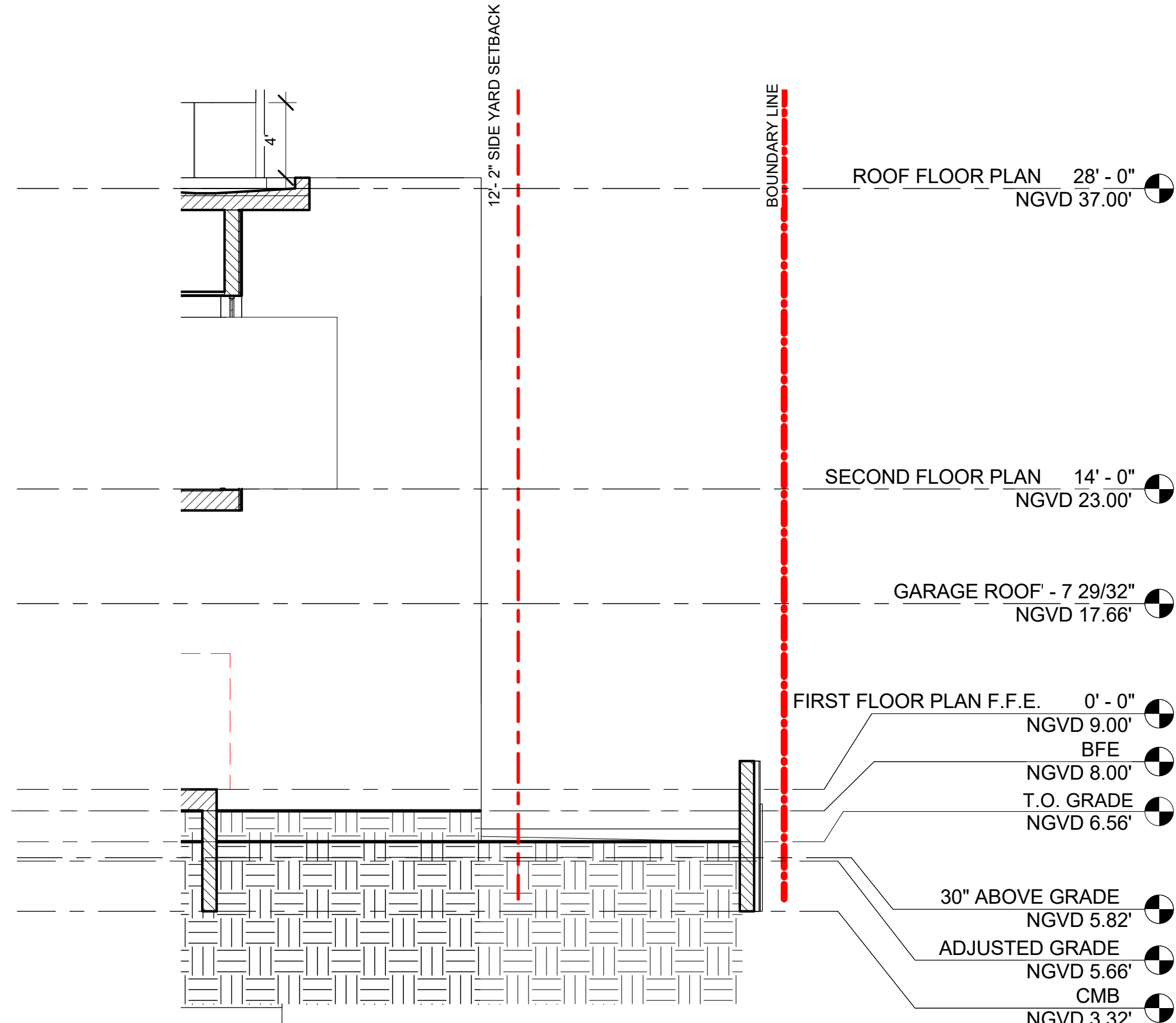
A-31



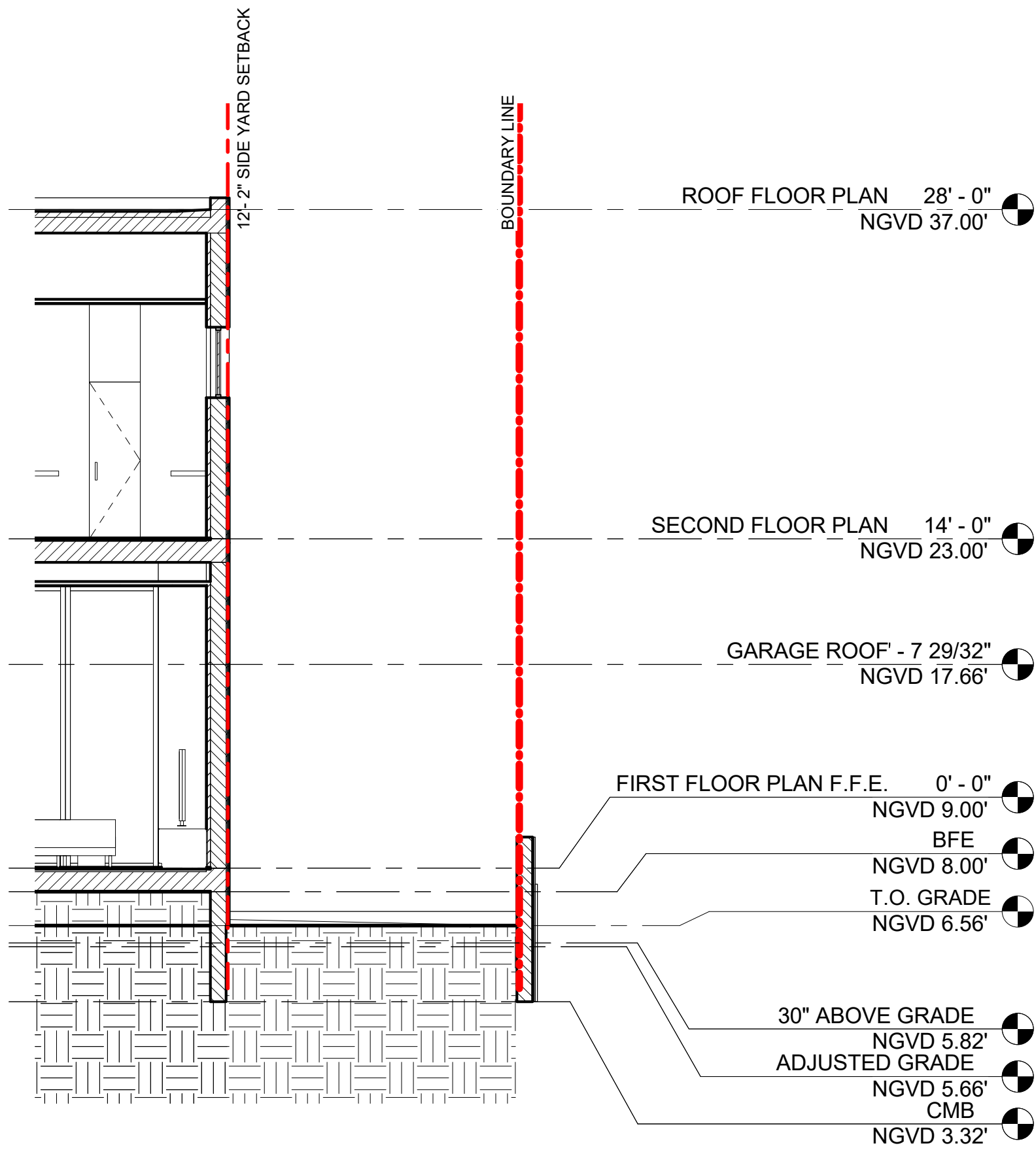
