



709|719|729

WASHINGTON AVE

MIAMI BEACH, FL 33139

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SCOPE OF WORK :

- Demolition of 2 non-contributing retail buildings
- Restoration of contributing building
- New retail buildings to replace demolished structures

REVISIONS

No.	DESCRIPTION	DATE

SUBMITTAL: HISTORIC PRESERVATION BOARD

1st SUBMITTAL: MARCH 18, 2016

2nd SUBMITTAL: -

Final SUBMITTAL: JUNE 27, 2016

COVER PAGE

A-00



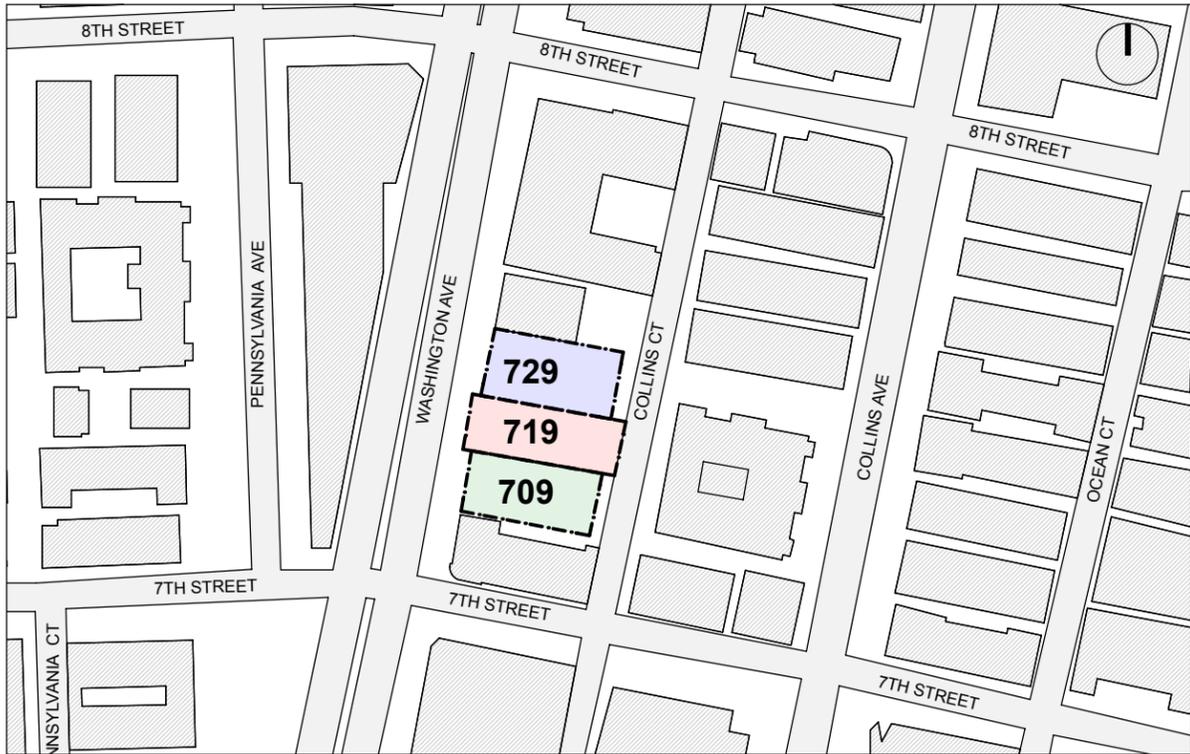
A-01 | **HPB SUBMITTAL**
709/719/729 WASHINGTON AVE
MIAMI BEACH, FL 33139
SITE | 06/27/2016 URBAN ROBOT © 2016



ZONING DATA 709 WASHINGTON AVE.		
FOLIO: 02-3233-08 6-001 OCEAN BEACH ADDN NO 1 PB 3-11 LOT 10 BLK 33 LOT SIZE 50.000 X 130 OR 18122-0643/18170-3798 0598 1		
LOCATION		709 WASHINGTON AVE
SITE DATA	CRITERIA	
ZONING DISTRICT	CD-2 COMMERCIAL	
ZONING	REQUIRED	PROVIDED / PROPOSED
FAR:	1.5	0.52
TOTAL LOT AREA:	6,500 SF (50 X 130)	6,500 SF (50 X 130)
DEVELOPABLE AREA:	9,750 SF	5,040 SF
BUILDING HEIGHT ALLOWABLE:	50 FT, 5 STORIES	30 FT, 1 STORY
SETBACKS FRONT (WASHINGTON AVE.):	0'-0"	0'-0"
SIDE, INTERIOR (NORTH & SOUTH):	0'-0"	0'-0"
REAR (COLLINS CT.):	5'-0"	13'-0"

ZONING DATA 729 WASHINGTON AVE.		
FOLIO: 02-4203-004-0670 3 54 42 OCEAN BEACH ADDN NO 1 PB 3-11 LOT 12 BLK 33 LOT SIZE 50.000 X 130 OR 17736-4583 0697 4		
LOCATION		729 WASHINGTON AVE
SITE DATA	CRITERIA	
ZONING DISTRICT	CD-2 COMMERCIAL	
ZONING	REQUIRED	PROVIDED / PROPOSED
FAR:	1.5	0.52
TOTAL LOT AREA:	6,500 SF (50 X 130)	6,500 SF (50 X 130)
DEVELOPABLE AREA:	9,750 SF	5,040 SF
BUILDING HEIGHT ALLOWABLE:	50 FT, 5 STORIES	30 FT, 1 STORY
SETBACKS FRONT (WASHINGTON AVE.):	0'-0"	0'-0"
SIDE, INTERIOR (NORTH & SOUTH):	0'-0"	0'-0"
REAR (COLLINS CT.):	5'-0"	13'-0"

