

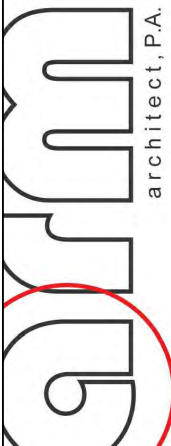


121 4th SAN MARINO TERRACE RESIDENCE - MIAMI BEACH, FLORIDA
FINAL SUBMITTAL WITH VARIANCE - DESIGN REVIEW BOARD

SCOPE OF WORK
1. REMOVAL OF EXISTING STRUCTURE
2. NEW CONSTRUCTION OF 2 STORY SINGLE FAMILY RESIDENCE

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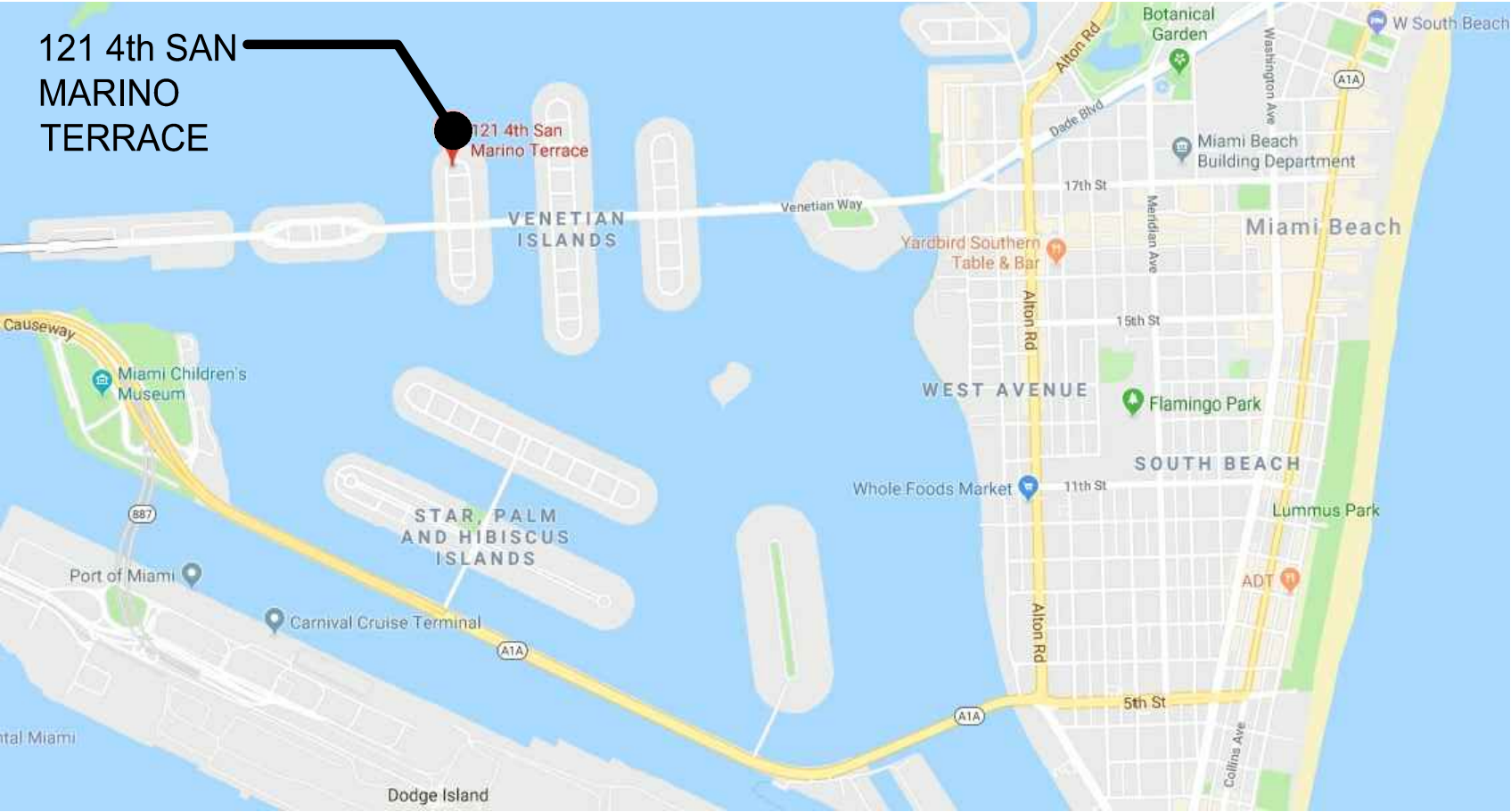
121 4th SAN MARINO TERR.
MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

drawing title.	COVER
project no.	17056
date.	08.03.2018

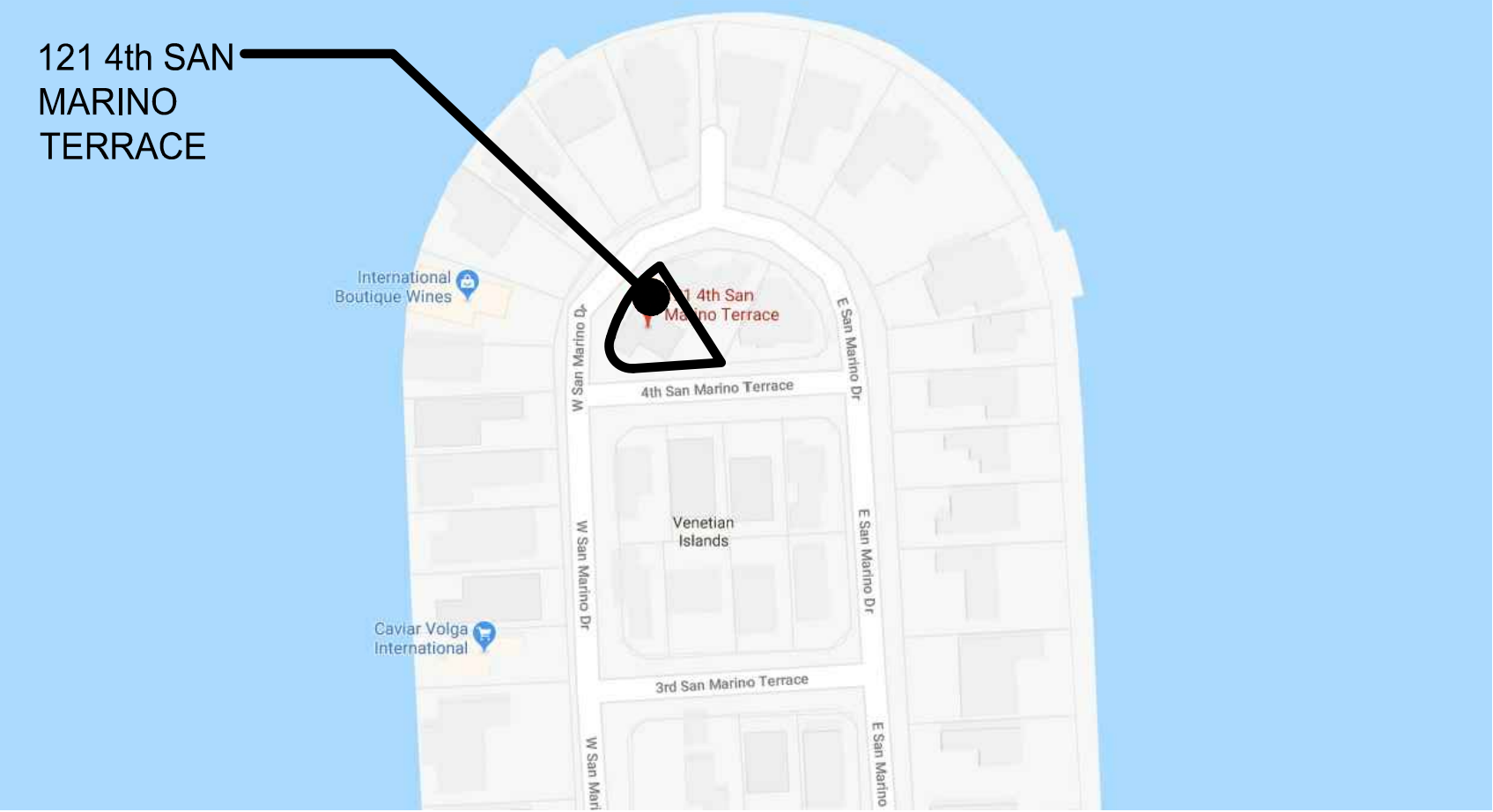
G-1.0

drawing no.

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CITY MAP
NOT TO SCALE



NEIGHBORHOOD MAP
NOT TO SCALE

DRAWING LIST	
SHEET #	SHEET TITLE
G-1.0	COVER
G-2.0	SITE LOCATION & INDEX
G-3.0	SURVEY - NOT TO SCALE
G-4.0	EXISTING SITE CONTEXT
G-5.0	SITE CONTEXT - AERIAL
G-6.0	NEIGHBORHOOD CONTEXT
G-6.1	NEIGHBORHOOD CONTEXT
G-6.2	NEIGHBORHOOD CONTEXT
G-6.3	NEIGHBORHOOD CONTEXT
G-7.0	PHOTO MONTAGE
G-8.0	AERIAL SITE CONTEXT
G-9.0	EXISTING LOT COVERAGE / UNIT SIZE
G-10.0	REMOVAL SITE PLAN
G-11.0	ZONING DATA SHEET
G-11.1	AREA CALCULATIONS
G-12.0	GRADE CALCULATIONS

DRAWING LIST - CONT.	
SHEET #	SHEET TITLE
A-1.0	VARIANCE / WAIVER KEY DIAGRAM
A-2.0	LOT SIZE DIAGRAM
A-3.0	LOT COVERAGE
A-4.0	OPEN AREA - FRONT YARD - 4TH SAN MARINO TERRACE
A-4.1	OPEN AREA - FRONT YARD - SAN MARINO DRIVE
A-5.0	UNIT SIZE - GROUND FLOOR
A-5.1	UNIT SIZE - SECOND FLOOR
A-5.2	UNIT SIZE - ROOF
A-6.0	ROOF DECK
A-7.0	HEIGHT DIAGRAM
A-7.1	HEIGHT DIAGRAM
A-7.2	HEIGHT DIAGRAM
A-8.0	SETBACKS - GROUND FLOOR
A-8.1	SETBACKS - SECOND FLOOR
A-8.2	SIDE YARD DIAGRAMS
A-8.3	FRONT YARD DIAGRAMS
A-8.4	STREET YARD DIAGRAMS
A-9.0	SIDE ELEVATION - GROUND FLOOR
A-9.1	SIDE ELEVATION - SECOND FLOOR
A-10.0	PROPOSED SITE / GROUND PLAN
A-10.1	PROPOSED SECOND FLOOR PLAN
A-10.2	PROPOSED ROOF PLAN
A-11.0	ELEVATION
A-11.1	ELEVATION
A-11.2	ELEVATION
A-12.0	BUILDING SECTION
A-12.1	BUILDING SECTION
A-12.2	BUILDING SECTION
A-13.0	RENDERING
A-13.1	RENDERING
A-13.2	RENDERING
A-13.3	RENDERING
A-14.0	AXONOMETRIC DIAGRAM
A-15.0	MATERIALS
LA-01	LANDSCAPE PLAN
LA-02	LANDSCAPE NOTES, DETAILS & LEGEND
LA-03	TREE SURVEY / DISPOSITION PLAN
LA-04	GRADING / CONTOUR PLAN

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G-2.0

SITE LOCATION/INDEX

drawing title.

project no.

date.

17056

08.03.2018

121 4th SAN MARINO TERR.

MIAMI BEACH, FL 33139-1102

FOLIO #: 02-3232-004-0030

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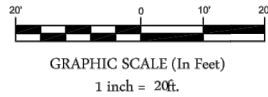
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arm

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LEGAL DESCRIPTION:

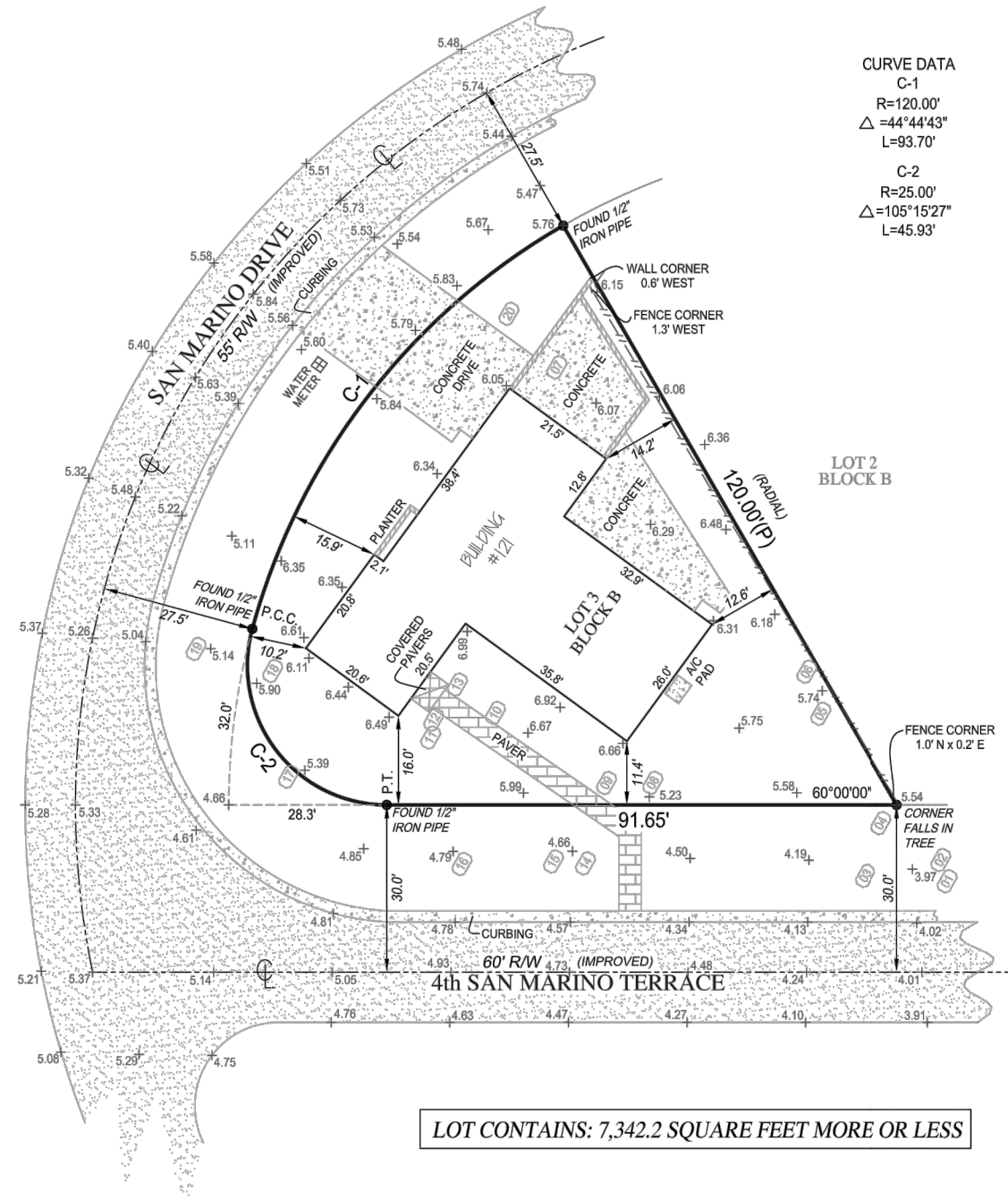
LOT 3, BLOCK B, ADDRESS RESUBDIVISION OF BLOCK "B"-SAN MARINO ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 39, PAGE 17, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ZONE: AE
COMMUNITY NUMBER: 120651
PANEL: 12086C316
SUFFIX: L
BASE FLOOD LEVEL: 9



ORIGINATION BENCHMARK
PK NAIL AND BRASS WASHER
"D-170-R"
N.G.V.D. 1929 ELEVATION = 7.80

#	SIZE & DESCRIPTION
01	1.50' ROYAL PALM
02	1.55' ROYAL PALM
03	0.50' COCONUT PALM
04	10.0' BANYAN TREE
05	0.75' COCONUT PALM
06	1.30' ROYAL PALM
07	0.60' EACH PALM TREE CLUSTER
08	0.65' PALM TREE
09	0.55' PALM TREE
10	0.80' PALM TREE
11	0.75' PALM TREE
12	0.20' PINE TREE
13	0.20' PINE TREE
14	1.50' ROYAL PALM
15	0.25' PALM TREE CLUSTER
16	0.40' PALM TREE CLUSTER
17	0.40' PALM TREE
18	0.30' PALM TREE CLUSTER
19	0.50' PALM TREE CLUSTER
20	1.20' PALM TREE



ABBREVIATION DESCRIPTION:
A/C AIR CONDITIONER
C/L CENTERLINE
I.D. IDENTIFICATION
LB LICENSED BUSINESS
N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM
P.C.C. POINT OF CONTINUOUS CURVATURE
P-K PARKER KYLON NAIL
P.T. POINT OF TANGENCY
PSM PROFESSIONAL SURVEYOR MAPPER
R/W RIGHT OF WAY
R RADIUS
 Δ DELTA
L LENGTH
TOPOGRAPHIC ELEVATION
TREE IDENTIFIER

ORIGINAL FIELD WORK
COMPLETED BY:
TARGET SURVEYING, LLC
DATED: 04/18/2017
SURVEY #287911

NOTES:

- LEGAL DESCRIPTION PROVIDED BY CLIENT
- NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
- NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

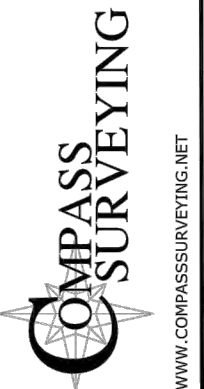


Kenneth J. Osborne PSM #6415
THIS SURVEY IS NOT VALID WITHOUT
THE SIGNATURE AND THE ORIGINAL RAISED SEAL
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

TOPOGRAPHIC AND TREE SURVEY OF
121 4TH SAN MARINO TERRACE
MIAMI BEACH, FL 33139
PREPARED FOR
FABRIZIO YAMNUZZELLI VERVAZA

Project
C-15053
Date
07-31-2017
Scale
1" = 20'
Sheet
1 OF 1

6250 N. MILITARY TRAIL, SUITE 102
WEST PALM BEACH, FL 33407
PHONE: 561.640.4800
FAX: 561.640.0576
LB #7463





1: SW CORNER



2: FRONT



3: SE CORNER



4: NW CORNER



5: STREET SIDE



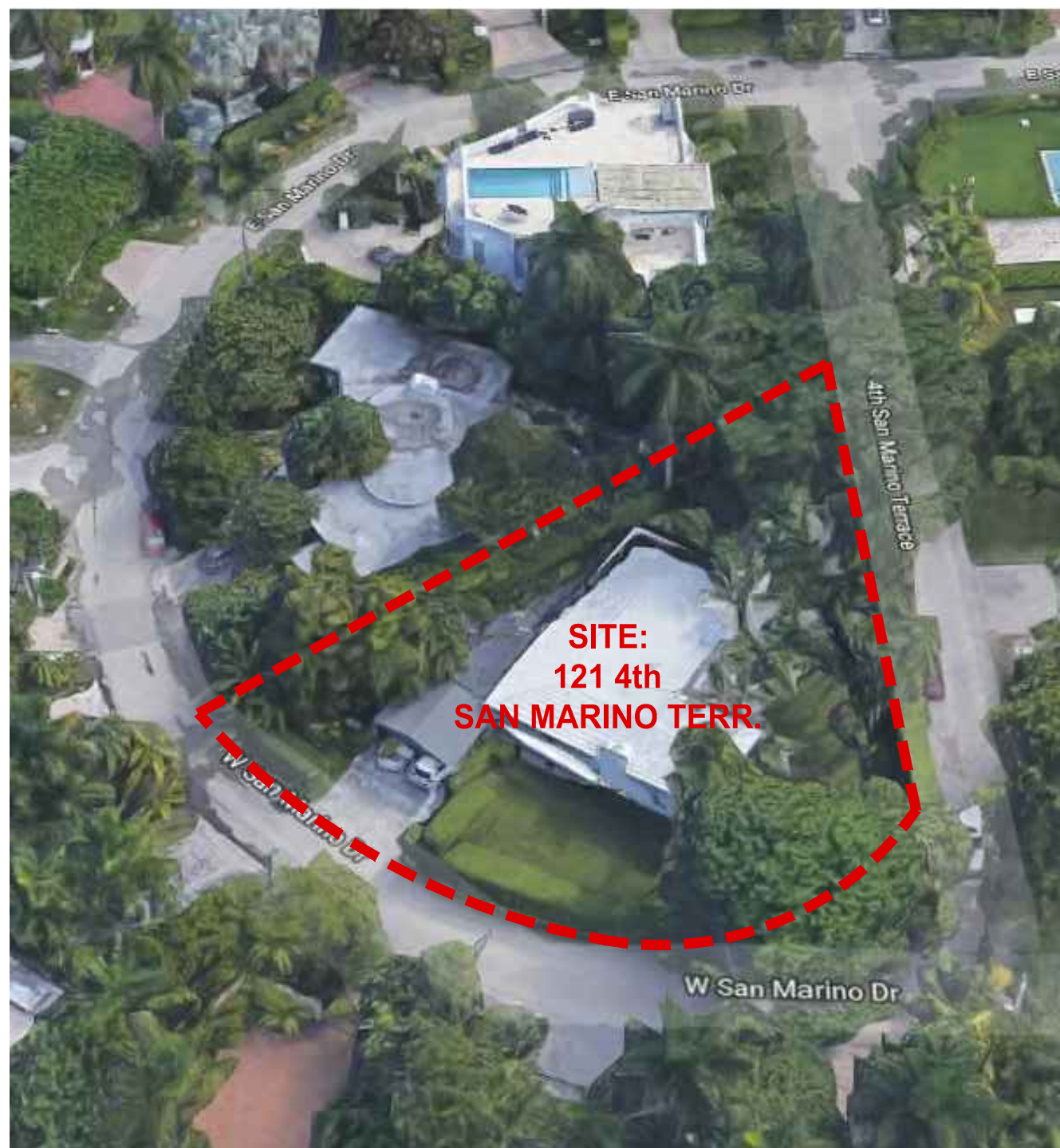
6: SW CORNER



7: SW STREET CORNER

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121 4th SAN MARINO TERR. MIAMI BEACH, FL 33139-1102 FOLIO #: 02-3232-004-0030 project address.		drawing title. EXIST. SITE CONTEXT	G-4.0 drawing no.
project no. 17056	date. 08.03.2018	© 2018 ARM ARCHITECT, P.A.	



