

sheet number

A1.0

PRINTED
October 3, 2018

PROJECT SUMMARY

NARRATIVE

THIS SUBMITTAL IS TO FINALIZE THE APPROVAL OF THE MODIFIED BALCONY RAILINGS UNDER PERMIT #B1602380. ALUMINUM PANELS ATTACHED TO THE GLASS RAILINGS BEGAN TO RANDOMLY FALL OFF CAUSING A LIFE SAFETY ISSUE. ALL THE ALUMINUM PANELS WERE SUBSEQUENTLY REMOVED UNDER PERMIT, WHICH LEFT A CLEAN AND SIMPLE GLASS RAIL. THESE DRAWINGS ARTICULATE THE OVERALL BUILDING’S RAILINGS WITHOUT THE USE OF THE ALUMINUM PANELS.

ASIDE FROM THE OBVIOUS LIFE SAFETY CONCERNS, THERE ARE 2 OTHER GOOD ARCHITECTURAL REASONS FOR LEAVING THE EXISTING GLASS RAILINGS FREE FROM HORIZONTAL ALUMINUM PANELS:

- 1) FROM EYE LEVEL ON THE GROUND, THE BUILDING COMMANDS A STRONG VERTICAL PRESENCE, HOWEVER THE PRIMARY ELEMENTS ARE HORIZONTAL. THE 8 1/2” FLOOR SLABS ARE THIN HORIZONTAL COMPONENTS THAT ARTICULATE THROUGH SEVERAL VERTICAL ELEMENTS AROUND THE BUILDING, GIVING A RHYTHMIC, ARCHITECTURAL LAYERING EFFECT. THE TRANSPARENT RAILINGS DO NOT INTERFERE THIS IDEA. THE PREVIOUS APPLIED ALUMINUM PANELS INTERRUPTED THIS NATURAL AND PLEASING ARCHITECTURAL RYTHUM.
- 2) FROM THE INTERIOR OF THE SPACE, THERE IS AN OPPORTUNITY TO VIEW A *VISUALLY STUNNING CITY SCAPE*. FROM THE PERSPECTIVE OF THE UNIT OWNER AT EYE LEVEL WHILE SITTING (ABOUT THREE FEET ABOVE THE FLOOR), THE PREVIOUS RAILINGS WITH HORIZONTALLY APPLIED ALUMINUM PANELS BLOCKED THE OPPORTUNITY TO VIEW THIS *INCREDIBLE CITY SCAPE*.

APPLICABLE CODES

FLORIDA BUILDING CODE FBC 5th EDITION (2014)
(AT TIME OF PERMIT #B1602380)

LEGAL DESCRIPTION:
MURANO AT PORTOFINO CONDO
PT OF N132FT SEC AKA TR A OR SMITH BAY FRT TR BNDED ON N BY N/L SEC E BY JEFF AVE
S BY INE PAR TO & 132FT OF N/L & ON W BY BAY & LOTS 1 TO 7 & SELY30FT LOT 8 BLK 111
& PORT BISC ST-AVE LYG WLY OF SLY PROJ OF W/R/WL JEFF AVE PB 2-81 LOT SIZE 172300
FAU 02-4210-000-0110.

PROPERTY FOLIO NUMBER:

02-4203-251-0001

INDEX (whadesign)	
COVER	CVR-1
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SURVEY (wha design-wha)	
SURVEY.....	SURVEY

SITE PLAN (Sieger Suarez Architectural Partnership-SSAP)	
SITE PLAN.....	SP-1.0

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SOUTH ELEVATION AS-BUILT (SSAP).....	A4.01
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SOUTH PHOTO OF BLDG W/ RAILING PANELS.....	A1.1
SOUTH PHOTO OF BLDG W/OUT RAILING PANELS.....	A1.2
WEST ELEVATION AS-BUILT (SSAP).....	A4.02
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UNIT 3602 DETAIL RAILING PHOTOS.....	A2.1
NORTH ELEVATION AS-BUILT (SSAP).....	A4.03
NORTH ELEVATION (wha).....	A3.0
UNIT 1601 DETAIL RAILING PHOTOS.....	A3.1
EAST ELEVATION AS-BUILT (SSAP).....	A4.04
EAST ELEVATION, ENLARGED RAILING ELEVATION (wha).....	A4.0
RAILING DETAILS W/ PANELS AND W/OUT PANELS.....	A4.1
PERSPECTIVE LOOKING SW, PANEL PROBLEMS (wha).....	A5.0
PHOTOS OF PANEL PROBLEMS.....	A5.1
PHOTOS COMPARING RAILING W/ & W/OUT PANELS.....	A6.0
PHOTOS COMPARING RAILING W/ & W/OUT PANELS.....	A6.1
PHOTOS COMPARING RAILING W/ & W/OUT PANELS.....	A6.2
TYPICAL UNIT RAILING LAYOUT HIGHLIGHTED (wha-SSAP).....	A3.01
TYPICAL FLOOR HIGHLIGHTING RAILING NEEDING REPAIR (wha-SSAP).....	A2.05

TOTAL NUMBER OF DRAWINGS.....	24
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FINAL SUBMITTAL



architect of record
William F. Arthur
license number 0012074
design associate
wfa

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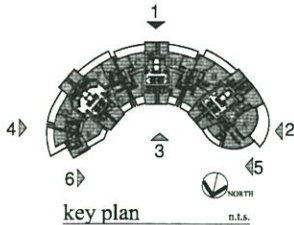
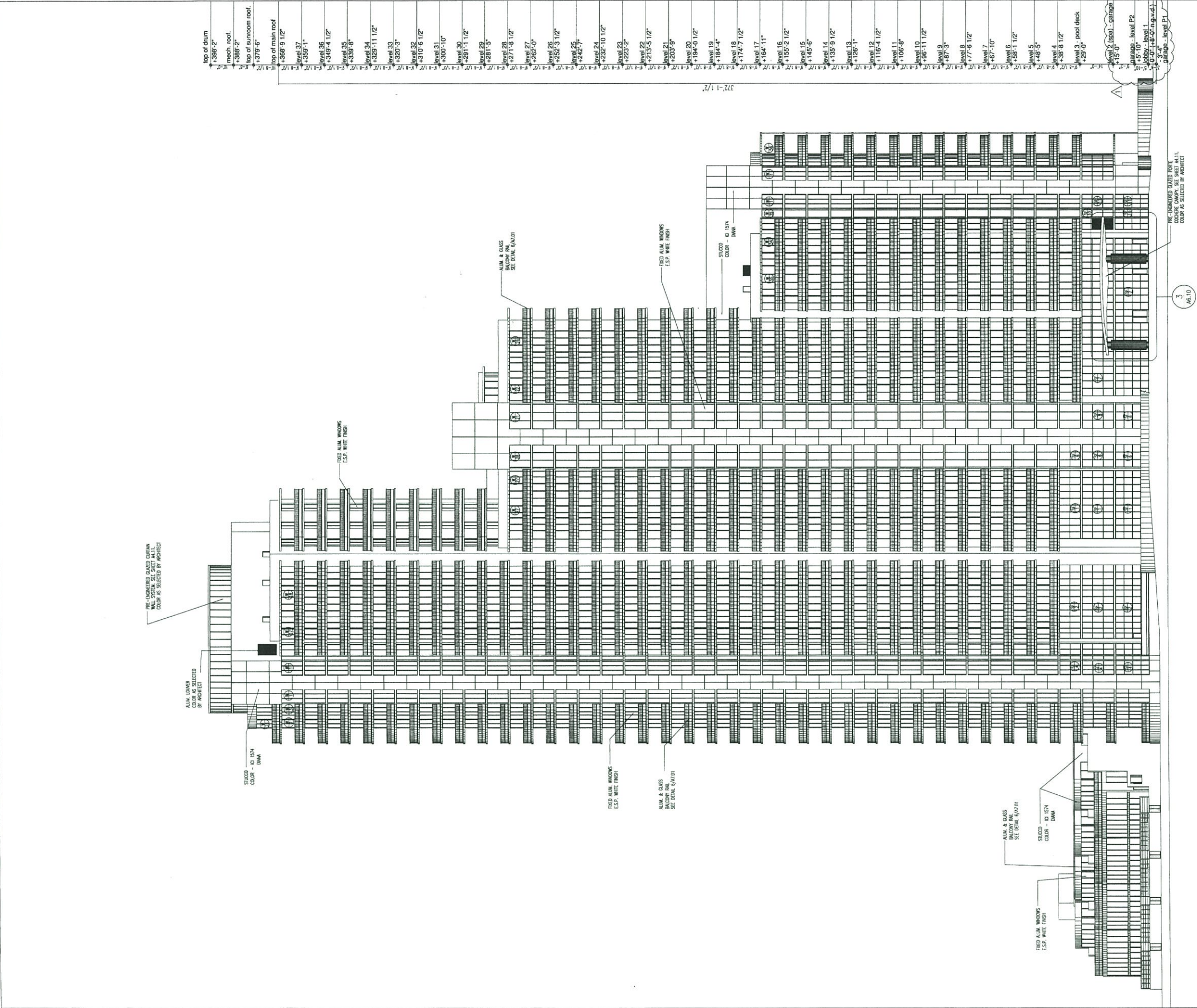
project information
Proposed Balcony Railing Modification to:
Murano at Portofino
Miami Beach, Florida
owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history

project information
date:
project number:

sheet title
TITLE
COVER

sheet number
CVR-2
PRINTED
October 3, 2018



front
south elevation

1 front (west) elevation

1/16"

In my professional judgment
and to the best of my
knowledge and belief, these
plans and specifications
comply with the applicable
building codes.