ZONING DATA 719 WASHINGTON AVE. - CONTRIBUTING BUILDING		
FOLIO: 02-4203-004-0660 OCEAN BEACH ADDN NO 1 PB 3-11 LOT 11 BLK 33 LOT SIZE 50.000 X 130 OR 15285-2521 1290 4 COC 23060-2978 01 2005 6		
LOCATION		719 WASHINGTON AVE
SITE DATA	CRITERIA	
ZONING DISTRICT	CD-2 COMMERCIAL	
ZONING	REQUIRED	PROVIDED / PROPOSED
FAR:	1.5	2.0
TOTAL LOT AREA:	6,500 SF (50 X 130)	6,500 SF (50 X 130)
DEVELOPABLE AREA:	9,750 SF	13,000 SF
BUILDING HEIGHT ALLOWABLE:	50 FT, 5 STORIES	30 FT, 2 STORIES
SETBACKS FRONT (WASHINGTON AVE.):	0'-0"	0'-0"
SIDE, INTERIOR (NORTH & SOUTH):	0'-0"	0'-0"
REAR (COLLINS CT.):	5'-0"	0'-0"



KEY PLAN 1
NOT TO SCALE

PARKING DATA - 709 WASHINGTON AVE

PARKING CALCULATIONS	COUNT	REQUIRED	PROVIDED
NEW RETAIL	130.72 SF	1 (1 PER 300 SF)	0
RETAIL LOADING	>2,000 & < 10,000	1	1
TOTAL		2	1 (LOADING)

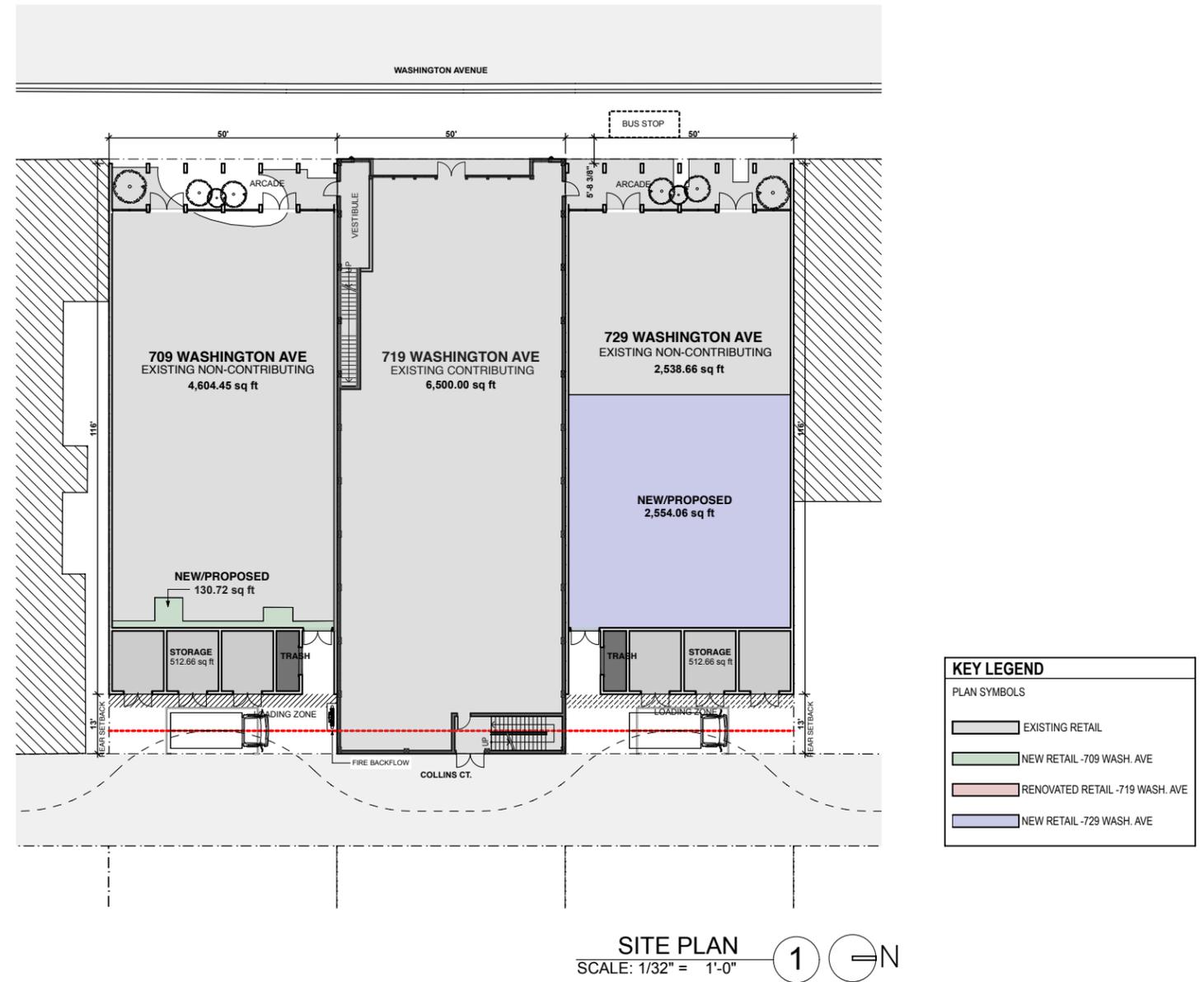
PARKING DATA - 719 WASHINGTON AVE

PARKING CALCULATIONS	COUNT	REQUIRED	PROVIDED
RETAIL	13,000 SF (HISTORIC AREA)*	0	0
RETAIL LOADING	>2,000 & < 10,000	0	0
TOTAL		0	0