FRONT AERIAL VIEW
NOT TO SCALE



SIDE AERIAL VIEW
NOT TO SCALE

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121 4th SAN MARINO TERR.
MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

drawing title.	SITE CONTEXT-AERIAL
project no.	17056
date.	08.03.2018
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project address



1: 400 E SAN MARINO DR.



2: 400 E SAN MARINO DR.



3: 424 E SAN MARINO DR.



4: 424 E SAN MARINO DR.



5: 324 W SAN MARINO DR.

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121 4th SAN MARINO TERR.
MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

drawing title.	NEIGHBRDH CONTEXT	G-6.0
project no.	17056	
date.	08.03.2018	drawing no.
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1: 400 W SAN MARINO DR.



3: 416 W SAN MARINO DR.



2: 410 W SAN MARINO DR.

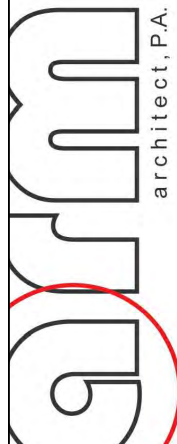


4: 420 W SAN MARINO DR.



5: 426 W SAN MARINO DR.

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121 4th SAN MARINO TERR.
MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

drawing title.	NEIGHBRDH CONTEXT	G-6.1
project no.	17056	
date.	08.03.2018	drawing no.
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1: 430 W SAN MARINO DR.



3: 427 E SAN MARINO DR.



2: 431 E SAN MARINO DR.



4: 421 E SAN MARINO DR.



5: 409 E SAN MARINO DR.

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121 4th SAN MARINO TERR.
MIAMI BEACH, FL 33139-1102
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project address.

drawing title.	NEIGHBRDH CONTEXT	G-6.2
project no.	17056	
date.	08.03.2018	drawing no.
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1: 405 E SAN MARINO DR.



3: 110 4TH SAN MARINO TERRACE



2: 330 E SAN MARINO DR.

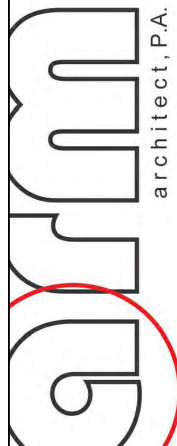


4: 114 4TH SAN MARINO TERRACE



5: 315 W SAN MARINO DR.

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121 4th SAN MARINO TERR. MIAMI BEACH, FL 33139-1102 FOLIO #: 02-3232-004-0030 project address.		drawing title. NEIGHBRDH CONTEXT	G-6.3
project no. 17056	date. 08.03.2018	drawing no.	© 2018 ARM ARCHITECT, P.A.



400 E SAN MARINO DR.



424 E SAN MARINO DR.



121 4TH SAN MARINO TERR.



EXISTING



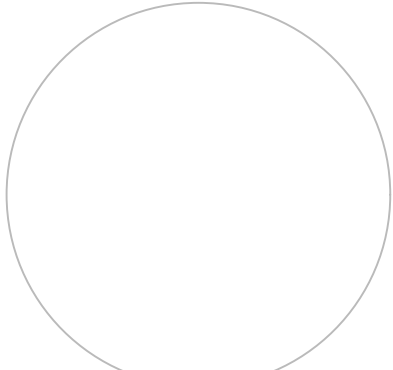
PROPOSED



424 E SAN MARINO DR.

400 E SAN MARINO DR.

121 4TH SAN MARINO TERR.



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FLORIDA REGISTRATION
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G-7.0

drawing no.

PHOTO MONTAGE

17056

08.03.2018

project no.

date.

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121 4th SAN MARINO TERR.

MIAMI BEACH, FL 33139-1102

FOLIO #: 02-3232-004-0030

project address.

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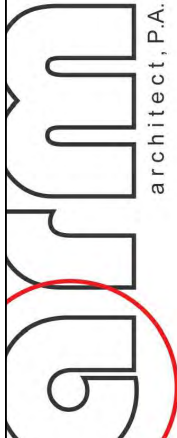
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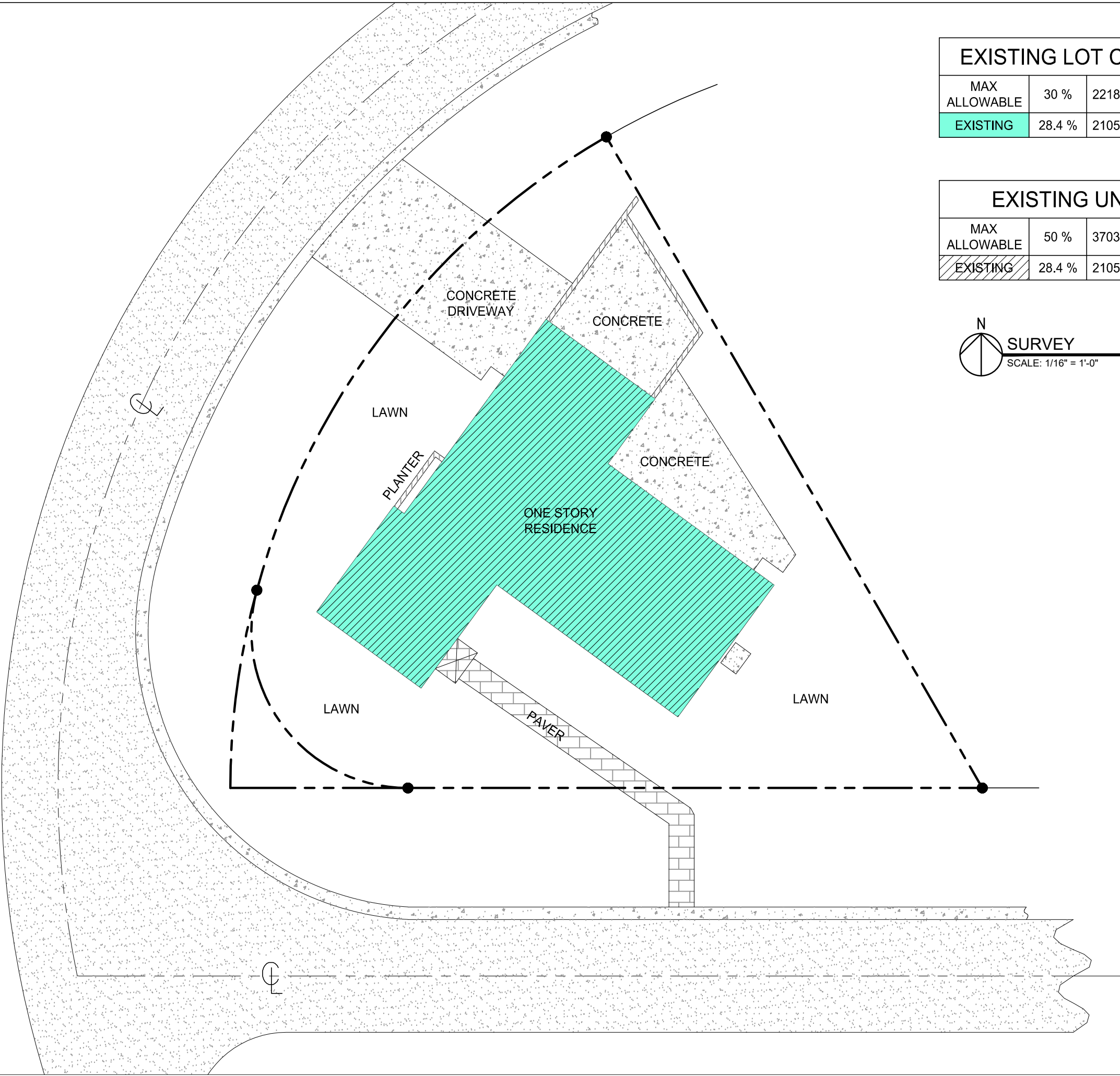
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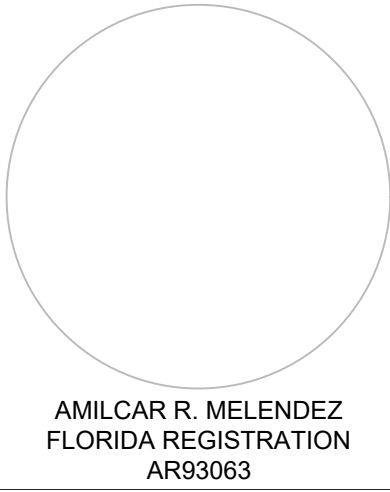
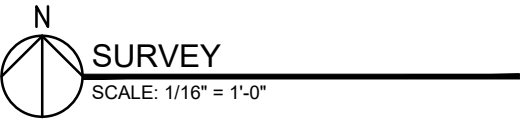
121 4th SAN MARINO TERR.
MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

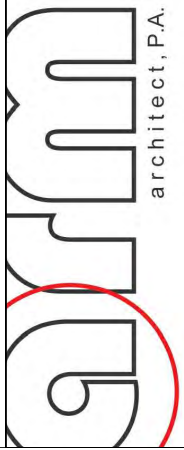
drawing title.	AERIAL SITE CONTEXT	G-8.0
project no.	17056	
date.	08.03.2018	drawing no.
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EXISTING LOT COVERAGE		
MAX ALLOWABLE	30 %	2218 SF
EXISTING	28.4 %	2105 SF

EXISTING UNIT SIZE		
MAX ALLOWABLE	50 %	3703 SF
EXISTING	28.4 %	2105 SF



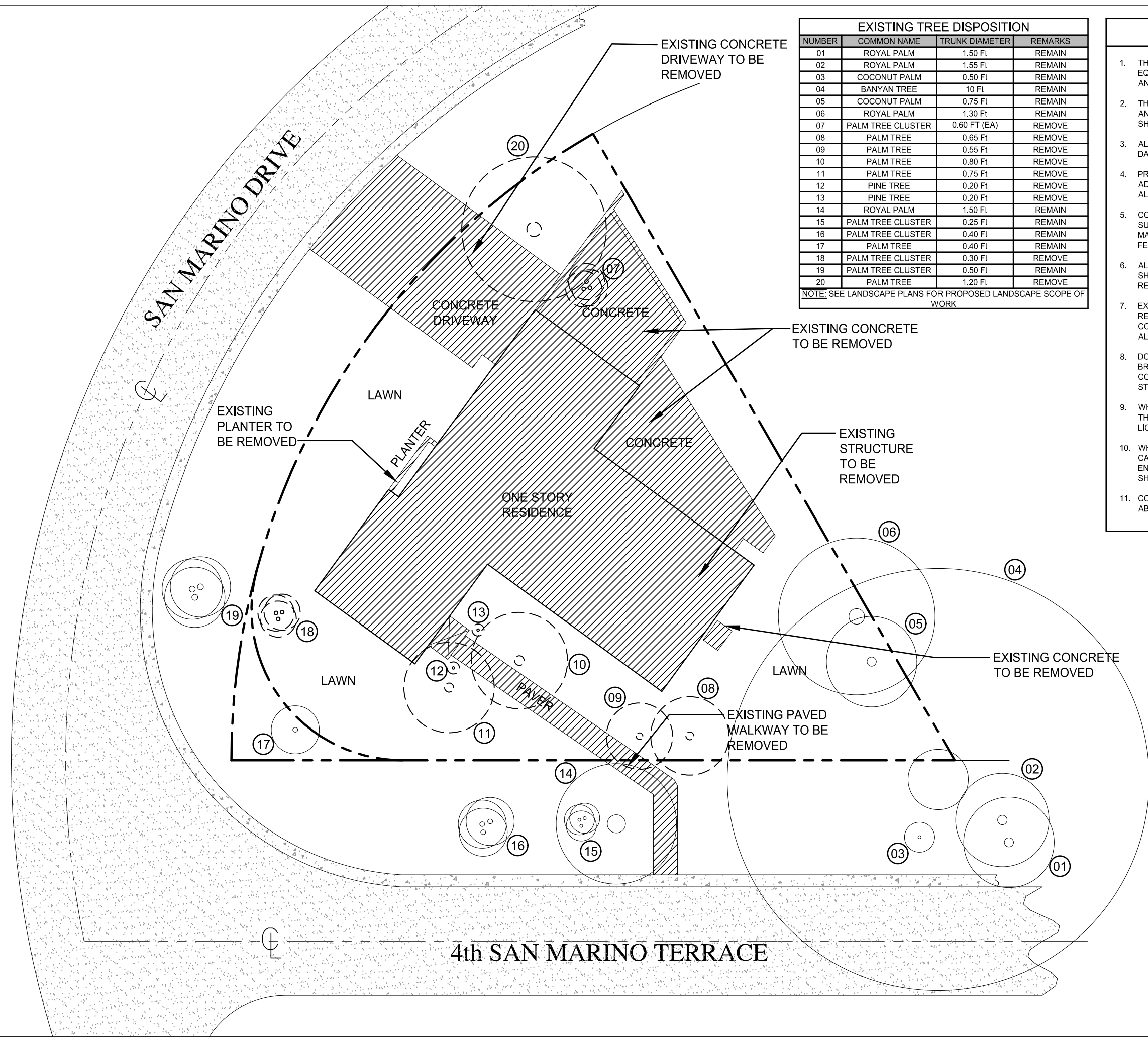


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MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

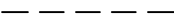
drawing title.	EXIST. LOT COV/UNIT	G-9.0
project no.	17056	
date.	08.03.2018	
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EXISTING TREE DISPOSITION			
NUMBER	COMMON NAME	TRUNK DIAMETER	REMARKS
01	ROYAL PALM	1.50 Ft	REMAIN
02	ROYAL PALM	1.55 Ft	REMAIN
03	COCONUT PALM	0.50 Ft	REMAIN
04	BANYAN TREE	10 Ft	REMAIN
05	COCONUT PALM	0.75 Ft	REMAIN
06	ROYAL PALM	1.30 Ft	REMAIN
07	PALM TREE CLUSTER	0.60 FT (EA)	REMOVE
08	PALM TREE	0.65 Ft	REMOVE
09	PALM TREE	0.55 Ft	REMOVE
10	PALM TREE	0.80 Ft	REMOVE
11	PALM TREE	0.75 Ft	REMOVE
12	PINE TREE	0.20 Ft	REMOVE
13	PINE TREE	0.20 Ft	REMOVE
14	ROYAL PALM	1.50 Ft	REMAIN
15	PALM TREE CLUSTER	0.25 Ft	REMAIN
16	PALM TREE CLUSTER	0.40 Ft	REMAIN
17	PALM TREE	0.40 Ft	REMAIN
18	PALM TREE CLUSTER	0.30 Ft	REMOVE
19	PALM TREE CLUSTER	0.50 Ft	REMAIN
20	PALM TREE	1.20 Ft	REMOVE
NOTE: SEE LANDSCAPE PLANS FOR PROPOSED LANDSCAPE SCOPE OF WORK			

REMOVAL NOTES

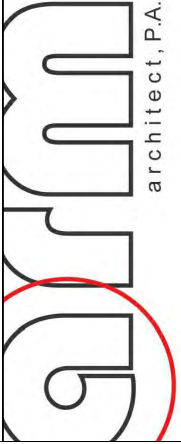
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES REQUIRED TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
2. THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING AND VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING ARE IN PLACE AND SHOWN ACCURATELY.
3. ALL DEMOLITION WORK SHALL BE PERFORMED BY CAUSING THE LEAST POSSIBLE DAMAGE TO THE EXISTING WORK TO REMAIN.
4. PROVISIONS SHALL BE MADE TO MINIMIZE THE SPREAD OF DEBRIS AND DUST TO ADJACENT PROPERTIES. SITE SHALL BE MAINTAINED AS CLEAN AS POSSIBLE AT ALL TIMES.
5. CONTRACTOR SHALL IDENTIFY ANY HAZARDOUS MATERIALS TO BE REMOVED, SUCH AS ASBESTOS, PRIOR TO THE BEGINNING OF DEMOLITION. HAZARDOUS MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH LOCAL, STATE, OR FEDERAL CODES AND REGULATIONS
6. ALL DEBRIS AND MATERIALS DEMOLISHED OR REMOVED FROM THE BUILDING SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, OR FEDERAL REGULATIONS.
7. EXISTING WORK TO REMAIN WHICH HAS BEEN DAMAGED OR DISTURBED AS A RESULT OF THE DEMOLITION PROCESS SHALL BE RESTORED TO "LIKE NEW" CONDITION. ALL EXISTING SURFACES AND FINISHES REQUIRED TO MATCH AND ALIGN WITH NEW CONSTRUCTION SHALL BE REPLACED IF DAMAGED OR ALTERED.
8. DO NOT REMOVE ANY EXISTING STRUCTURAL MEMBERS BEFORE SHORING AND BRACING AS REQUIRED. CONTACT ARCHITECT WITH ANY QUESTIONS OR CONCERNS REGARDING UNCLEAR INFORMATION ABOUT THE REMOVAL OF ANY STRUCTURAL MEMBER.
9. WHERE ELECTRICAL WORK NEEDS TO BE ABANDONED, REMOVE WIRE BACK TO THE ELECTRICAL PANEL. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
10. WHERE PLUMBING PIPING NEEDS TO BE ABANDONED REMOVE PIPING WHERE IT CAN BE CAPPED. WHERE PLUMBING VENTS NEED TO BE ABANDONED, REMOVE ENTIRELY. PATCH AND REPAIR ROOF PENETRATIONS. ALL PLUMBING DEMOLITION SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR.
11. CONTACT GAS UTILITY COMPANY IF GAS LINES ARE REQUIRED TO BE REMOVED OR ABANDONED.

-  EXISTING TO BE REMOVED
-  EXISTING TREE TO BE REMOVED

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SCALE: 1/16" = 1'-0"

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MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

drawing title. REMOVAL SITE PLAN

drawing no. G-10.0

project no. 17056

date. 08.03.2018

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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	ZONING INFORMATION				
1	ADDRESS	121 4th SAN MARINO TERRACE			
2	FOLIO NUMBER	02-3232-004-0030			
3	BOARD AND FILE NUMBER				
4	YEAR BUILT	1936	ZONING DISTRICT	RS-4	
5	BASE FLOOD ELEVATION (FEET)	9.00	GRADE VALUE IN NGVD (FLOOD + FREE BOARD)	10.0 NGVD	
6	ADJUSTED GRADE	6.80	FREE BOARD	1.00 FT	
7	LOT AREA (SF)	7,342			
8	LOT WIDTH (FT)	91.60	LOT DEPTH (SF)	N/A	
9	MAX LOT COVERAGE (SF AND %)	2202 SF / 30 %	PROPOSED LOT COVERAGE (SF AND %)	2279 SF / 31 %	
10	EXISTING LOT COVERAGE (SF AND %)	2105 SF / 28.7 %	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) (SF)	436 SF	
11	FRONT YARD OPEN SPACE (SF AND %)	2042 SF/65.5% - 960 SF/51.9%	REAR YARD OPEN SPACE (SF AND %)	N/A	
12	MAX UNIT SIZE (SF AND %)	3671 SF / 50 %	PROPOSED UNIT SIZE (SF AND %)	3739.8 SF / 51%	
13	EXISTING FIRST FLOOR UNIT SIZE (SF)	2105 SF / 28.7 %	PROPOSED FIRST FLOOR UNIT SIZE (SF)	1843.4 SF / 25.1 %	
14	EXISTING SECOND FLOOR UNIT SIZE (SF)	N/A	PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE (SF AND %) (NOTE: TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRED DRB APPROVAL)	1824.6 SF / 83.9 % (WAIVER REQUESTED)	
15			PROPOSED SECOND FLOOR UNIT SIZE (SF AND %)	1824.6 SF / 24.9 %	
16			PROPOSED ROOF DECK AREA (SF AND %) (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	363 / 19.9 % (OF ROOF DIRECTLY BELOW)	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT (FT)	27	24	N/A	N/A
18	SETBACKS (FT)				
19	FRONT FIRST LEVEL (FT)	20	11.4	30	N/A
20	FRONT SECOND LEVEL (FT)	30	N/A	30	N/A
21	SIDE-STREET (FT) (25% LOT WIDTH)	15 FT MIN	10.2	10.5	4.5 FT VARIANCE REQUESTED
22	SIDE-INTERIOR (FT) (25% LOT WIDTH)	10 FT MIN	12.6	7.5	2.5 FT VARIANCE REQUESTED
23	REAR (FT)	N/A	N/A	N/A	N/A
24	ACCESSORY (POOL) FRONT-ST. (FT)	20	N/A	11.2	VARIANCE REQUESTED TO HAVE POOL AT FRONT YARD. 8.8 FT VARIANCE REQUESTED FOR POOL AND POOL DECK VARIANCE
25	ACCESSORY (POOL) SIDE-INT (FT)	7.5	N/A	34.9	
26	ACCESSORY (POOL DECK) FRONT (FT)	20	N/A	11.2	
28	ACCESSORY STRUCTURE REAR (FT)	N/A	N/A	N/A	N/A
28	SUM OF SIDE YARD (25% LOT WIDTH)	22.9 (25 FT MIN)	22.8	18.00	7 FT (VARIANCE REQUESTED)
29	LOCATED WITHIN LOCAL HISTORIC DISTRICT?	NO			
30	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?	NO			
31	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?	NO			

ZONING DATA

- PROJECT DESCRIPTION: NEW CONSTRUCTION OF 2 STORY SINGLE FAMILY
- MUNICIPALITY: MIAMI BEACH
- STREET ADDRESS: 121 4th SAN MARINO TERRACE, MIAMI BEACH, FL 33139-1102
- FOLIO #: 02-3232-004-0030
- ZONING DISTRICT: RS-4
- FEMA ZONE: AE
- BFE: 9.00 NGVD

CODE OF ORDINANCES' REFERENCES

- LOT AREA: 142-105
- MINIMUM LOT WIDTH: 142-105
- GROSS BUILDING AREA: 142-105
- LOT COVERAGE: 142-105
- BUILDING HEIGHT: 54-35
- BUILDING SETBACKS: 142-106
- ACCESSORY: 142-1132
- DRIVEWAYS: 142-1133
- PROJECTIONS: 142-1132, 142-105
- OTHER DIMENSIONAL REQ.: 142-105

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ZONING DATA SHEET

drawing title.

project no.

date.

