



2900 SW 28TH TERRACE, SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 | FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.MAXSTRANGARCHITECTURE.COM

PROJECT NAME & LOCATION: 5840 N Bay Road Miami Beach, FL 33140-2043

PROJECT CLIENT(S) / OWNER(S): NEPTUNE CAPITOL

ARCHITECT: MAX WILSON STRANG, RA / AIA LICENSE # AR0017183 2900 SW 28TH TERRACE, SUITE 301 MIAMI, FL 33133 STRUCTURAL ENGINEERING:

MEP ENGINEERING:

LANDSCAPE ARCHITECT: CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC. 780 NE 69TH STREET, SUITE 1106 MIAMI FL, 33138 PH: 786-534-5327

PROFESSIONAL SEAL(S):

No. Date Description

Revision Schedule

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PROJECT ID: 58th 40 N&S DATE:

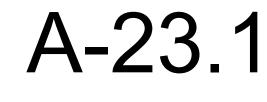
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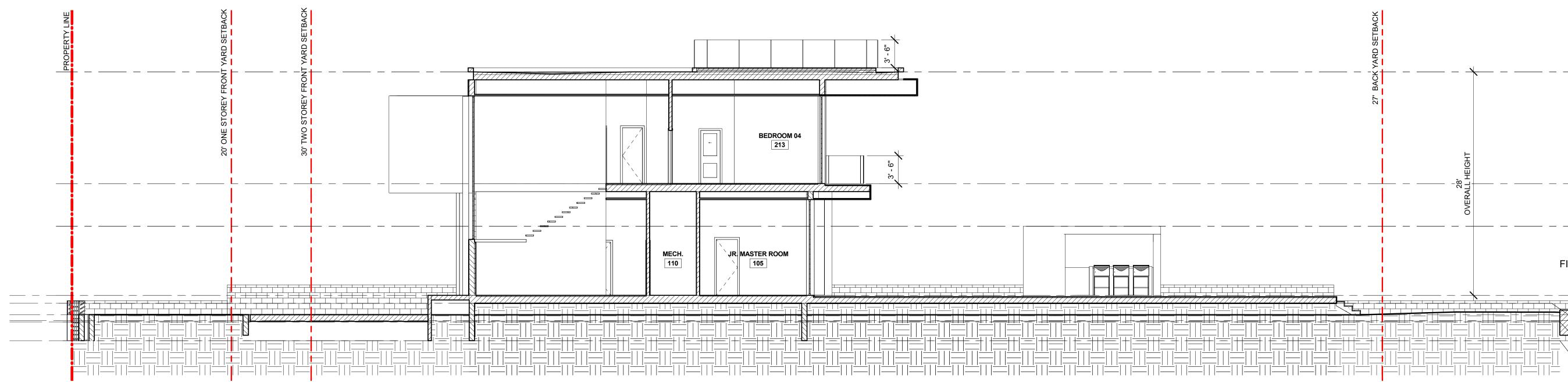
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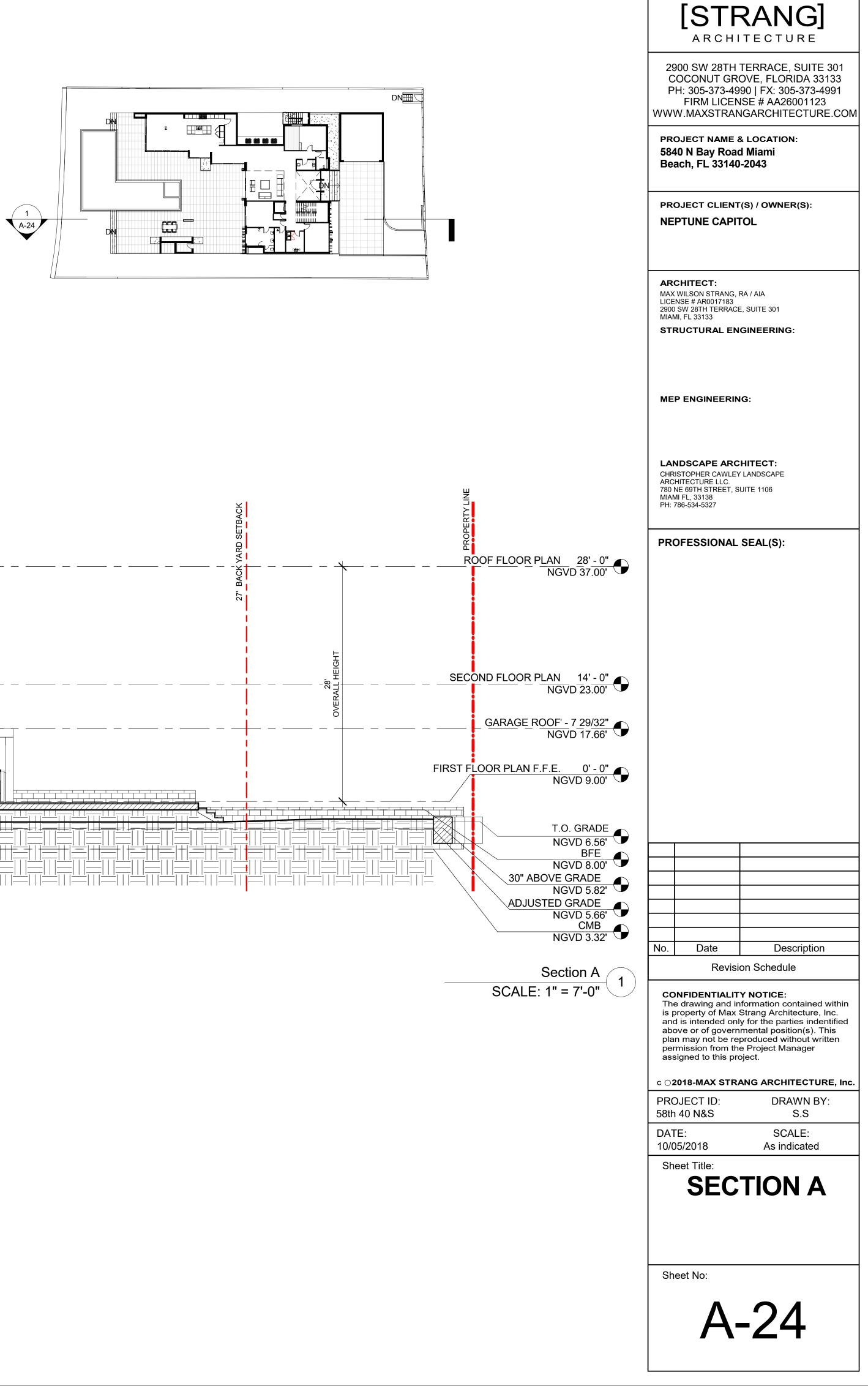
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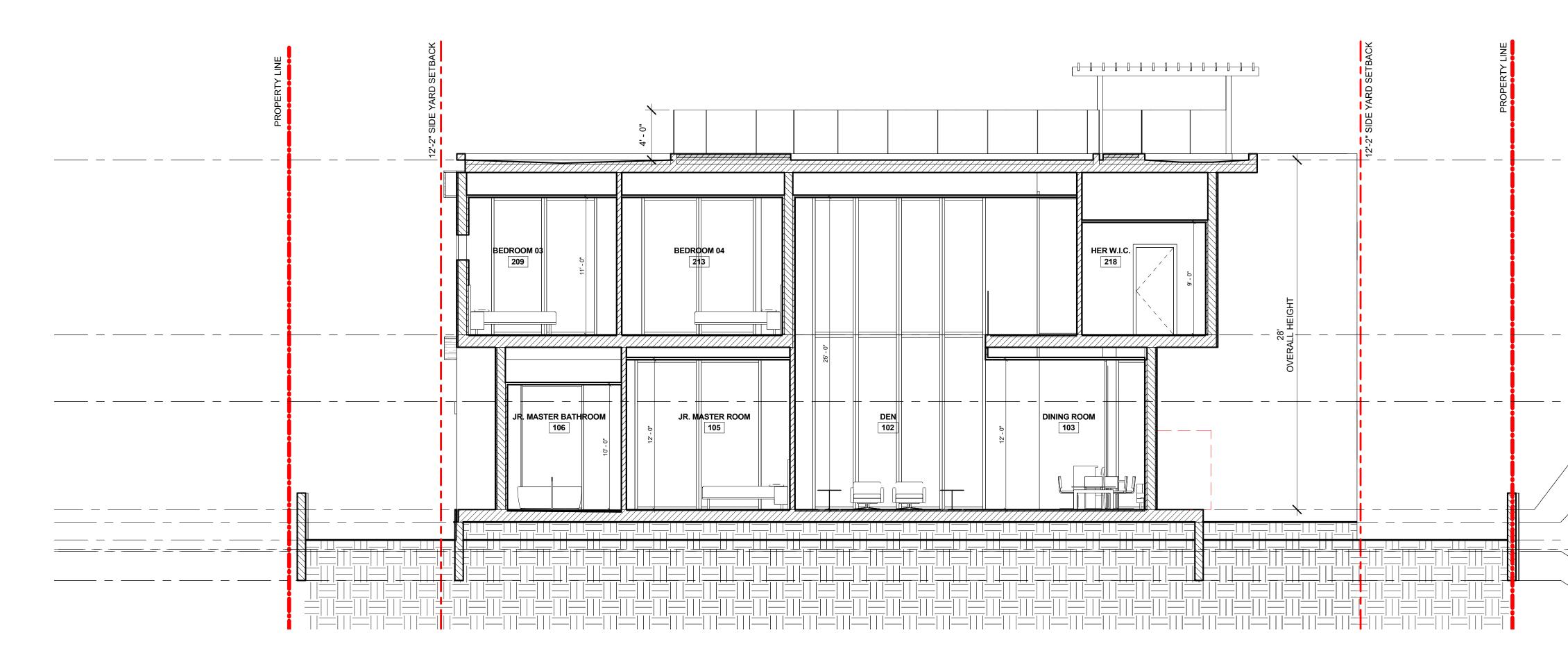
ABUTTING PROPERTIES ELEVATION