* CONTRIBUTION NOT REQUIRED

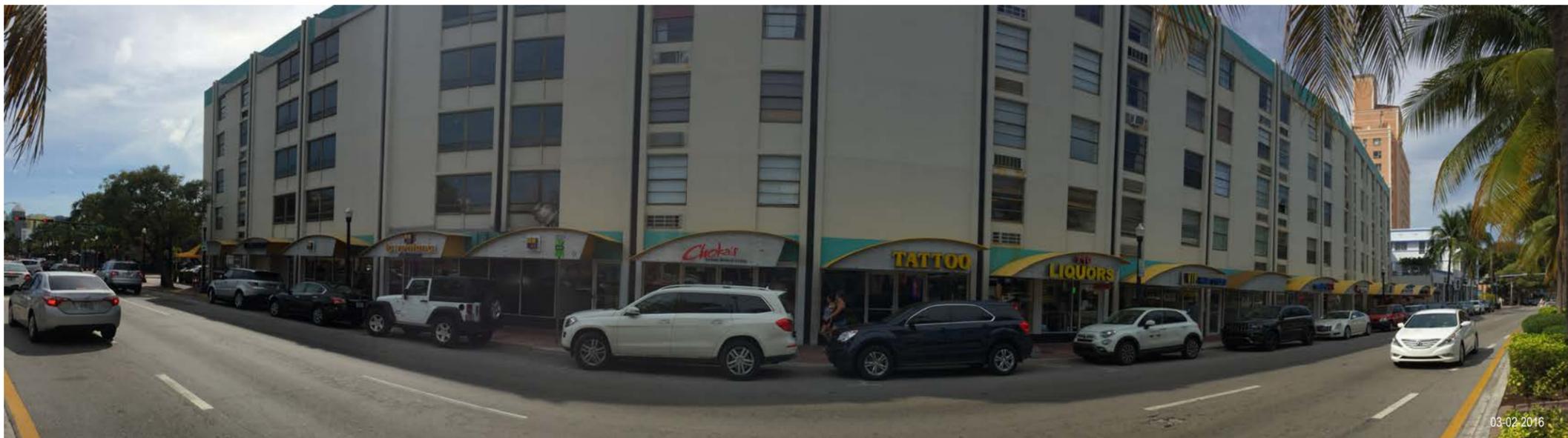
PARKING DATA - 729 WASHINGTON AVE

PARKING CALCULATIONS	COUNT	REQUIRED	PROVIDED
NEW RETAIL	2,554.06 SF	9 (1 PER 300 SF)	0
RETAIL LOADING	>2,000 & < 10,000	1	1
TOTAL		10	1 (LOADING)





1.



2.





3.



4.



5.