SIDE YARD 01
SCALE: 3/16" = 1'-0" 4



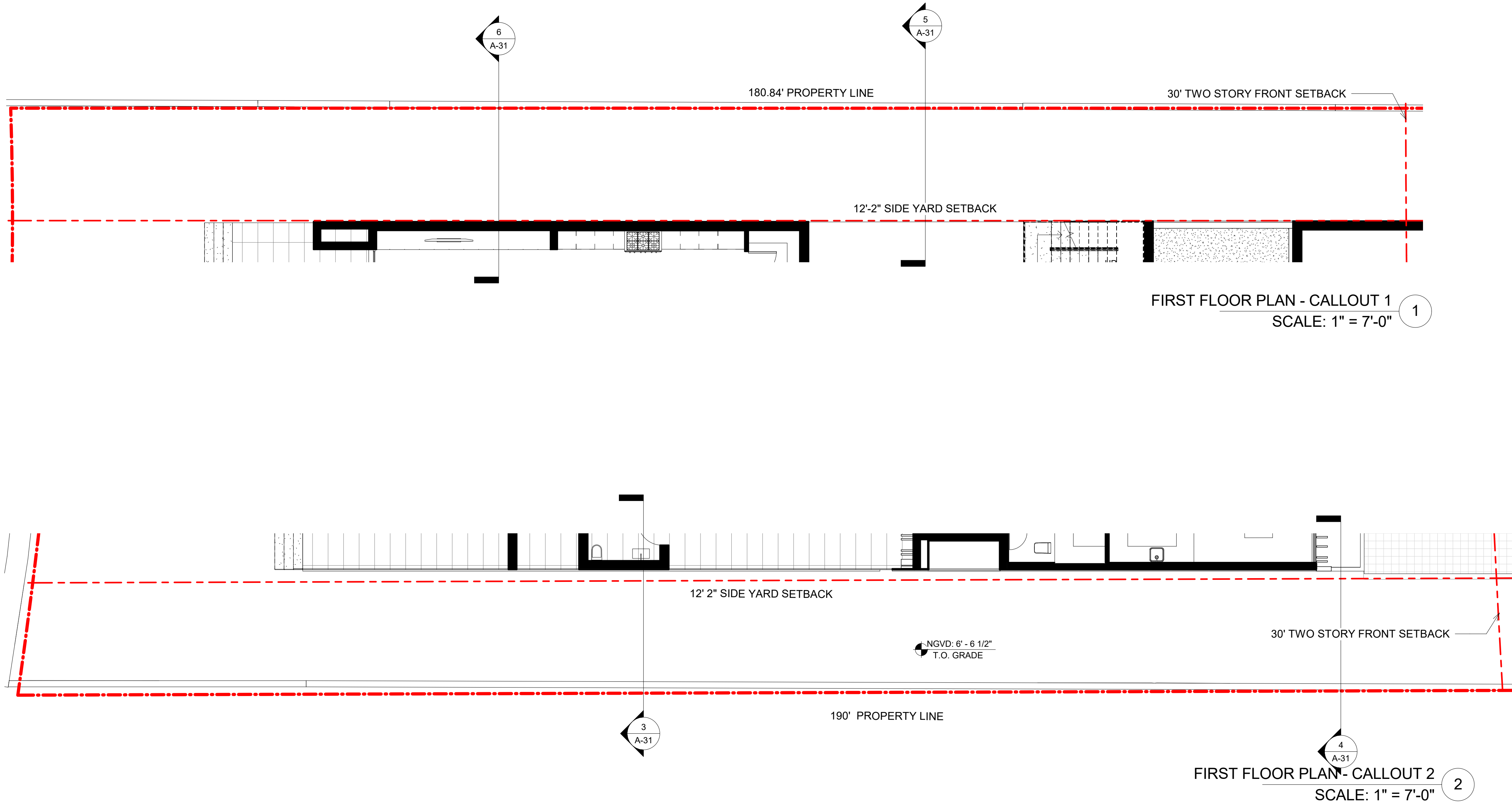