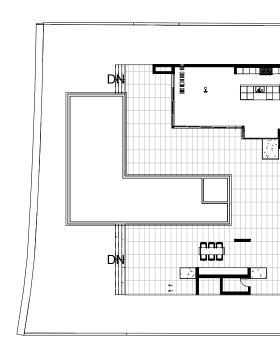
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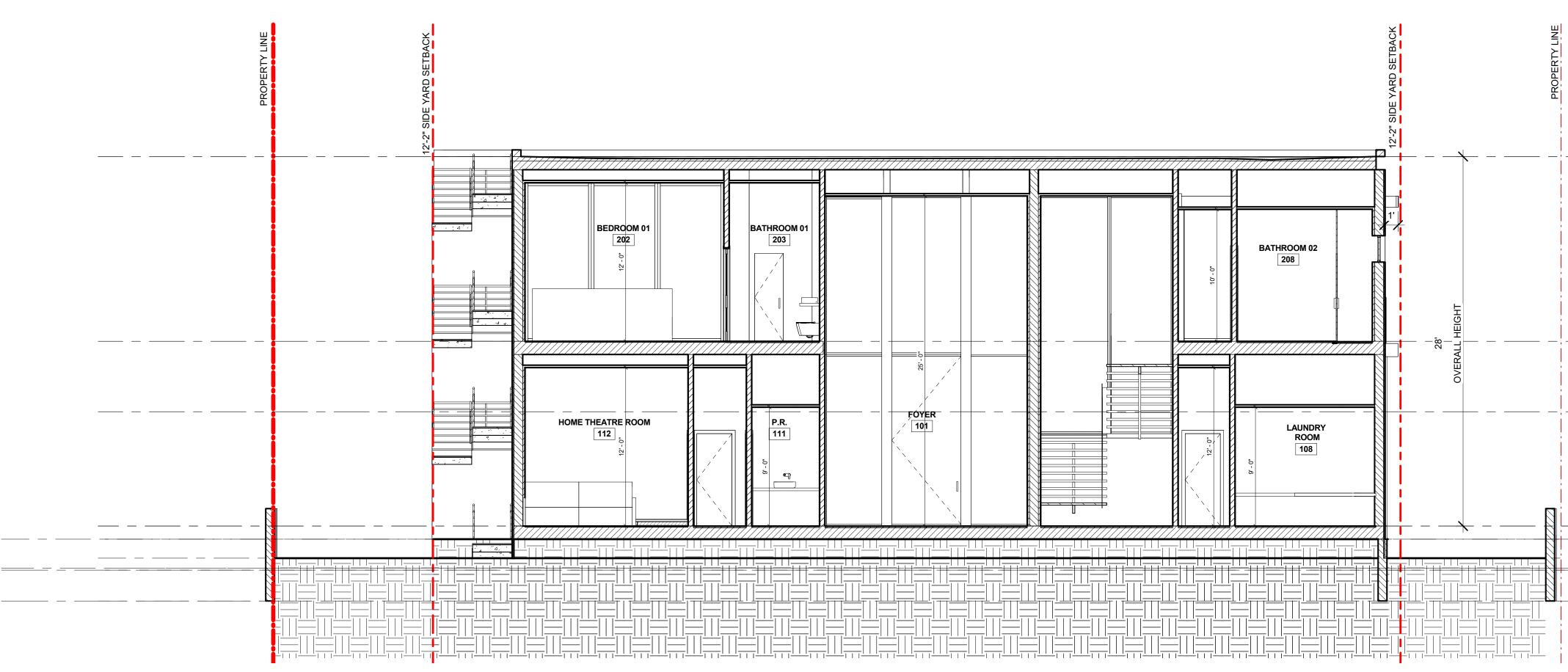