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08.03.2018

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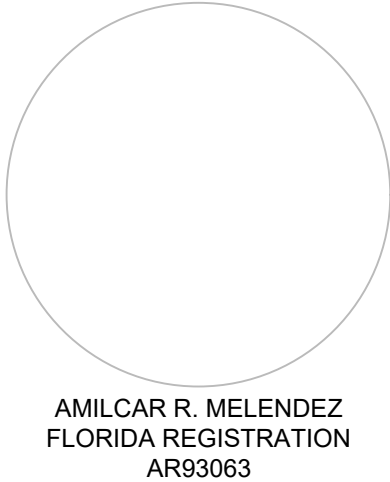
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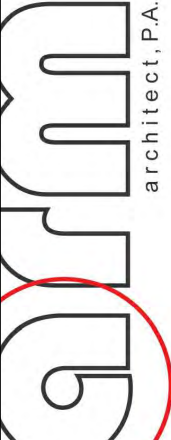
AREA CALCULATIONS		
	ALLOWED	PROVIDED
LOT SIZE	6000 SF	7342 SF
LOT COVERAGE	2202 SF, 30% MAX (7342 SF X .30)	2187.6 SF (29.8%)
UNIT SIZE	3671 SF, 50% MAX (7342 SF X .50)	3739.8 SF (51%)
GROUND LEVEL	X SF	1843.4 SF
GARAGE	500 SF	436 SF
2ND LEVEL	1226.3 SF (70% GROUND LEVEL MAX)	1824.6 SF (104.2 %)
ROOF	-	78.5 SF (ELEVATOR AND LOBBY)
ROOF TERRACE	456.2 SF MAX (1824.6 SF X .25) OF 1824.6 SF (ROOF AREA)	294 SF (16.1%)

ZONING DATA
- PROJECT DESCRIPTION: NEW CONSTRUCTION OF 2 STORY SINGLE FAMILY - MUNICIPALITY: MIAMI BEACH - STREET ADDRESS: 121 4th SAN MARINO TERRACE, MIAMI BEACH, FL 33139-1102 - FOLIO #: 02-3232-004-0030 - ZONING DISTRICT: RS-4 - FEMA ZONE: AE - BFE: 9.00 NGVD

CODE OF ORDINANCES' REFERENCES
- LOT AREA: 142-105 - MINIMUM LOT WIDTH: 142-105 - GROSS BUILDING AREA: 142-105 - LOT COVERAGE: 142-105 - BUILDING HEIGHT: 54-35 - BUILDING SETBACKS: 142-106 - ACCESSORY: 142-1132 - DRIVEWAYS: 142-1133 - PROJECTIONS: 142-1132, 142-105 - OTHER DIMENSIONAL REQ.: 142-105



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date.

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Calculation of Minimum and Maximum Yards

PROPERTY CONDITIONS

Waterfront Lot (Yes/No)	NO
Corner property (Yes/No)	YES
Sidewalk (yes/no)	NO
Sidewalk elevation at the centerline of the front of the property	
Crown of road at center of property (if no sidewalk exists or is proposed)	4.730
Flood Elevation	9.000
Freeboard (provided)	1.000

INTERIOR SIDEYARD CONDITIONS

Inidcate yes only for the condition that applies

		Max. Yard Elevation
Yes	Default Conditon unless one of the below applies Maximum Yard Elevation	7.230
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	9.365
	Is the abutting property vacant?	9.365
	Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	9.000

REAR YARD CONDITIONS

Inidcate yes only for the condition that applies

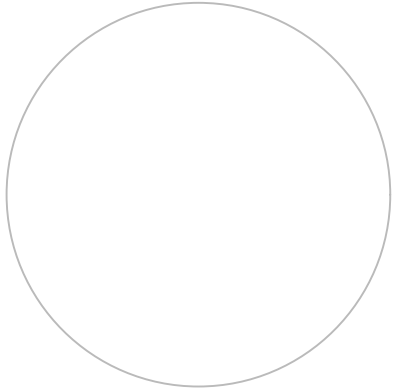
		Max. Yard Elevation
Yes	Default Conditon unless one of the below applies Maximum Yard Elevation	7.230
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	9.365
	Is the abutting property vacant?	9.365
	Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	9.000

RESULTS

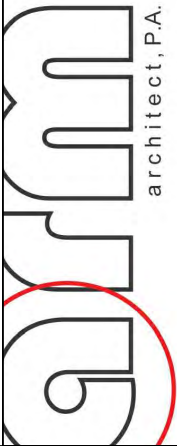
Grade	4.73
Adjusted Grade	6.865
30" above Grade	7.23
Future Crown of Road	5.25
Future Adjusted Grade	7.625
Minimum Freeboard Elev.	10.000
Maximum Freeboard Elev.	14.000
Minimum Yard Elevation	6.56
Min. Garage elevation (for a detached or attached garage, not under the house	6.865
Minimum garage ceiling elevation	18.000

Front Yard	
Min Yard Elevation	6.560
Max Yard Elevation	7.625
Interior Side	
Min Yard Elevation	6.560
Max Yard Elevation	7.230
Streetside	
Min Yard Elevation	6.560
Max yard Elevation	7.625
Non-Waterfront	
Min Yard Elevation	6.560
Max Yard Elevation	7.230

Interior Side Yard Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 7.230	Non-Waterfront Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 7.230	Streetside Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 7.625
Front Yard Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 7.625		



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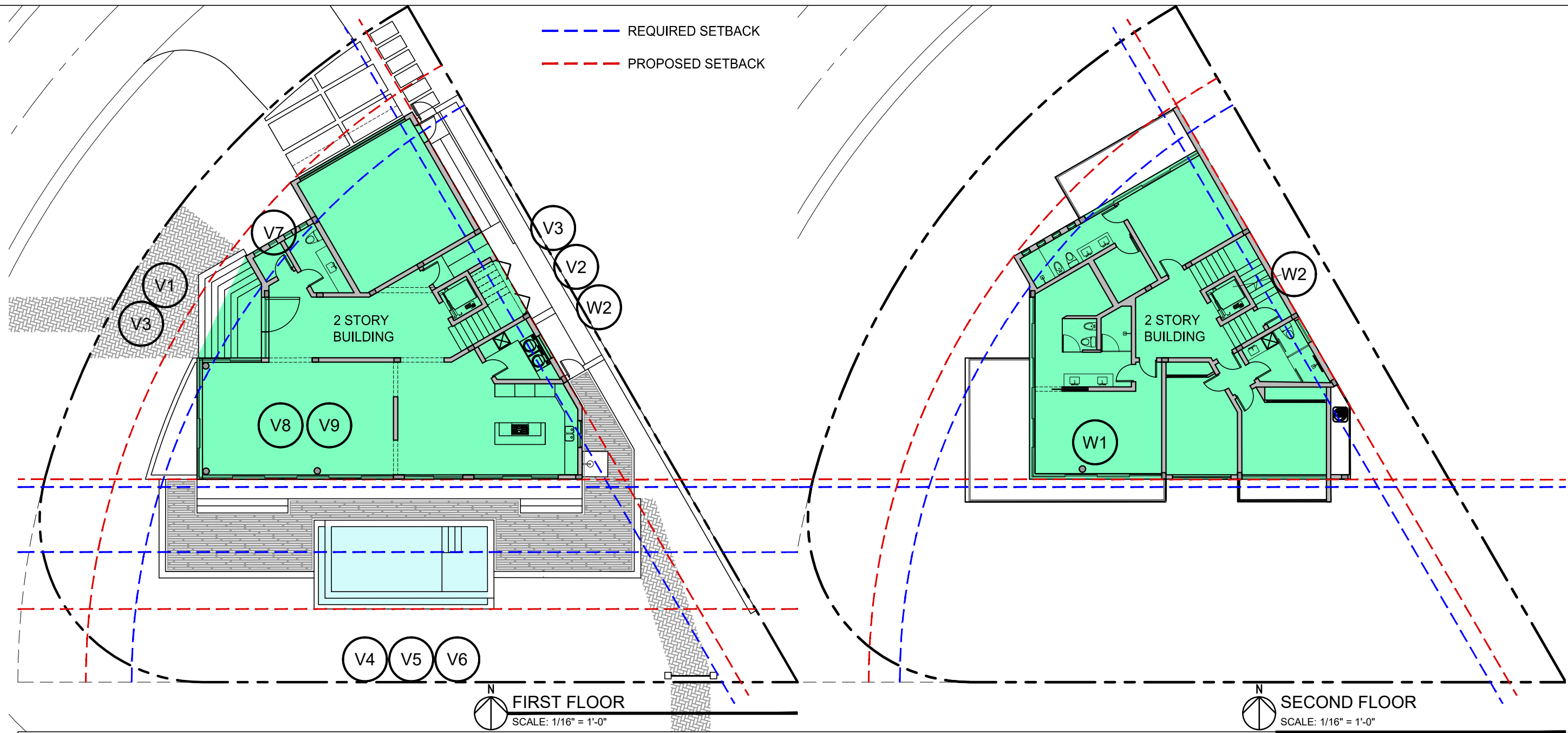
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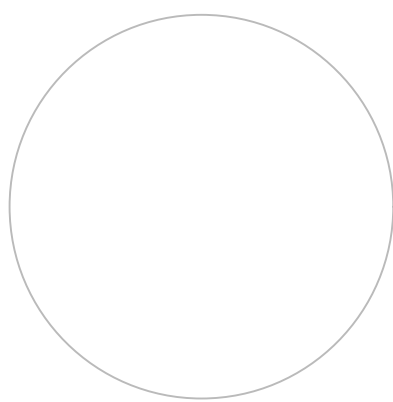


VARIANCE KEY

V1	VARIANCE REQUEST NO. 1	DECREASE SIDE STREET SETBACK FROM 15 FT MIN ALLOWED TO 10.5 FT (4.5 FT VARIANCE) AT 1 LOCATION ONLY. OTHER LOCATIONS TO HAVE SETBACK GREATER THAN 10.5'. (SEE SETBACKS DIAGRAM)
V2	VARIANCE REQUEST NO. 2	DECREASE INTERIOR SIDE SETBACK FROM 10 FT MIN ALLOWED TO 7.5 FT (2.5 FT VARIANCE)
V3	VARIANCE REQUEST NO. 3	DECREASE SUM OF SIDE YARD FROM 25 FT MIN ALLOWED TO 18 FT (7 FT VARIANCE)
V4	VARIANCE REQUEST NO. 4	VARIANCE REQUESTED TO ALLOW FOR POOL AT FRONT YARD
V5	VARIANCE REQUEST NO. 5	VARIANCE REQUESTED TO ALLOW POOL FRONT SETBACK FROM 20 FT MIN ALLOWED TO 11.2 FT (8.8 FT VARIANCE)
V6	VARIANCE REQUEST NO. 6	VARIANCE REQUESTED TO ALLOW POOL DECK FRONT SETBACK FROM 20 FT MIN ALLOWED TO 11.2 FT (8.8 FT VARIANCE)
V7	VARIANCE REQUEST NO. 7	VARIANCE REQUEST TO ALLOW A 3' HIGH PARAPET CURB AT FRONT OF BUILDING FEATURE WALL. FEATURE WALL TO MARK ENTRY SIDE OF HOUSE
V8	VARIANCE REQUEST NO. 8	VARIANCE REQUEST TO ALLOW AN INCREASE OF LOT COVERAGE ALLOWED FROM 2202 SF (30%) TO 2279 SF (31%)
V9	VARIANCE REQUEST NO. 9	VARIANCE REQUEST TO ALLOW AN INCREASE OF TOTAL UNIT SIZE ALLOWED FROM 3671 SF (50%) TO 3739.8 SF (51%)

WAIVER KEY

W1	WAIVER REQUEST NO. 1	INCREASE SECOND FLOOR VOLUMETRIC UNIT SIZE FROM ALLOWED 1277.2 SF (70%) TO 1824.6 SF (83.9%)
W2	WAIVER REQUEST NO. 2	INCREASE ELEVATION LENGTH SIZE FROM ALLOWED 60 FT TO 61.97 FT (FIRST FLOOR) & 62.96 (2ND FLOOR), 2.96 FT VARIANCE



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project address.

KEY DIAGRAM

drawing title. KEY DIAGRAM

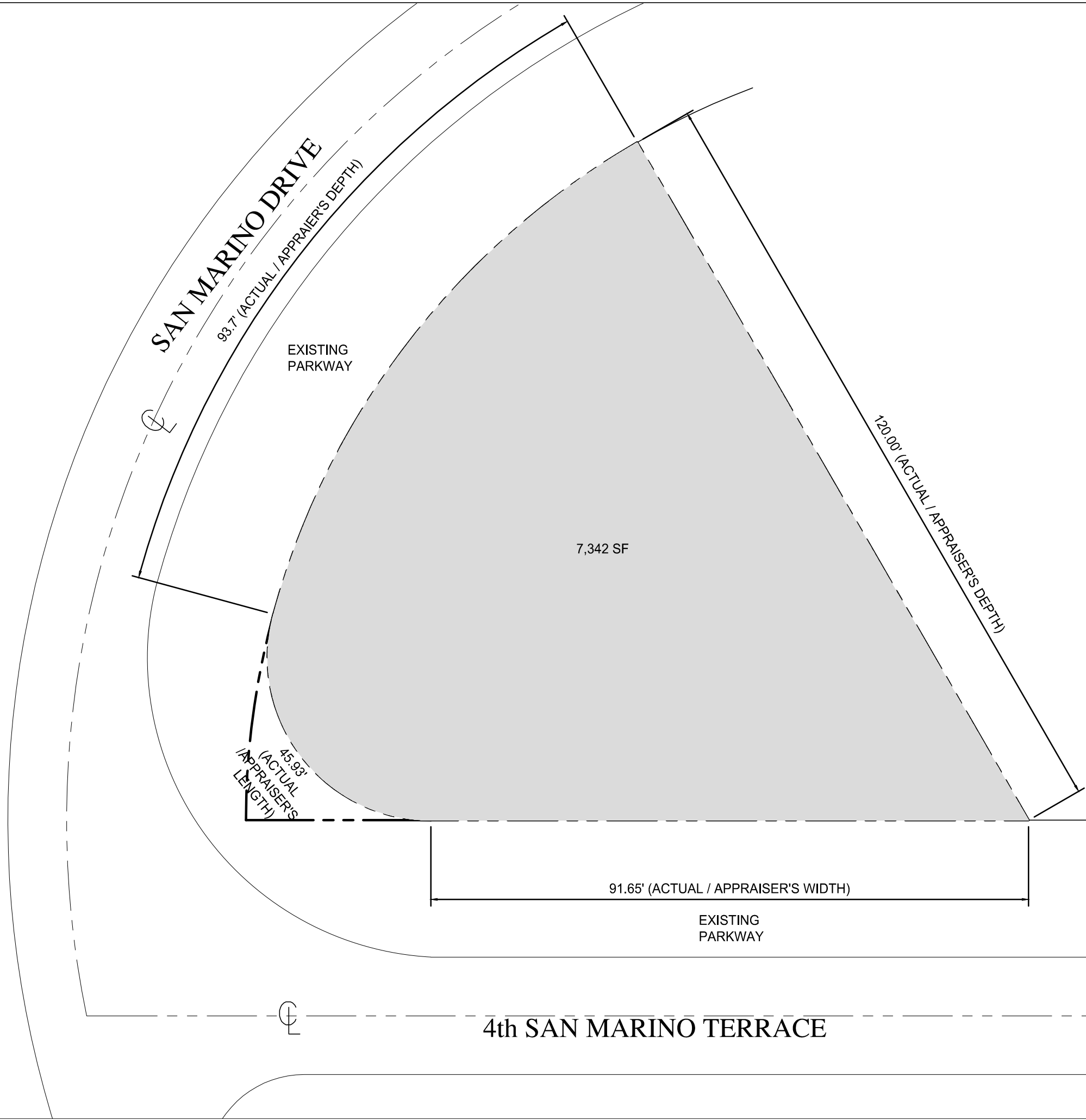
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N
LOT SIZE DIAGRAM
SCALE: 1/16" = 1'-0"

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SAN MARINO DRIVE

4th SAN MARINO TERRACE

PROPOSED LOT COVERAGE		
MAX ALLOWABLE	30 %	2202 SF
PROPOSED	31 %	2279 SF

- REQUIRED SETBACK
- PROPOSED SETBACK

GARAGE

2 STORY BUILDING



PROPOSED LOT COVERAGE
SCALE: 3/32" = 1'-0"

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LOT COVERAGE
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SAN MARINO DRIVE

GARAGE

2 STORY
BUILDING

POOL

4th SAN MARINO TERRACE

PROPOSED FRONT YARD
OPEN AREA
(4TH SAN MARINO TERR.)

PROPOSED FRONT YARD AREA	N/A	3120 SF
PERVIOUS MIN. AREA ALLOWED	50 %	1560 SF
PERVIOUS AREA PROPOSED	60.8 %	1897 SF

NOTES:

- VARIANCE REQUESTED TO ALLOW FOR POOL AT FRONT YARD. 10 FT SETBACK TO BE PROVIDED AND PERVIOUS AREA ALLOWED TO BE PROVIDED

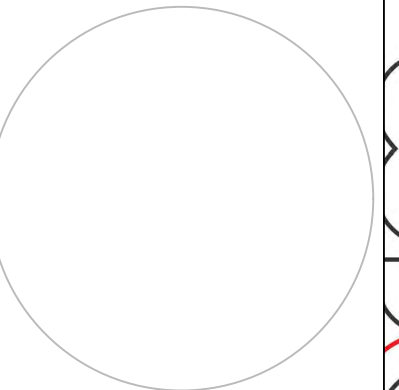
--- REQUIRED SETBACK

--- PROPOSED SETBACK



PROP. FRONT YRD-4TH SAN MARINO

SCALE: 3/32" = 1'-0"



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OPN AREA FRONT YD.

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date.

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SAN MARINO DRIVE

GARAGE

2 STORY
BUILDING

4th SAN MARINO TERRACE

PROPOSED FRONT YARD
OPEN AREA
(SAN MARINO DRIVE)

PROPOSED FRONT YARD	N/A	1850 SF
PERVIOUS AREA ALLOWED	50 %	925 SF
PERVIOUS AREA PROPOSED	51.9 %	960 SF

--- REQUIRED SETBACK

--- PROPOSED SETBACK



PROP. FRONT YRD-SAN MARINO DR.