NON-CONTRIBUTING BUILDING: 729 WASHINGTON AVE



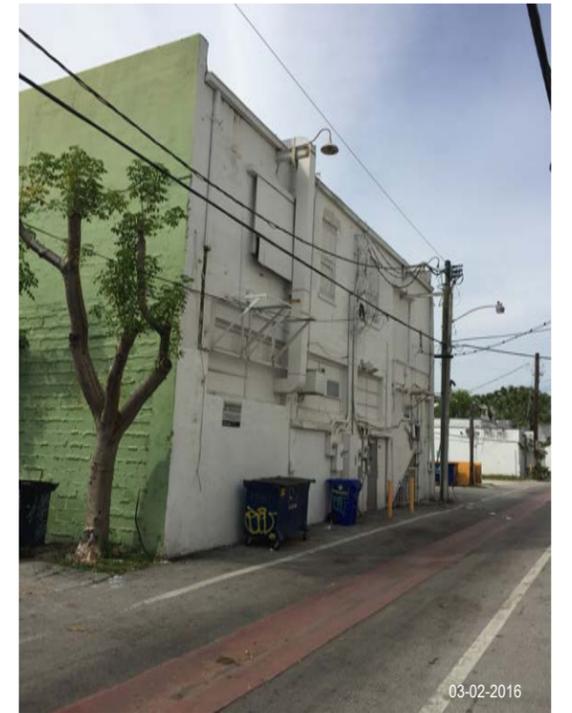
NON-CONTRIBUTING BUILDING: 709 WASHINGTON AVE



REAR ELEVATION AT COLLINS COURT: 709 WASHINGTON AVE

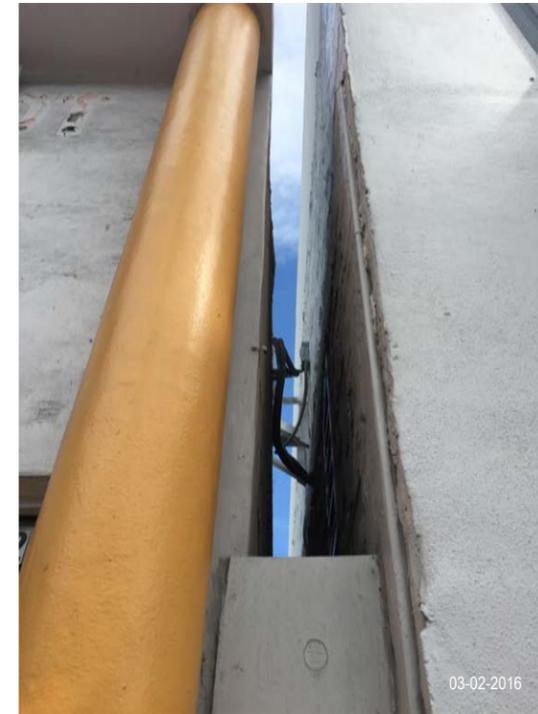


REAR ELEVATION AT COLLINS COURT: 719 WASHINGTON AVE



REAR ELEVATION AT COLLINS COURT: 729 WASHINGTON AVE





CONTRIBUTING BUILDING: 719 WASHINTON AVE

A-09

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ARCHITECTURAL FEATURES



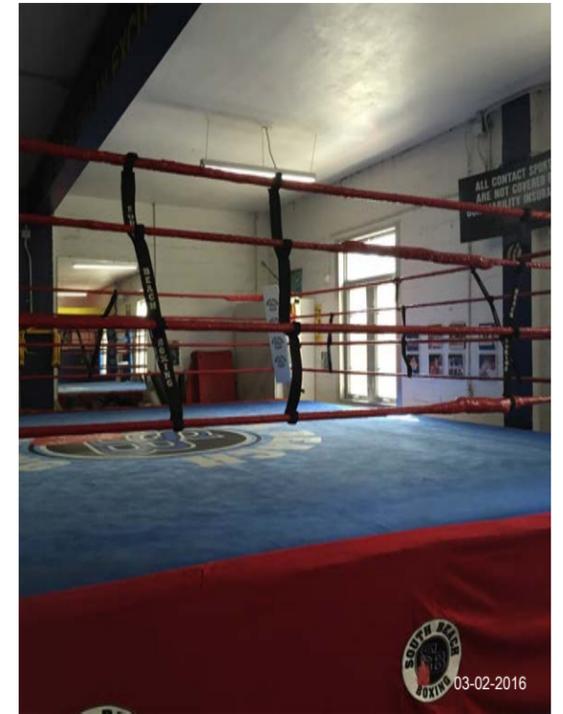
LOBBY
GROUND FLOOR



HALLWAY TO STAIRS
GROUND FLOOR



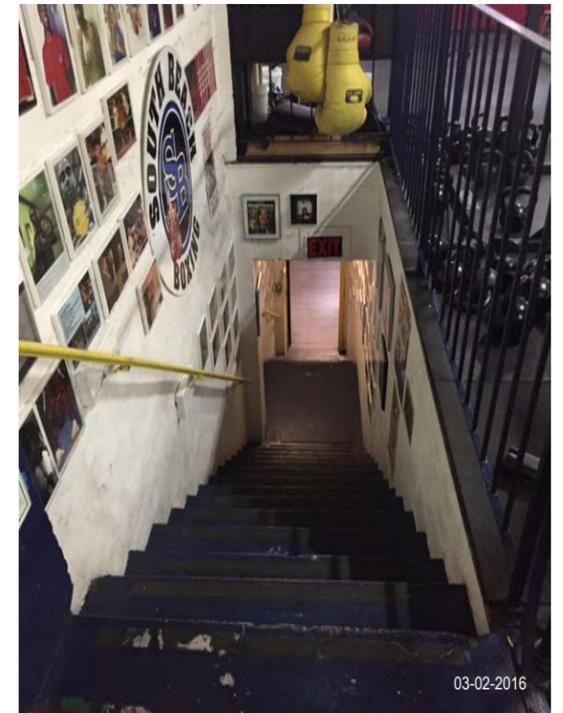
SECOND FLOOR



SECOND FLOOR



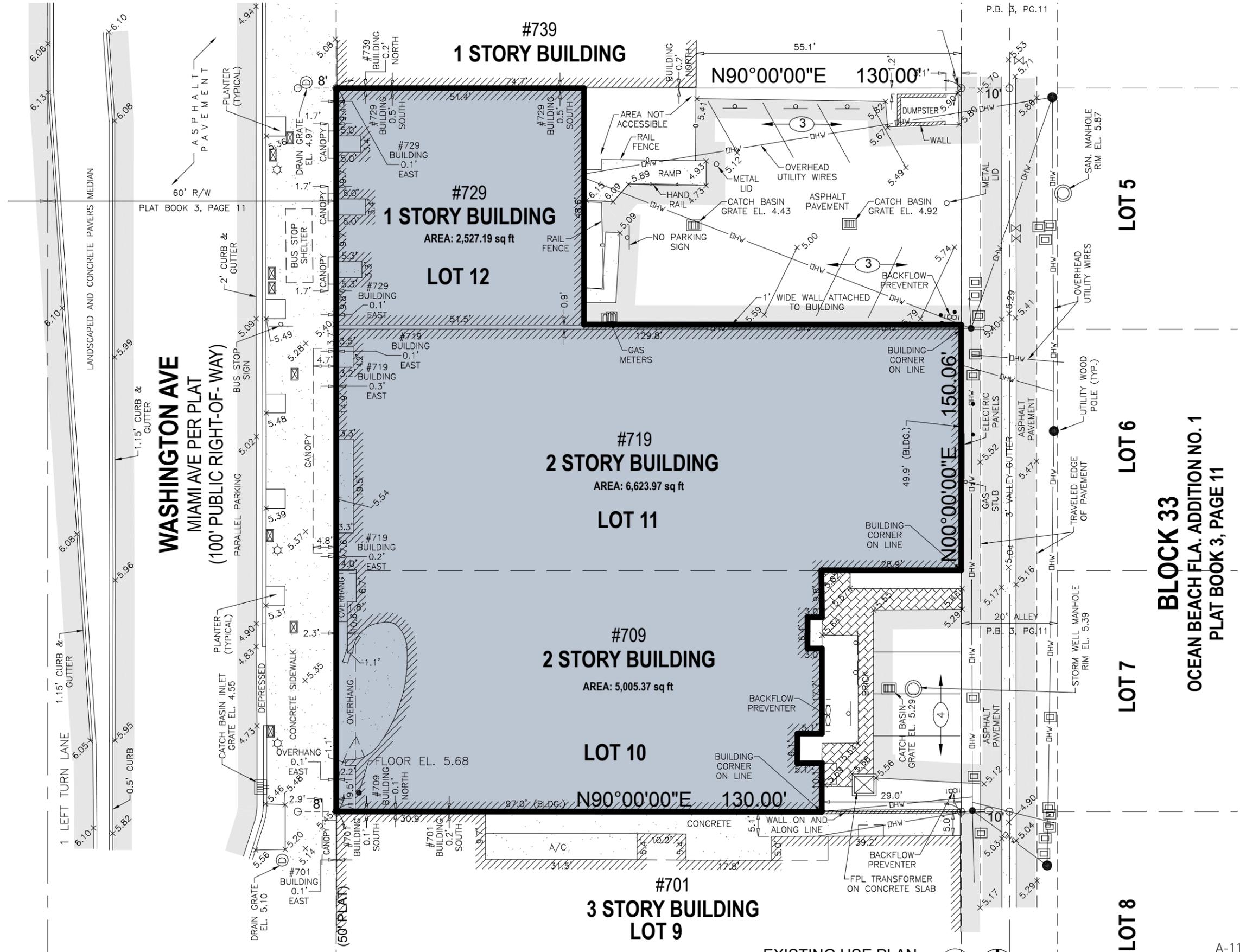
SECOND FLOOR



SECOND FLOOR

INTERIOR PHOTOS: CONTRIBUTING BUILDING: 719 WASHINGTON AVE





P.B. 3, PG.11

FOR REFERENCE ONLY

EXISTING USE PLAN
SCALE: 1" = 20'