Marina Garage
07.17.2000

CONTRACT SET
05.31.2000

BUILDING PERMIT
05.15.2000

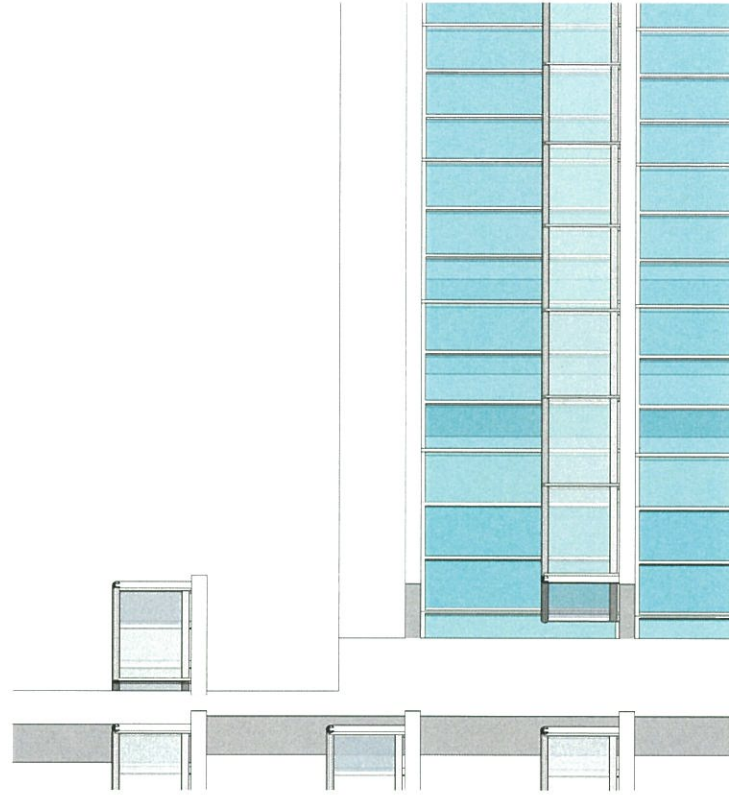
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03.27.2000

2599

Sheet Number

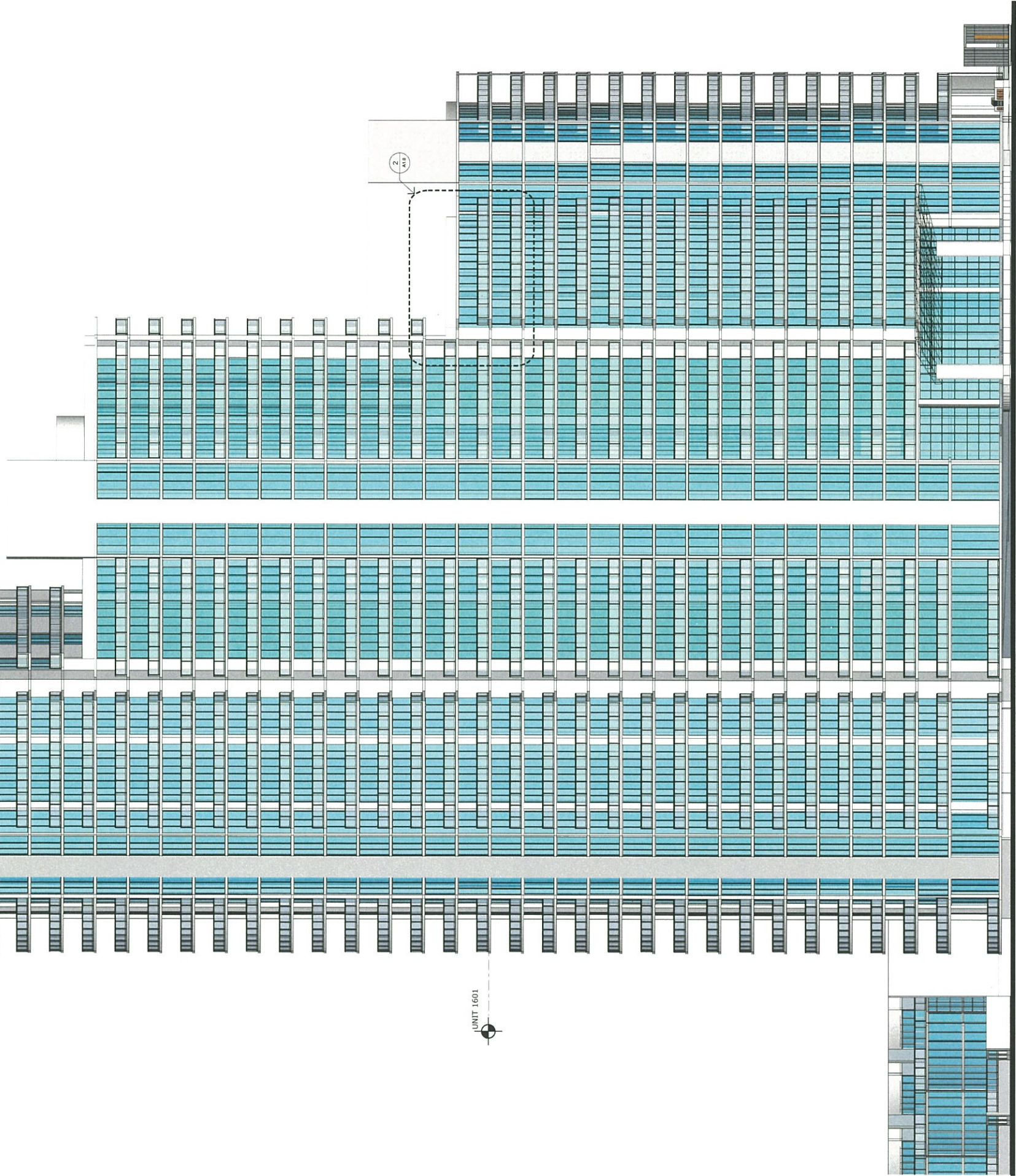
Charles M. Siegel, F.A.I.A.
Lic. # AR5782

Joel J. Suarez, A.I.A.
Lic. # AR11005



2 ENLARGED RAILING ELEVATION
A1.0 SCALE: NTS

UNIT 3602



UNIT 1601

1 SOUTH ELEVATION (LOOKING NORTH)
A1.0 SCALE: NTS

FINAL SUBMITTAL

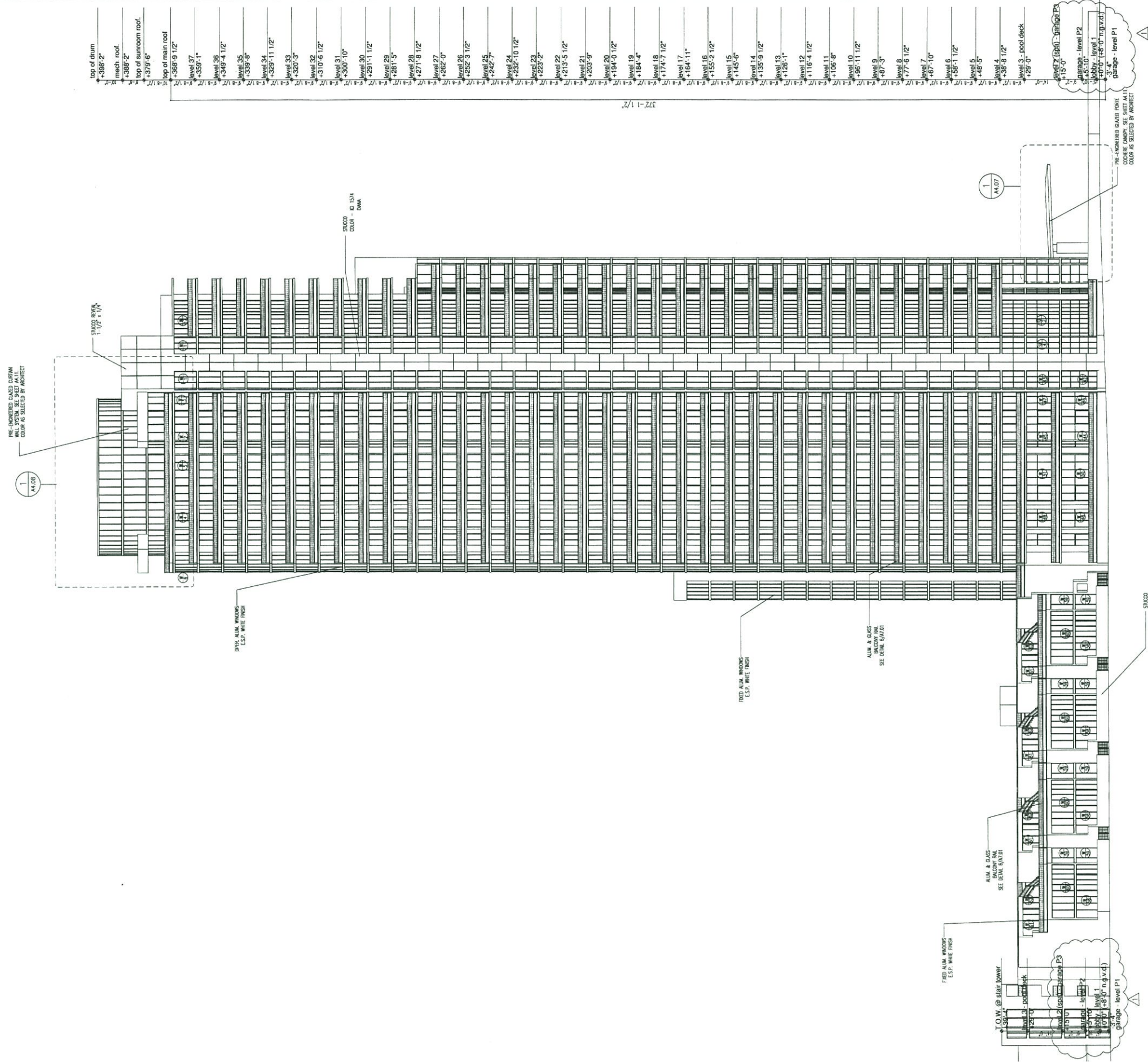
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Proposed Balcony Railing Modification to:	
Murano at Portofino	
Miami Beach, Florida	
owner information	
Murano at Portofino Condo Association	
1000 S. Pointe Drive	
Miami Beach, Florida	
project history	
project information	
date:	
project number:	
sheet title	
TITLE	
SOUTH ELEVATION	
sheet number	
A1.0	
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September 24, 2018	

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architect of record
William F. Arthur
license number 0012074
design associate
wfa

STATE OF FLORIDA
WILLIAM F. ARTHUR
REGISTERED ARCHITECT
AR0012074
1988

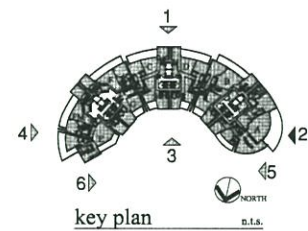
whadesign
est. 1982
AA200002436
9867 Southwest 164th Street - Palmetto Bay, FL 33157
v. 305.443.3100 - f. 305.259.3986



2 front (west) elevation

1/16"

murano at portofino
city of miami beach, dade county, fl



west elevation
biscayne bay

In my professional judgment
and to the best of my
knowledge and belief, these
plans and specifications
comply with the applicable
building codes.