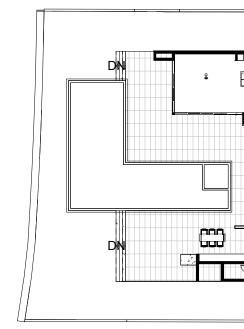






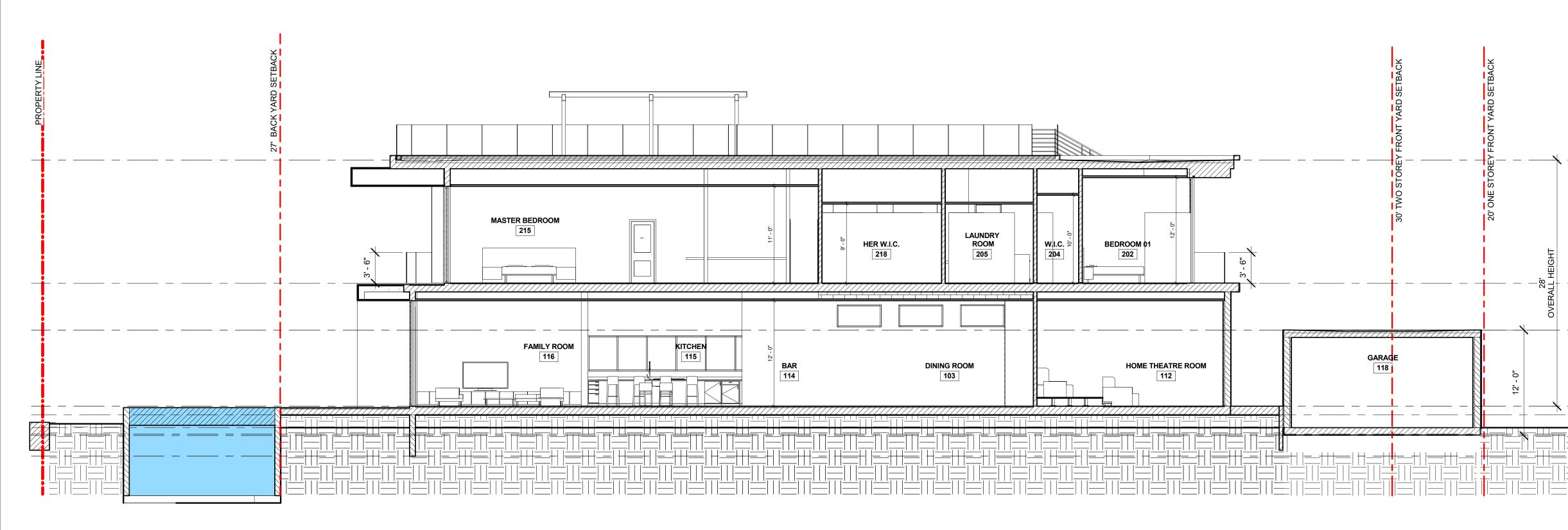
1 A-25	[STRANG] ARCHITECTURE
	2900 SW 28TH TERRACE, SUITE 301 COCONUT GROVE, FLORIDA 33133 PH: 305-373-4990 FX: 305-373-4991 FIRM LICENSE # AA26001123 WWW.MAXSTRANGARCHITECTURE.COM
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	LANDSCAPE ARCHITECT: CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC. 780 NE 69TH STREET, SUITE 1106 MIAMI FL, 33138 PH: 786-534-5327
ROOF FLOOR PLAN28' - 0" NGVD 37.00'	PROFESSIONAL SEAL(S):
<u>SECOND FLOOR PLAN</u> 14' - 0" NGVD 23.00'	
<u>GARAGE ROOF' - 7</u> 29/32" NGVD 17.66'	
FIRST FLOOR PLAN F.F.E. 0' - 0" NGVD 9.00' BFE	
NGVD 8.00'	
T.O. GRADE NGVD 6.56' 30" ABOVE GRADE	
NGVD 5.82' ADJUSTED GRADE NGVD 5.66'	No. Date Description
CMB NGVD 3.32'	Revision Schedule
Scale: 3/16" = 1'-0" 1	CONFIDENTIALITY NOTICE: The drawing and information contained within is property of Max Strang Architecture, Inc. and is intended only for the parties indentified above or of governmental position(s). This plan may not be reproduced without written permission from the Project Manager assigned to this project.
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	10/05/2018 As indicated Sheet Title: SECTION B
	Sheet No: A-25

