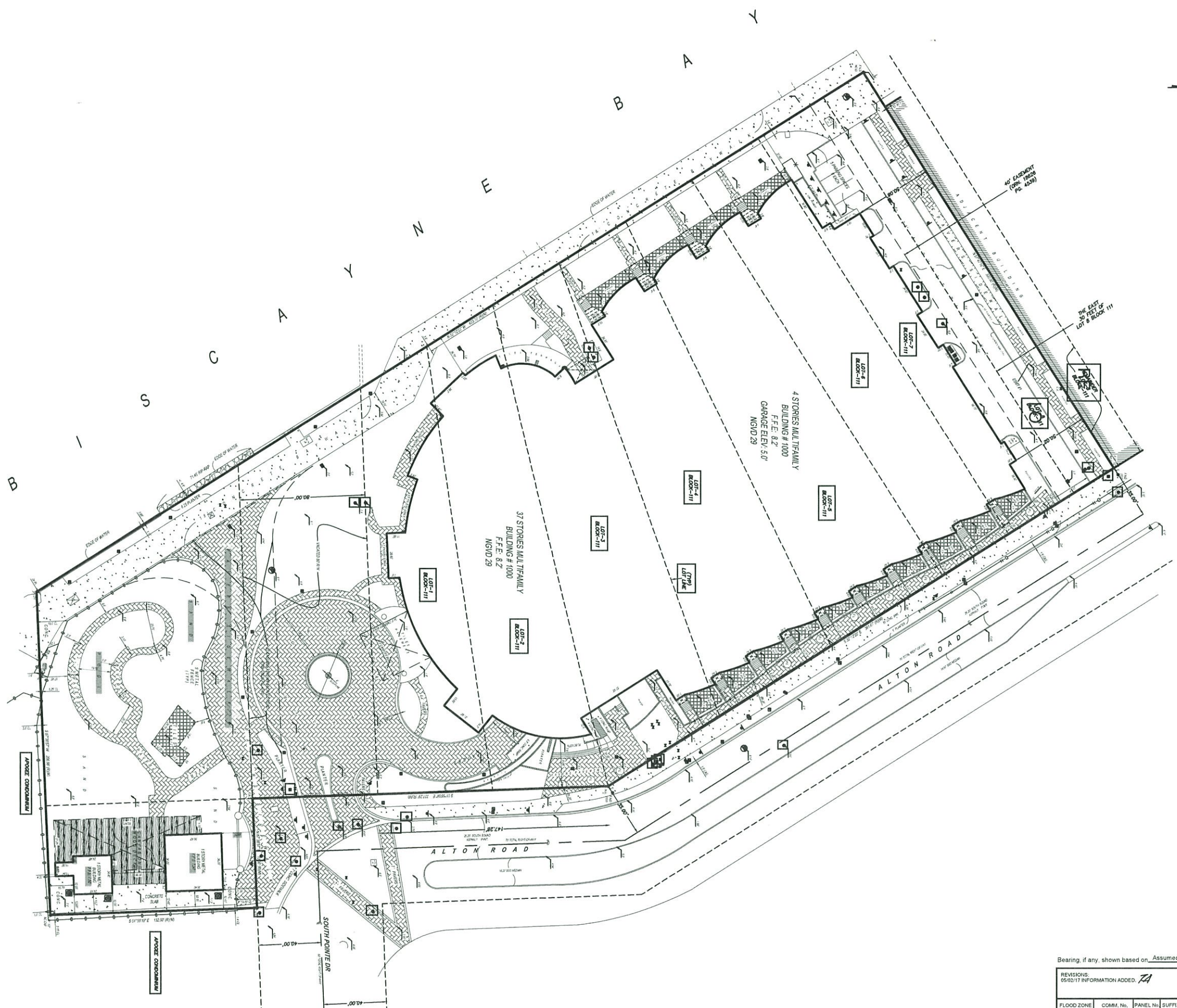


LEGEND
A ASPH - Asphalt
BM Bench Mark
BRG - Bearing
CB - Chain Book
CBS - Concrete Block
CH - Chisel
Chatta - Chatahoocnee
CL - Center Line
CLF - Chain Link Fence
CL - Clear
CONC - Concrete
DME - Drainage & Maintenance
E.B. - Electric Box
ENC - Encroachment
F.F. - Finish Floor
F.H. - Fire Hydrant
F.I.R. - Found Iron Rebar
F.P. - Found Power & Light
F.P.P. - Found Pipe
F.D. - Found
L.P. - Light Pole
M. - Measured
M.F. - Metal Fence
M.H. - Manhole
M - Monument Line
MOR - Monument
NA - Not Applicable
ND - Nail & Disc
NTS - Not to Scale
OS - Other
O.U.L. - Overhead Utility Lines
OH - Overhang
P - Pier
PB - Post Box
PC - Point of Curvature
PCP - Permanent Control Point
PC - Page
P.I. - Point of Intersection
E - Property Line
P - Plaster
P.O.B. - Point of Beginning
P.O.C. - Point of Commencement
P.F. - Power Pole
P.R.M. - Permanent Reference
P.R.C. - Point of Reverse
P.T. - Point of Tangency
R - Radius
RR - Railroad
PSM - Professional Surveyor
M - Marker
RW - Right-of-Way
SWM - Sewer
Sec. - Section
(TYP) - Typical
T - Tangent
U.E. - Utility Easement
V.F. - Wood Fence
V.M. - Water Meter
V.V. - Water Valve
+ - Denotes Spot
Elevations Taken

THIS SURVEY DECLARATION IS MADE ON THE FIELD DATE INDICATED. TO THE OWNER(S) LISTED, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

1. All data shown herein are public unless otherwise noted.
2. The survey was conducted in accordance with the Florida Statutes, Chapter 217, and the Florida Board of Professional Surveyors, Rules and Regulations, Chapter 60, Part 1.
3. The survey was conducted in accordance with the Florida Statutes, Chapter 217, and the Florida Board of Professional Surveyors, Rules and Regulations, Chapter 60, Part 1.
4. The survey was conducted in accordance with the Florida Statutes, Chapter 217, and the Florida Board of Professional Surveyors, Rules and Regulations, Chapter 60, Part 1.
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10. The survey was conducted in accordance with the Florida Statutes, Chapter 217, and the Florida Board of Professional Surveyors, Rules and Regulations, Chapter 60, Part 1.



This property described as
Lots 1 through 7, inclusive and East 30.00 feet of Lot 8 in Block 111, of
OCEAN BEACH FLORIDA ADDITION No. 3, according to the Plat
thereof as recorded in Plat Book 2, Page 81, in the Public Records of
Miami-Dade County, Florida, together with the accretion thereto