CONTRACT SET 07.17.2000

FOUNDATION PERMIT 03.27.2000

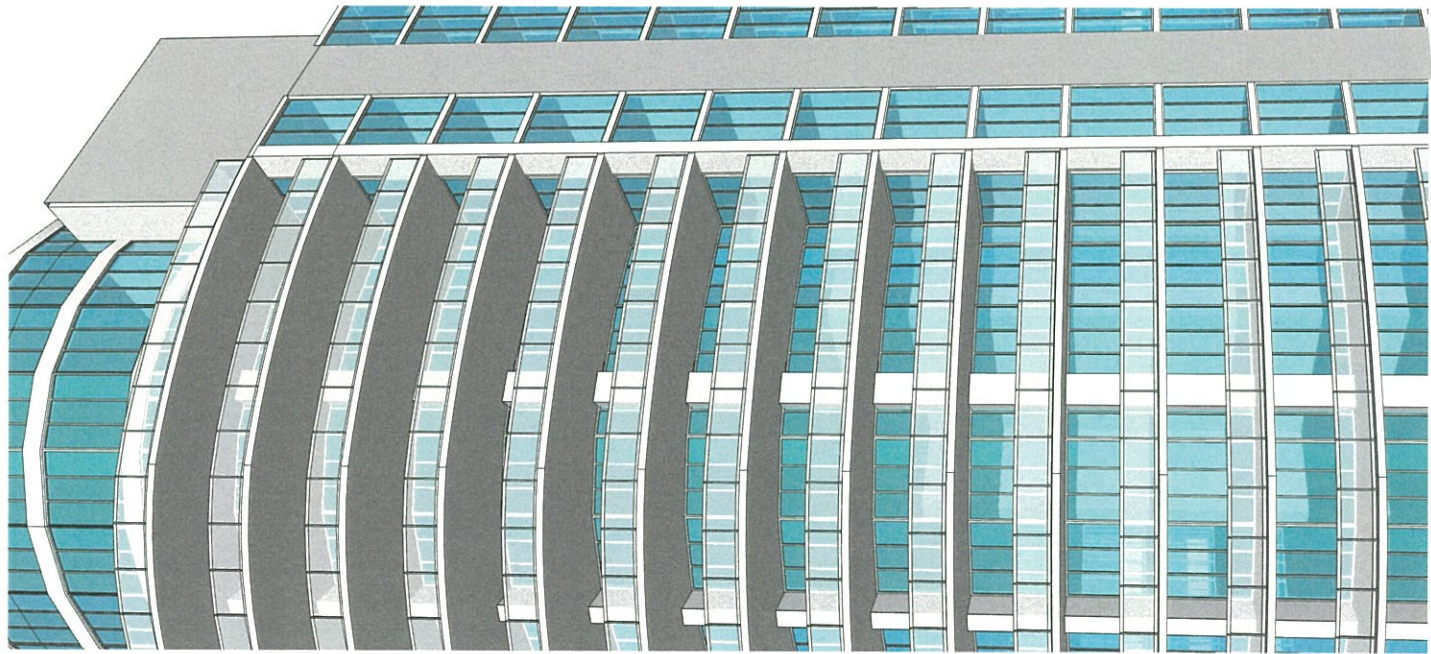
BUILDING PERMIT 05.15.2000

2599

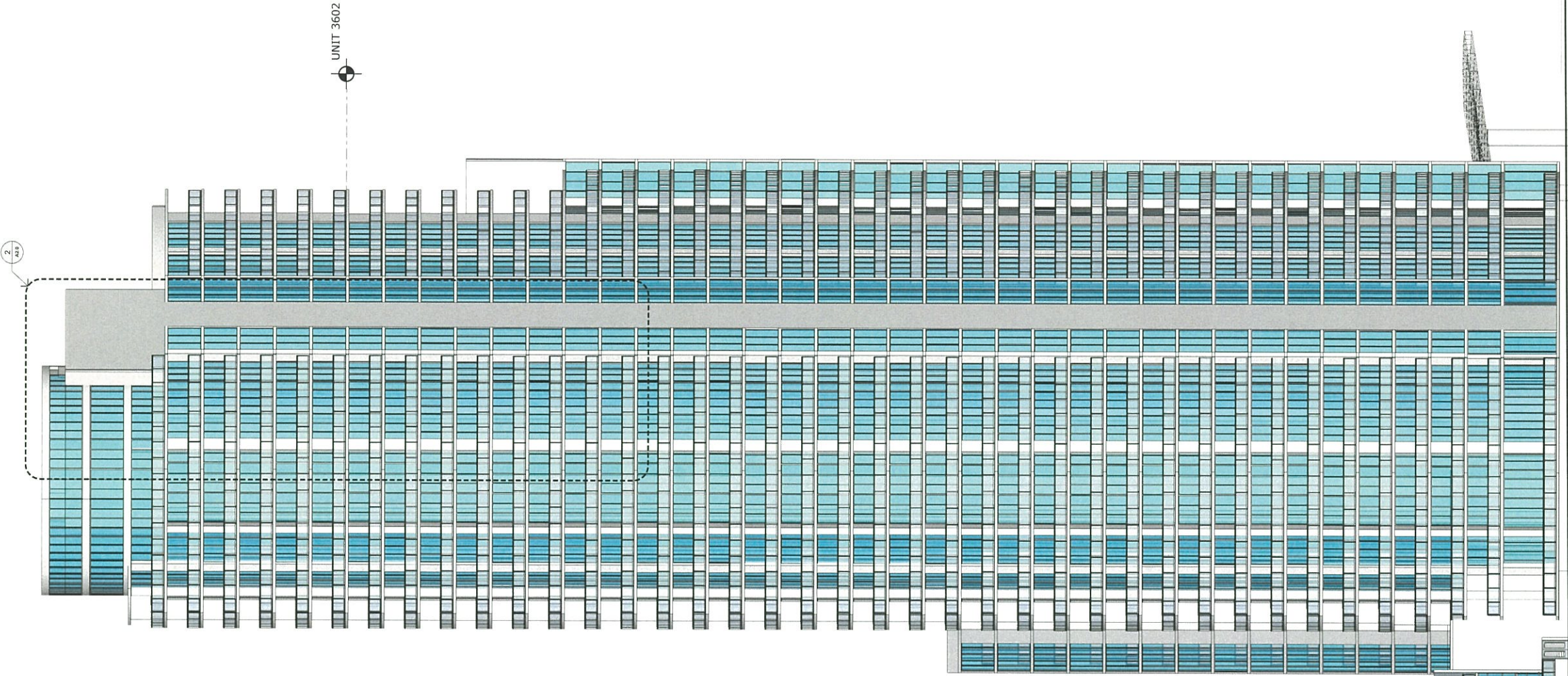
2599

2599

2599



2 ELARGED PARTIAL ELEVATION
A2.0 SCALE: NTS



1 WEST ELEVATION
A2.0 SCALE: NTS

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architect of record
William F. Arthur
license number 0012074
design associate
wfa

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project information
Proposed Balcony Railing Modification to:
Murano at Portofino
Miami Beach, Florida
owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

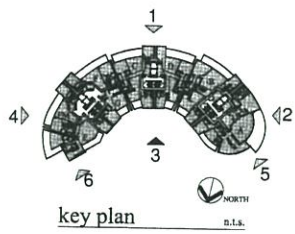
project history

project information
date:
project number:

sheet title
TITLE
WEST ELEVATION

sheet number
A2.0
PRINTED
September 24, 2018

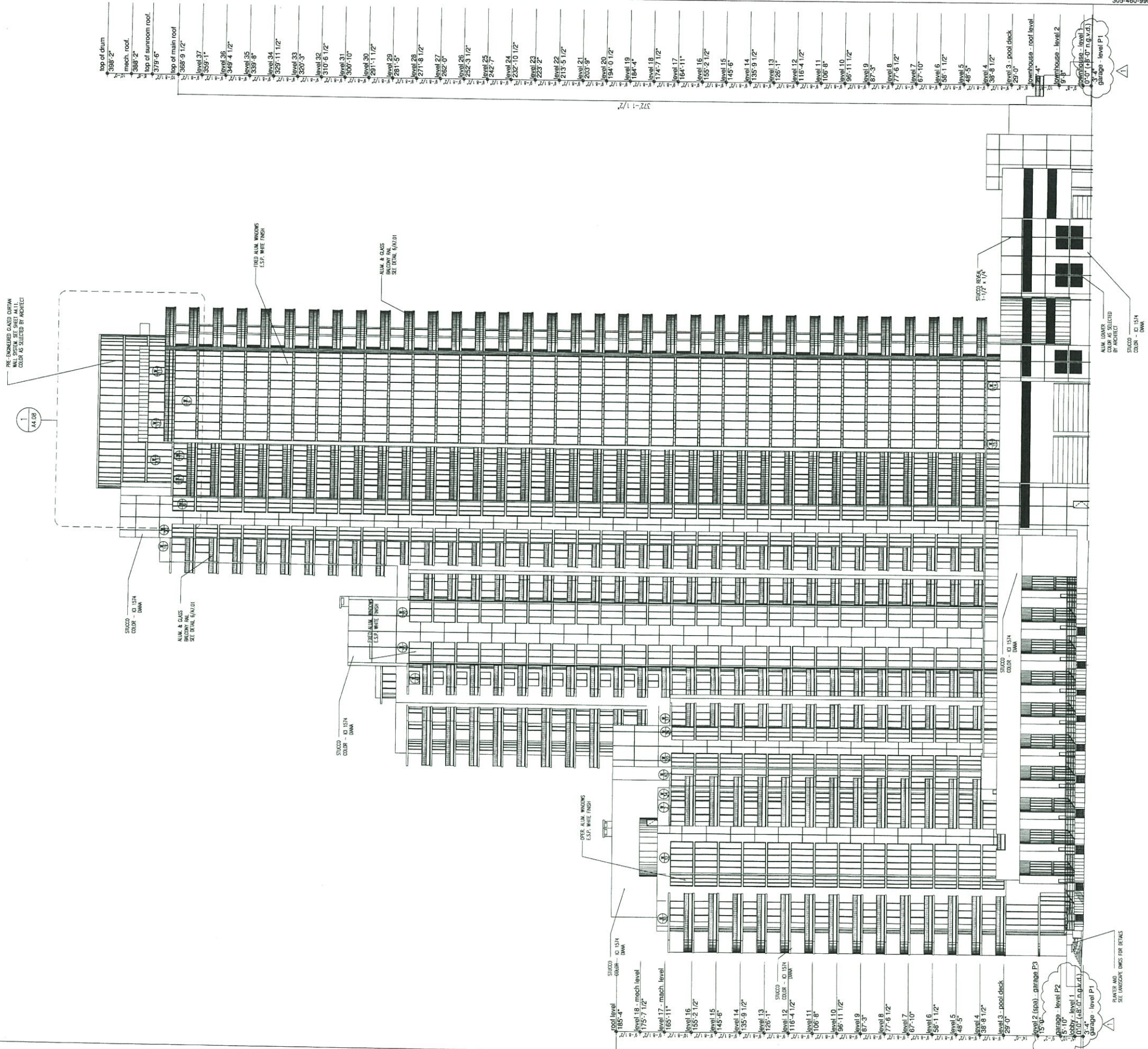
whadesign est. 1982
AA00002436
9967 Southwest 184th Street - Palmetta Bay, FL 33157
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north elevation
rear