SCALE: 3/32" = 1'-0"

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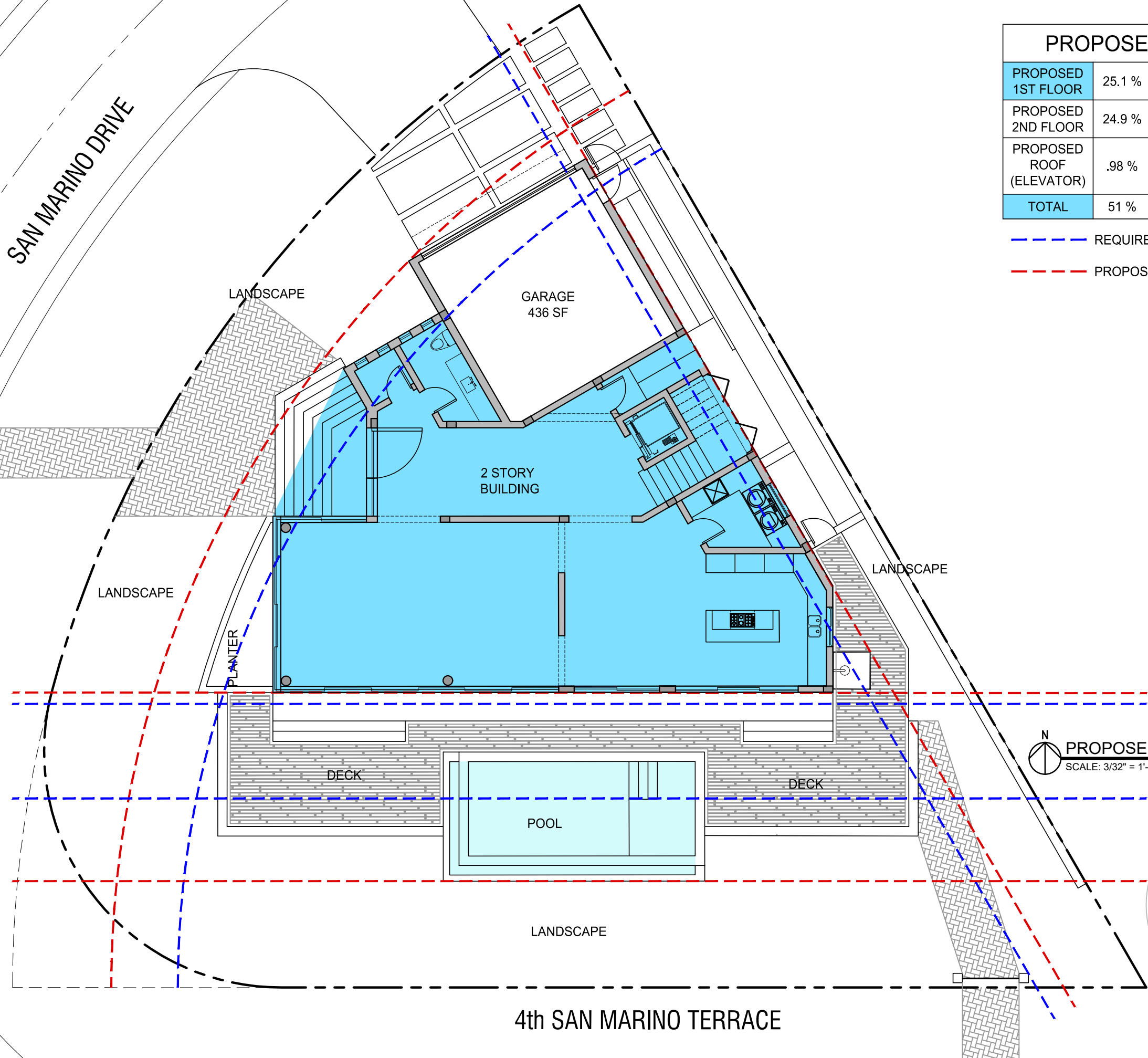
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SAN MARINO DRIVE



PROPOSED UNIT SIZE		
PROPOSED 1ST FLOOR	25.1 %	1843.4 SF
PROPOSED 2ND FLOOR	24.9 %	1824.6 SF
PROPOSED ROOF (ELEVATOR)	.98 %	71.8 SF
TOTAL	51 %	3739.8 SF

--- REQUIRED SETBACK
--- PROPOSED SETBACK

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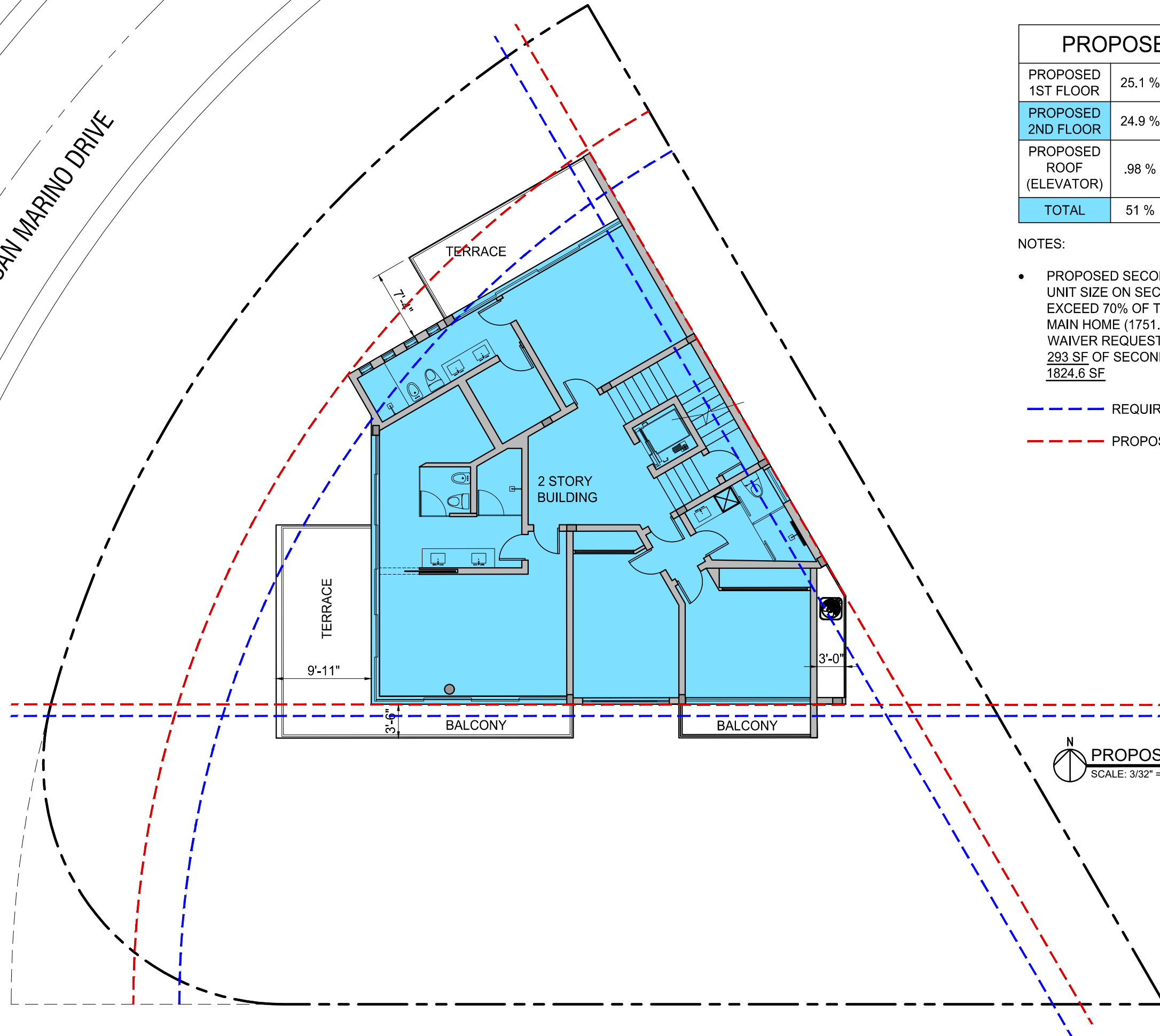
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SAN MARINO DRIVE



PROPOSED UNIT SIZE

PROPOSED 1ST FLOOR	25.1 %	1843.4 SF
PROPOSED 2ND FLOOR	24.9 %	1824.6 SF
PROPOSED ROOF (ELEVATOR)	.98 %	71.8 SF
TOTAL	51 %	3739.8 SF

NOTES:

- PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE ON SECOND FLOOR NOT TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME (1751.9 + 436 (GARAGE) = 2187.9). WAIVER REQUESTED FOR AN INCREASE OF 293 SF OF SECOND FLOOR ALLOWED, TOTAL 1824.6 SF

--- REQUIRED SETBACK

--- PROPOSED SETBACK



PROPOSED UNIT SIZE - 2ND FLR.
SCALE: 3/32" = 1'-0"

4th SAN MARINO TERRACE

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A-5.1

UNIT SIZE - 2ND FLR.

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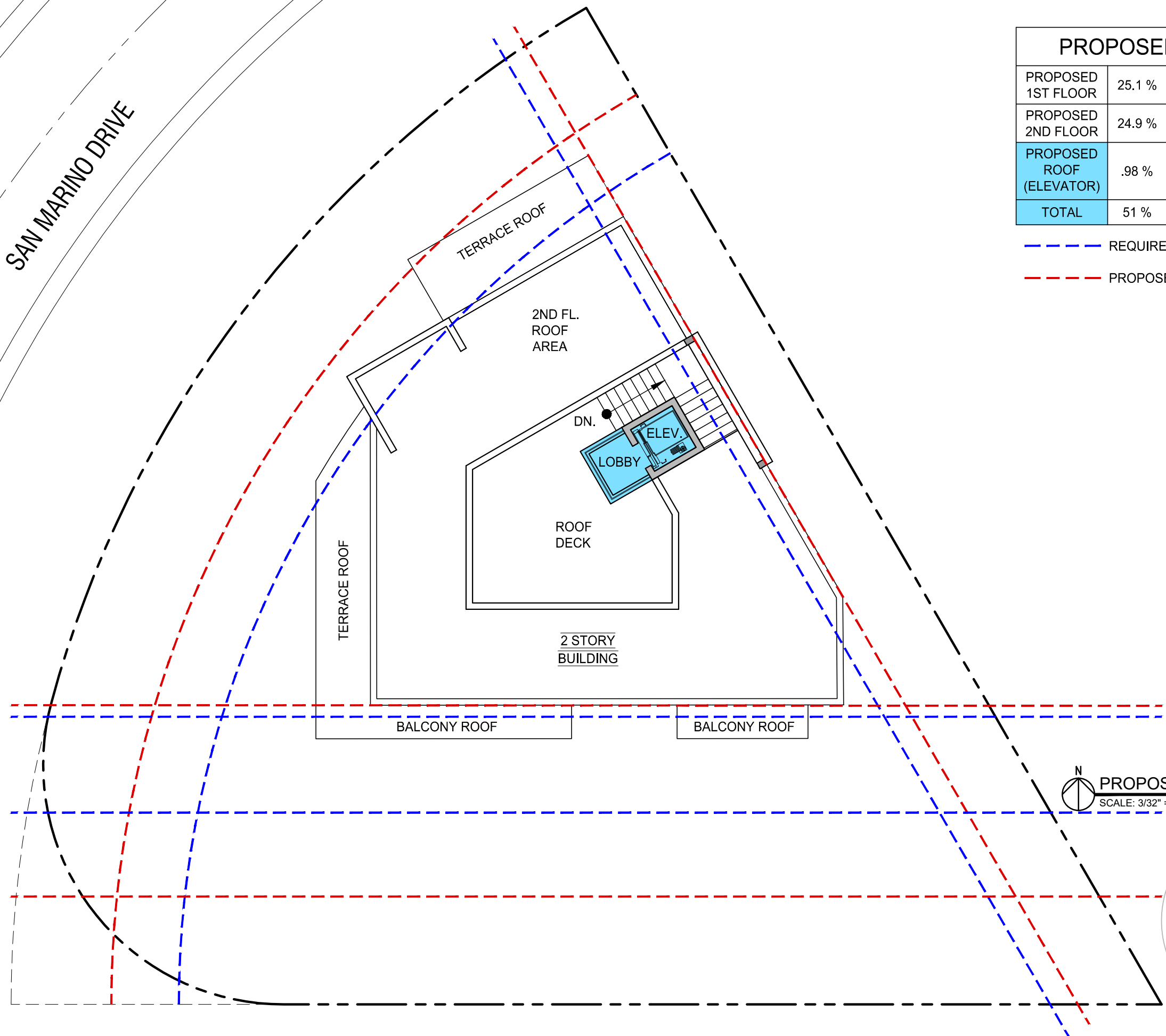
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SAN MARINO DRIVE

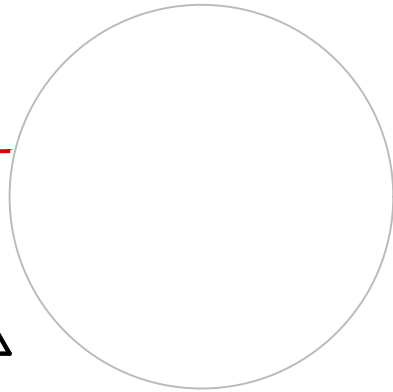


4th SAN MARINO TERRACE

PROPOSED UNIT SIZE		
PROPOSED 1ST FLOOR	25.1 %	1843.4 SF
PROPOSED 2ND FLOOR	24.9 %	1824.6 SF
PROPOSED ROOF (ELEVATOR)	.98 %	71.8 SF
TOTAL	51 %	3739.8 SF

--- REQUIRED SETBACK
--- PROPOSED SETBACK

N
PROPOSED UNIT SIZE - ROOF
SCALE: 3/32" = 1'-0"



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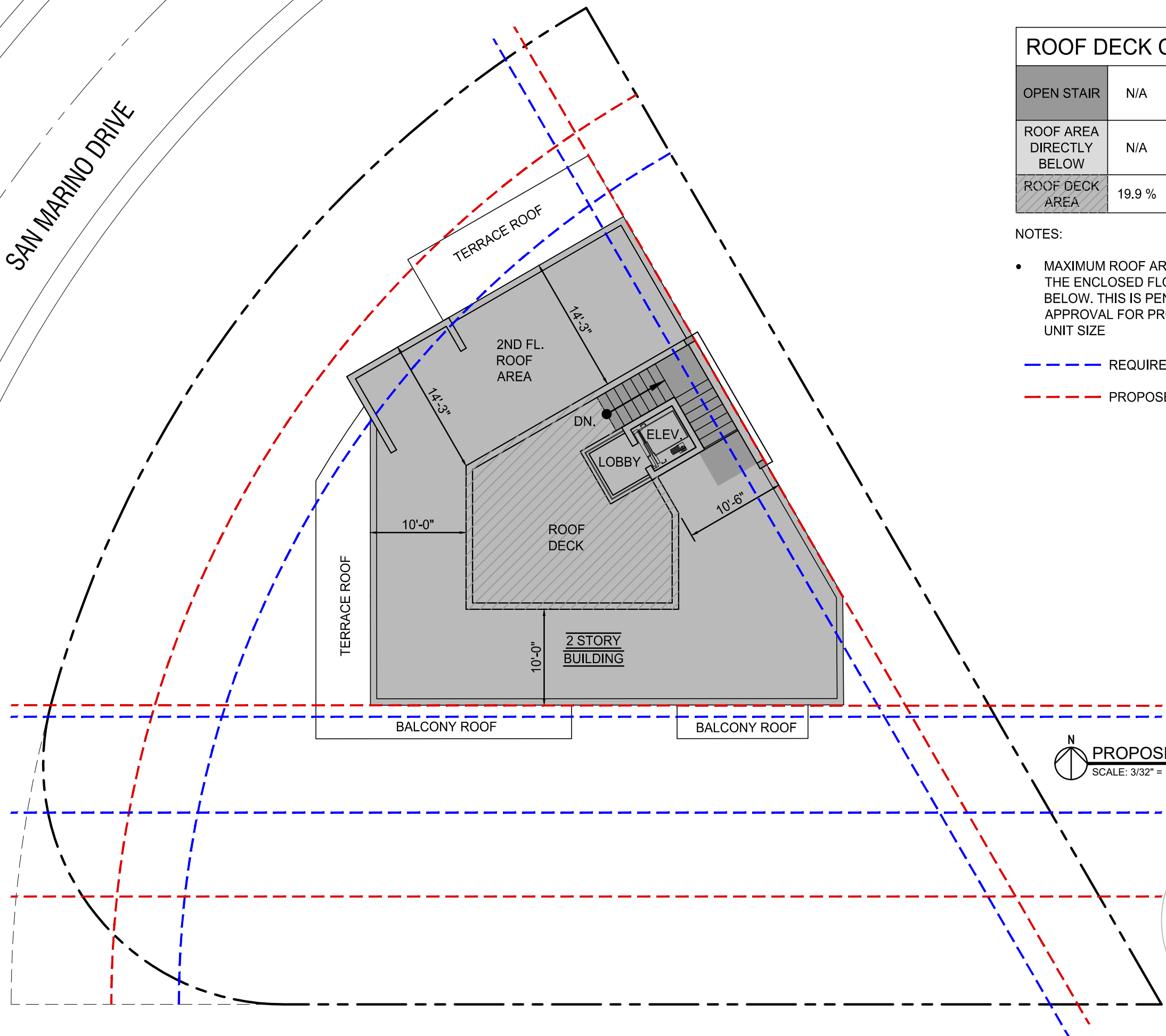
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UNIT SIZE - ROOF
drawing title.
project no.
date.
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SAN MARINO DRIVE

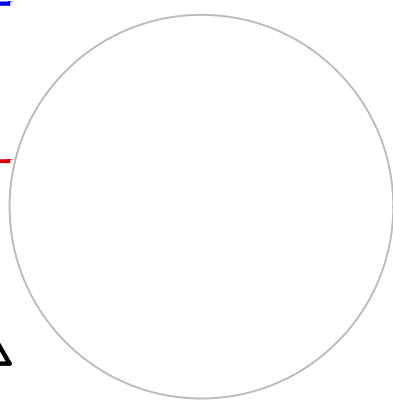


4th SAN MARINO TERRACE

ROOF DECK CALCULATIONS		
OPEN STAIR	N/A	87.9 SF
ROOF AREA DIRECTLY BELOW	N/A	1863.7 SF
ROOF DECK AREA	19.9 %	363 SF

- NOTES:
- MAXIMUM ROOF AREA ALLOWED IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW. THIS IS PENDING VARIANCE APPROVAL FOR PROPOSED SECOND FLOOR UNIT SIZE
- REQUIRED SETBACK
- PROPOSED SETBACK

N
PROPOSED UNIT SIZE - ROOF
SCALE: 3/32" = 1'-0"



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ROOF DECK

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PROPERTY LINE

7'-6" FT PROPOSED SETBACK

VARIANCE REQUESTED TO
ALLOW A 3 FT PARAPET FOR
FEATURE WALL

3'-0"

RAILING WALL FOR
ROOF DECK BEYOND

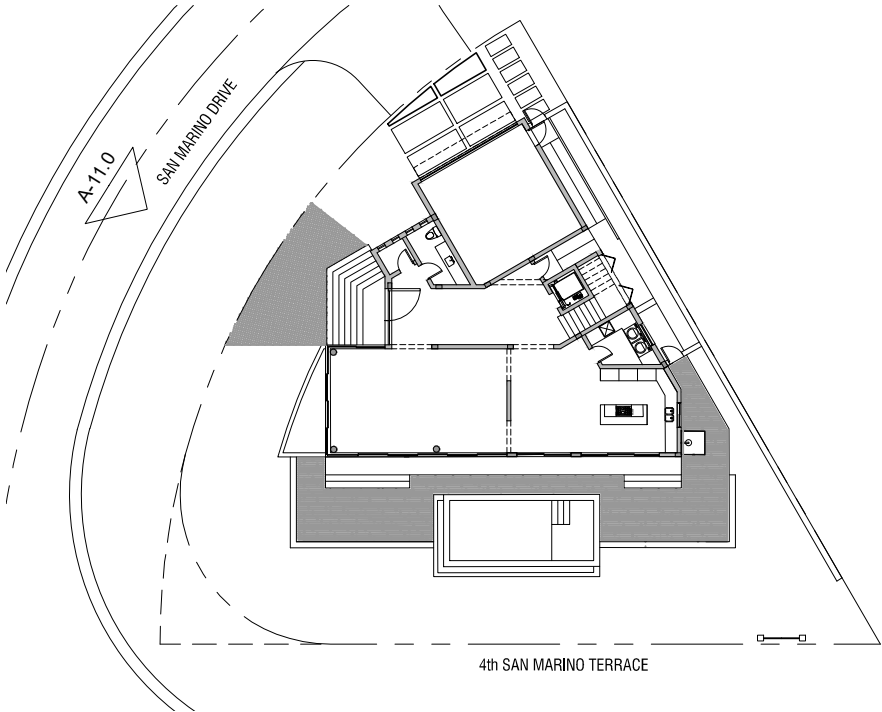
3'-2" FT PROPOSED SETBACK

PROPERTY LINE

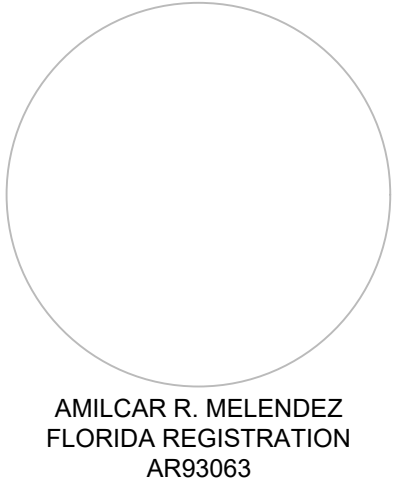
12'-11"
11'-1"
6'-8" 2'-8"
5'-6"

- +33'-4" (43.33' NGVD)
TOP OF ELEVATOR SHAFT
- +27'-10" (37.83' NGVD)
ROOF DECK RAILING
- +25'-2" (35.17' NGVD)
TOP OF ROOF PARAPET
- +24'-6" (34.5' NGVD)
TOP OF ROOF DECK
- +24'-0" (34.0' NGVD)
TOP OF ROOF
- +12'-10" (22.88' NGVD)
SECOND FLOOR
- +0' (10.00' NGVD)
GROUND LEVEL
- -3.44' (6.56 NGVD)
GRADE