LOT 5
LOT 6
LOT 7
LOT 8

BLOCK 33
OCEAN BEACH FLA. ADDITION NO. 1
PLAT BOOK 3, PAGE 11

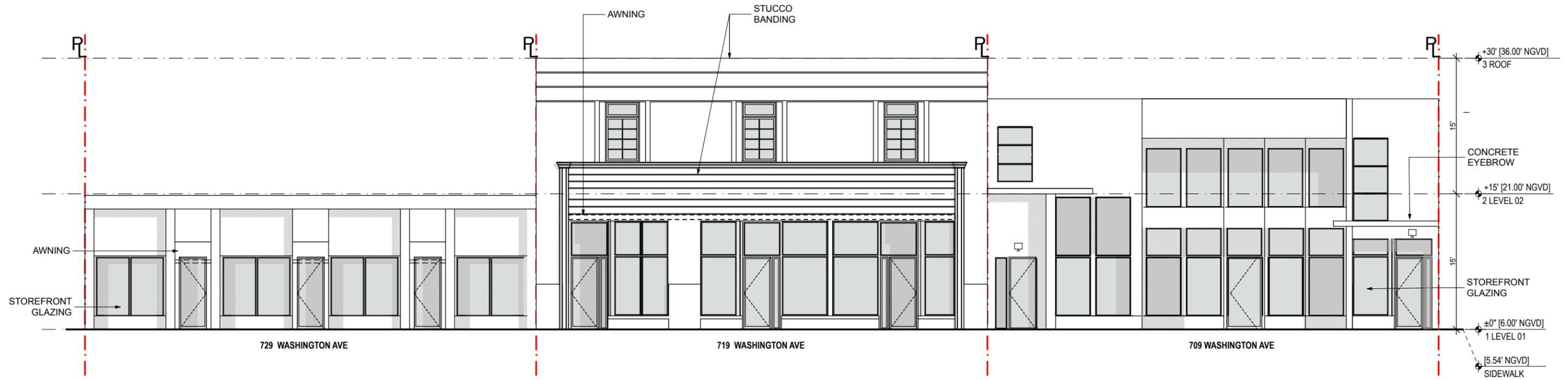
A-11 HPB SUBMITTAL

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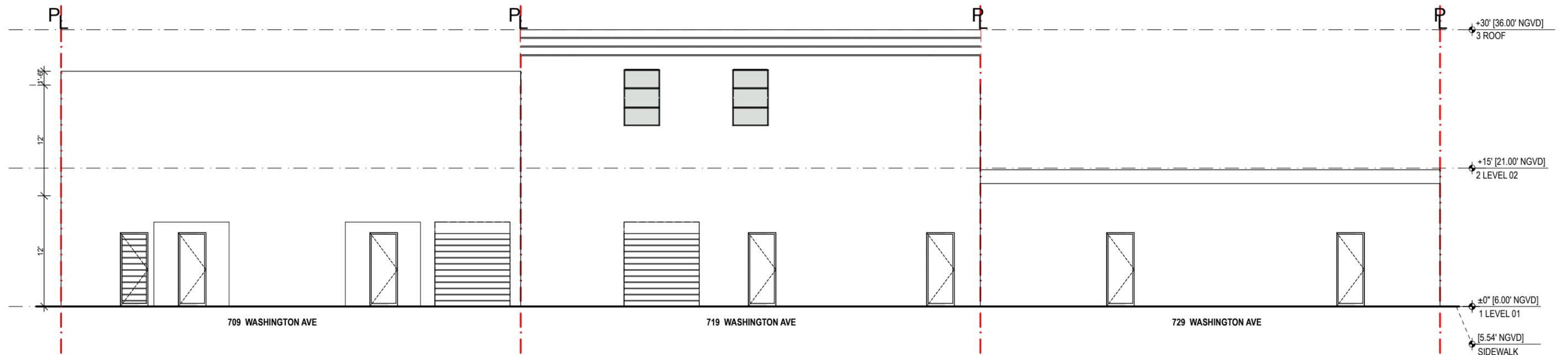


EXISTING USE PLAN



NOTE:
ALL GLAZING TO BE DEMOLISHED AND REPLACED WITH NEW GLAZING.

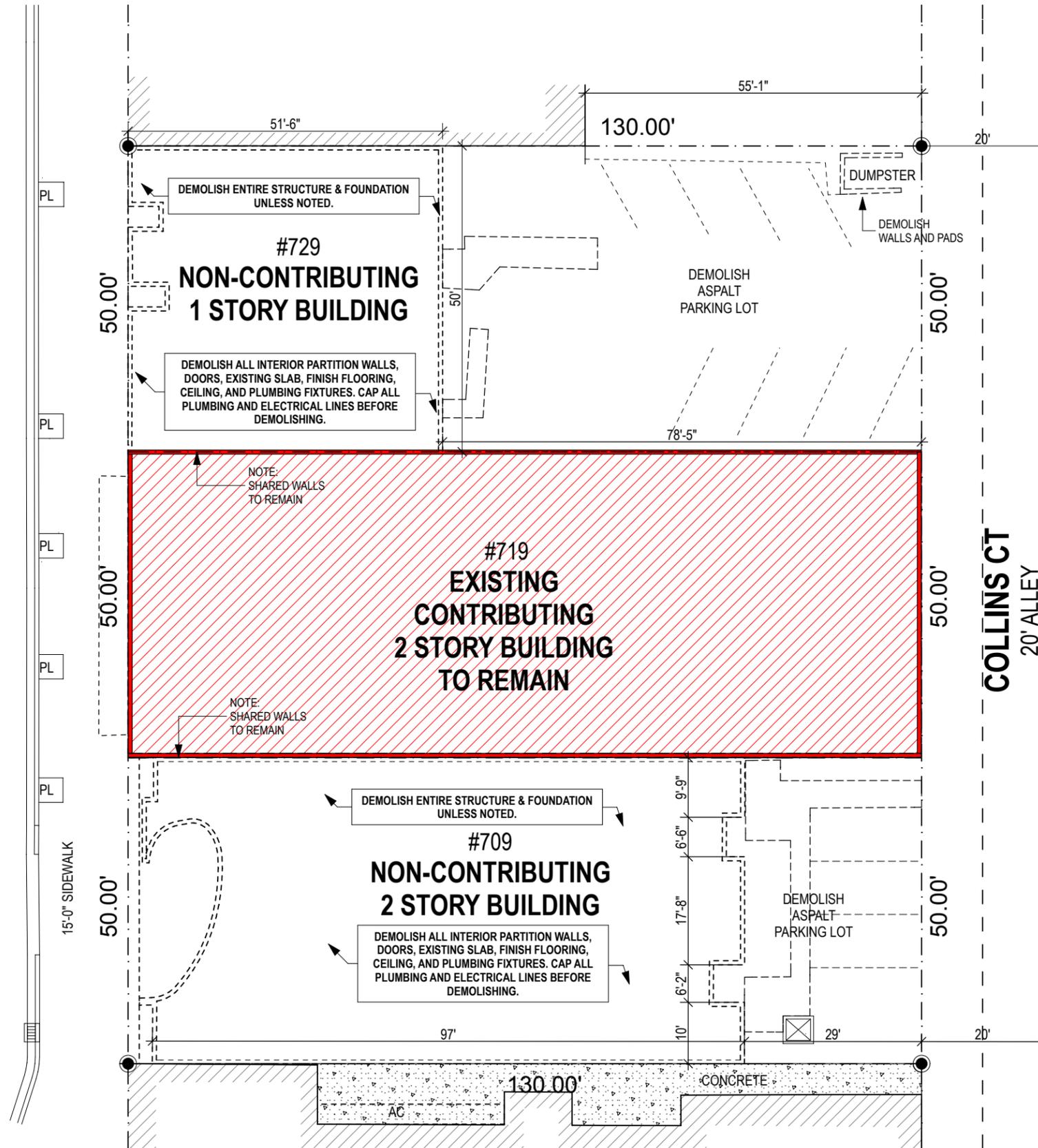
EXISTING FRONT ELEVATION (WEST) ①
SCALE: 3/32" = 1'-0"