SIDE YARD 02
SCALE: 3/16" = 1'-0" 3



SIDE YARD 03
SCALE: 3/16" = 1'-0" 5

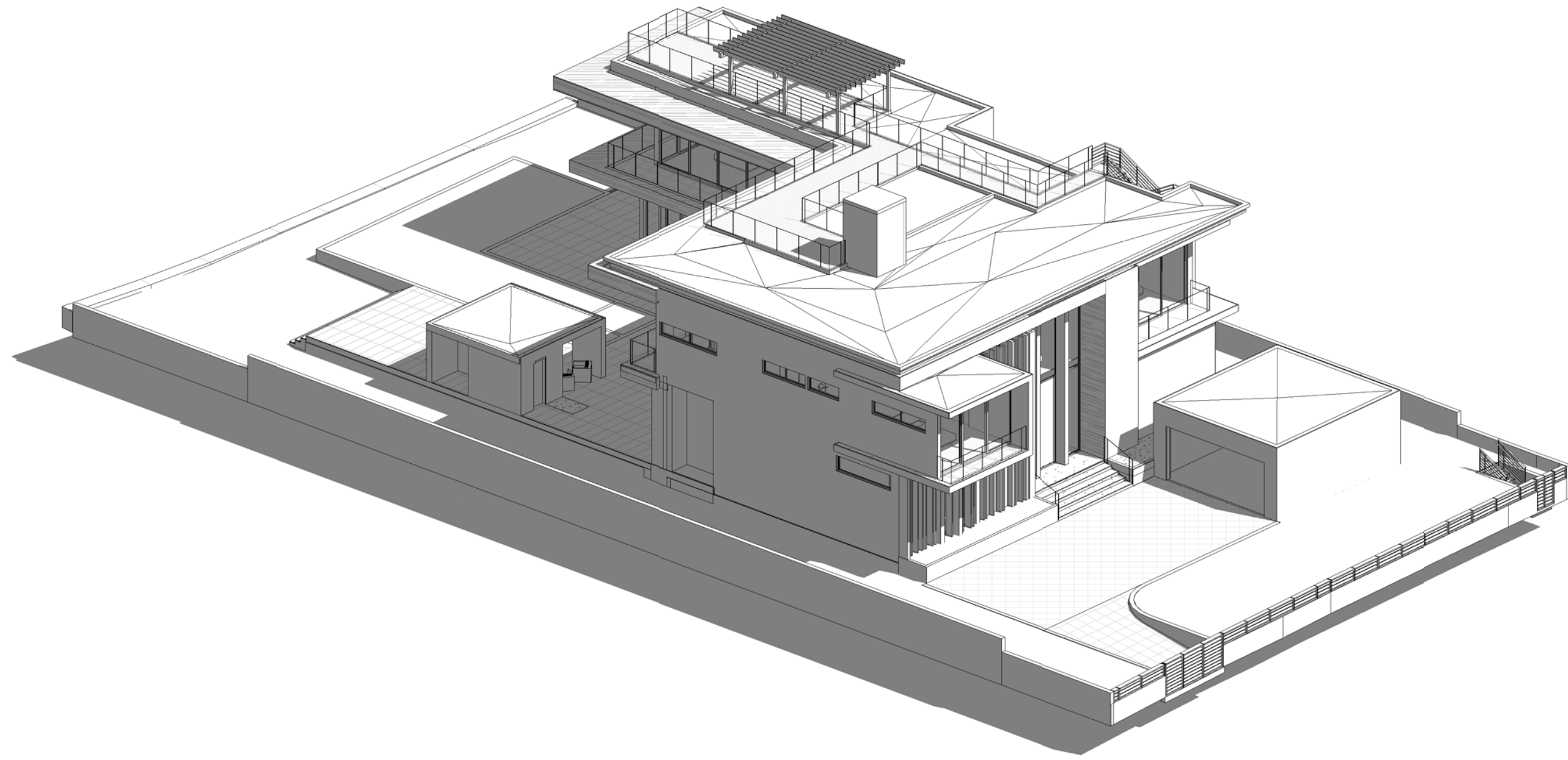


SIDE YARD 04
SCALE: 1" = 7'-0" 6