PROPOSED FRONT (SIDE STREET) ELEVATION
SCALE: 3/32" = 1'-0"



KEY PLAN
SCALE: 1/32" = 1'-0"



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	drawing title.	HEIGHT DIAGRAM	A-7.0
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date.	08.03.2018		
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PROPERTY LINE

23.5 FT PROP. SETBACK

VARIANCE REQUESTED TO
ALLOW A 3 FT PARAPET FOR
FEATURE WALL

3'-0"

RAILING WALL FOR
ROOF DECK BEYOND

13'-2" FT PROP. SETBACK

5'-6"

6'-8" 2'-8"

11'-1"

12'-11"

PROPERTY LINE

+33'-4" (43.33' NGVD)
TOP OF ELEVATOR SHAFT

+27'-10" (37.83' NGVD)
ROOF DECK RAILING

+25'-2" (35.17' NGVD)
TOP OF ROOF PARAPET

+24'-6" (34.5' NGVD)
TOP OF ROOF DECK

+24'-0" (34.0' NGVD)
TOP OF ROOF

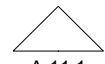
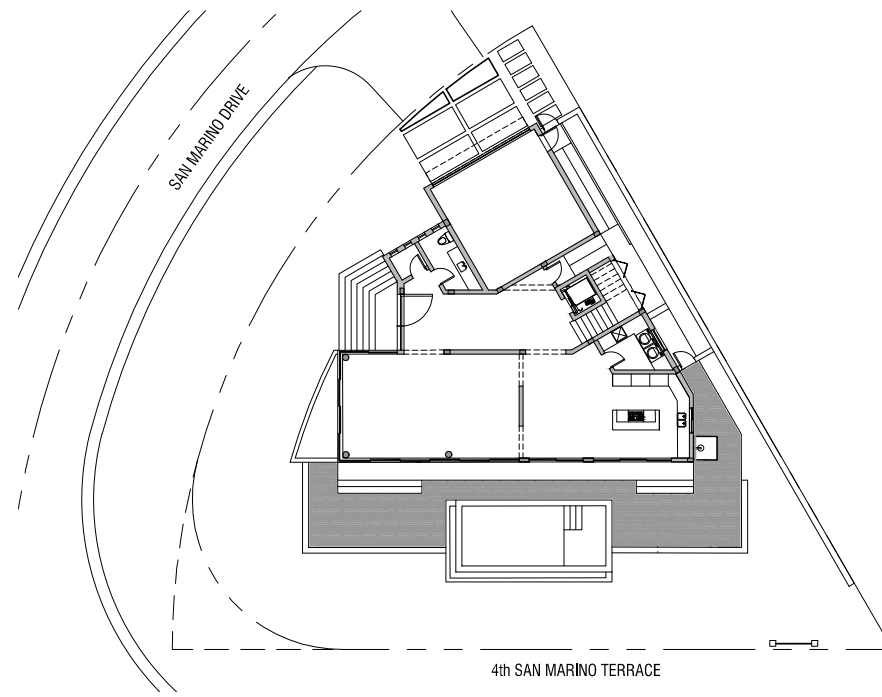
+12'-10" (22.88' NGVD)
SECOND FLOOR

+0' (10.00' NGVD)
GROUND LEVEL

-3.44' (6.56 NGVD)
GRADE

PROPOSED SIDE (FRONT) ELEVATION

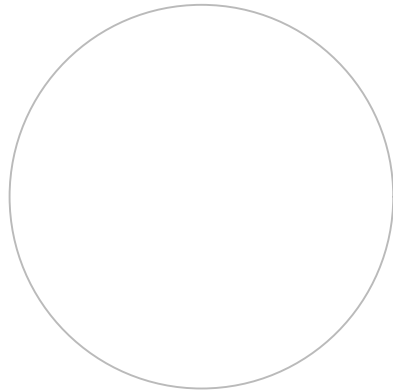
SCALE: 3/32" = 1'-0"



A-11.1

KEY PLAN

SCALE: 1/32" = 1'-0"



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HEIGHT DIAGRAM
drawing title.

project no.

date.

17056

08.03.2018

A-7.1

drawing no.
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PROPERTY LINE

36 FT PROPOSED SETBACK

14 FT PROP. SETBACK

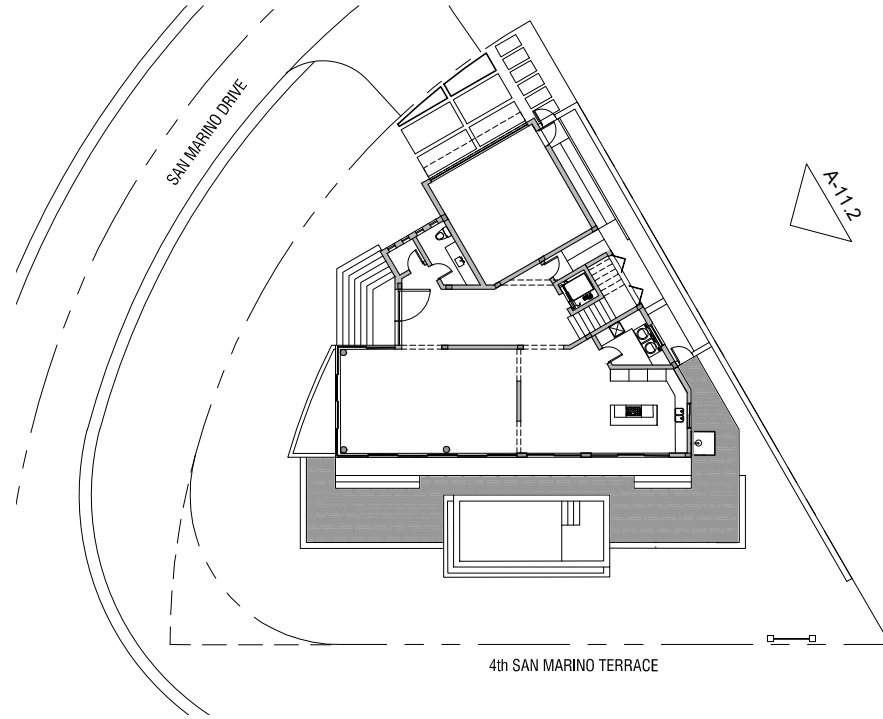
PROPERTY LINE

RAILING WALL FOR
ROOF DECK BEYOND

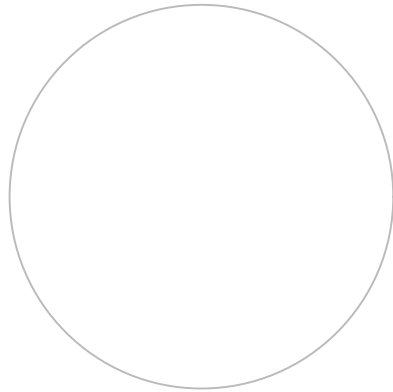
VARIANCE REQUESTED TO
ALLOW A 3 FT PARAPET FOR
FEATURE WALL

- +33'-4" (43.33' NGVD)
TOP OF ELEVATOR SHAFT
- +27'-10" (37.83' NGVD)
ROOF DECK RAILING
- +25'-2" (35.17' NGVD)
TOP OF ROOF PARAPET
- +24'-6" (34.5' NGVD)
TOP OF ROOF DECK
- +24'-0" (34.0' NGVD)
TOP OF ROOF
- +12'-10" (22.88' NGVD)
SECOND FLOOR
- +0' (10.00' NGVD)
GROUND LEVEL
- 3.44' (6.56 NGVD)
GRADE

PROPOSED SIDE ELEVATION
SCALE: 3/32" = 1'-0"

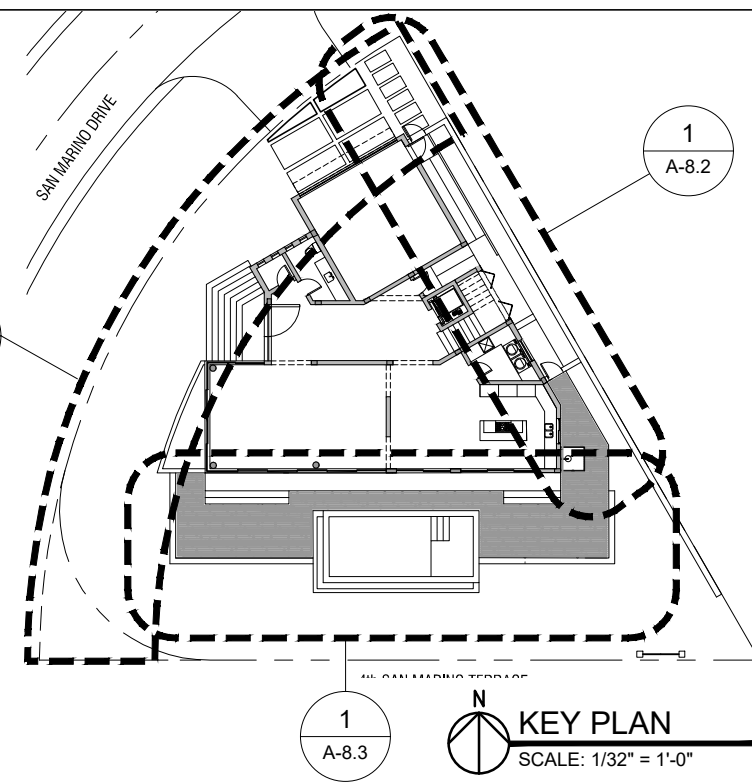
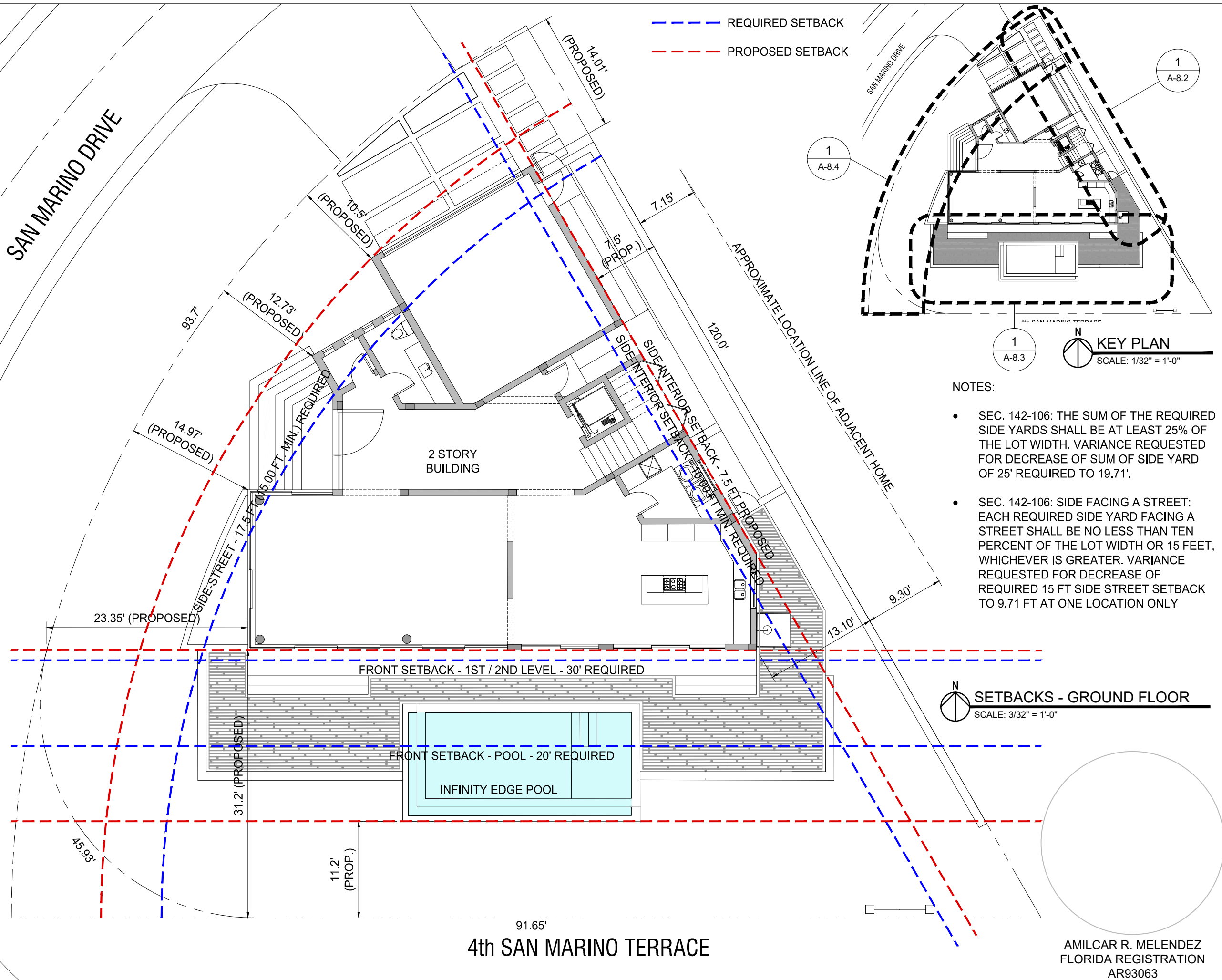


KEY PLAN
SCALE: 1/32" = 1'-0"



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	121 4th SAN MARINO TERR. MIAMI BEACH, FL 33139-1102 FOLIO #: 02-3232-004-0030 project address.		
	drawing title.	HEIGHT DIAGRAM	A-7.2
	project no.	17056	drawing no.
	date.	08.03.2018	
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- NOTES:
- SEC. 142-106: THE SUM OF THE REQUIRED SIDE YARDS SHALL BE AT LEAST 25% OF THE LOT WIDTH. VARIANCE REQUESTED FOR DECREASE OF SUM OF SIDE YARD OF 25' REQUIRED TO 19.71'.
 - SEC. 142-106: SIDE FACING A STREET: EACH REQUIRED SIDE YARD FACING A STREET SHALL BE NO LESS THAN TEN PERCENT OF THE LOT WIDTH OR 15 FEET, WHICHEVER IS GREATER. VARIANCE REQUESTED FOR DECREASE OF REQUIRED 15 FT SIDE STREET SETBACK TO 9.71 FT AT ONE LOCATION ONLY

SETBACKS - GROUND FLOOR
SCALE: 3/32" = 1'-0"

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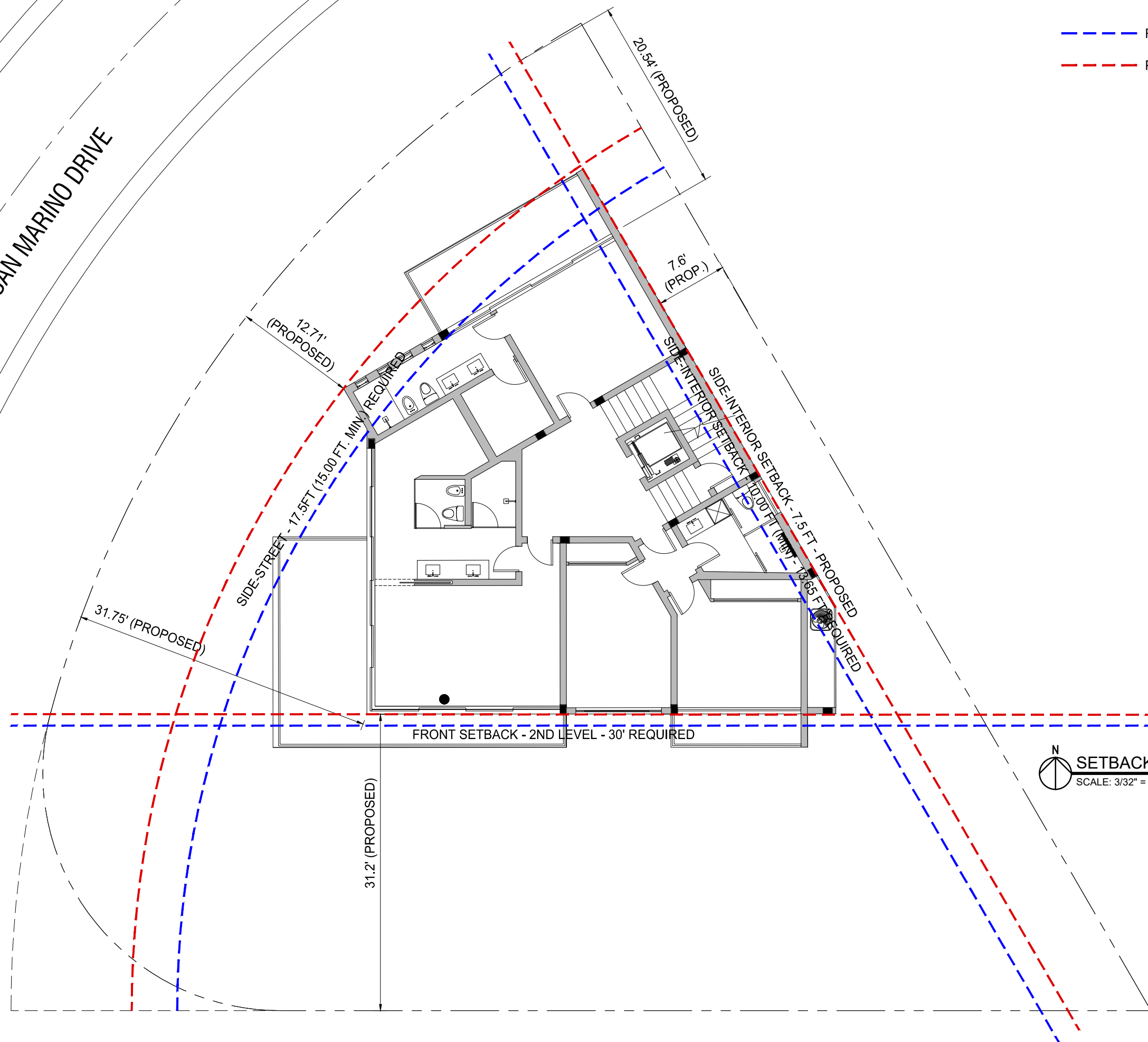
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drawing title.	SETBACKS - GROUND	project no.	17056	date.	08.03.2018
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A-8.0
drawing no.

SAN MARINO DRIVE



4th SAN MARINO TERRACE

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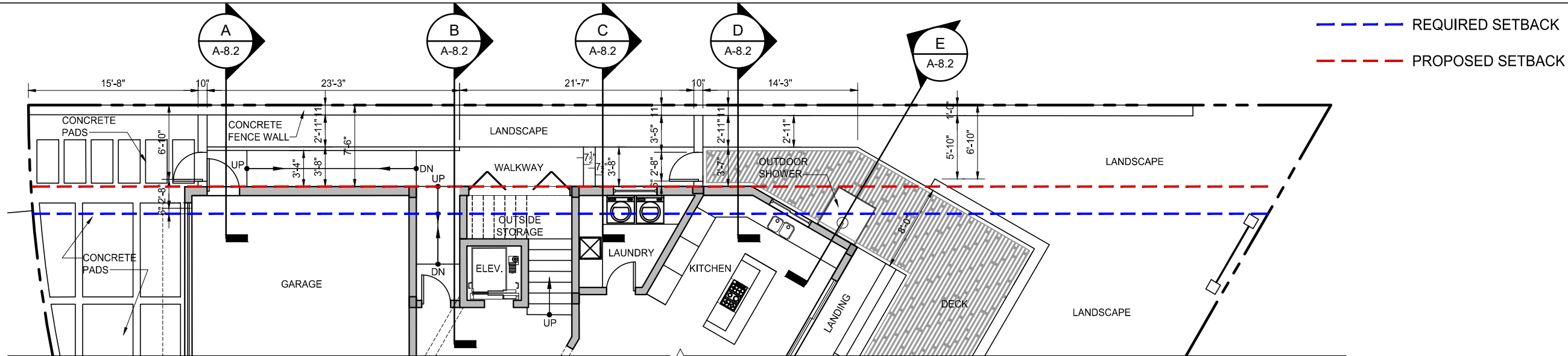
--- REQUIRED SETBACK
--- PROPOSED SETBACK

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project address.