EXISTING FRONT ELEVATION (WEST) ①
SCALE: 3/32" = 1'-0"

LANDSCAPED AND CONCRETE PAVERS MEDIAN

WASHINGTON AVE
(100' PUBLIC RIGHT-OF-WAY)



DEMOLITION KEY LEGEND	
PLAN SYMBOLS	
	WALL TO REMAIN
	BUILDING TO REMAIN
	TO REMAIN (REMOVE/REPLACE STOREFRONT GLASS)
	DEMOLISH
ELEVATION SYMBOLS	
	TO REMAIN
	DEMOLISH

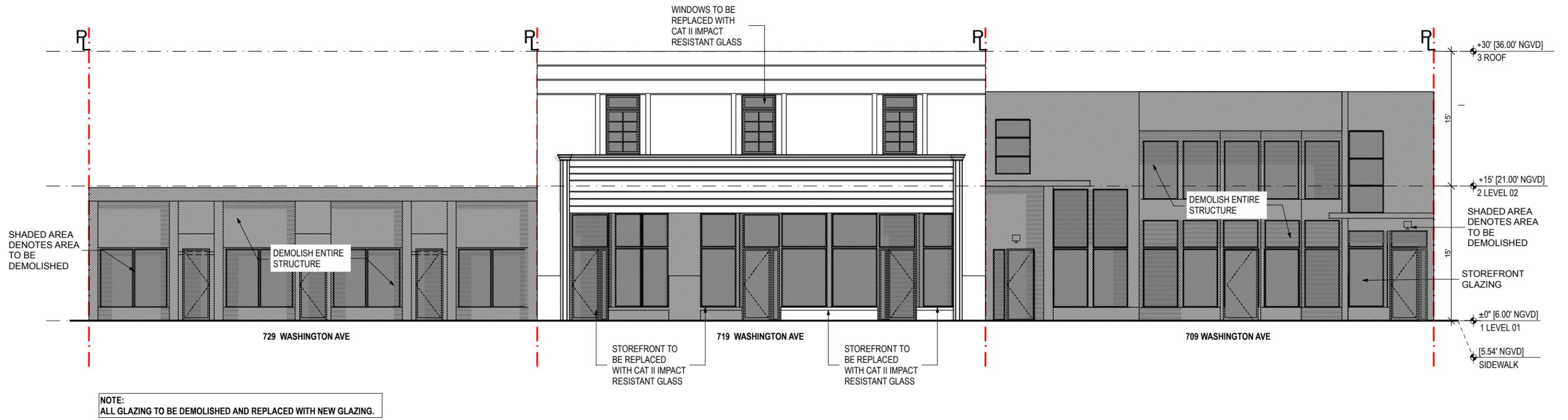
NOTE:

- 1.) CONTRACTOR TO PROVIDE 10' HIGH CONSTRUCTION FENCE AND SECURE JOB-SITE AT ALL TIMES.
- 2.) CONTRACTOR SHALL BECOME FAMILIAR W/EXISTING BUILDING AND CONFIRM THAT INTERIOR PARTITIONS BEING REMOVED ARE NON-LOAD BEARING.