And
That part of Biscayne Street (also known as Biscayne Avenue) as shown
on said Plat of OCEAN BEACH FLORIDA ADDITION No. 3, lying
Westerly of the Southerly projection of the West Right-of-Way line of
Jefferson Avenue as shown on said plat and being bounded on the West by
Biscayne Bay
And
All that part of the North 132.00 feet of Section 10, Township 54, Range
42 East, described as Beginning at a point on the Northern boundary of
said Section 10, which is intersection by the Easterly boundary of
Jefferson Avenue extended Southerly across Biscayne Street as a Point or
Place of Beginning thence Southerly containing the Easterly boundary of
Jefferson Avenue extended for a distance of 132.00 feet to a point, thence
Westerly 208.1 feet more or less along a line parallel to and 132.00 feet
Southerly from the Northern line of said Section 10 to Biscayne Bay;
thence Northwesterly meandering the bay to the intersection of the
Northern line of Section 10, thence Easterly along the Northern line of
Section 10, 285.00 feet more or less to the Point or Place of Beginning,
(the Northernly boundary of said Section 10 being common with the
Southerly boundary of Biscayne Street), also described as, all of that part
of the North 132.00 feet of Section 10, Township 54 South, Range 42
East, known as Tract A of The Smith Company Bay Front Tract, more
particularly described as follows, to wit: Bounded on the North by the
Northern line old said Section 10, bounded on the East by the East line of
Jefferson Avenue extended, bounded on the South by a line parallel to and
distant 132.00 feet South of the Northern line of said Section 10, and
bounded on the West by Biscayne Bay, together with the accretions
thereto
The aforementioned parcel being more particularly described as follows
Commence at a point on the northern boundary of Section 10, Township
54, Range 42 East at the intersection of the Easterly boundary of Jefferson
Avenue Right-of-Way at the Southern boundary of Biscayne Street
Right-of-Way, which is the Point of Beginning of the following described
parcel; thence S87°38'57\"/>

CERTIFIED TO:
Mirano at Portofino, a condominium

1000 South Pointe Drive, Miami Beach, FL 33139

Elevations shown refer to N G V D 1929
BM # Tidal 01-R (MIAMI-DADE)
Elevation = 4.23 ft (N G V D)

Bearing, if any, shown based on Assumed meridian (reference) NWLY R N 57°47'16\"/>