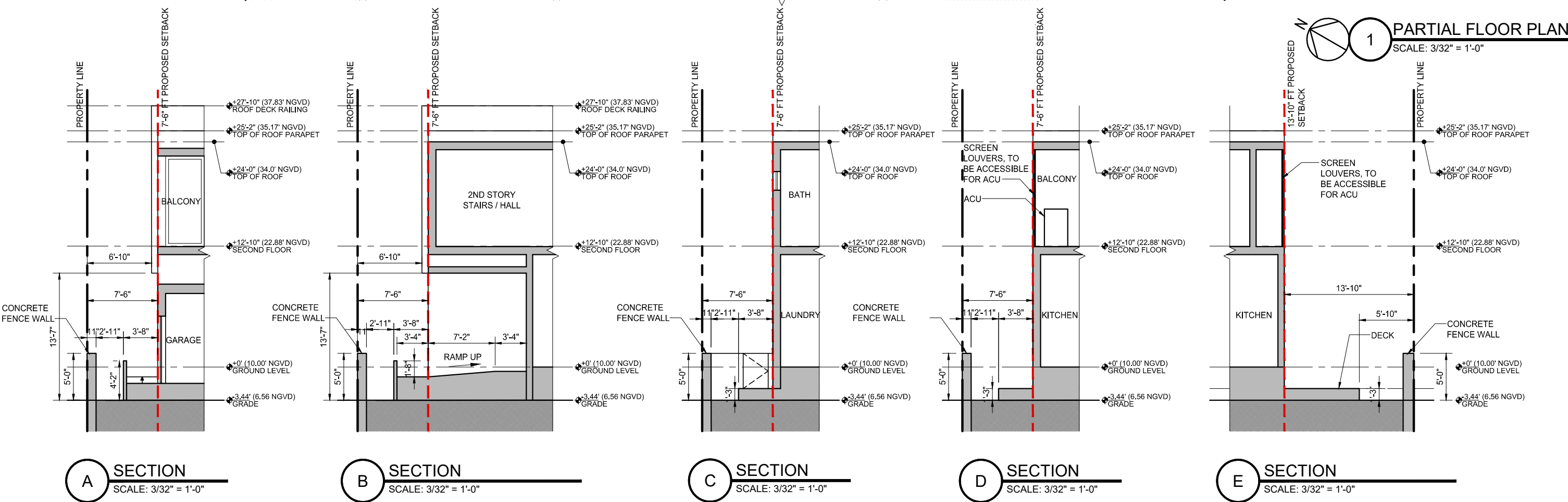
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drawing title.	SETBACKS - 2ND FLR.	A-8.1
project no.	17056	
date.	08.03.2018	drawing no.
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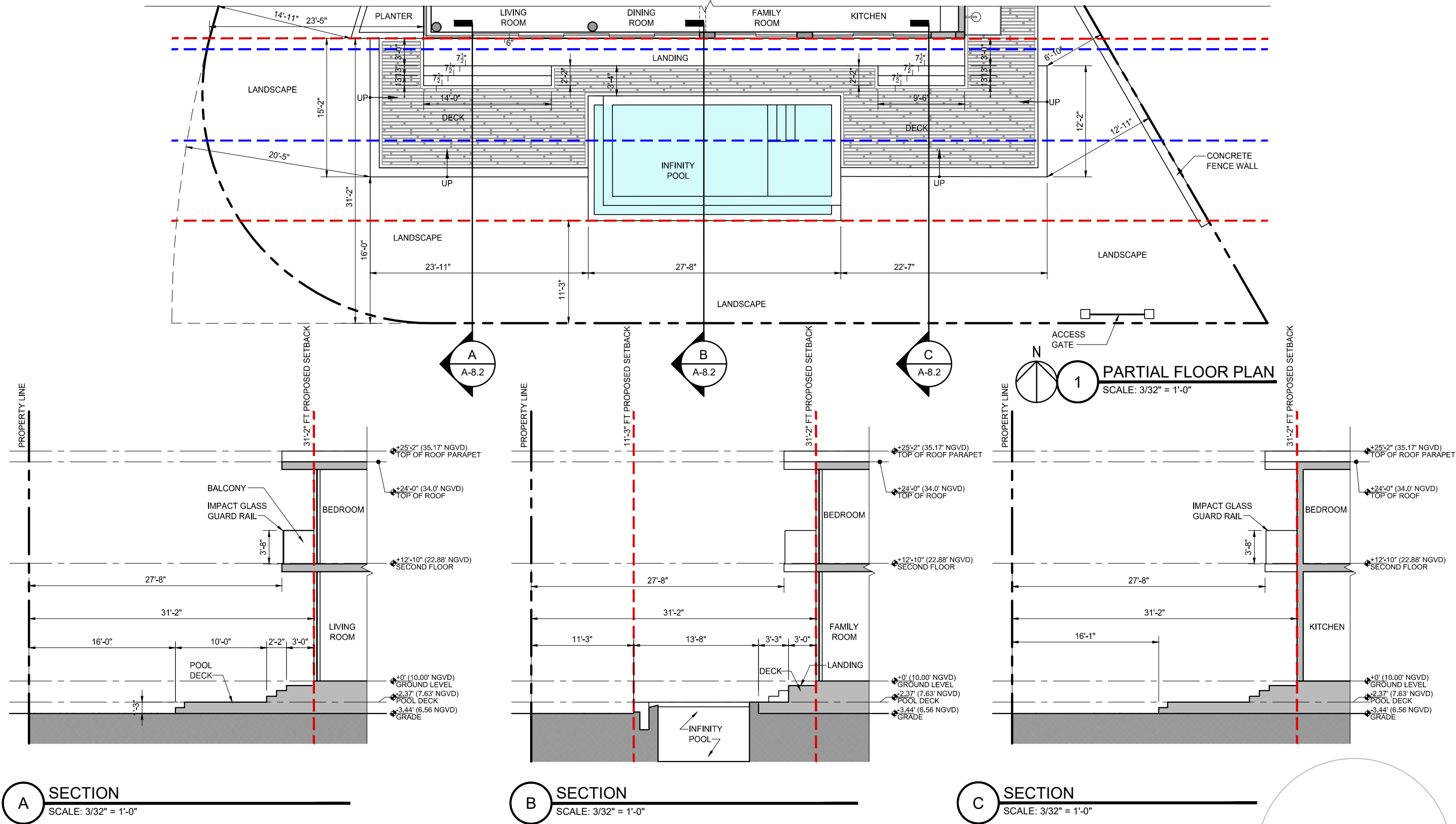
drawing title. SIDE YARD DIAGRAMS		A-8.2
project no.	17056	drawing no.
date.	08.03.2018	
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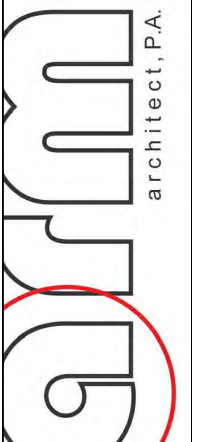


--- REQUIRED SETBACK
--- PROPOSED SETBACK

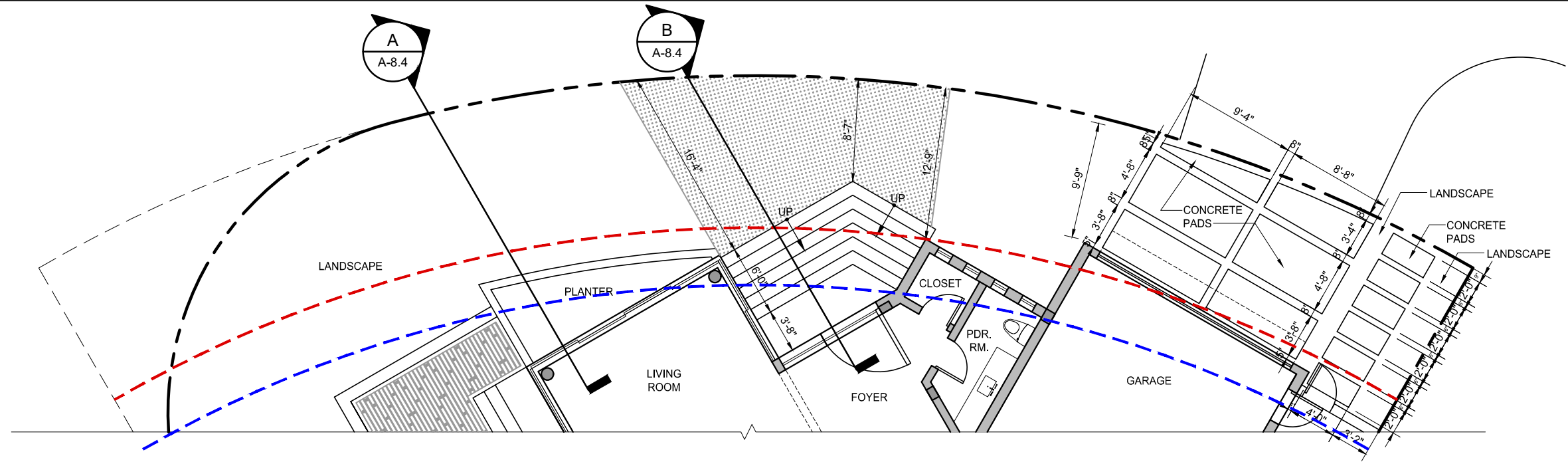
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drawing title. FRNT YRD DIAGRAMS
project no. 17056
date. 08.03.2018
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A-8.3 drawing no.

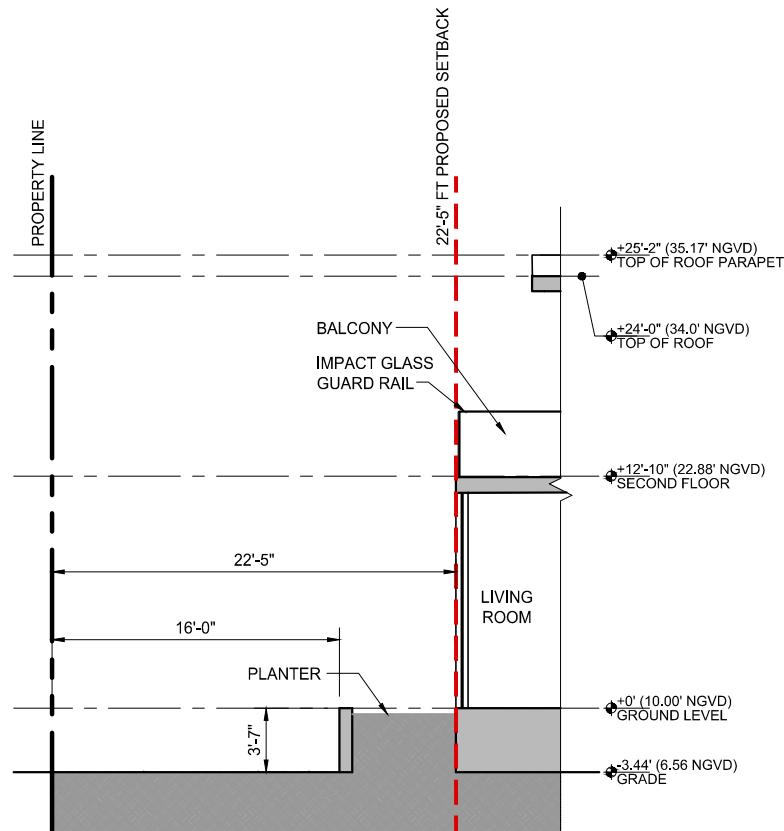


PARTIAL FLOOR PLAN

SCALE: 3/32" = 1'-0"

--- REQUIRED SETBACK

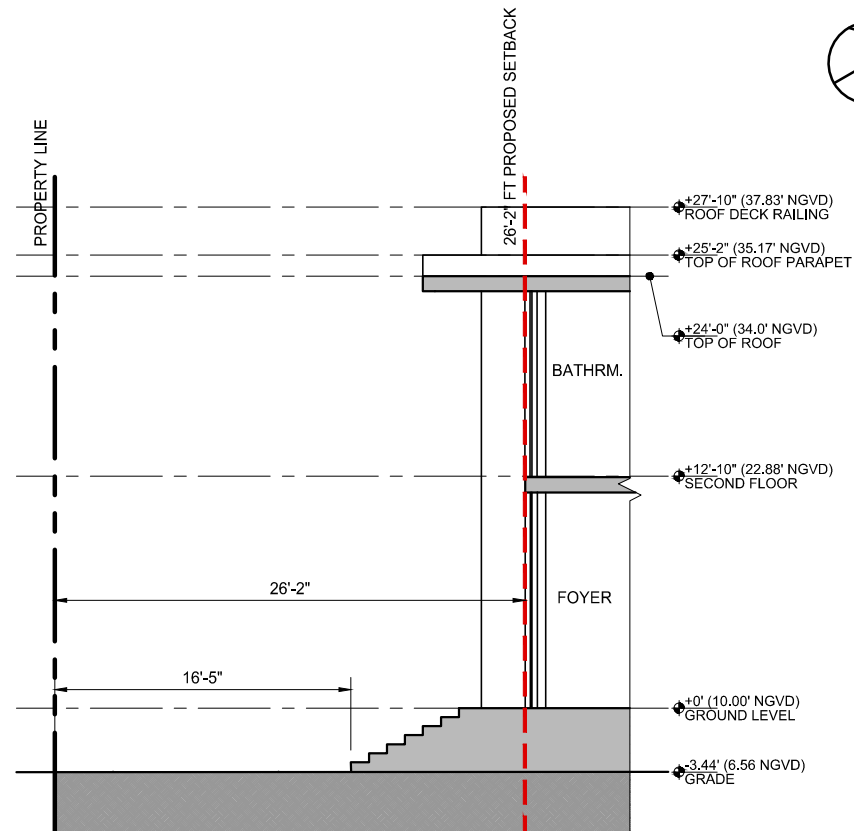
--- PROPOSED SETBACK



A

SECTION

SCALE: 3/32" = 1'-0"



B

SECTION

SCALE: 3/32" = 1'-0"

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project address.

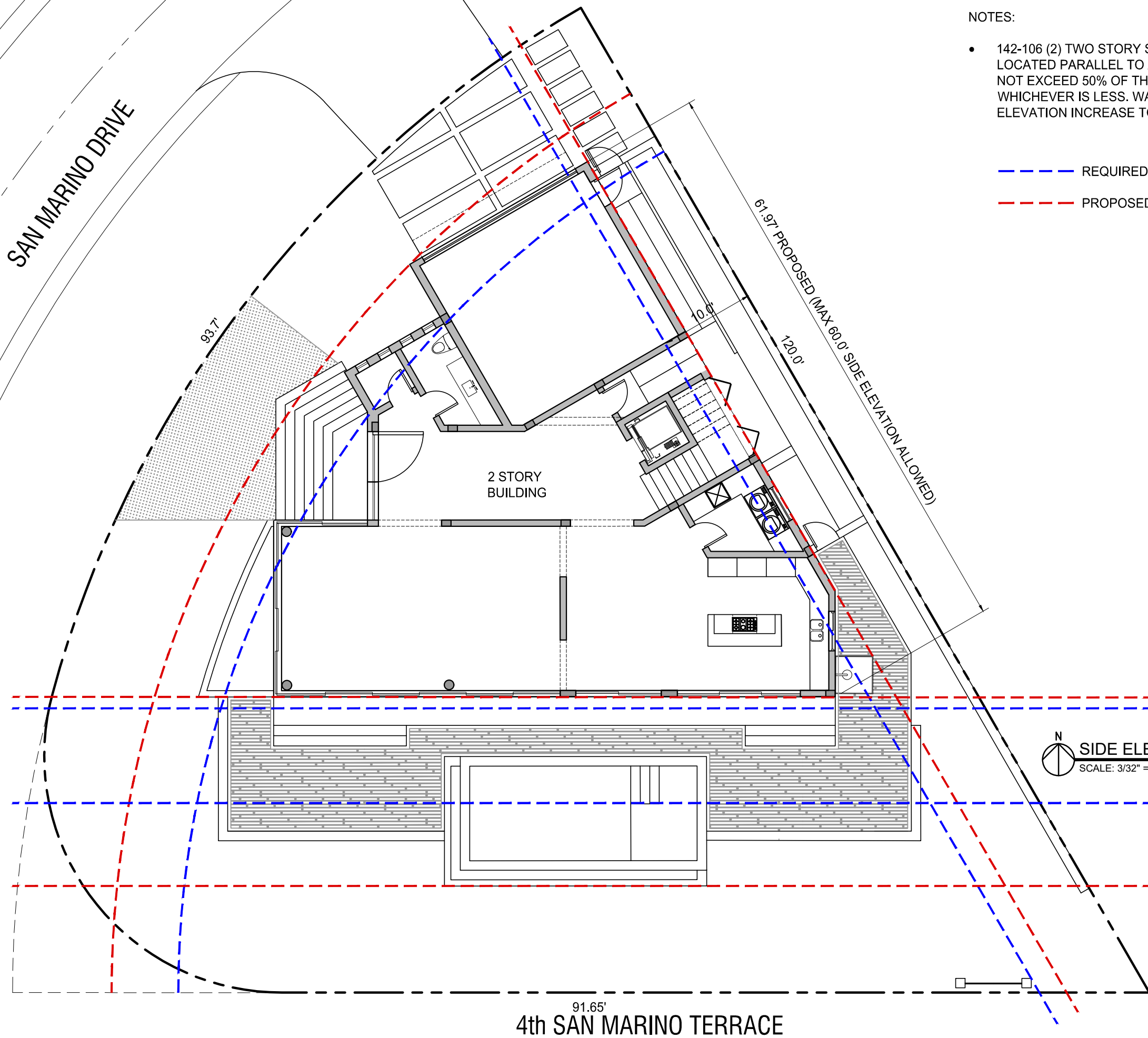
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A-8.4
drawing no.

SIDE YARD DIAGRAMS
drawing title.
project no. 17056
date. 08.03.2018
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SAN MARINO DRIVE



NOTES:

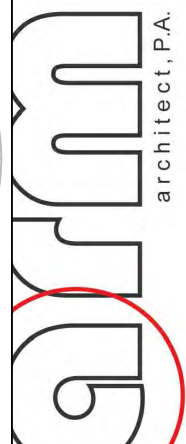
- 142-106 (2) TWO STORY SIDE ELEVATIONS LOCATED PARALLEL TO A SIDE PROPERTY SHALL NOT EXCEED 50% OF THE LOT DEPTH, OR 60 FEET, WHICHEVER IS LESS. WAIVER FOR 1.97 FT SIDE ELEVATION INCREASE TO BE REQUESTED.

--- REQUIRED SETBACK

--- PROPOSED SETBACK

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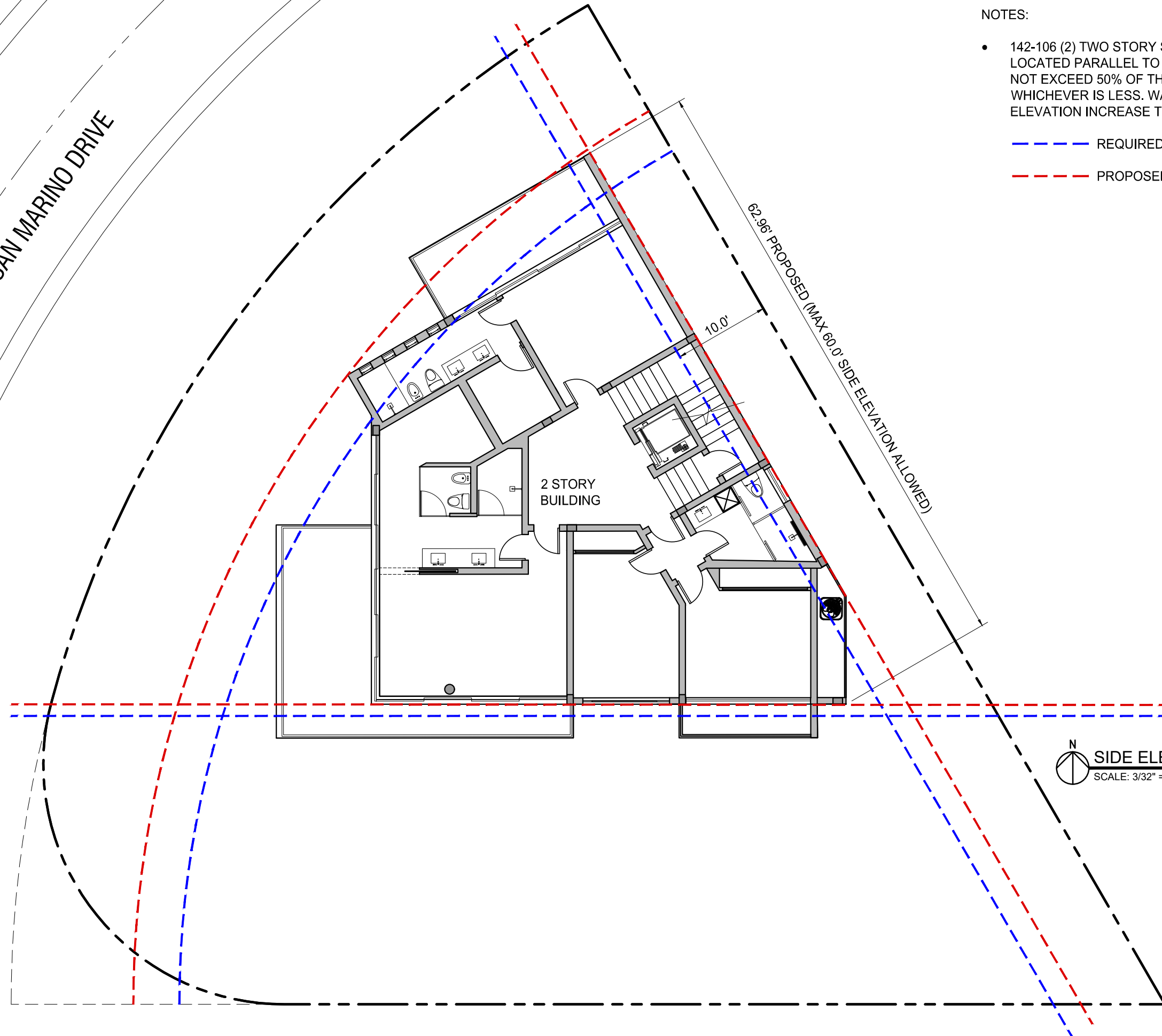


121 4th SAN MARINO TERR.
MIAMI BEACH, FL 33139-1102
FOLIO #: 02-3232-004-0030
project address.

drawing title. SIDE ELEVATION
project no. 17056
date. 08.03.2018

A-9.0
drawing no.
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SAN MARINO DRIVE



NOTES:

- 142-106 (2) TWO STORY SIDE ELEVATIONS LOCATED PARALLEL TO A SIDE PROPERTY SHALL NOT EXCEED 50% OF THE LOT DEPTH, OR 60 FEET, WHICHEVER IS LESS. WAIVER FOR 2.96 FT SIDE ELEVATION INCREASE TO BE REQUESTED.