1/16"

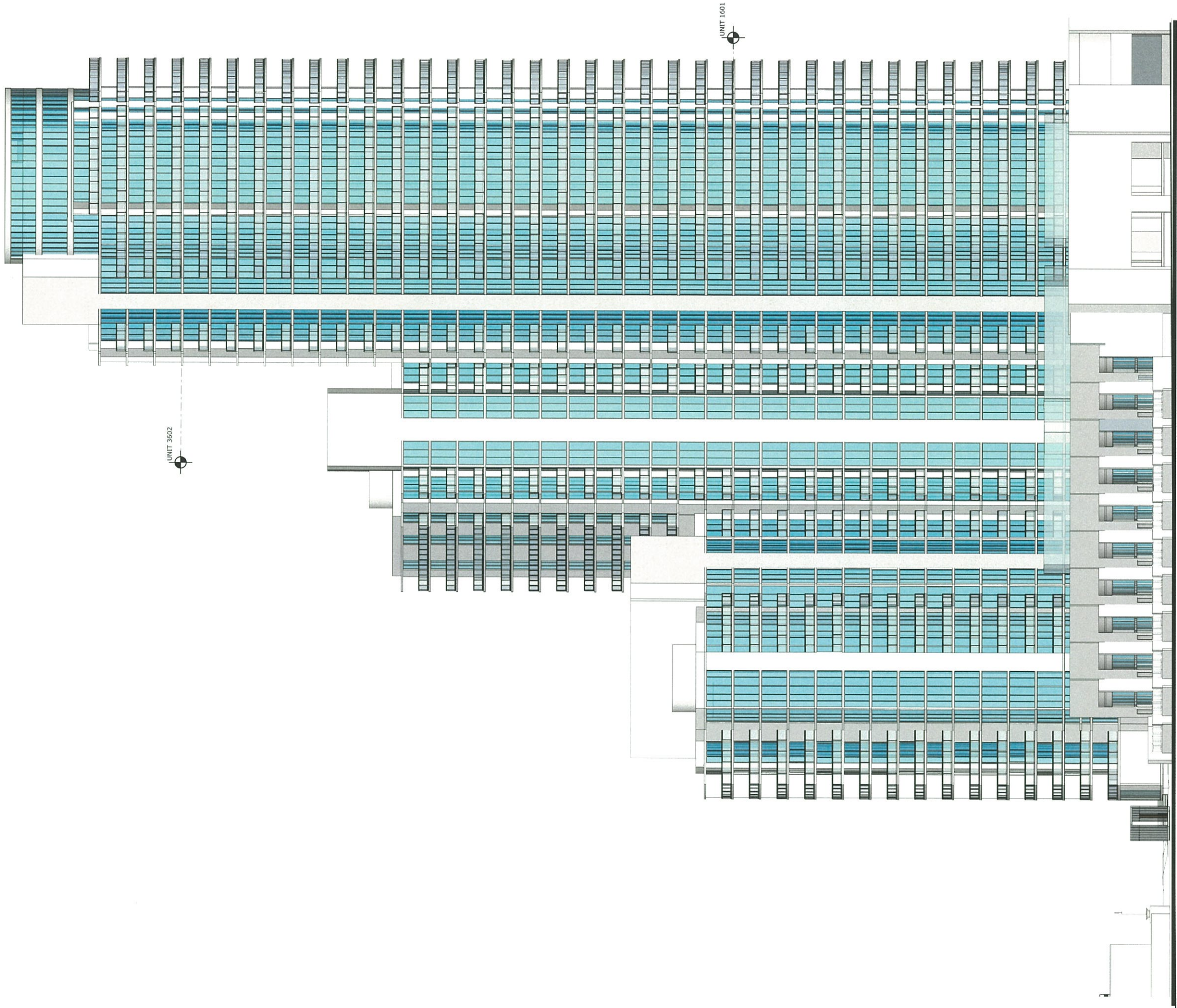
3 front (west) elevation



In my professional judgment and to the best of my knowledge and belief, these plans and specifications comply with the applicable building codes.

MARINA GARAGE	07.17.2000
CONTRACT SET	05.31.2000
BUILDING PERMIT	05.15.2000
FOUNDATION PERMIT	03.27.2000
2599	

Charles M. Sieger, F.A.I.A.
Lic. # ARS782
Joel J. Suarez, A.I.A.
Lic. # AR11005

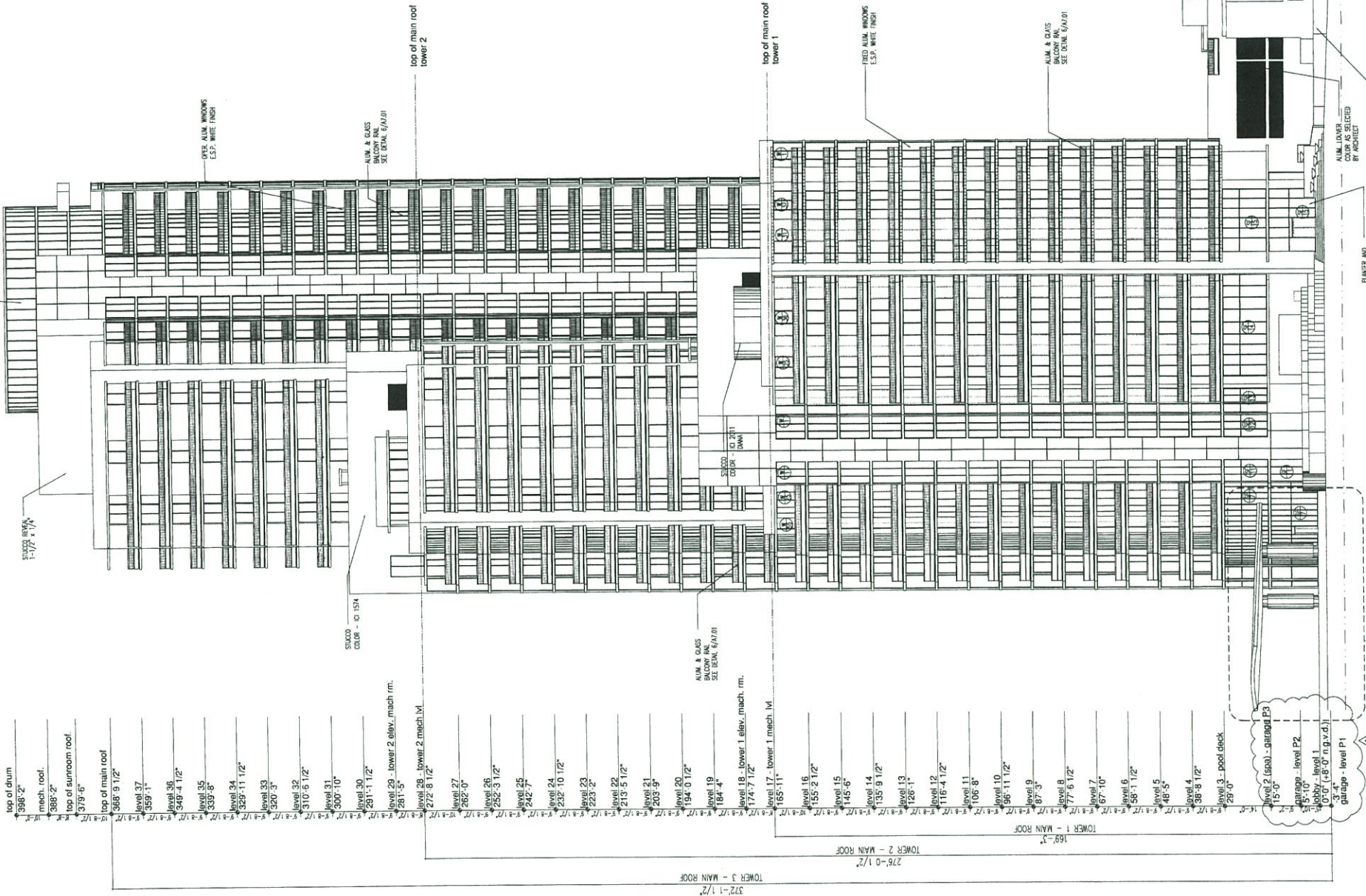


1 NORTH ELEVATION
A3.0 SCALE: 1/16"=1'-0"

FINAL SUBMITTAL

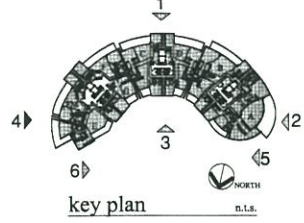
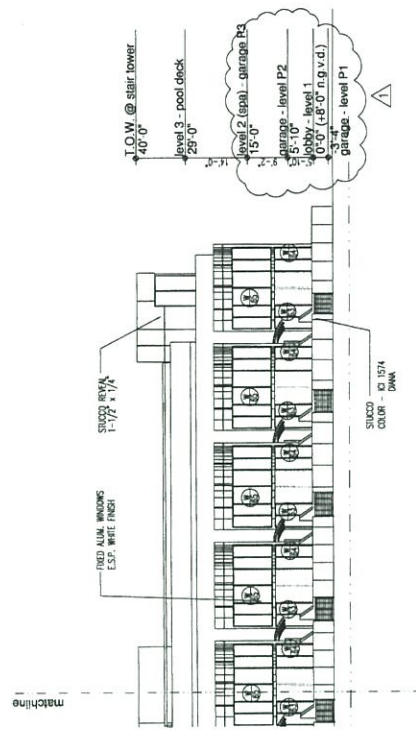
 AA26000436 est. 1982			
architect of record William F. Arthur license number 0012074		design associate wfa	
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project information Proposed Balcony Railing Modification to: Murano at Portofino Miami Beach, Florida		owner information Murano at Portofino Condo Association 1000 S. Pointe Drive Miami Beach, Florida	
project history		project information date: project number:	
sheet title TITLE NORTH ELEVATION		sheet number A3.0 PRINTED September 24, 2018	