DEMOLITION GENERAL NOTES

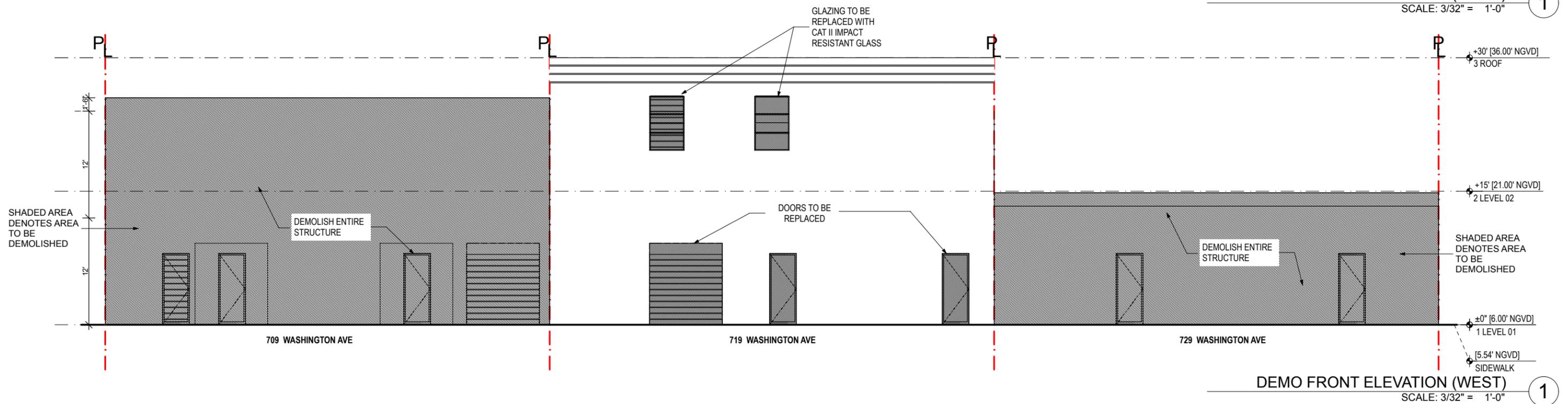
1. THE CONTRACT DOCUMENTS FOR THIS PROJECT CONSIST OF ALL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS SET. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE REVIEW OF ALL PARTS OF THE CONTRACT DOCUMENTS AS A REQUIREMENT OF THIS PROJECT.
2. THE COMPLETE SCOPE OF WORK FOR THIS PROJECT IS NOT LIMITED TO THE INFORMATION INDICATED IN THE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND COORDINATING THE WORK OF OTHERS INCLUDING, BUT NOT LIMITED TO FIRE PROTECTION, STRUCTURAL, ELECTRICAL, PLUMBING AND MECHANICAL DRAWINGS IN CONNECTION WITH DEMOLITION OF EXISTING APPLICABLE SYSTEMS.
3. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING BUILDING SYSTEMS INCLUDING STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING PRIOR TO COMMENCEMENT OF WORK.
4. THE CONTRACTOR SHALL REMOVE ALL FINISHES PRIOR TO DEMOLITION OF ANY PARTITIONS, CEILINGS, FLOORING ROOFS ETC... AND REQUEST AN INSPECTION FORM THE ARCHITECT, STRUCTURAL ENGINEER, AND ELECTRICAL ENGINEER PRIOR TO FURTHER DEMOLITION.
5. THE CONTRACTOR SHALL COORDINATE THE TRADES OF OTHERS WITH EXISTING CONDITIONS AND DEMOLITION REQUIREMENTS.
6. THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND SPECIFICATIONS TO COORDINATE WITH EXISTING BUILDING CONDITIONS. ANY VARIANCE OR DISCREPANCIES THAT ARISE FROM THE ABOVE REVIEW SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
7. ALL WORK MATERIAL AND INSTALLATION SHALL BE IN FULL CONFORMANCE WITH THE LATEST FEDERAL, STATE AND LOCAL CODES, LAW AND ORDINANCES, INCLUDING THE MOST RECENT REVISIONS, ADDITIONS, AMENDMENTS, AND INTERPRETATIONS.
8. THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT FOR IMMEDIATE RESOLUTION ANY CODE VIOLATIONS, INCORRECT CONSTRUCTION, OR SAFETY PROBLEMS THAT ARE EXISTING FIELD CONDITIONS.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SAFETY ITEMS REQUIRED TO PROTECT THE SAFETY OF WORKERS INCLUDING FIRE EXTINGUISHERS, EXIT SIGNS AND EMERGENCY EVACUATION DEVICES IN THE CORRECT LOCATION REQUIRED BY CODE AND LOCAL AGENCIES.
10. ALL EXISTING HAZARDOUS MATERIALS SHALL BE REPORTED TO OWNER/LANDLORD AND DISPOSED OF IN ACCORDANCE WITH LOCAL AND STATES CODES. NO NEW OR EXISTING CONSTRUCTION SHALL CONTAIN HAZARDOUS OR PROHIBITED MATERIAL OF ANY KIND.
11. ALL DIMENSIONS ARE TO BE AS INDICATED ON THE DRAWINGS OR AS CLARIFIED BY THE ARCHITECT. UNDER NO CIRCUMSTANCES SHALL DIMENSIONS BE DETERMINED BY SCALING THE DRAWINGS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR PART OF AN EXISTING FIELD CONDITION.
12. DIMENSIONS ARE TO FACE OF FINISH, FACE OF COLUMN OR CENTERLINE OF WINDOW UNLESS OTHERWISE NOTED. ALL NEW FINISH IS TO ALIGN FLUSH WITH EXISTING FINISHES WITHOUT EVIDENCE OF ADDITION.
13. ALL CLEAR DIMENSIONS ARE TO BE WITHIN 1/8" (+/-) ALONG FULL HEIGHTS AND WIDTH OF WALLS. THE CONTRACTOR SHALL NOT ADJUST ANY DIMENSION MARKED "CLEAR" WITHOUT WRITTEN INSTRUCTION FROM THE ARCHITECT.
14. THE CONTRACTOR SHALL SCHEDULE ALL WORK IN COMPLIANCE WITH LOCAL ORDINANCES AND REQUIREMENTS.
15. REMOVE AND LAWFULLY DISPOSE OFF SITE ALL RUBBISH AND DEBRIS RESULTING FROM CONTRACTORS OPERATION DAILY. KEEP PROJECT AREA BROOM CLEAN.
16. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AREAS ADJACENT TO DEMOLITION AND NEW CONSTRUCTION FROM NOISE, DEBRIS AND DUST THROUGHOUT THE PERFORMANCE OF THE WORK.
17. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL EXISTING FINISHES TO REMAIN, AND REPAIR ANY DAMAGES THAT OCCURS. PATCH AND FINISH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES. EXTEND PATCH TO THE NEAREST NATURAL BREAK POINT, INSIDE CORNER, EXISTING JOINT OR LOCATION APPROVED BY ARCHITECT. REPAIR FIREPROOFING ON FIRE RATED ASSEMBLIES TO MATCH EXISTING REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN THE INTEGRITY OF ALL SCAFFOLDING, DUST BARRIERS, BARRICADES, BRACING, SHORING, AND STRUCTURAL SYSTEMS REQUIRED FOR THE INSTALLATION OF THE WORK.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PROTECTION AS REQUIRED FOR SAFETY OF TENANTS, PEDESTRIANS AND JOB SITE PERSONNEL.
19. CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR INsofar AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE ACTIVITIES, OTHER CONTRACTORS, VENDORS AND THE BUILDING STANDARDS FOR CONSTRUCTION ACTIVITIES.
20. VERIFY ACCESS TO THE JOB SITE PRIOR TO COMMENCEMENT OF THWE WORK. CONFIRM ACCESS ROUTE FOR DELIVERIES AS WELL AS ALL CONSTRUCTION ACTIVITIES.
21. TRANSPORT, DELIVER, HANDLE AND STORE MATERIALS AND EQUIPMENT AT THE JOB SITE IN SUCH A MANNER AS TO PREVENT DAMAGE, INCLUDING DAMAGE WHICH MIGHT RESULT FROM INTRUSION OF FOREIGN MATTER OR MOISTURE FROM ANY SOURCE. COMPLY WITH MATERIAL AND MANUFACTURER'S INSTRUCTIONS REGARDING TEMPERATURE LIMITATIONS AND OTHER ENVIRONMENTAL CONDITIONS WHICH ARE REQUIRED TO MAINTAIN THE ORIGINAL QUALITY OF MATERIALS AND EQUIPMENT.
22. BUILDING SHALL BE UNOCCUPIED DURING DEMOLITION