--- REQUIRED SETBACK

--- PROPOSED SETBACK



SIDE ELEVATION - SECOND FLR.

SCALE: 3/32" = 1'-0"

4th SAN MARINO TERRACE

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A-9.1

SIDE ELEVATION

drawing title.

project no.

date.

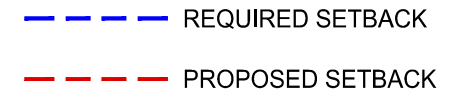
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SAN MARINO DRIVE

4th SAN MARINO TERRACE

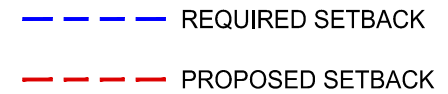
PROPOSED SITE / GROUND PLAN
SCALE: 3/32" = 1'-0"

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121 4th SAN MARINO TERR.
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project address.

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drawing title:	SITE / GROUND PLAN	
	project no.	17056
	date.	08.03.2018
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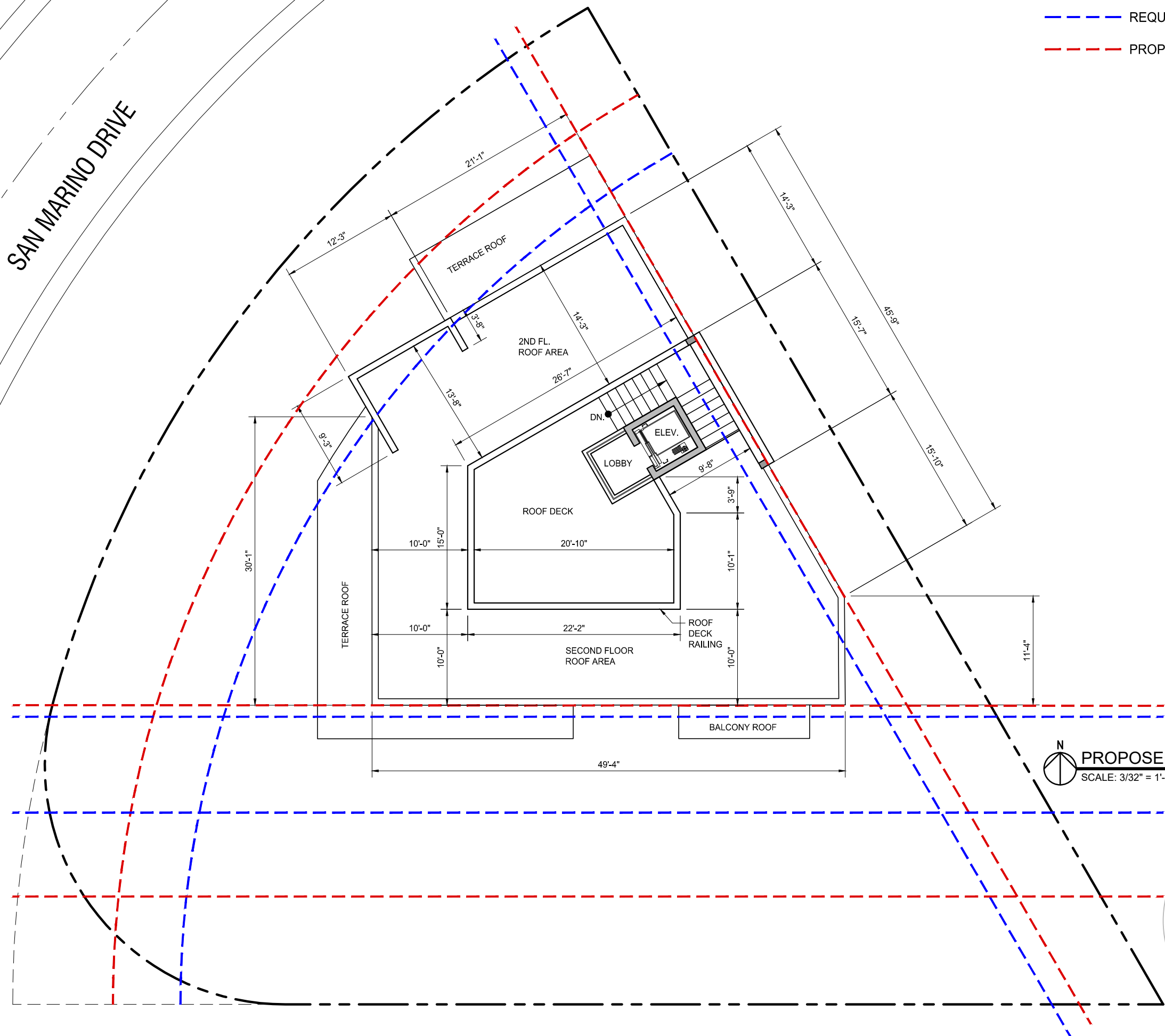
SCALE: $\frac{3}{32}'' = 1'-0''$

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drawing title.	SECOND FLOOR PLAN	A-10.1
project no.	17056	
date.	08.03.2018	
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SAN MARINO DRIVE



--- REQUIRED SETBACK
--- PROPOSED SETBACK

N
PROPOSED ROOF PLAN
SCALE: 3/32" = 1'-0"

4th SAN MARINO TERRACE

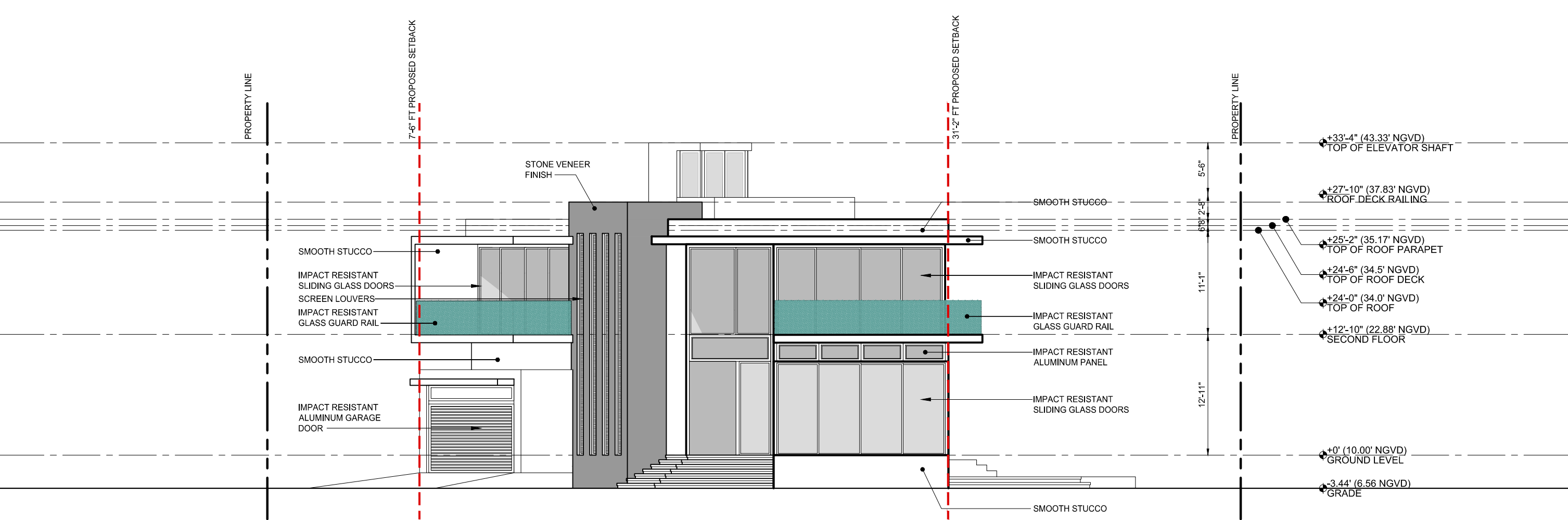
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drawing title.		SECOND FLOOR PLAN		A-10.2	
project no.		17056		drawing no.	
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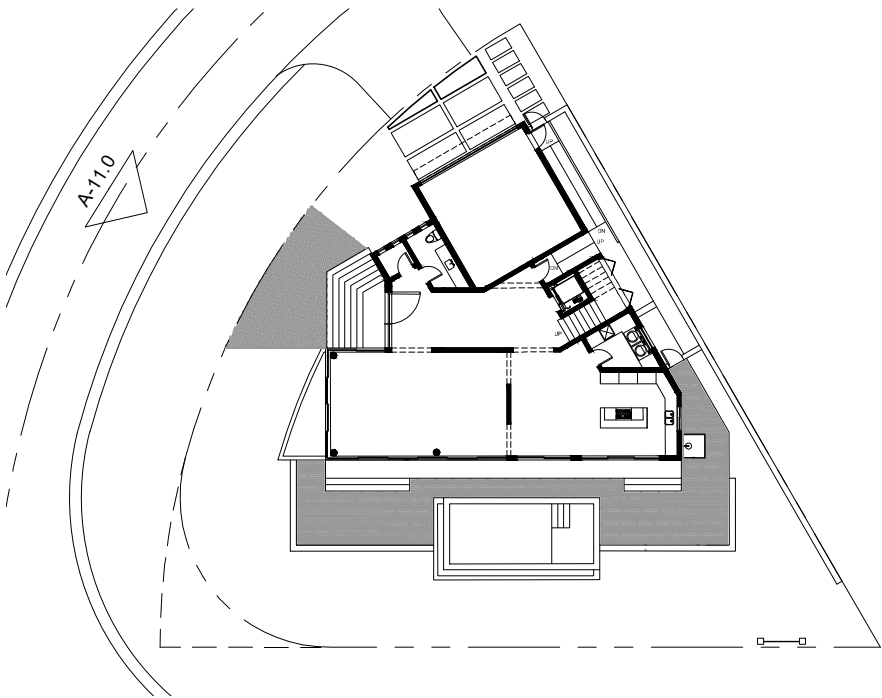
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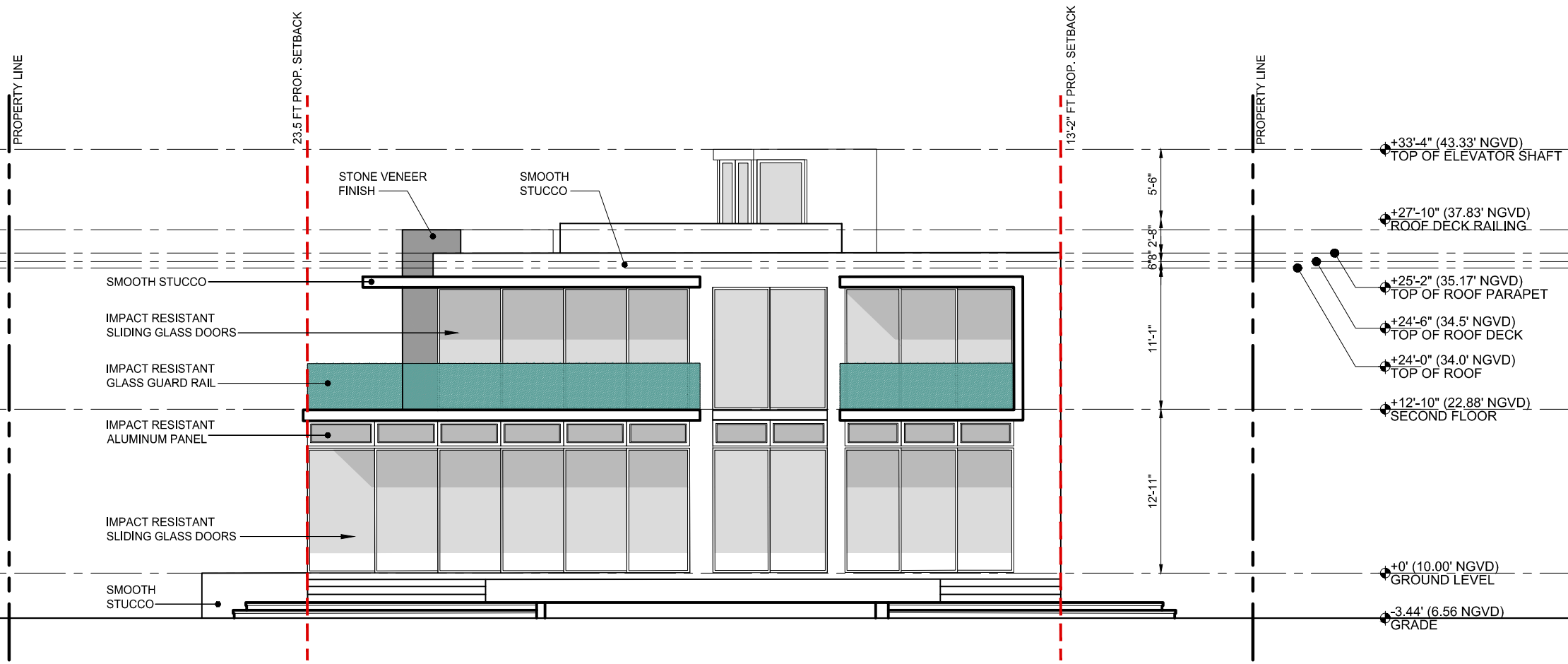
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PROPOSED FRONT (SIDE STREET) ELEVATION
SCALE: 3/32" = 1'-0"



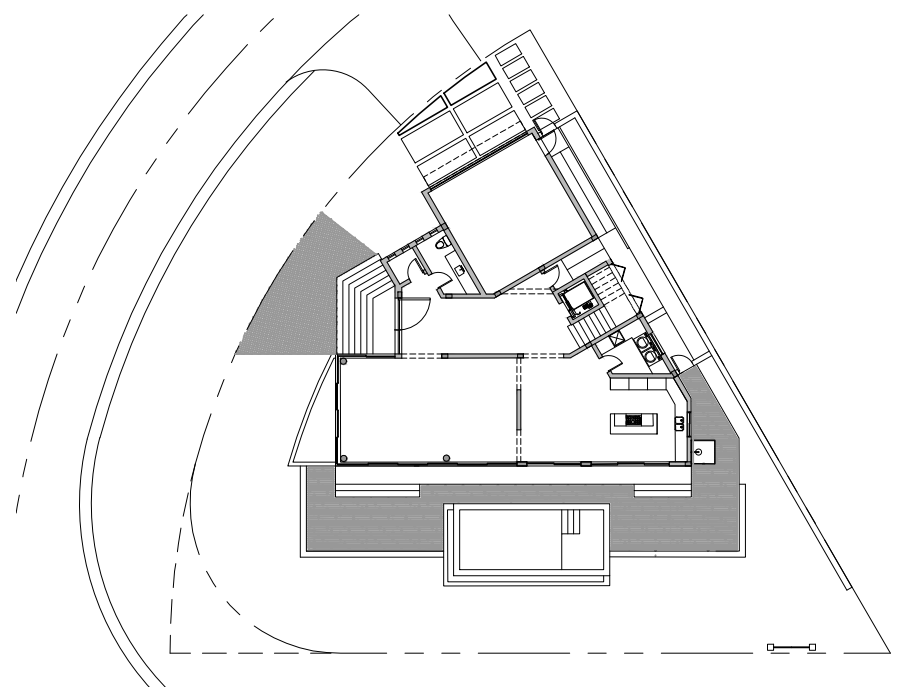
N
KEY PLAN
SCALE: 1/32" = 1'-0"

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	drawing title.		drawing no.	project no.	date.	© 2018 ARM ARCHITECT, P.A.
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PROPOSED SIDE (FRONT) ELEVATION
SCALE: 3/32" = 1'-0"



KEY PLAN
SCALE: 1/32" = 1'-0"

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project address.

ELEVATIONS			drawing no.
drawing title.	project no.	date.	
	17056	08.03.2018	A-11.1
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PROPERTY LINE

36 FT PROPOSED SETBACK

14 FT PROP. SETBACK

PROPERTY LINE

SCREEN LOUVERS, TO BE ACCESSIBLE FOR ACU

IMPACT RESISTANT WINDOWS

STONE VENEER FINISH

STONE VENEER FINISH

SMOOTH STUCCO

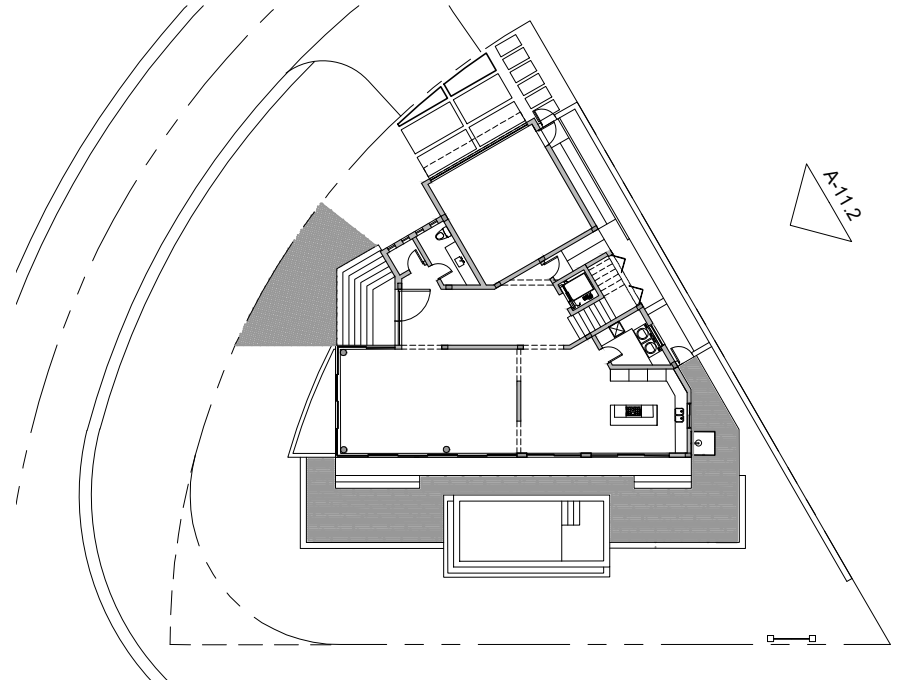
SMOOTH STUCCO

SCREEN LOUVERED STORAGE DOOR



PROPOSED SIDE ELEVATION

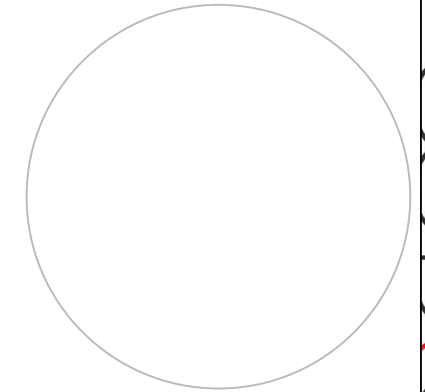
SCALE: 3/32" = 1'-0"



KEY PLAN

SCALE: 1/32" = 1'-0"

- +33'-4" (43.33' NGVD)
TOP OF ELEVATOR SHAFT
- +27'-10" (37.83' NGVD)
ROOF DECK RAILING
- +25'-2" (35.17' NGVD)
TOP OF ROOF PARAPET
- +24'-6" (34.5' NGVD)
TOP OF ROOF DECK
- +24'-0" (34.0' NGVD)
TOP OF ROOF
- +12'-10" (22.88' NGVD)
SECOND FLOOR
- +0' (10.00' NGVD)
GROUND LEVEL