THE TOWERED CAST CONCRETE
WALL SYSTEM SET BY A.I.I.
COLOR AS SELECTED BY ARCHITECT



4 east elevation

1/16"



east elevation
alton road

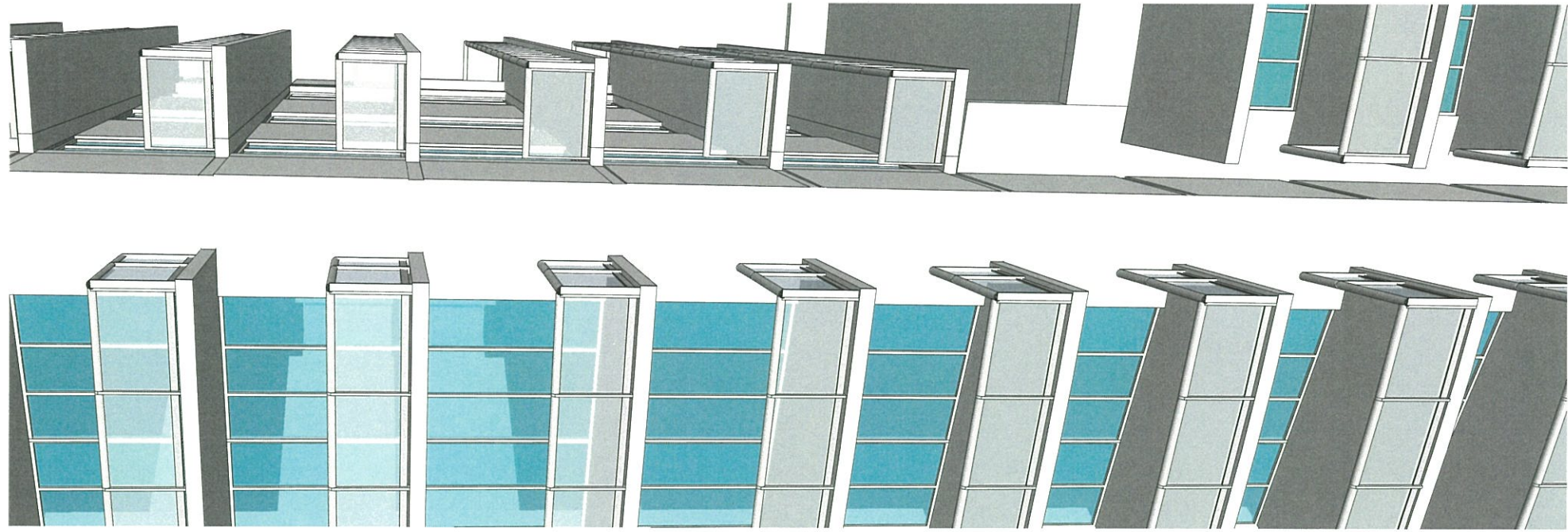
In my professional judgment
and to the best of my
knowledge and belief, these
plans and specifications
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CONTRACT SET	05.31.2000
BUILDING PERMIT	05.15.2000
FOUNDATION PERMIT	03.27.2000
2599	

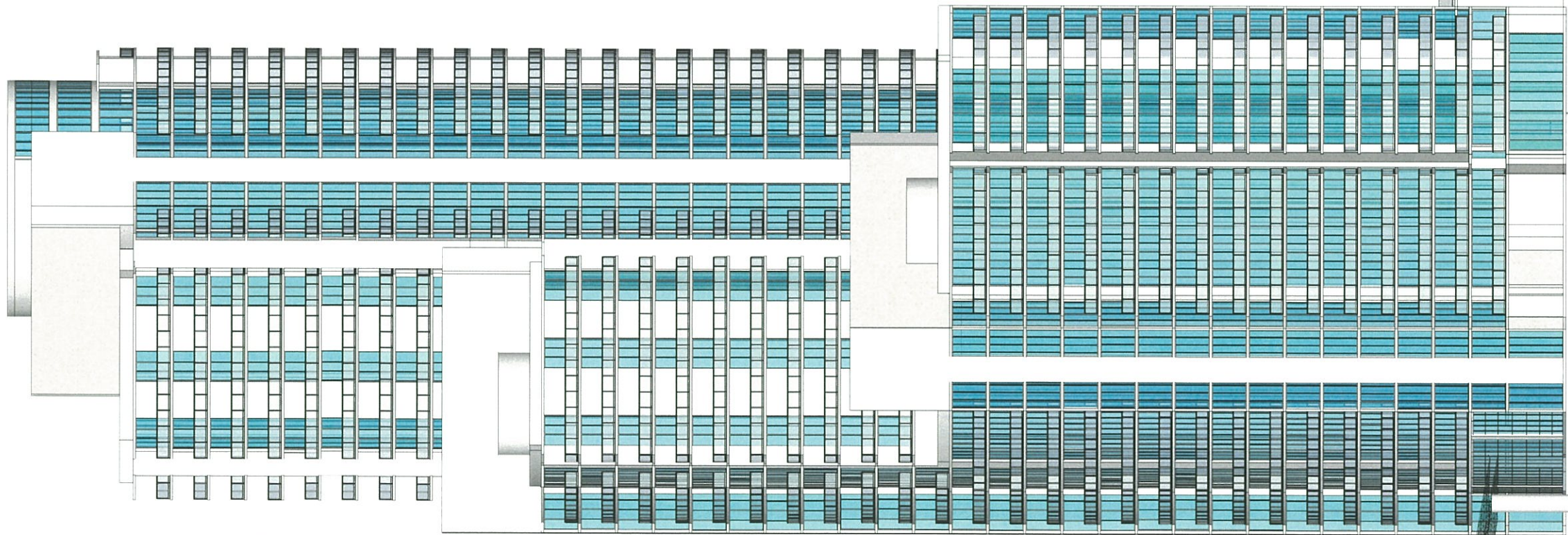
Charles M. Sieger, F.A.I.A.
Lic. # 005102
Jose J. Suarez, A.I.A.
Lic. # 0011005

The Sieger Suarez Architectural Partnership
5996 Southwest 70 Street, Miami, Florida, 33143, 305/274-2702.

A4.04



2 ENLARGED RAILING ELEVATION
A4.0 SCALE: NTS



1 EAST ELEVATION
A4.0 SCALE: NTS

FINAL SUBMITTAL

PROJECT DESCRIPTION:
Proposed Balcony Railing Modification to:
Murano at Portofino
Miami Beach, Florida

OWNER INFORMATION:
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

STATE OF FLORIDA
WILLIAM F. ARTHUR
REGISTERED ARCHITECT
AR0012074
1988

architect of record
William F. Arthur
license number 0012074
design associate
wfa