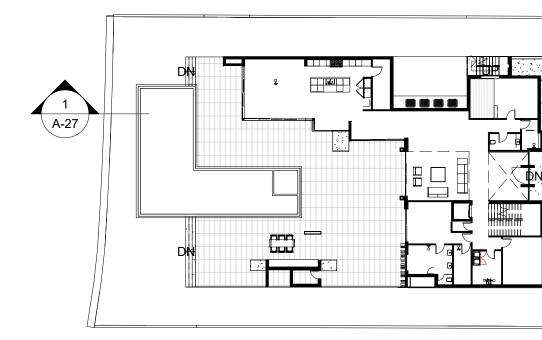




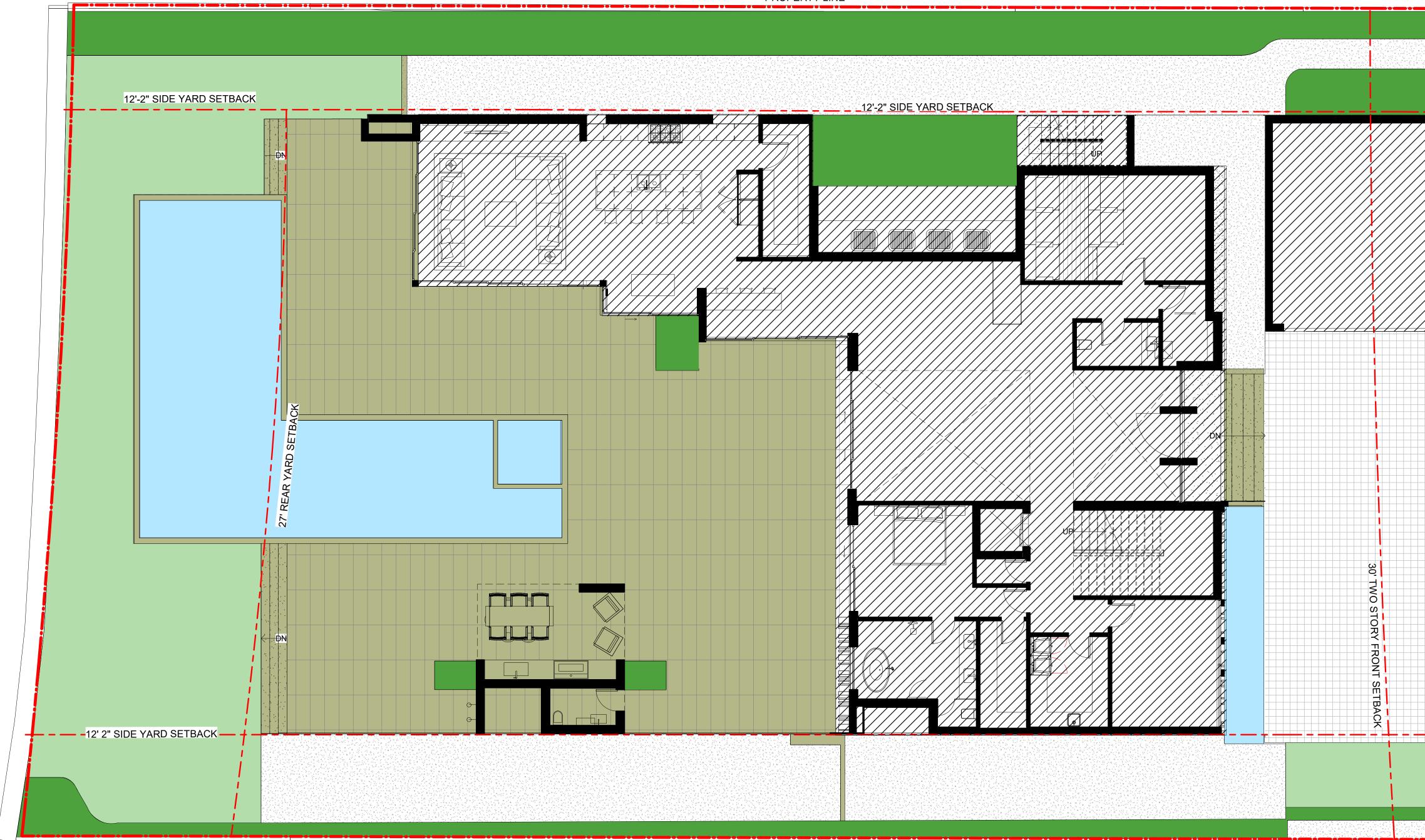
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1 A-26 DN	C P	OCONUT GR H: 305-373-49 FIRM LICEN	TERRACE, SUITE 301 OVE, FLORIDA 33133 90 FX: 305-373-4991 ISE # AA26001123 IGARCHITECTURE.COM
	584	OJECT NAME a 40 N Bay Road ach, FL 33140	d Miami
		OJECT CLIENT	(S) / OWNER(S): ΓOL
	MAX LICE 2900 MIAN	CHITECT: (WILSON STRANG, INSE # AR0017183) SW 28TH TERRACI MI, FL 33133 RUCTURAL EN	E, SUITE 301
	ME	P ENGINEERIN	IG:
	CHR ARC 780 MIAN	NDSCAPE ARC NSTOPHER CAWLEY HITECTURE LLC. NE 69TH STREET, S MI FL, 33138 786-534-5327	/ LANDSCAPE
	PR	OFESSIONAL	SEAL(S):
<u>SECOND FLOOR PLAN</u> 14' - 0" NGVD 23.00'			
GARAGE ROOF' - 7 29/32" NGVD 17.66'			
FIRST FLOOR PLAN F.F.E. 0' - 0"			
NGVD 9.00' BFE NGVD 8.00'			
NGVD 8.00'			
	No.	Date	Description
			on Schedule
30" ABOVE GRADE NGVD 5.82' ADJUSTED GRADE NGVD 5.66' CMB NGVD 3.32'	The is p and abo pla per	property of Max d is intended on ove or of govern in may not be re	formation contained within Strang Architecture, Inc. y for the parties indentified mental position(s). This produced without written e Project Manager
	PRO	2018-MAX STR DJECT ID: 1 40 N&S	ANG ARCHITECTURE, Inc. DRAWN BY: S.S
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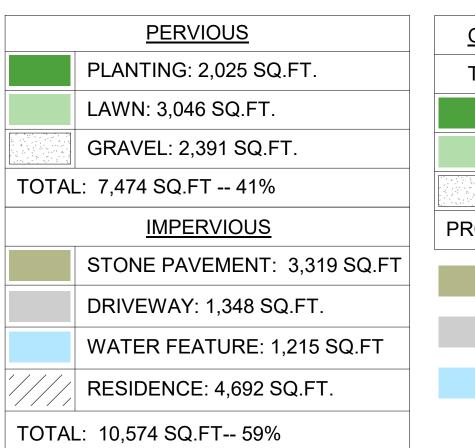


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	LANDSCAPE ARCHITECT: CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC. 780 NE 69TH STREET, SUITE 1106 MIAMI FL, 33138 PH: 786-534-5327
PROPERTY LINE	PROFESSIONAL SEAL(S):
<u>ROOF FLOOR PLAN</u> 28' - 0" NGVD 37.00' ●	
FIRST FLOOR PLAN F.F.E. 0' - 0" NGVD 9.00' BFE NGVD 8.00'	
T.O. GRADE NGVD 6.56' 30" ABOVE GRADE NGVD 5.82'	
Image: Move 5.82' ADJUSTED GRADE NGVD 5.66' CMB NGVD 3.32'	No. Date Description Revision Schedule
Section D SCALE: 1" = 7'-0" 1	CONFIDENTIALITY NOTICE: The drawing and information contained within is property of Max Strang Architecture, Inc. and is intended only for the parties indentified above or of governmental position(s). This plan may not be reproduced without written permission from the Project Manager assigned to this project.
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	DATE: SCALE: 10/05/2018 As indicated Sheet Title: SECTION D
	Sheet No:
	A-27









 	2'-2"	SIDE	<u>YAR</u> D	SETE	BACK	-4
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20' ONE STORY FRONT SETBACK						
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OPEN SPACE DIAGRAM LEGEND

TOTAL LOT AREA: 18,072 SQ.FT.

PLANTING: 2,025 SQ.FT. LAWN: 3,046 SQ.FT

GRAVEL: 2,391 SQ.FT

PROPOSED OPEN SPACE: 7,474 SQ.FT.

STONE PAVEMENT: 3,319 SQ.FT

DRIVEWAY: 1,348 SQ.FT.

WATER FEATURE: 1,215 SQ.FT.

OPEN SPACE DIAGRAM SCALE: 1" = 7'-0" 1



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MEP ENGINEERING:

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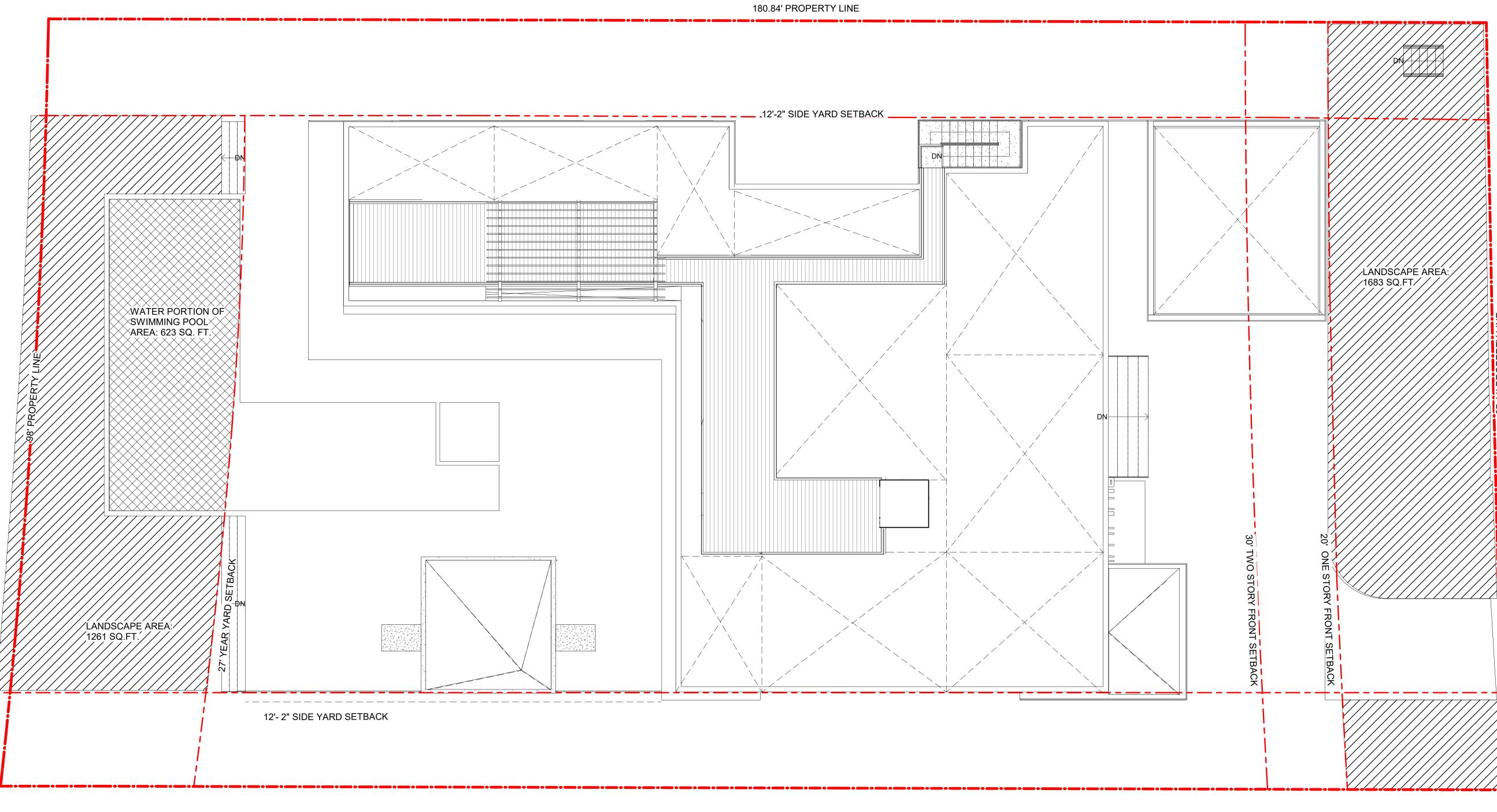
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Revision Schedule			
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Sheet Title:



A-28

Sheet No:



190' PROPERTY LINE

FRONT YARD CALCULATIONS:

OPEN SPACE MIN. REQUIRED (50% LANDSCAPE): 967 SQ FT OPEN SPACE PROPOSED: 1683 SQ FT (87%)

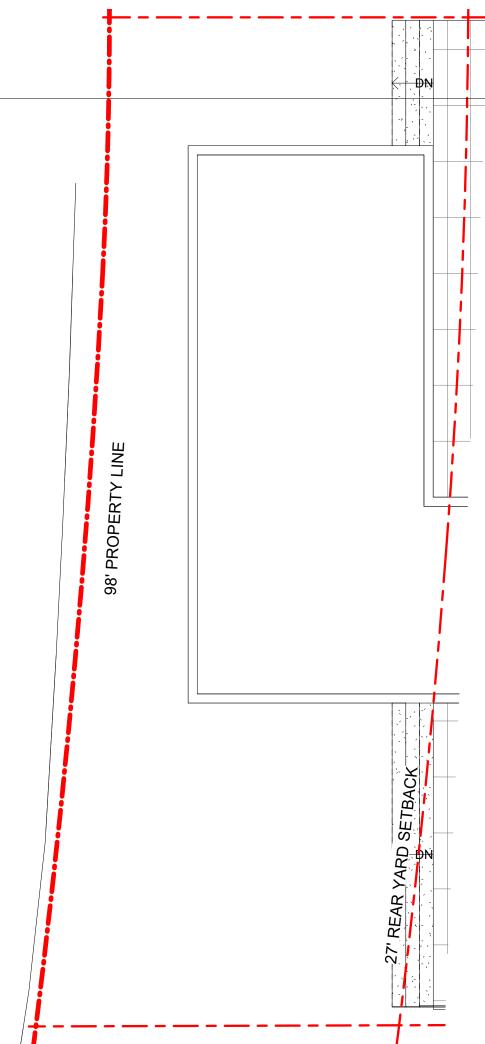
REAR YARD CALCULATIONS:

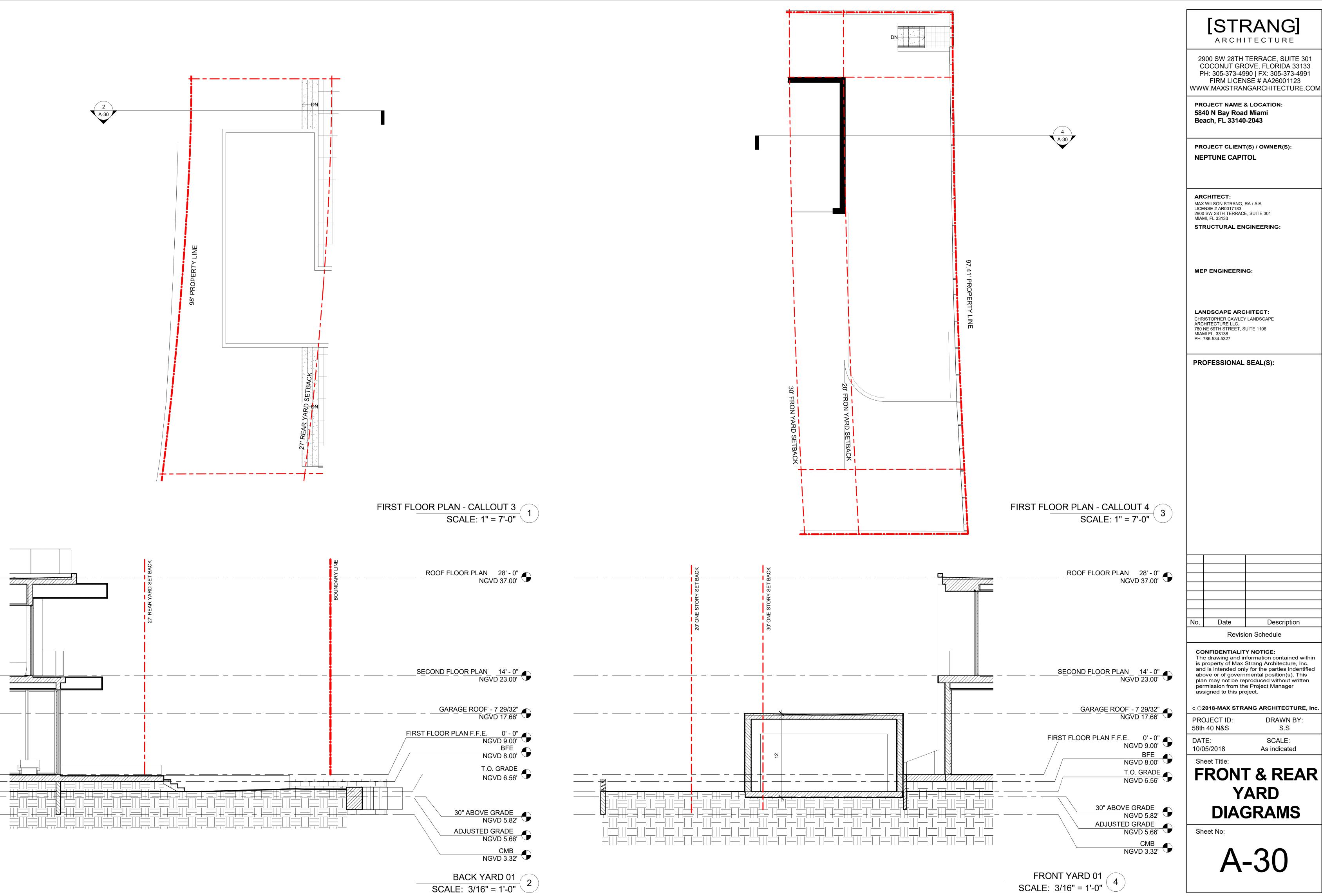
OPEN SPACE MIN. REQUIRED: - 70% LANDSCAPE: 1371 SQ.FT

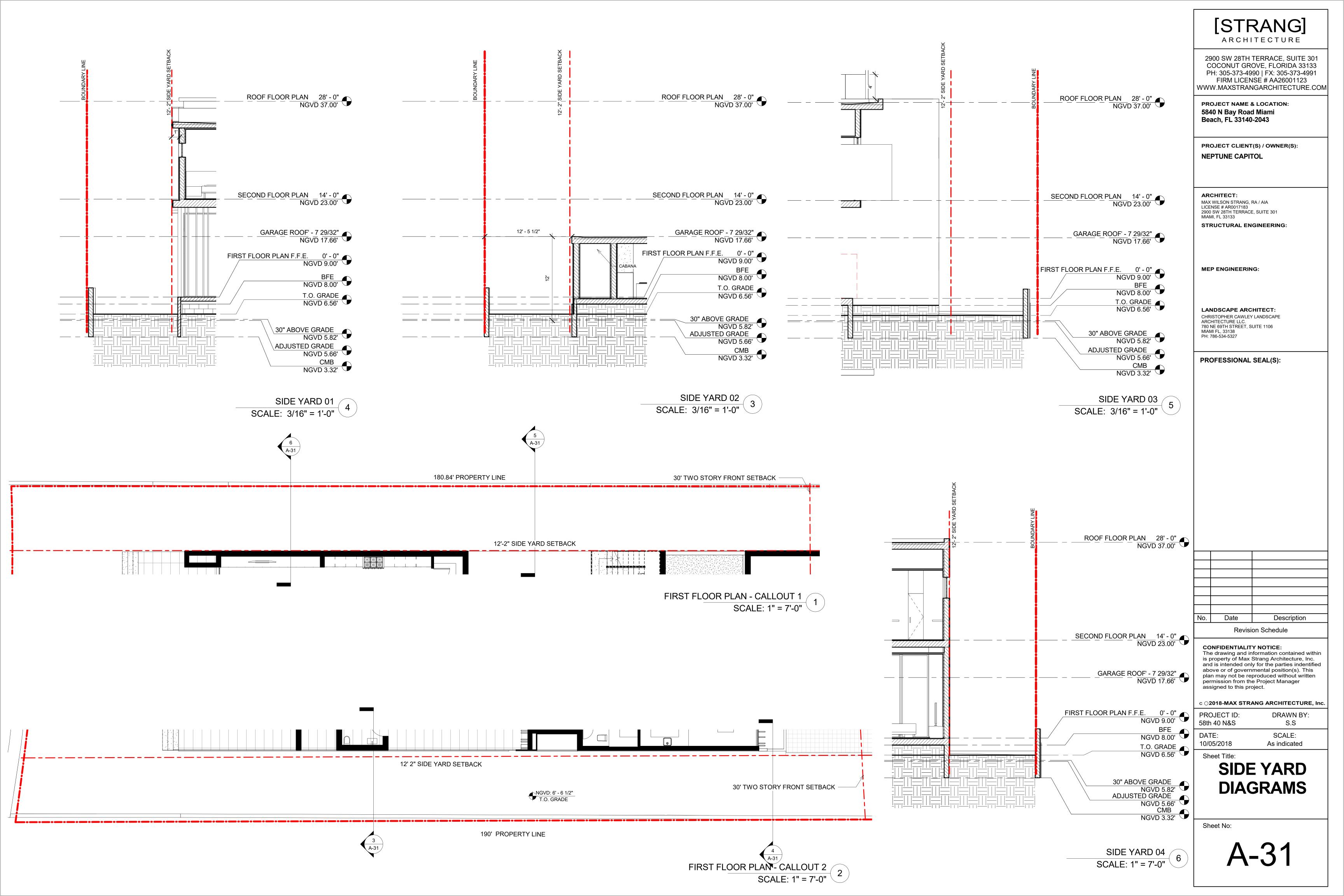
OPEN SPACE PROPOSED: -LANDSCAPE AREA: +50% OF WATER PORTION OF THE SWIMMING POOL: 1261 SQ.FT. + 312 SQ.FT: 1573 SQ.FT.(80%)