REVISIONS:				TOPOGRAPHIC SURVEY				I HEREBY CERTIFY that this survey meets the standards of practice as set forth by the FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS in Chapter 217, Florida Administrative Code, pursuant to Section 217.02, Florida Statutes.				Alvarez, Aiguesvives and Associates, Inc.			
05/02/17 INFORMATION ADDED: <i>TA</i>												Surveyors, Mappers and Land Planners			
FLOOD ZONE				COMM. No.				PANEL No.				5701 S.W. 107th Avenue, Suite 204, Miami, FL 33173			
AE				120651				0319				Phone 305.220.2424 Fax 305.552.8181			
								L				L.B. No. 6867 / E-mail: aaasurvey@aol.com			
F.I.R.M. DATE				F.I.R.M. INDEX				BASE ELEV.				Field Date			
09/11/09				09/11/09				+ 8 FT N.G.V.D.				08/23/16			
												Scale:			
												1"=30'			
												P.A.			
												Drawn by:			
												P.A.			
												Drwg. No.			
												16-18566			



LOOKING NORTH WITH PANELS

project information PROJECT DESCRIPTION:
Proposed Balcony Railing Modification to:
Murano at Portofino
Miami Beach, Florida
owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history

project information
date:
project number:

sheet title
TITLE
SOUTH ELEVATION

sheet number
A1.1
PRINTED
September 24, 2018

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architect of record
William F. Arthur
license number 0012074
design associate
wfa



whadesign est. 1962
AAC0000436
9867 Southwest 184th Street - Palmetto Bay, FL 33157
P 305.443.3100 - F 305.259.3686



LOOKING NORTH WITHOUT PANELS

project information PROJECT DESCRIPTION:
Proposed Balcony Railing Modification to:
Murano at Portofino
Miami Beach, Florida

owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history

project information
date:
project number:

sheet title
TITLE
SOUTH ELEVATION

sheet number
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September 24, 2018

architect of record
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license number 0012074
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UNIT 3602 SOUTH BALCONY LOOKING WEST TOWARD DOWNTOWN MIAMI



UNIT 3602 SOUTH BALCONY LOOKING WEST TOWARD DOWNTOWN MIAMI



UNIT 3602 SOUTH BALCONY LOOKING EAST TOWARD GULF STREAM



architect of record
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license number 0012074
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project information
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Murano at Portofino
Miami Beach, Florida
owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history	project information date: project number:	sheet title TITLE	sheet number A2.1 PRINTED September 24, 2018
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UNIT 1601 WEST BALCONY W/ NORTHERLY VIEW OF CITY SCAPE