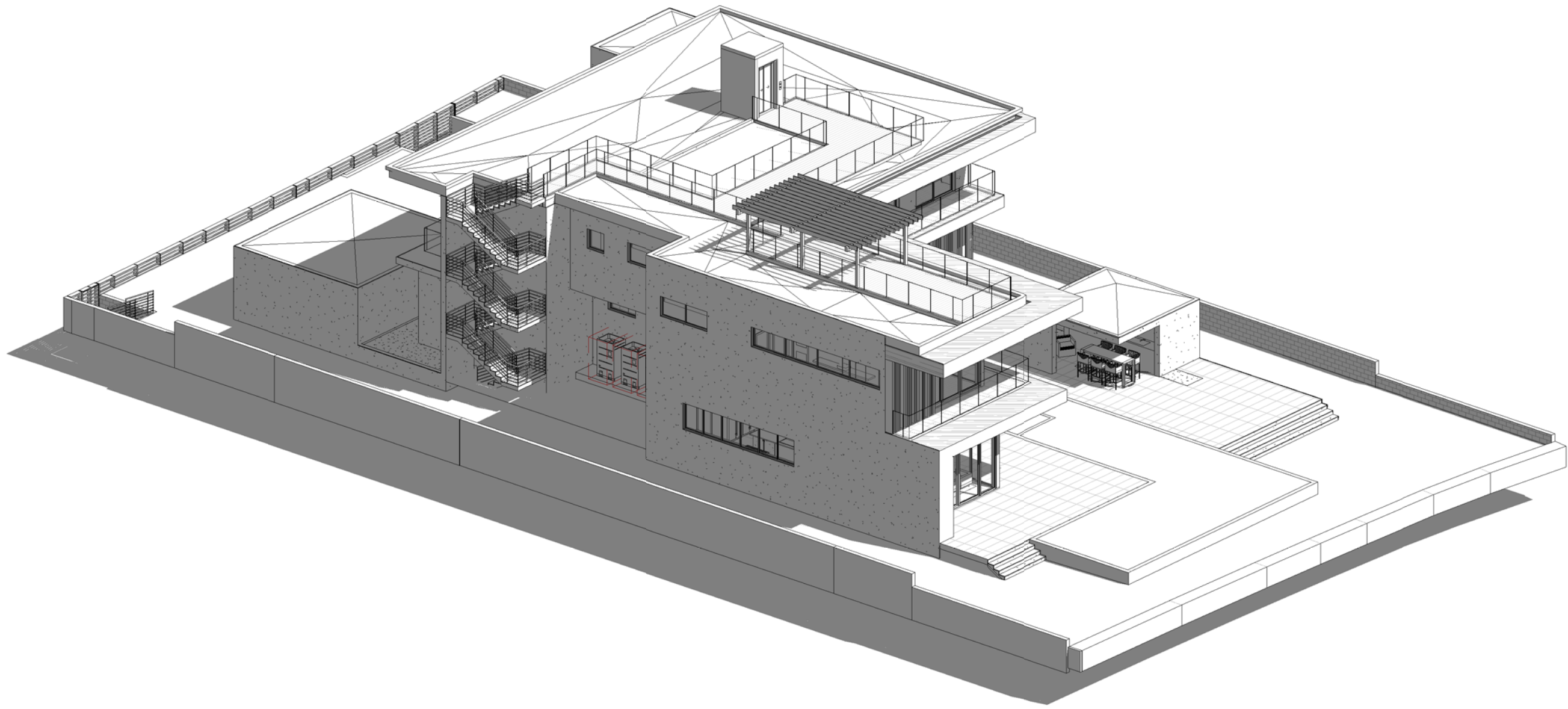


FIRST FLOOR PLAN - CALLOUT 1
SCALE: 1" = 7'-0" 1