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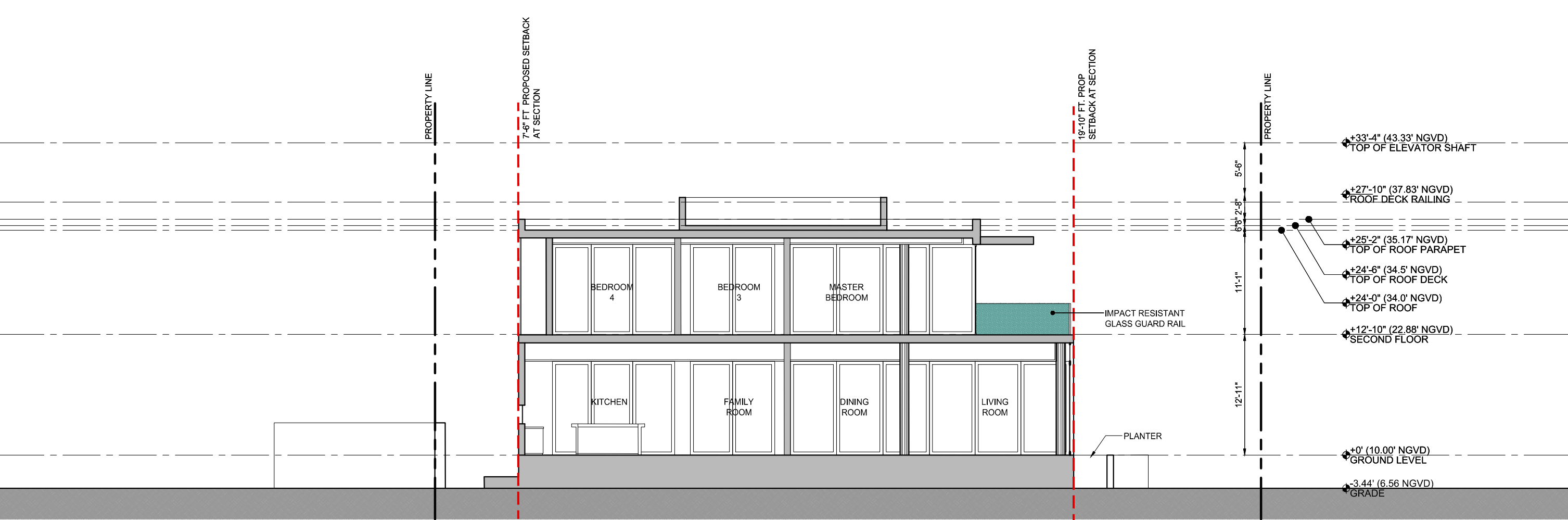
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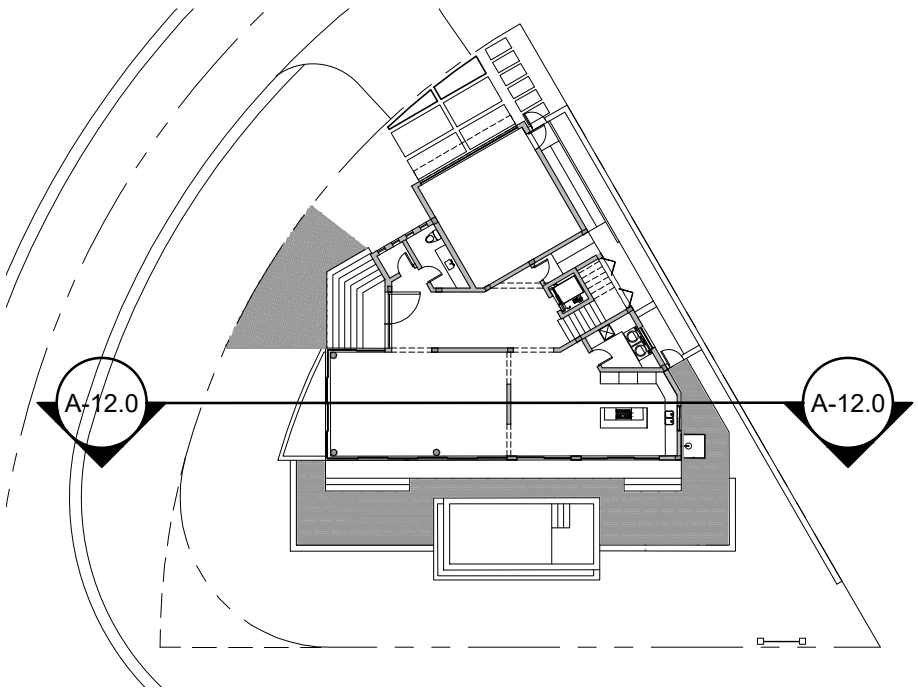
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project address.

drawing title.	ELEVATIONS
project no.	17056
date.	08.03.2018

A-11.2
drawing no.
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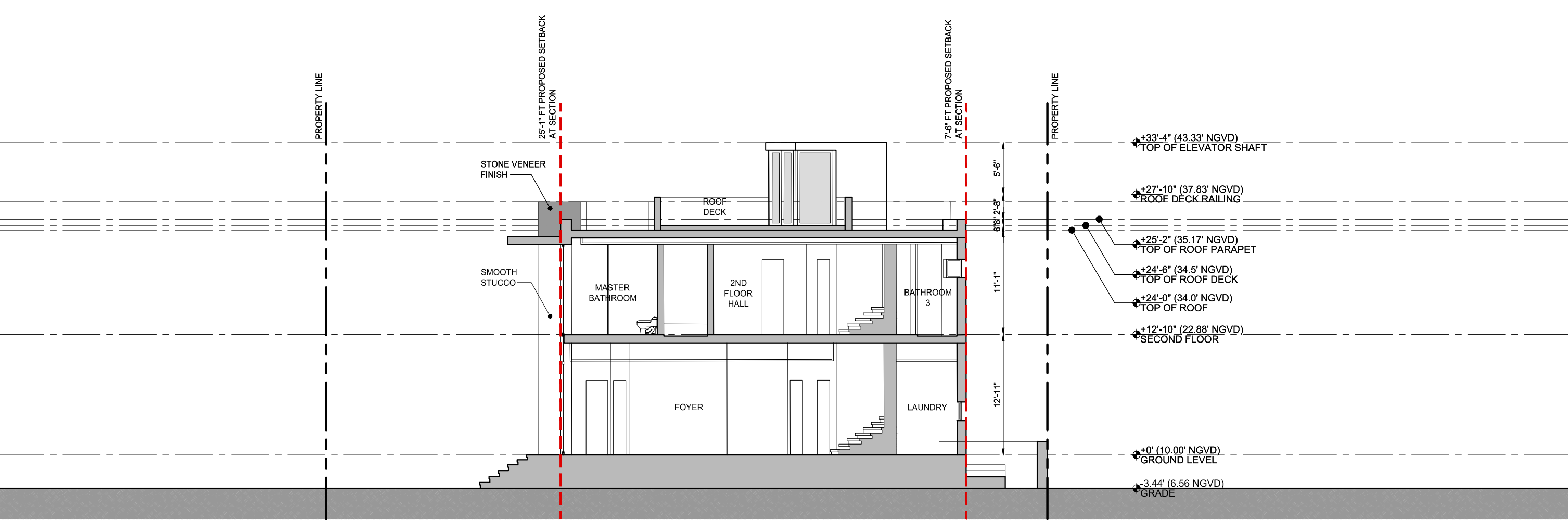
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BUILDING SECTION
SCALE: 3/32" = 1'-0"



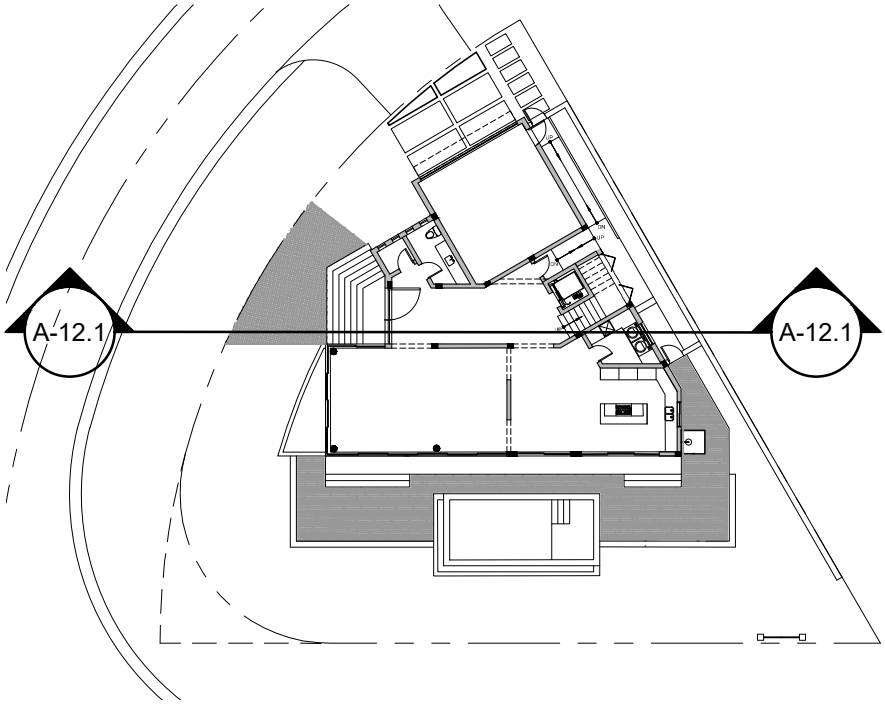
N
KEY PLAN
SCALE: 1/32" = 1'-0"

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architect, P.A.
amilcar r. melendez
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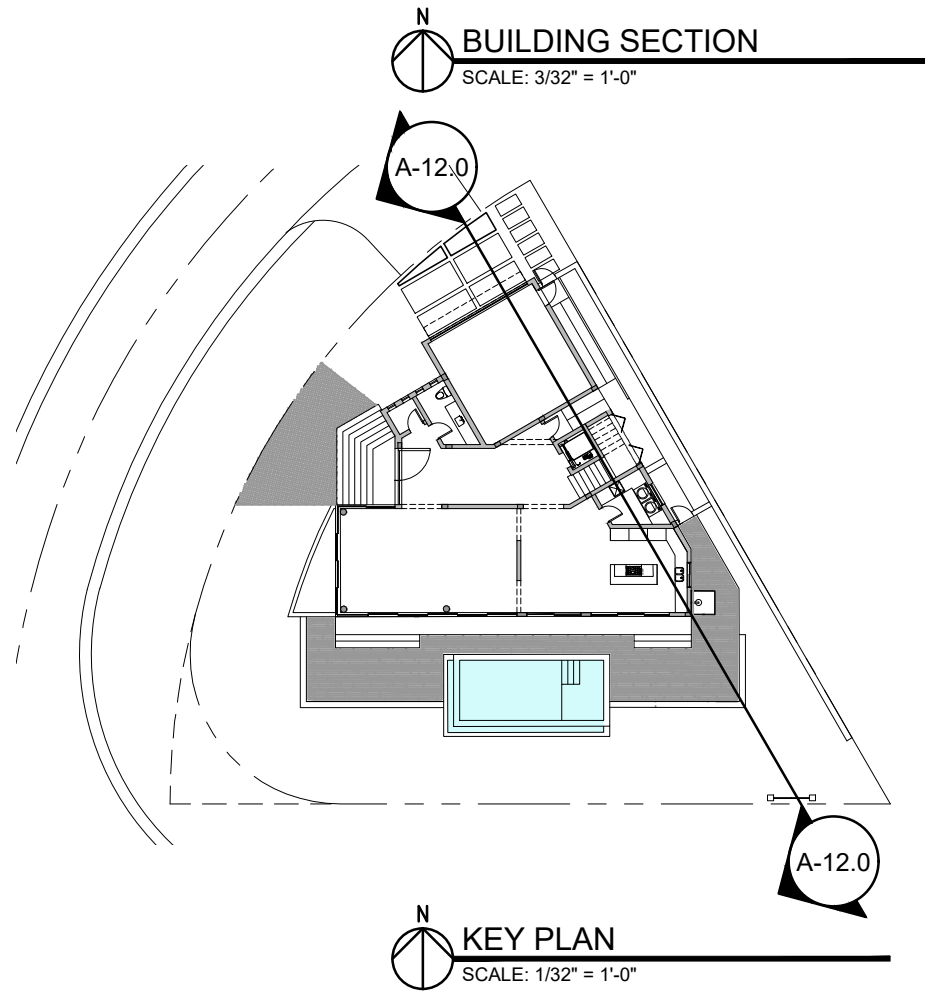
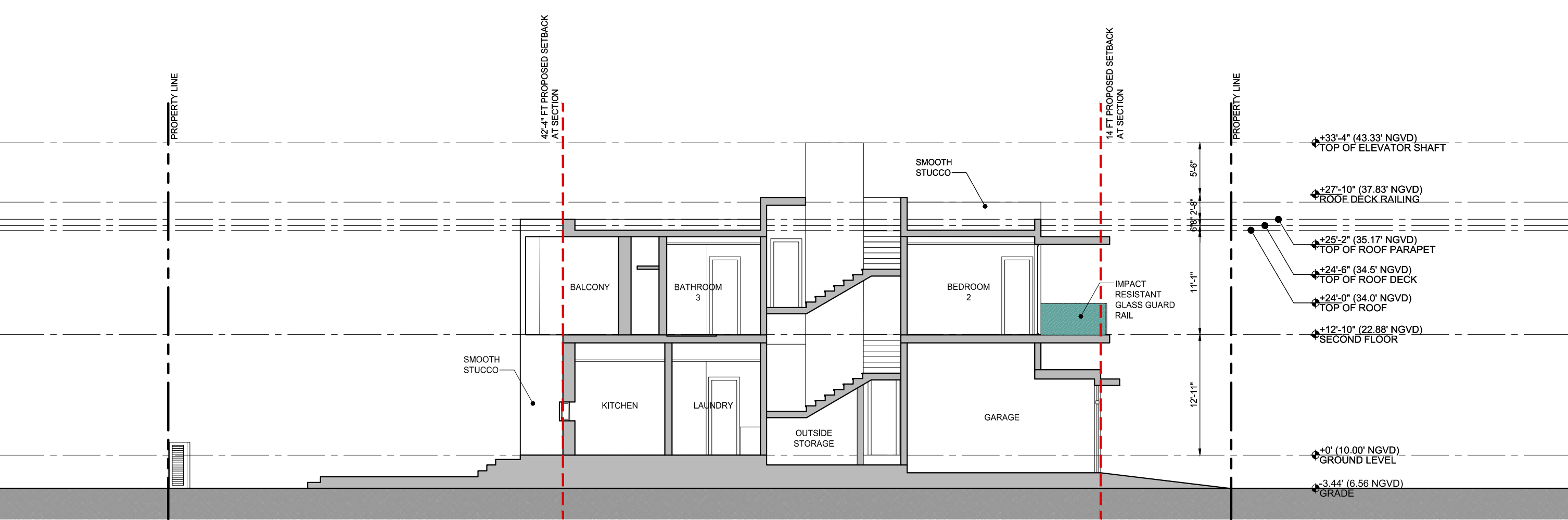
N
BUILDING SECTION
SCALE: 3/32" = 1'-0"



N
KEY PLAN
SCALE: 1/32" = 1'-0"

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	project no.	17056	
	date.	08.03.2018	
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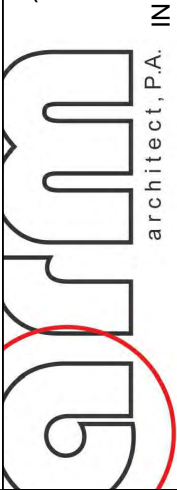
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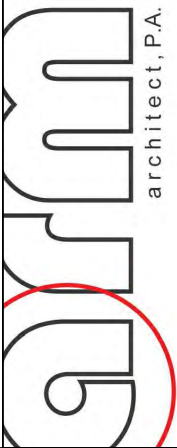
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FAX.: +1 786 347 7692
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121 4th SAN MARINO TERR.
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project address.

drawing title.		RENDERING - FRONT		A-13.0	
project no.		17056		drawing no.	
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FOLIO #: 02-3232-004-0030
project address.

drawing title.		RENDERING - SIDE		A-13.1	
project no.		17056		drawing no.	
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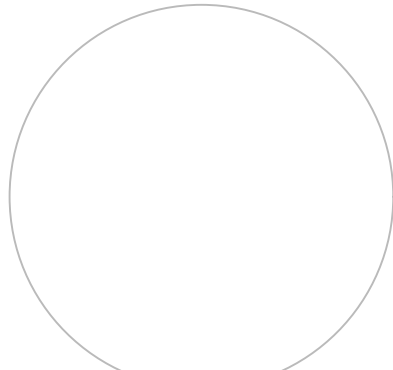
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drawing title.	RNDR. - SE CORNER
project no.	17056
date.	08.03.2018

A-13.2
drawing no.

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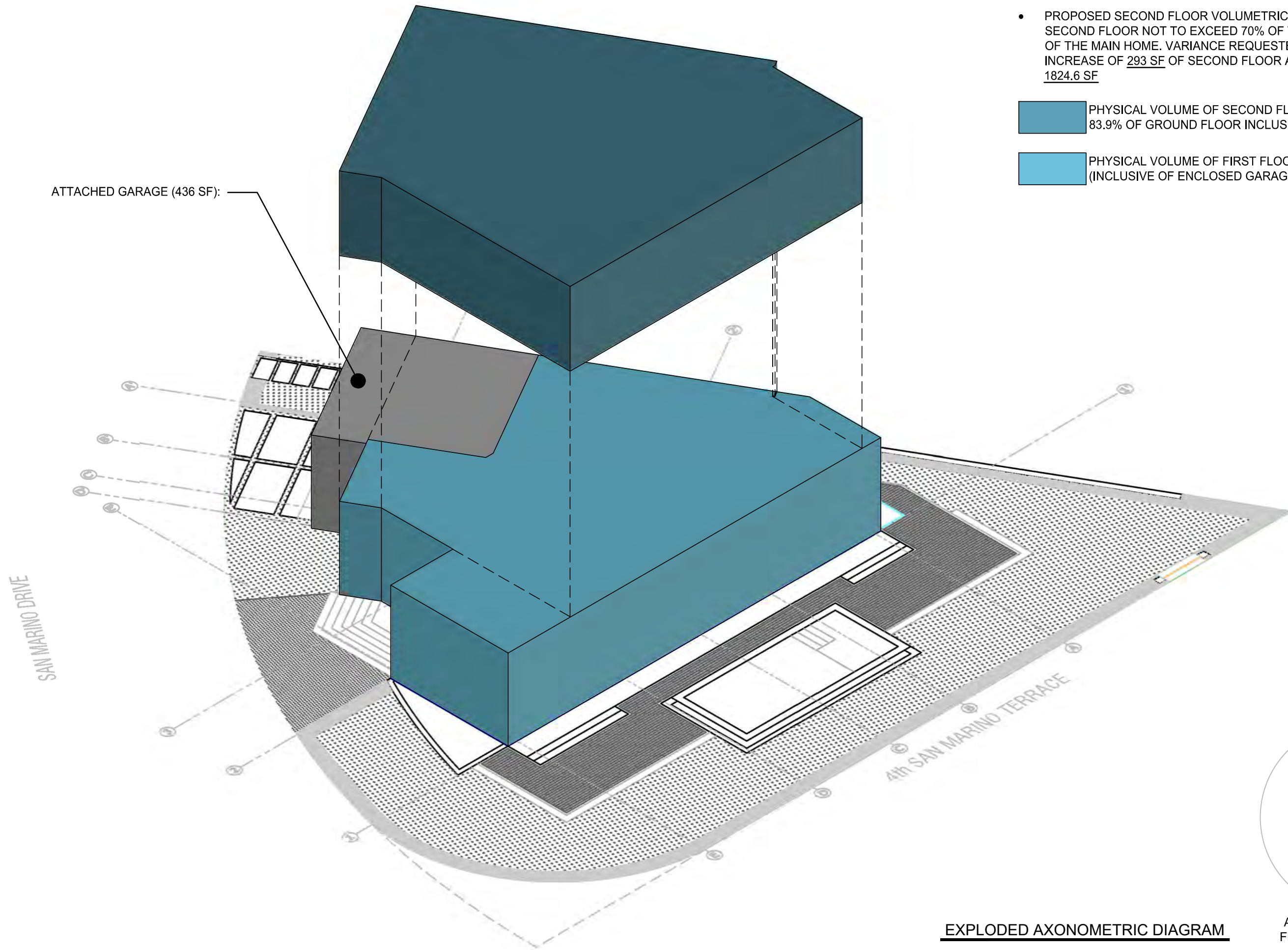
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project address.

drawing title.	RNDR. - SW CORNER	A-13.3
project no.	17056	
date.	08.03.2018	drawing no.
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RELEVANT CODE INFORMATION

- PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE ON SECOND FLOOR NOT TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME. VARIANCE REQUESTED FOR AN INCREASE OF 293 SF OF SECOND FLOOR ALLOWED, TOTAL 1824.6 SF

PHYSICAL VOLUME OF SECOND FLOOR: 1824.6 SF - 83.9% OF GROUND FLOOR INCLUSIVE OF GARAGE

PHYSICAL VOLUME OF FIRST FLOOR: 2187.9 SF (INCLUSIVE OF ENCLOSED GARAGE)

EXPLODED AXONOMETRIC DIAGRAM

AMILCAR R. MELENDEZ
FLORIDA REGISTRATION
AR93063

121 4th SAN MARINO TERR.
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drawing title. AXONOM. DIAGRAM

project no. 17056

date.

08.03.2018

A-14.0

drawing no.
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**SMOOTH STUCCO,
WHITE**



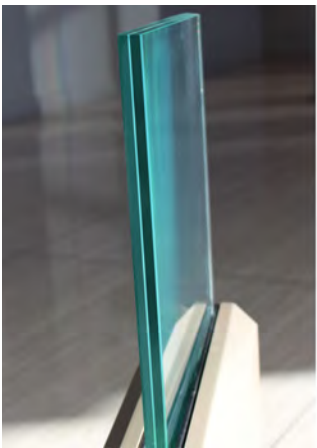
**STONE VENEER,
WHITE, GRAY,
BEIGE TONES**



**SCREEN LOUVER,
CONCEPT FOR
GARAGE DOOR,
FEATURE WALL
WINDOWS AND
BACK SCREEN
BALCONY FOR
EQUIPMENT, DARK
BRONZE FRAMING**



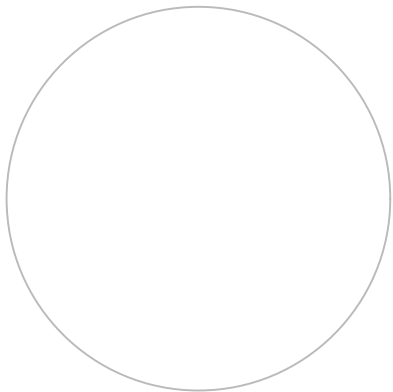
**IMPACT RESISTANT
SLIDING GLASS DOORS OR
FOLDING GLASS WALL
SYSTEM,
DARK BRONZE FRAMING**



**FRAMELESS IMPACT
RESISTANT GLASS
GUARD RAIL**



**TIGERWOOD,
POOL DECK
SYSTEM**



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drawing title.		MATERIALS		A-15.0
project no.		17056		drawing no.
date.		08.03.2018		
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