UNIT 1601 SOUTH BALCONY W/ SOUTHERLY VIEW OF GOVERNMENT CUT



UNIT 1601 SOUTH BALCONY LOOKING EAST TOWARD GULF STREAM



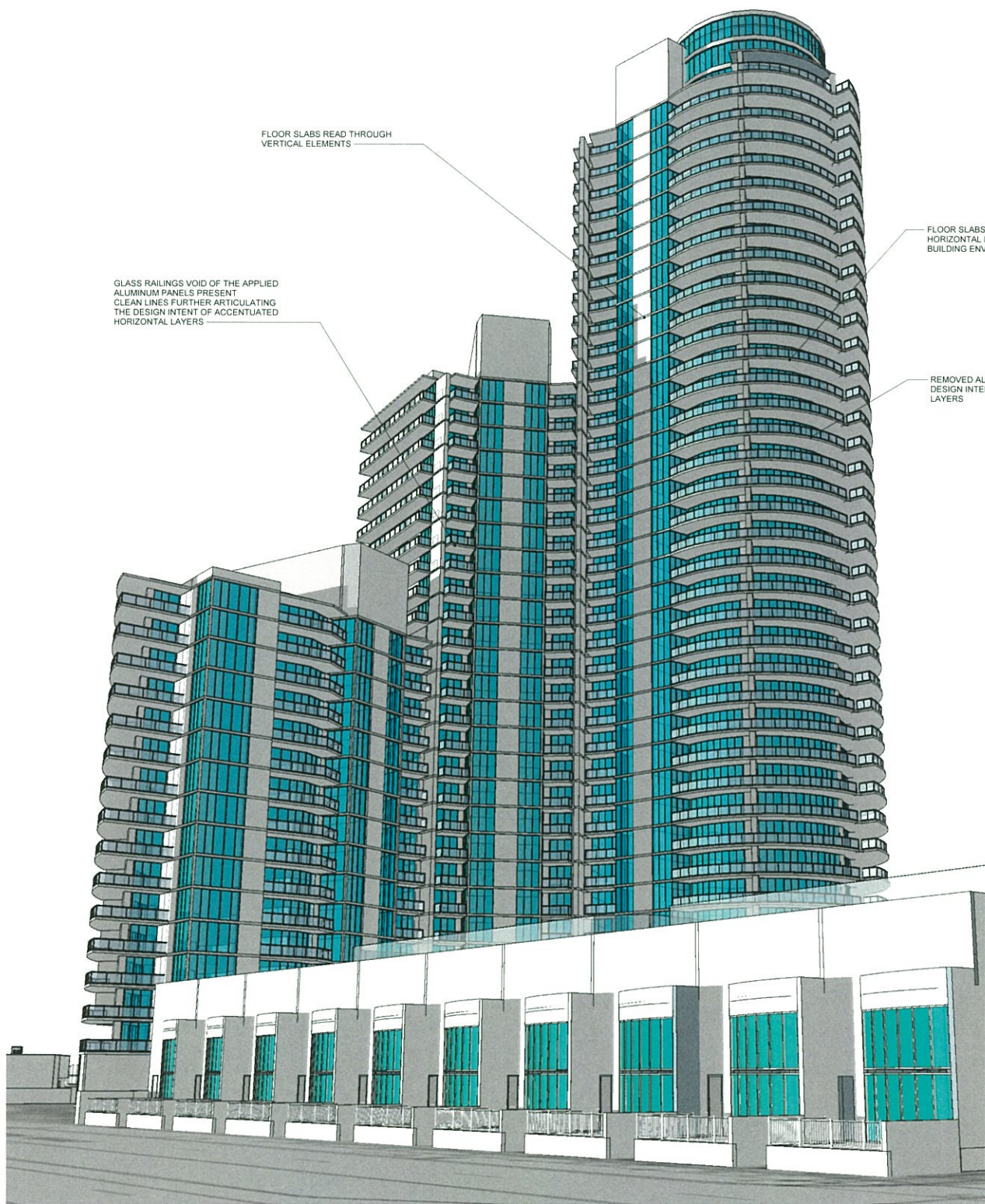
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project information
Proposed Balcony Railing Modification to:
Murano at Portofino
Miami Beach, Florida
owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history
project information
date:
project number:
sheet title
TITLE
NORTH ELEVATION
sheet number
A3.1
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AA26002436
8967 Southwest 184th Street - Palmetto Bay, FL 33157
v. 305.443.3100 - f. 305.259.3986



2 PERSPECTIVE LOOKING SW
A5.0 SCALE: NTS



1 ADHESIVE FAILURE-MISSING PANELS
A5.0 SCALE: NTS

FINAL SUBMITTAL



2014 PHOTO SHOWING MISSING ALUMINUM PANELS



REMEDIAL WORK BEING DONE AFTER RANDOM FAILURE OF RAILING PANELS



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license number 0012074
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wfa

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project information
Proposed Balcony Railing Modification to:
Murano at Portofino
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owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history

project information
date:
project number:

sheet title
TITLE
PANEL PROBLEMS

sheet number
A5.1
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September 24, 2018

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AA206002436
6667 Southwest 194th Street - Palmetto Bay, FL 33157
v. 305.443.3100 - f. 305.259.3666



BUILDING ENTRANCE WITH HORIZONTAL RAILING PANELS



BUILDING ENTRANCE WITHOUT HORIZONTAL RAILING PANELS



whadesign
est. 1992

AA20002436
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license number 0012074
design associate
wfa

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project information
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Murano at Portofino
Miami Beach, Florida

owner information
Murano at Portofino Condo Association
1000 S. Pointe Drive
Miami Beach, Florida

project history

project information
date:

project number:

sheet title
TITLE
COMPARISONS

sheet number
A6.0
PRINTED
September 24, 2018



VIEW OF BUILDING LOOKING WESTERLY WITH THE ALUMINUM PANELS.
THERE DOESN'T APPEAR TO BE ANY OUTSTANDING ARCHITECTURAL
FEATURES THAT WARRANTS THE NEED FOR HORIZONTAL RAILING PANELS



CLEAN LINES ACCENTUATING THE ORIGINAL DESIGN CONCEPT



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est. 1962

AA20000436
9667 Southwest 184th Street - Palmetto Bay, FL 33157
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date:

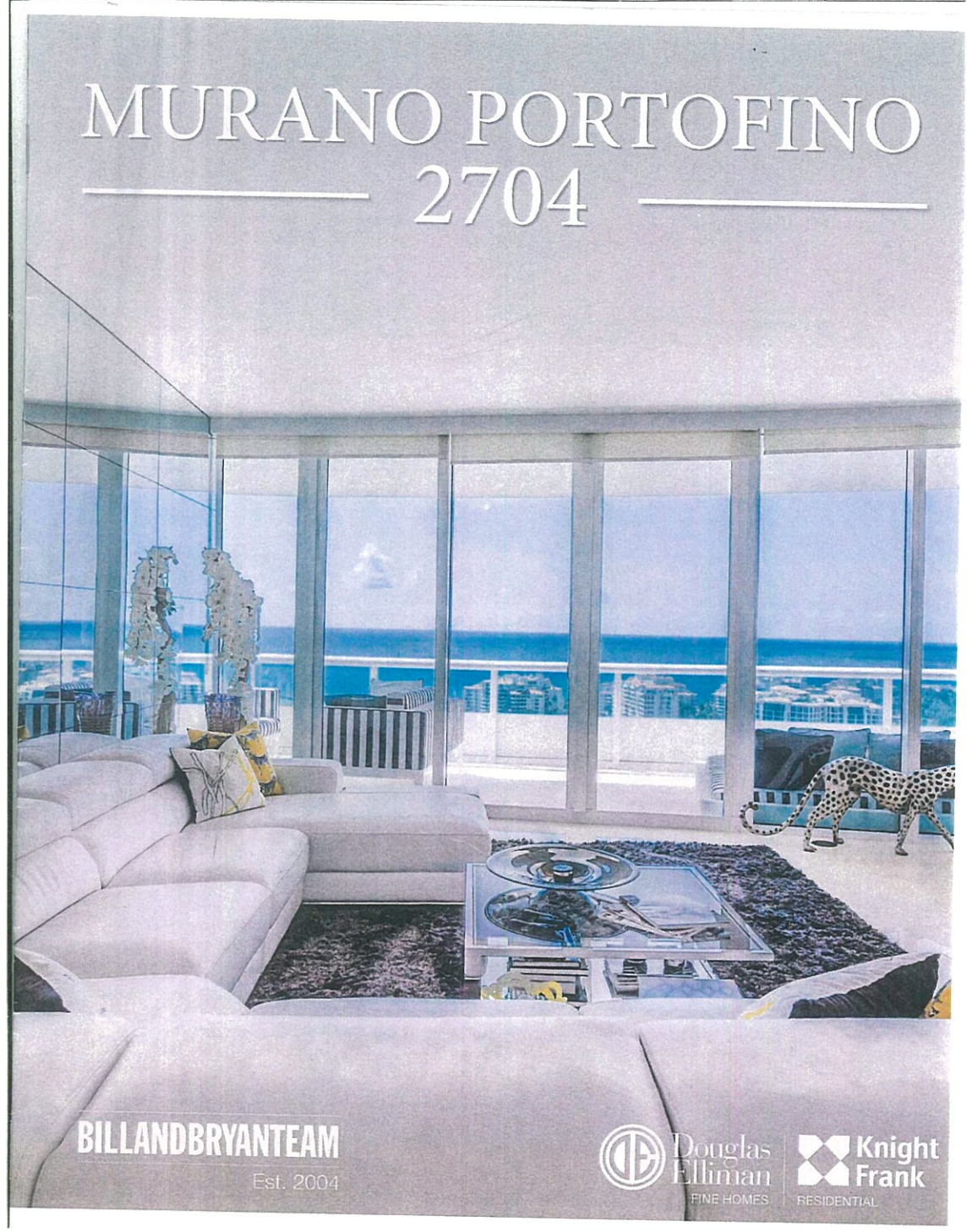
project number:

sheet title
TITLE

COMPARISONS

sheet number

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PRINTED
September 24, 2018



2 UNIT 2704 WITH RAILING PANELS
A6.1 SCALE: NTS



1 UNIT 2704 WITHOUT RAILING PANELS
A6.1 SCALE: NTS

NOTE
"IT JUST DOESN'T MAKE ANY LOGICAL SENSE TO BLOCK
THIS MAGNIFICENT VIEW WITH RAILING PANELS" wmarthur

FINAL SUBMITTAL



whadesign
est. 1992

AA20000336
9887 Southwest 184th Street - Palmetto Bay, FL 33157
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1000 S. Pointe Drive
Miami Beach, Florida

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project information
date:
project number:

sheet title
TITLE
COMPARISONS

sheet number
A6.2
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September 24, 2018