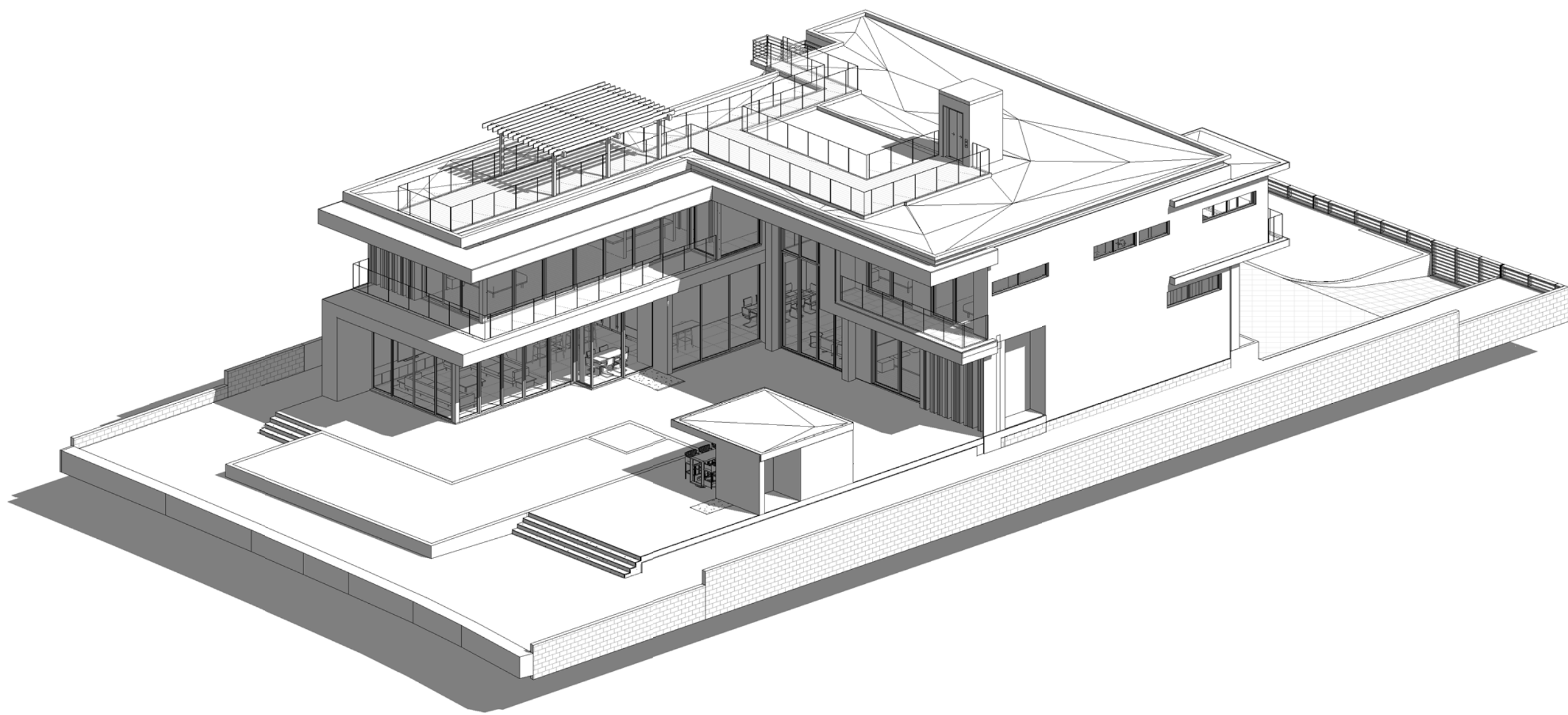
FIRST FLOOR PLAN - CALLOUT 2
SCALE: 1" = 7'-0" 2