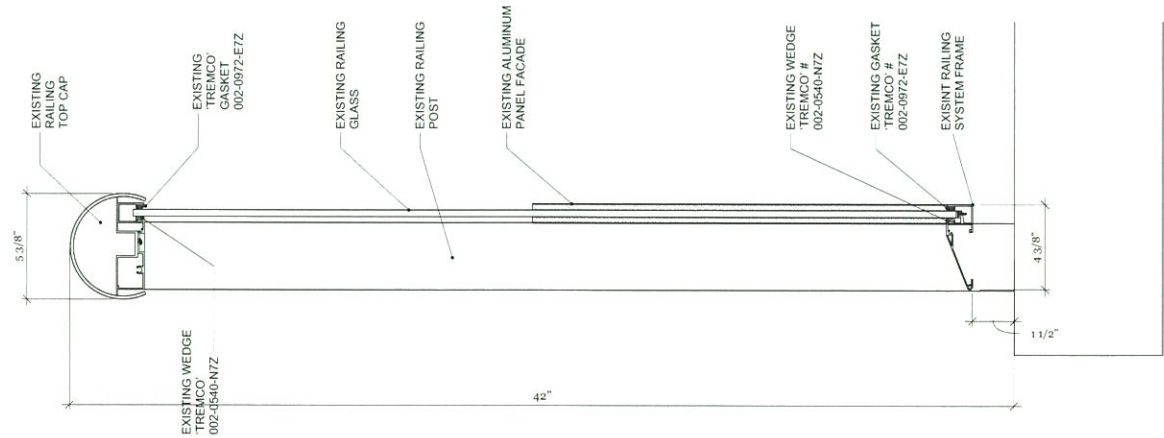
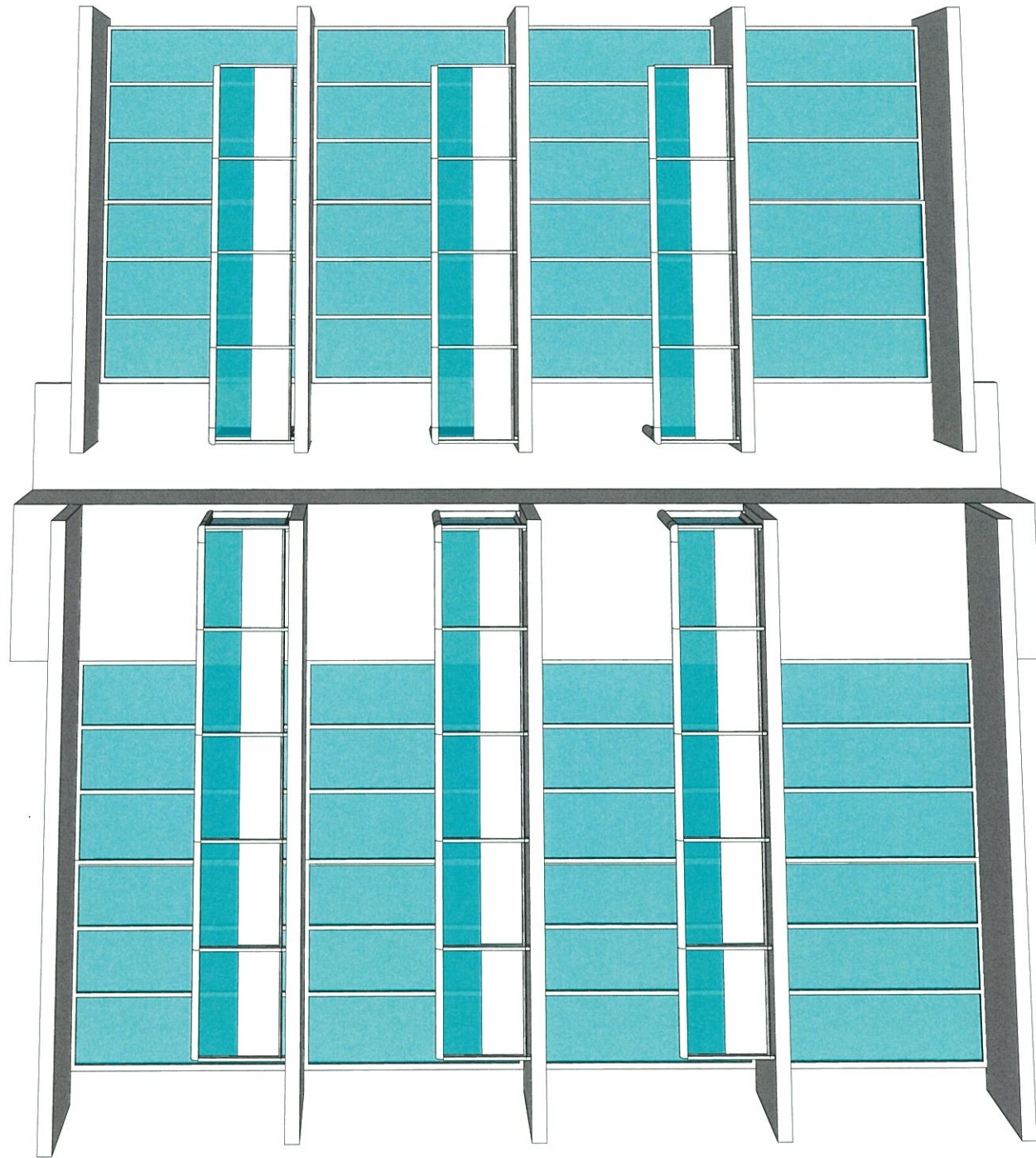
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sheet title
EAST ELEVATION

sheet number
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September 24, 2018

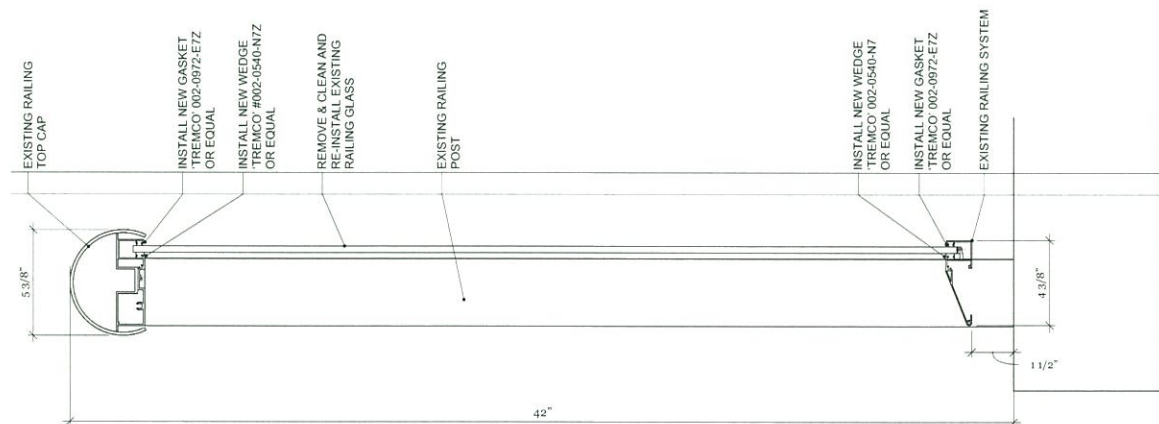
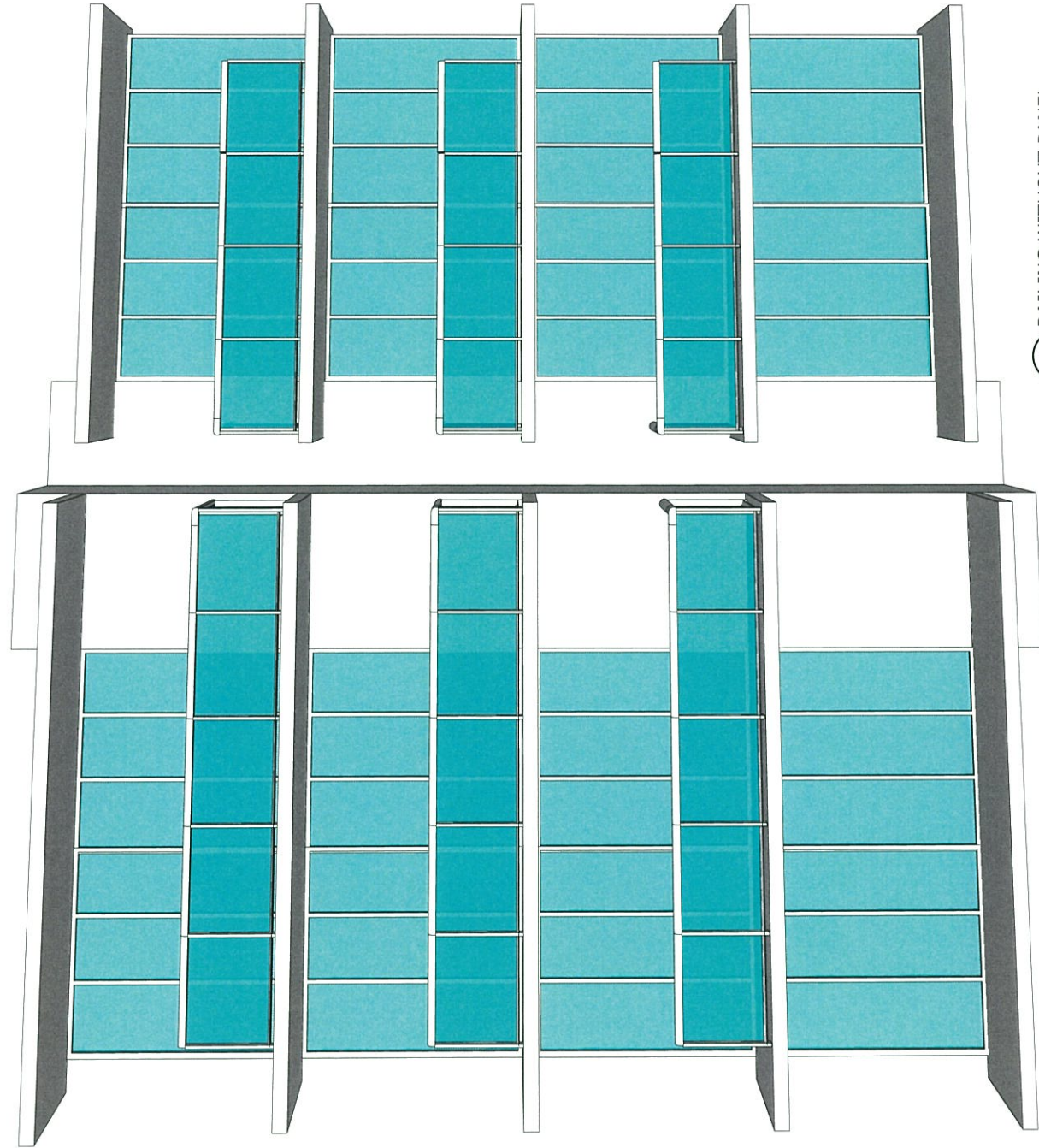


4 DETAIL WITH PANEL

A4.1 SCALE: NTS

3 RAILING WITH PANEL

A4.1 SCALE: NTS



2 DETAIL WITHOUT PANEL

A4.1 SCALE: NTS

1 RAILING WITHOUT PANEL

A4.1 SCALE: NTS

FINAL SUBMITTAL



architect of record
William F. Arthur
license number 0012074
design associate
wfa

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PROJECT DESCRIPTION:
Proposed Balcony Railing Modification to:
Murano at Portofino
Miami Beach, Florida