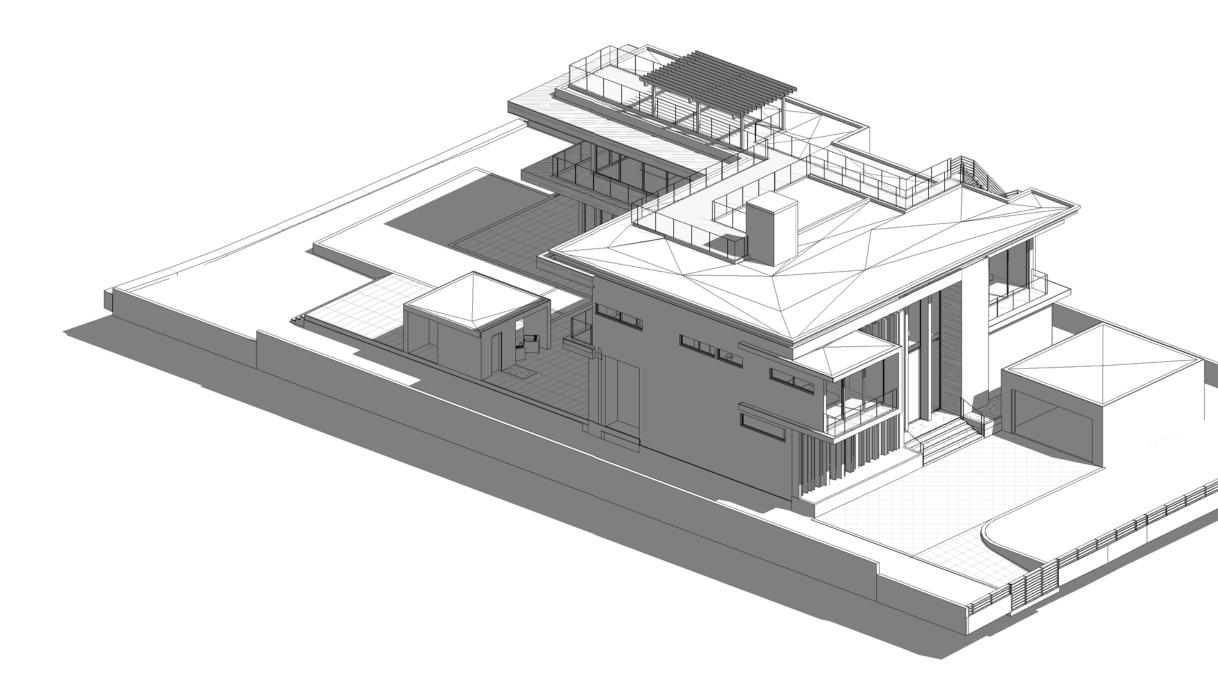


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584	ојест NAME Ю N Bay Roa ach, FL 33140	d Miami
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MAX LICE 2900 MIAN	CHITECT: WILSON STRANG, NSE # AR0017183 SW 28TH TERRAC AII, FL 33133 RUCTURAL EN	E, SUITE 301
ME	P ENGINEERII	NG:
CHR ARC 780 MIAN	NDSCAPE ARC ISTOPHER CAWLE HITECTURE LLC. NE 69TH STREET, S AI FL, 33138 786-534-5327	Y LANDSCAPE
PR	OFESSIONAL	. SEAL(S):
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	Revis	ion Schedule
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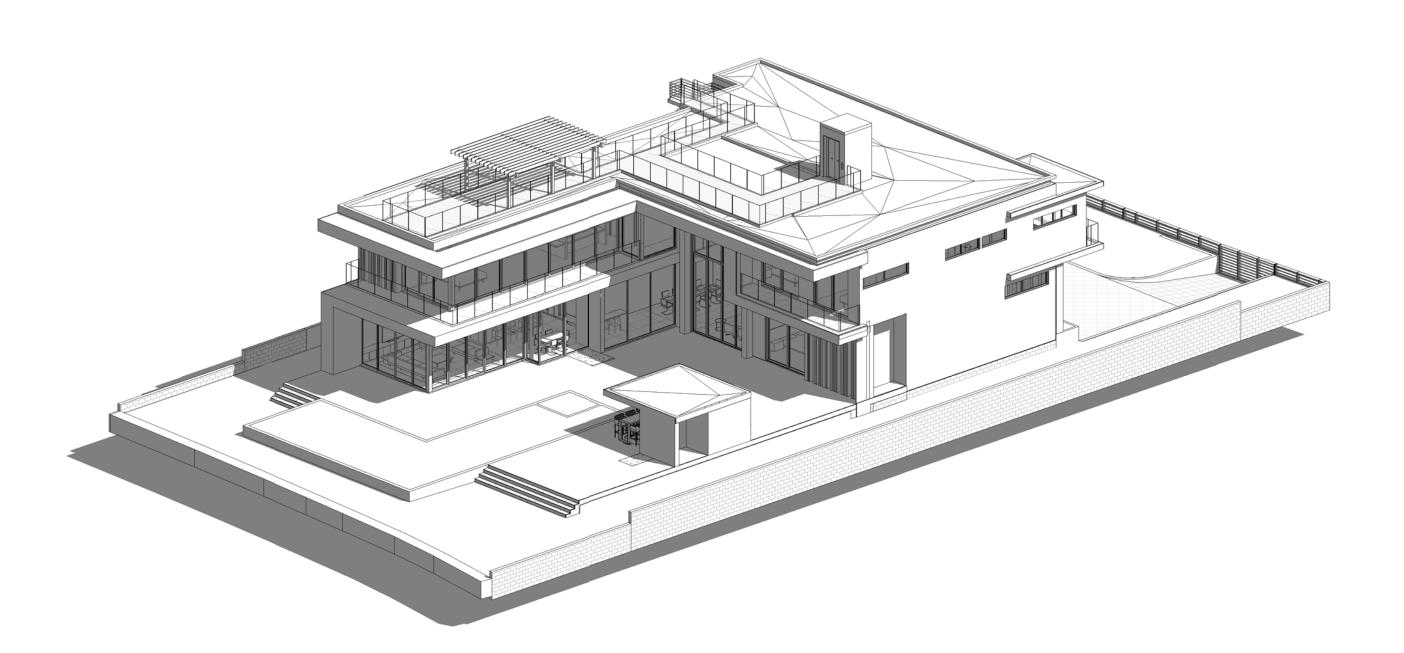




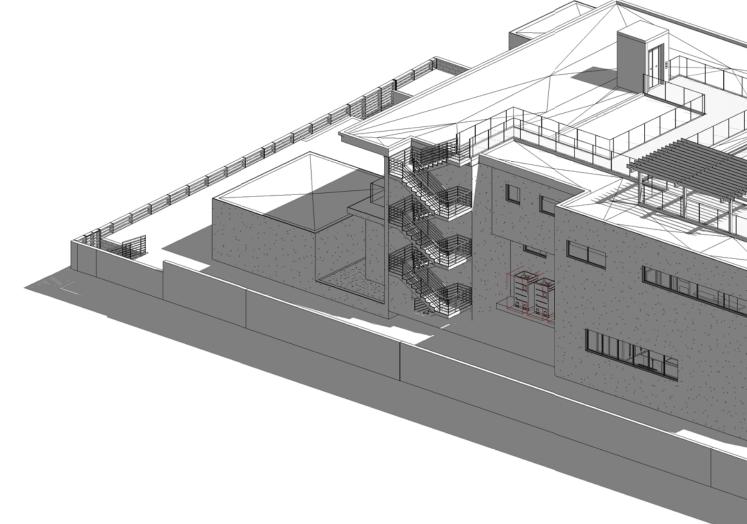




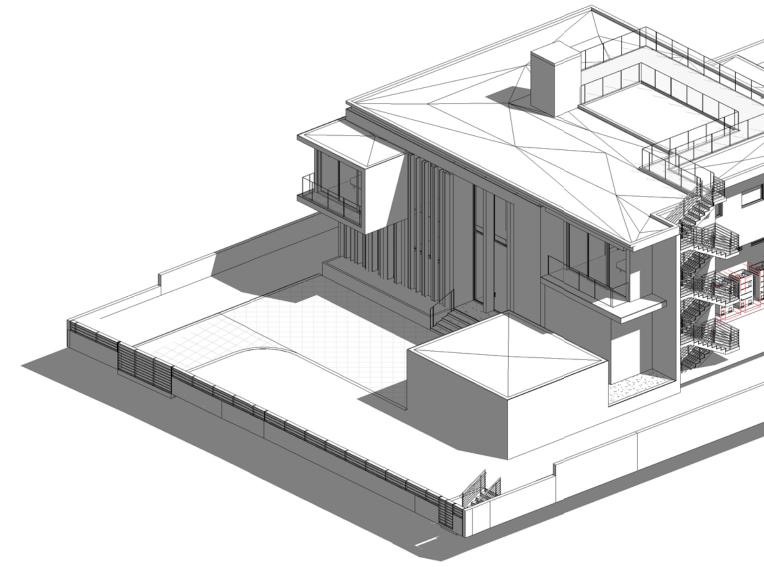
SOUTH EAST VIEW



SOUTH WEST VIEW



NORTH WEST VIEW



NORTH EAST VIEW

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COCONUT GR PH: 305-373-49 FIRM LICEI	TERRACE, SUITE 301 ROVE, FLORIDA 33133 990 FX: 305-373-4991 NSE # AA26001123 NGARCHITECTURE.COM
PROJECT NAME 5840 N Bay Roa Beach, FL 3314	d Miami
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ARCHITECT: MAX WILSON STRANG, LICENSE # AR0017183 2900 SW 28TH TERRAC MIAMI, FL 33133 STRUCTURAL EN	E, SUITE 301
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LANDSCAPE ARC CHRISTOPHER CAWLE ARCHITECTURE LLC. 780 NE 69TH STREET, S MIAMI FL, 33138 PH: 786-534-5327	Y LANDSCAPE
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MEP ENGINEERING:

LANDSCAPE ARCHITECT: CHRISTOPHER CAWLEY LANDSCAPE ARCHITECTURE LLC. 780 NE 69TH STREET, SUITE 1106 MIAMI FL, 33138 PH: 786-534-5327

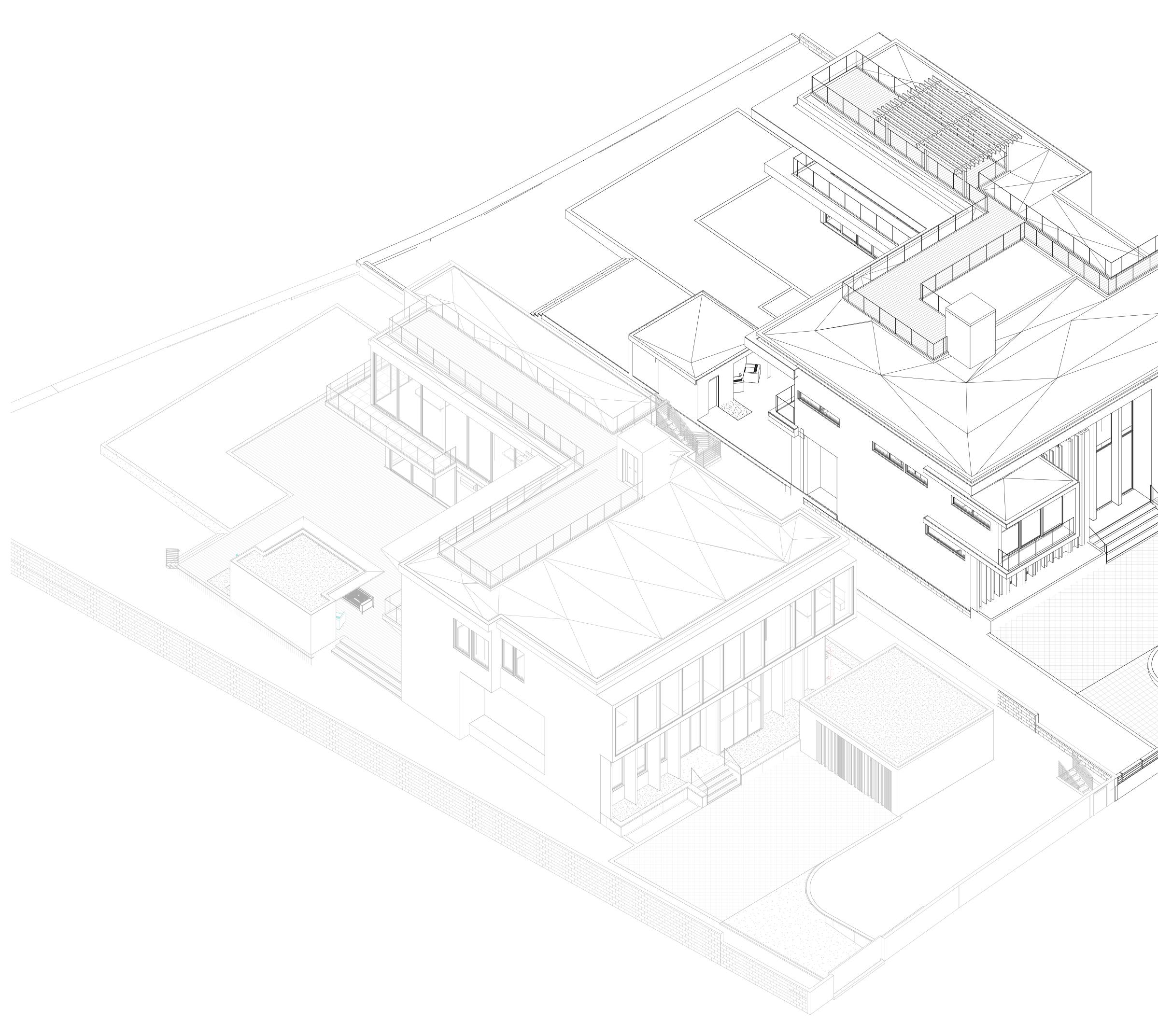
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	DJECT ID: 1 40 N&S	DRAWN BY: S.S	
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AXONOMETRIC



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	C Pl	00 SW 28TH TERRACE, SUITE 3 OCONUT GROVE, FLORIDA 3313 H: 305-373-4990 FX: 305-373-49 FIRM LICENSE # AA26001123 W.MAXSTRANGARCHITECTURE	33 91
	584	DJECT NAME & LOCATION: 0 N Bay Road Miami ach, FL 33140-2043	
		DJECT CLIENT(S) / OWNER(S): PTUNE CAPITOL	
	MAX LICEI 2900 MIAN	CHITECT: WILSON STRANG, RA / AIA NSE # AR0017183 SW 28TH TERRACE, SUITE 301 11, FL 33133 RUCTURAL ENGINEERING:	
	ME	P ENGINEERING:	
	CHRI ARCI 780 N MIAN	IDSCAPE ARCHITECT: STOPHER CAWLEY LANDSCAPE HITECTURE LLC. NE 69TH STREET, SUITE 1106 II FL, 33138 '86-534-5327	
	PRO	DFESSIONAL SEAL(S):	
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ME	P ENGINEERING:
CHF ARC 780 MIAI	NDSCAPE ARCHITECT: RISTOPHER CAWLEY LANDSCAPE HITECTURE LLC. NE 69TH STREET, SUITE 1106 MI FL, 33138 786-534-5327
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PR	2018-MAX STRANG ARCHITECTURE, Inc.OJECT ID:DRAWN BY:0 40 N&SS.S
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Sh	neet No:
	A-35

STREET PERSPECTIVE N.T.S. 1	





REAR PERSPECTIVE

	[STRANG]	
	2900 SW 28TH TERRACE, SUITE 30 COCONUT GROVE, FLORIDA 3313 PH: 305-373-4990 FX: 305-373-499 FIRM LICENSE # AA26001123 WWW.MAXSTRANGARCHITECTURE.	33 91
	PROJECT NAME & LOCATION: 5840 N Bay Road Miami Beach, FL 33140-2043	
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	10/05/2018 Sheet Title: REAR PERSPECTIVE	
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	A-36	



[STRANG] ARCHITECTURE

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SCALE:

PROJECT ID: 58th 40 N&S

10/05/2018

ADJACENT FRONT RENDER

Sheet No:

A-37



ALL GLASS GUARDRAIL



- ALUMINUM FINS AND LOUVERS IN DARK WOOD FINISH UNEQUALLY SPACED. ——

- FRAMES IN DARK BRONZE FINISH

PROJECT CLIENT(S) / OWNER(S): NEPTUNE CAPITOL
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[STRANG]

ARCHITECTURE

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