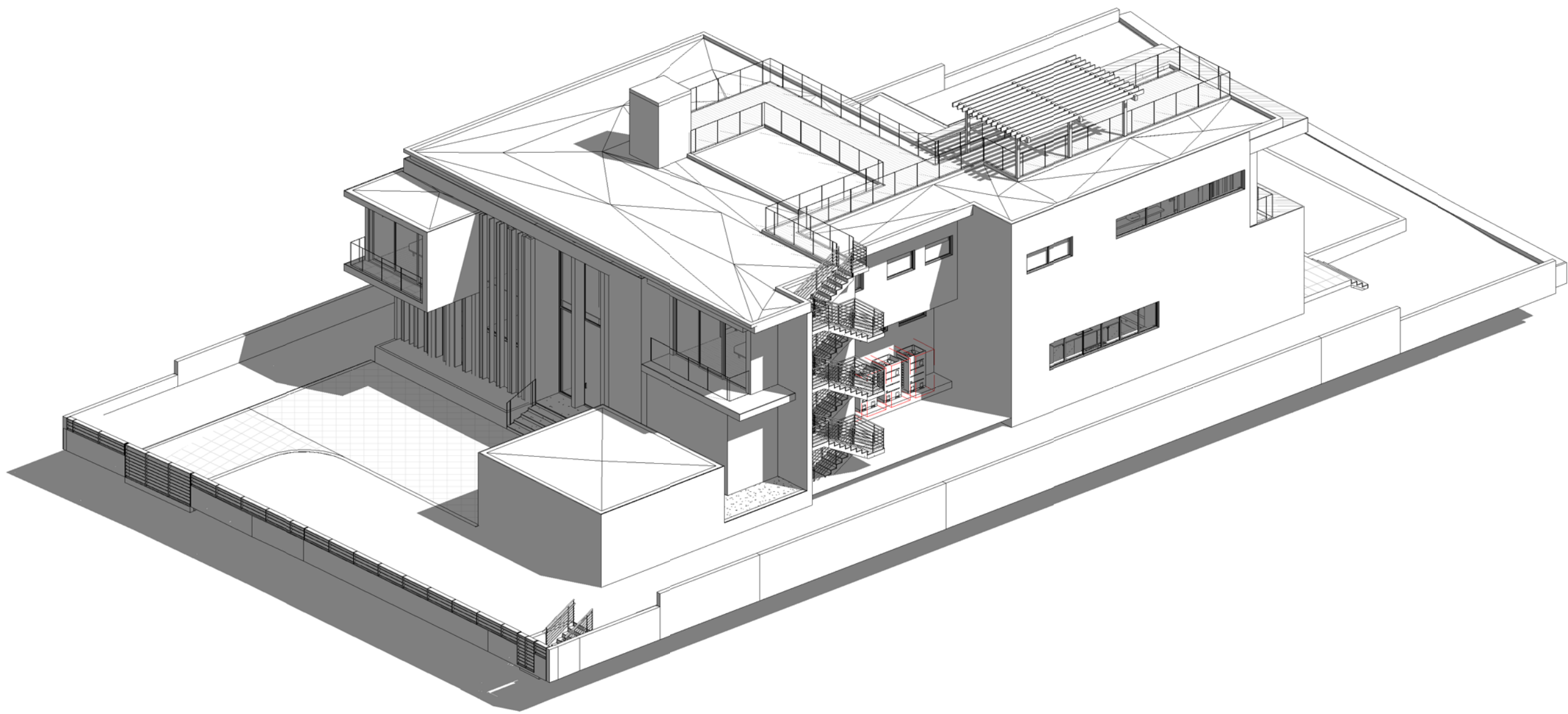
SOUTH EAST VIEW



NORTH WEST VIEW



SOUTH WEST VIEW



NORTH EAST VIEW

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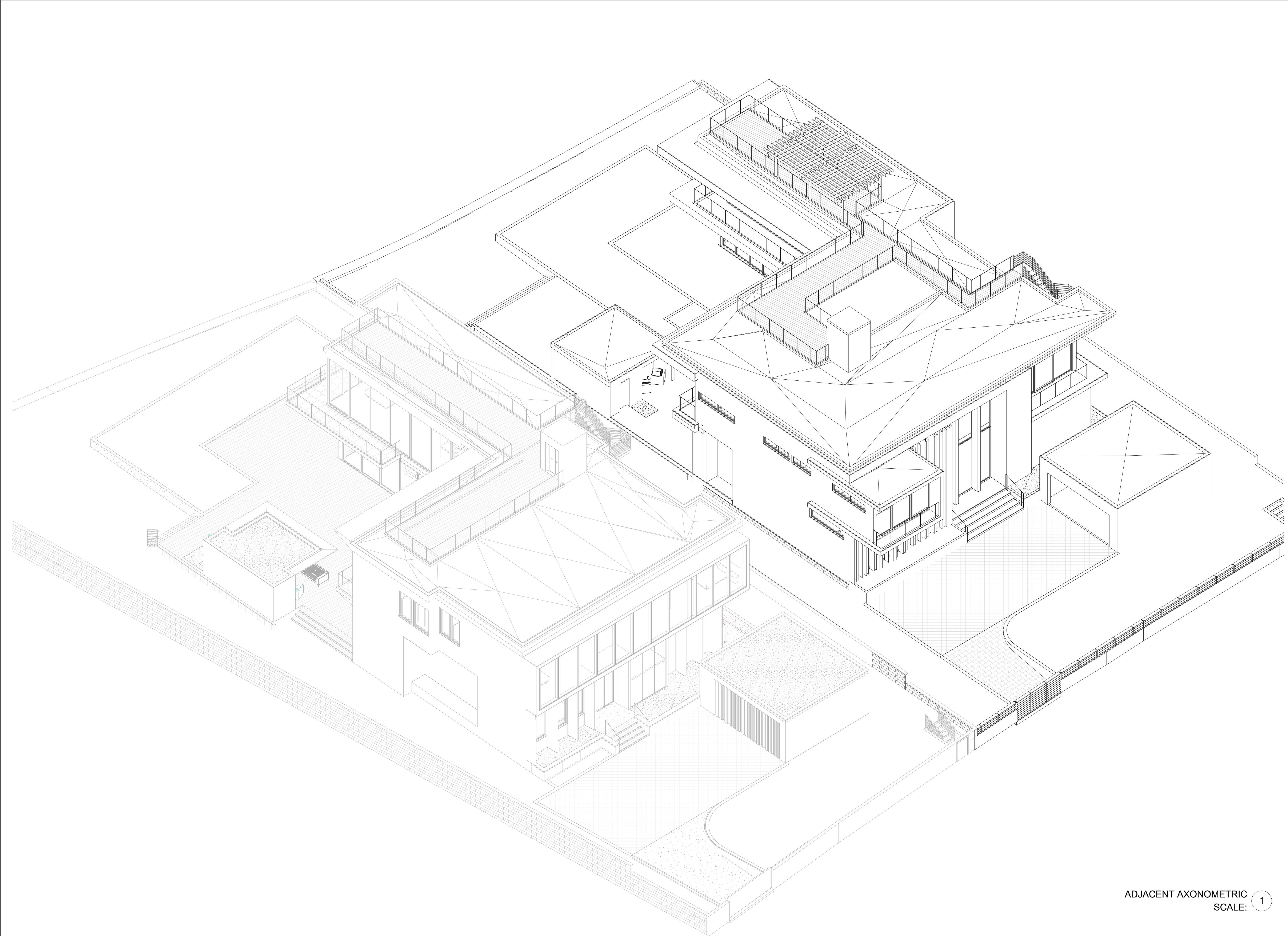
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Sheet Title: DIRECTIONAL AXONOMETRICS		
Sheet No: A-32		



FIRST FLOOR ENCLOSED AREA: 3,391.6 SQ FT
F.A.R. :18.7%

A-33



ADJACENT AXONOMETRIC
SCALE: 1

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DATE: 10/05/2018
SCALE:

Sheet Title:

ADJACENT
AXONOMETRIC

Sheet No:

A-34



ENTRY DRIVE PERSPECTIVE
N.T.S.

2



STREET PERSPECTIVE
N.T.S.

1

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Sheet Title:

FRONT
PERSPECTIVES

Sheet No:

A-35



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DATE: 0/05/2018 SCALE:

Sheet Title:

REAR PERSPECTIVES

Chest No.

A-36



ADJACENT FRONT VIEW
N.T.S. 1

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DATE: 10/05/2018	SCALE:	
Sheet Title: ADJACENT FRONT RENDER		
Sheet No: A-37		



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DATE: 10/05/2018	SCALE:

Sheet Title:

FRONT
CLOSE-UP
RENDER

Sheet No:

A-38



ADJACENT REAR VIEW
N.T.S.

2

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No.	Date	Description
Revision Schedule		

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