OWNER INFORMATION:
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history
project information
date:
project number
sheet title
TITLE
EAST ELEVATION
sheet number
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ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS FINISH				CEILING		REMARKS
				1	2	3	4	FINISH	HEIGHT	
A101	FOYER	CONC	-	GWB	GWB	GBW	GWB	GWB	7'-6"	
A102	GALLERY	CONC	-	GWB	-	GBW	GWB	GWB/WCSF	7'-6"/9'-0 1/2"	
A103	MEDIA ROOM	CONC	-	GWB	GWB	-	GWB	GWB/WCSF	7'-6"/9'-0 1/2"	
A104	GREAT ROOM	CONC	-	GWB/GL	GWB/GL	GBW	GWB	WCSF	9'-0 1/2"	
A105	KITCHEN	CONC	-	GWB	-	-	GWB	GWB/WC	8'-0"/9'-0 1/2"	
A106	BREAKFAST	CONC	-	GWB/GL	-	-	GWB	WCSF	9'-0 1/2"	
A107	FAMILY	CONC	-	GWB	-	-	GWB	WCSF	9'-0 1/2"	
A108	BEDROOM #3	CONC	-	GWB	GWB	-	GWB	WCSF	9'-0 1/2"	
A109	WIC	CONC	-	GWB	GWB	GBW	GWB	GWB	7'-6"	
A110	BATH #3	MBL	MBL	GWB/MBL	MR/MBL	MR/MBL	GWB	GWB/WCSF	7'-6"/9'-0 1/2"	MBL TO FULL HEIGHT AT TUB
A111	BEDROOM #2	CONC	GWB	GWB	GBW	GBW	GWB	GWB/WCSF	7'-6"/9'-0 1/2"	
A112	BATH #2	MBL	MBL	GWB/MBL/MR	GWB	CBW/MBL/MR	MR/MBL	GWB	7'-6"	MBL TO FULL HEIGHT AT TUB(FHA TYPE "B" BATHROOM)
A113	WIC	CONC	-	GWB	GWB	GBW	GWB	GWB	7'-6"	
A114	LAUNDRY	VINYL	VINYL	GWB	GWB	GBW	GWB	GWB	7'-6"	
A115	AC #2	CONC	VINYL	GWB	GWB	GBW	GWB	CONC	9'-0 1/2"	
A116	POWDER RM	VINYL	GWB	GWB	GBW	GWB	GWB	GWB	7'-6"	
A117	MASTER SUITE	CONC	-	GWB	GWB	GBW	GWB	WCSF	9'-0 1/2"	
A118	HIS CLOSET	CONC	-	GWB	GWB	GBW	GWB	GWB	7'-6"	
A119	DRESSING	CONC	-	GWB	GWB	GBW	GWB	GWB/WCSF	7'-6"/9'-0 1/2"	
A120	HER BATH	MBL	MBL	GWB	GWB	GBW	GWB	GWB/WCSF	7'-6"/9'-0 1/2"	MBL FULL HGT AT SHOWER
A121	HIS BATH	MBL	MBL	GWB	GWB	GBW	GWB	GWB	7'-6"	
A122	HER CLOSET	CONC	-	GWB	GWB	GBW	GWB	GWB	7'-6"	
A123	AC #1	CONC	VINYL	GWB	GWB	GBW	GWB	CONC	9'-0 1/2"	
A124	BALCONY	CONC	-	STUCCO	-	STUCCO	-	CONC	9'-0 1/2"	ALL EXPOSED CONC. OR CMU TO BE STUCCO
A125	BALCONY	CONC	-	STUCCO	-	STUCCO	-	CONC	9'-0 1/2"	ALL EXPOSED CONC. OR CMU TO BE STUCCO

Door No.	TYPE	ROOM NAME	H.C.	S.C.	DOOR MATERIAL	WIDTH	HEIGHT	THICK	FRAME DETAIL	FRAME MATERIAL	LABEL	THRESHOLD	REMARKS
1	B	FOYER		I	MASONITE	2'-3"-0"	7'-0"	1 3/4"	F	MTL	C(20 MIN)		SCH, NLH
2	A	FOYER		I	MASONITE	3'-0"	7'-0"	1 3/4"	F	MTL	C(20 MIN)		SCH, NLH
3	A	BEDROOM		I	MASONITE	2'-10"	7'-0"	1 3/8"	H	WOOD			
4	A	BATH, POWDER ROOM		I	MASONITE	2'-10"	7'-0"	1 3/8"	H	WOOD			MARBLE
5	A	LAUNDRY		I	MASONITE	2'-10"	7'-0"	1 3/4"	F	WOOD			MARBLE
6	C	W/D CLOSET		I	WOOD	3'-0"	7'-0"	1 3/8"	-	-			BIFOLD
7	B	CLOSET		I	MASONITE	2'-10"	7'-0"	1 3/8"	H	WOOD			
8	A/C			I	MASONITE	2'-10"	7'-0"	1 3/4"	H	WOOD			
9	B	M. BEDROOM		I	MASONITE	2'-2"-10"	7'-0"	1 3/8"	H	WOOD			
10	A	CLOSET		I	MASONITE	2'-0"	7'-0"	1 3/8"	H	WOOD			
11	A	BATH COMP. (TOILET)		I	MASONITE	3'-0"	7'-0"	1 3/4"	H	WOOD			
12	O	CLOSET		I	MASONITE	2'-2"-6"	7'-0"	-	H	WOOD			MIRROR, BI-PASS
13	O	CLOSET		I	MASONITE	2'-3"-0"	7'-0"	-	H	WOOD			MIRROR, BI-PASS
14	A/C			I	MASONITE	2'-10"	7'-0"	1 3/4"	H	MTL	C(20 MIN)	MARBLE	
15	A/C			I	WOOD	3'-0"	7'-0"	1 3/4"	-	-			BIFOLD
16	C	PANTRY		I	WOOD	2'-0"	7'-0"	1 3/4"	-	-			BIFOLD

UNIT GENERAL NOTES

- FOR WINDOWS & SLIDING GLASS DOORS REFER TO SHEETS AB.02, AB.05 & AB.06.
- FOR PARTITION TYPES REFER TO SHEETS AB.01.
- AT ALL BALCONIES OVER ENCLOSED SPACES PROVIDE WATERPROOFING.
- COLOR: STONE GRAY
SEE WALL SECTIONS
- ALL PENETRATIONS THROUGH FIRE RATES WALLS SHALL BE SEALED AS PER DETAILS ON SHEET AB.01, AB.02 & AB.03.

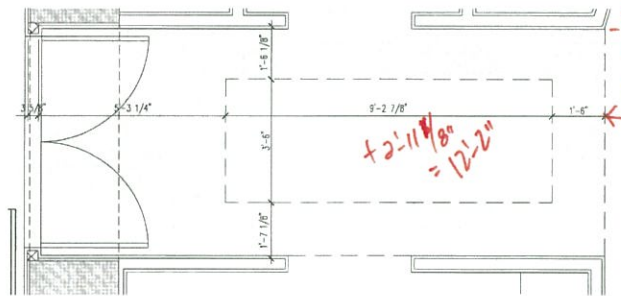
UNIT DOOR NOTES

- REFER TO NOTES ON SHEET AB.02 & AB.03 FOR ADDITIONAL DOOR AND SECURITY NOTES.
- ALL UNIT ENTRY DOORS TO HAVE FIRE TREATED EDGES SUCH THAT NO ASTRAGAL IS REQUIRED FOR 20 MIN. FIRE-RATING.
- ENTRY DOORS AND LAUNDRY ROOM DOORS TO HAVE 3/4" UNDERCUT. BOTTOM STILE TO BE "OVERSIZED" TO ALLOW FOR UP TO 1-3/4" UNDERCUT.
- ALL INTERIOR APARTMENT DOORS AND TRIM TO BE PRIMED.
- ALL SHOWER/TUB DOORS & ENCLOSURES SHALL BE 3/16" TEMPERED SAFETY GLASS MANUFACTURED BY AMERICAN SHOWER DOOR.

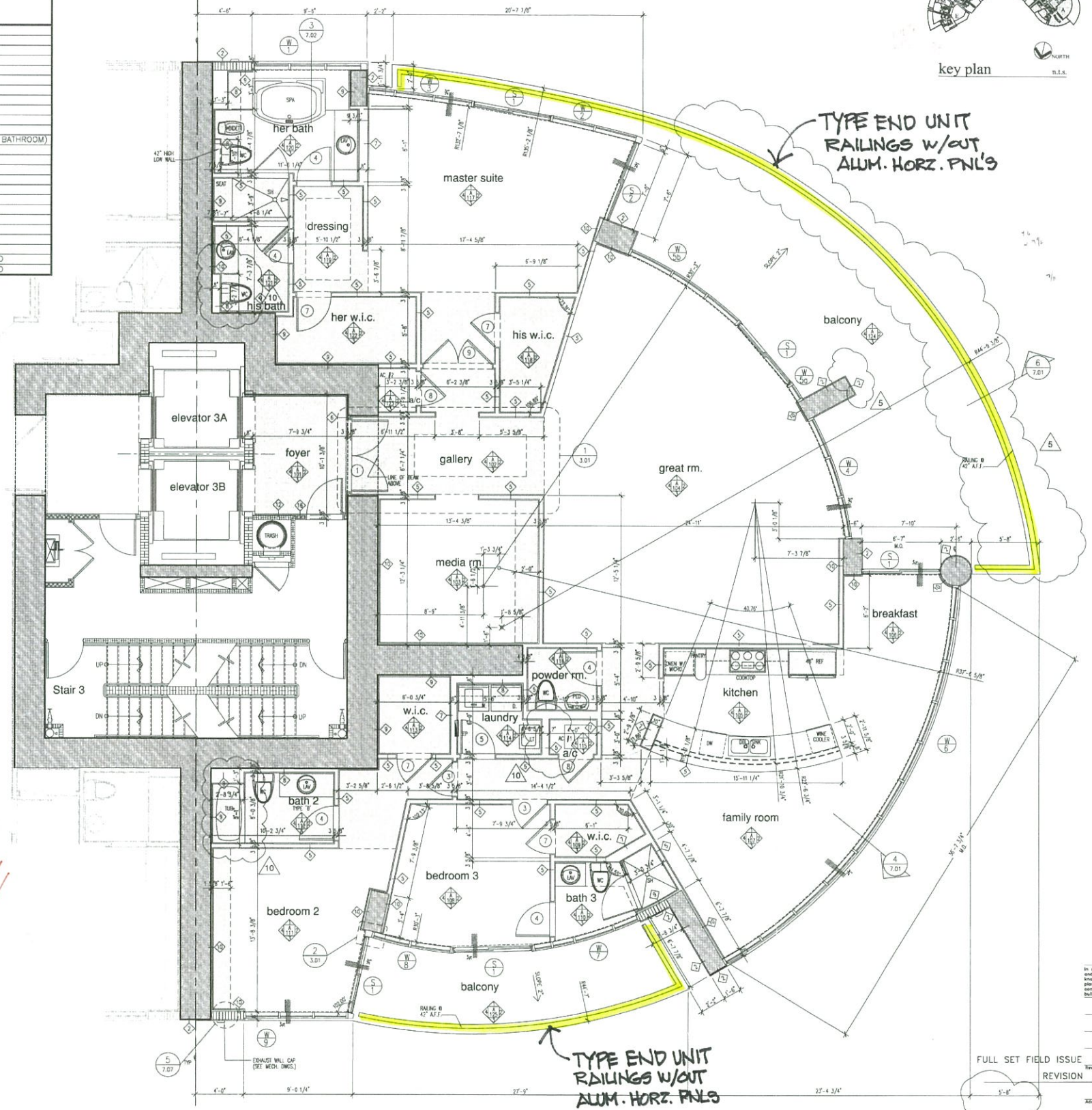
UNIT FINISH NOTES

- REFER TO GENERAL FINISH NOTES SHEET AB.04.
- ALL DROPPED CEILING AREAS SHALL BE ADJUSTED IN THE FIELD TO BE AS HIGH AS POSSIBLE ONCE ALL PIPING, CONDUIT, A/C DUCTS, ETC. HAVE BEEN INSTALLED. IN NO CASE SHALL ANY CEILING BE LESS THAN 7'-5" ABV. FINISHED SLAB. ALL DROPPED SOFFITS ABV. KITCHEN CAB'S. SHALL BE 6'-0" ABV. FIN. SLAB.
- SEE GENERAL FINISH NOTES FOR INTERIOR FLAME SPREAD REQUIREMENTS.
- FOR REINFORCEMENT @ BATHROOM WALLS SEE AB.08.
- MIRRORS SHALL BE PROVIDED AT ALL BATHROOM VANITIES & SHALL RUN FROM TOP OF BACKSLASH TO CEILING. ALL MIRRORS SHALL BE SAFETY GLASS.
- ALL BATHROOM FLOORS TO BE MARBLE w/ MARBLE BASE. FLOORING TO BE INSTALLED OVER SOUND INSULATION.

2 slider @ window detail 1"



1 gallery soffit 1/2"



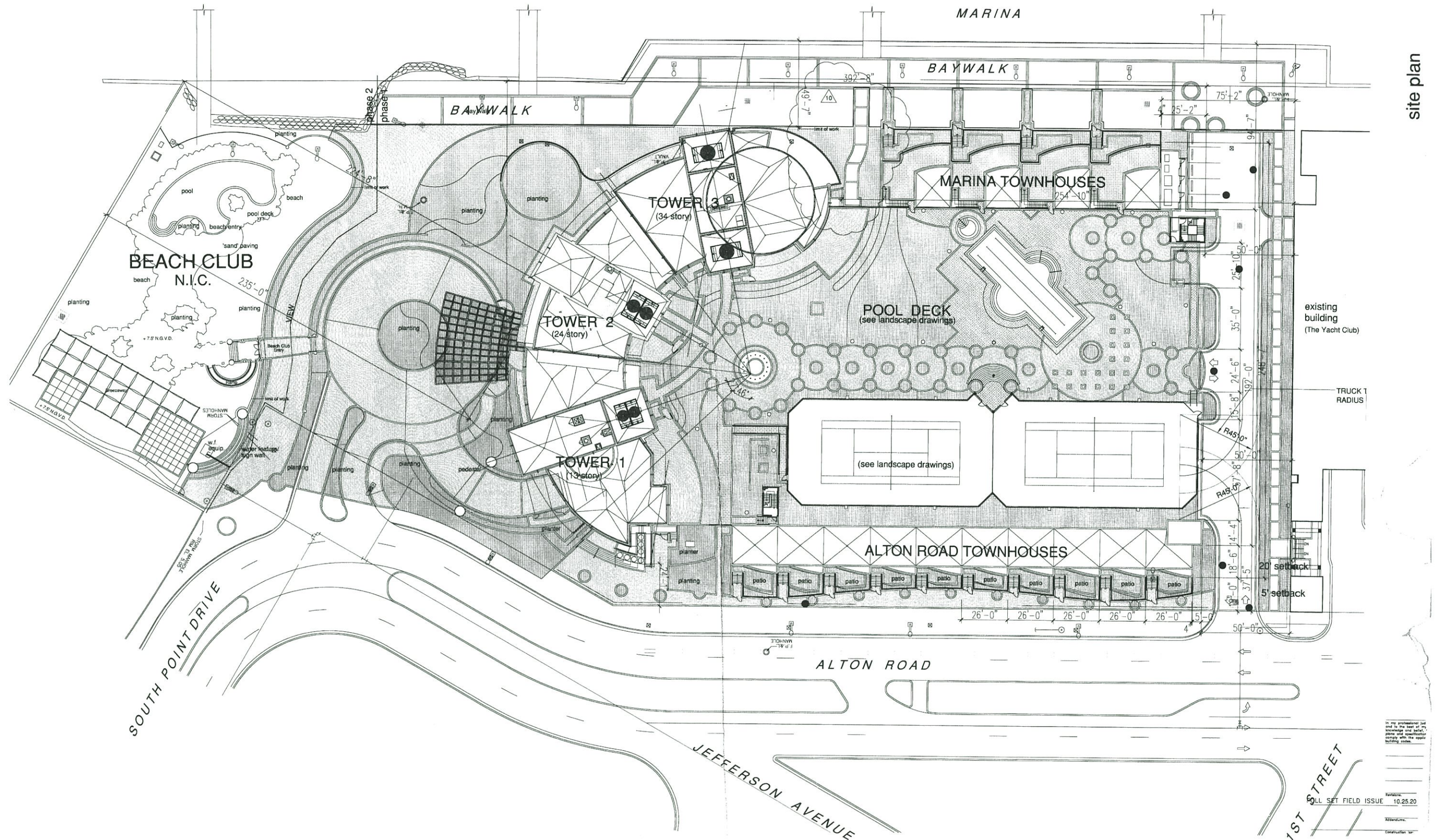
unit 'A' floor plan
3,382 sq.ft. a/c
800 sq.ft. balcony

1/4"

Note:
See sheets A1.22 to 1.25
for slab edge radius
center locations.

FULL SET FIELD ISSUE 10.25.2000
REVISION 09.11.2000/5

I N T E R A C T I V E W A T E R W A Y



site plan

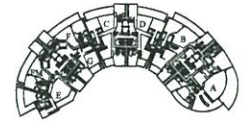
site plan

1:20

The Sieger Suarez Architectural Partnership

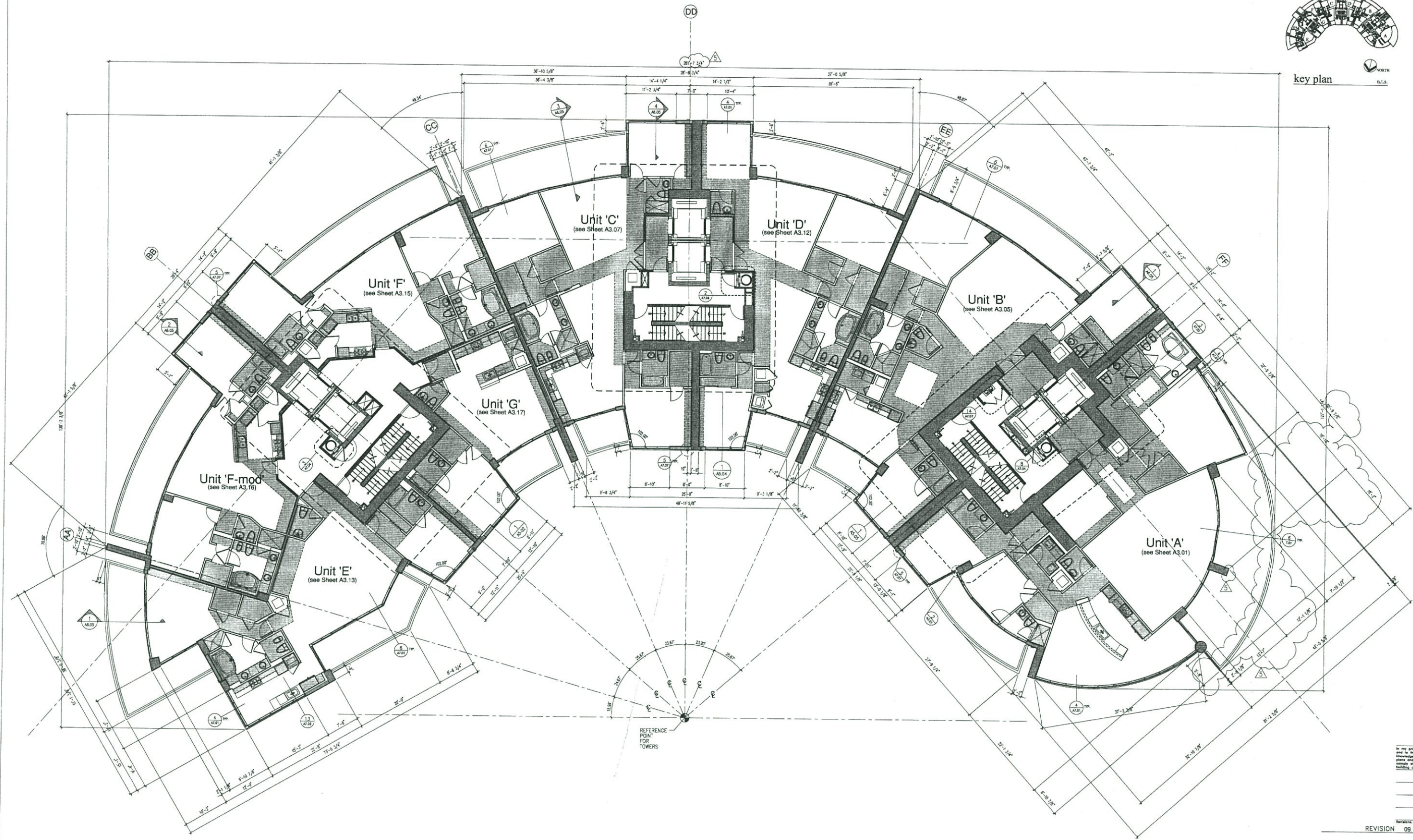
5996 South ... 30 ... 1771-1772

1ST STREET
ALL SET FIELD ISSUE
10.25.20
CONTRACT
BUILDING
FOUNDATION



key plan

levels 4-15 floor plan



levels 4-15 floor plan

elev 4th = 38'-8 1/2"	elev 8th = 77'-6 1/2"	elev 12th = 116'-4 1/2"
elev 5th = 48'-5"	elev 9th = 87'-3"	elev 13th = 126'-1"
elev 6th = 58'-1 1/2"	elev 10th = 96'-11 1/2"	elev 14th = 135'-9 1/2"
elev 7th = 67'-10"	elev 11th = 106'-8"	

1/8"

REV: 11 Sep 2000 - 2.1.m
PCP: 11 Sep 2000 - 2.1.m
2599-A205.dwg
SCALE: 1/8"