DEMOLITION PLAN
SCALE: 1" = 20'



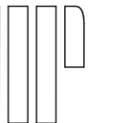
DEMO FRONT ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

1



DEMO FRONT ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

1



BUILDING INFORMATION

ARCHITECT: E. L. ROBERTSON
YEAR BUILT: 1936
DESIGNATION: 'CONTRIBUTING' - ART DECO

PRESERVE RECESSED HORIZONTAL & VERTICAL STUCCO BANDING. UNIQUE CHARACTER LINES OF THIS BUILDING

WINDOWS TO BE REPLACED BUT CONFIGURATION MAINTAINED AS IS BELIEVED ORIGINAL

REMOVE AWNING

PRESERVE ORIGINAL & UNIQUE ART MODERNE FLUTED PILASTER & CAPITAL

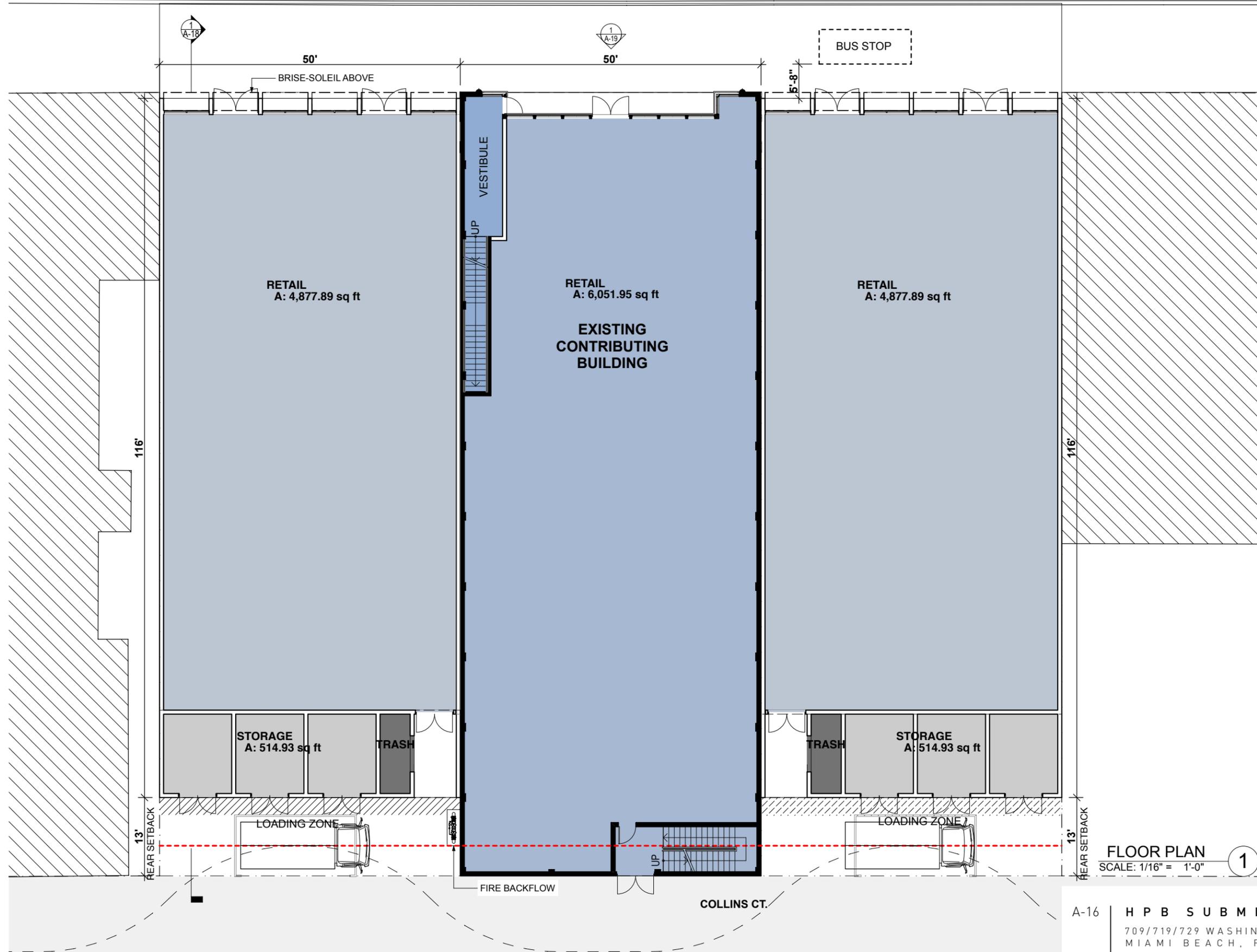
PRESERVE STUCCO BASE ON EITHER SIDE OF BUILDING, AS IT ENGAGES SIDEWALK.



719 WASHINGTON AVE

STOREFRONT WAS MODIFIED AS EARLY AS 1938 ACCORDING TO THE BUILDING CARD, AND MODIFIED FURTHER OVER THE YEARS. CURRENT STOREFRONT CONFIGURATION IS NOT CONSISTENT WITH THE SYMMETRICAL NATURE OF THE BUILDING AND IS PROPOSED TO BE RECONFIGURED TO A SYMMETRICAL LAYOUT

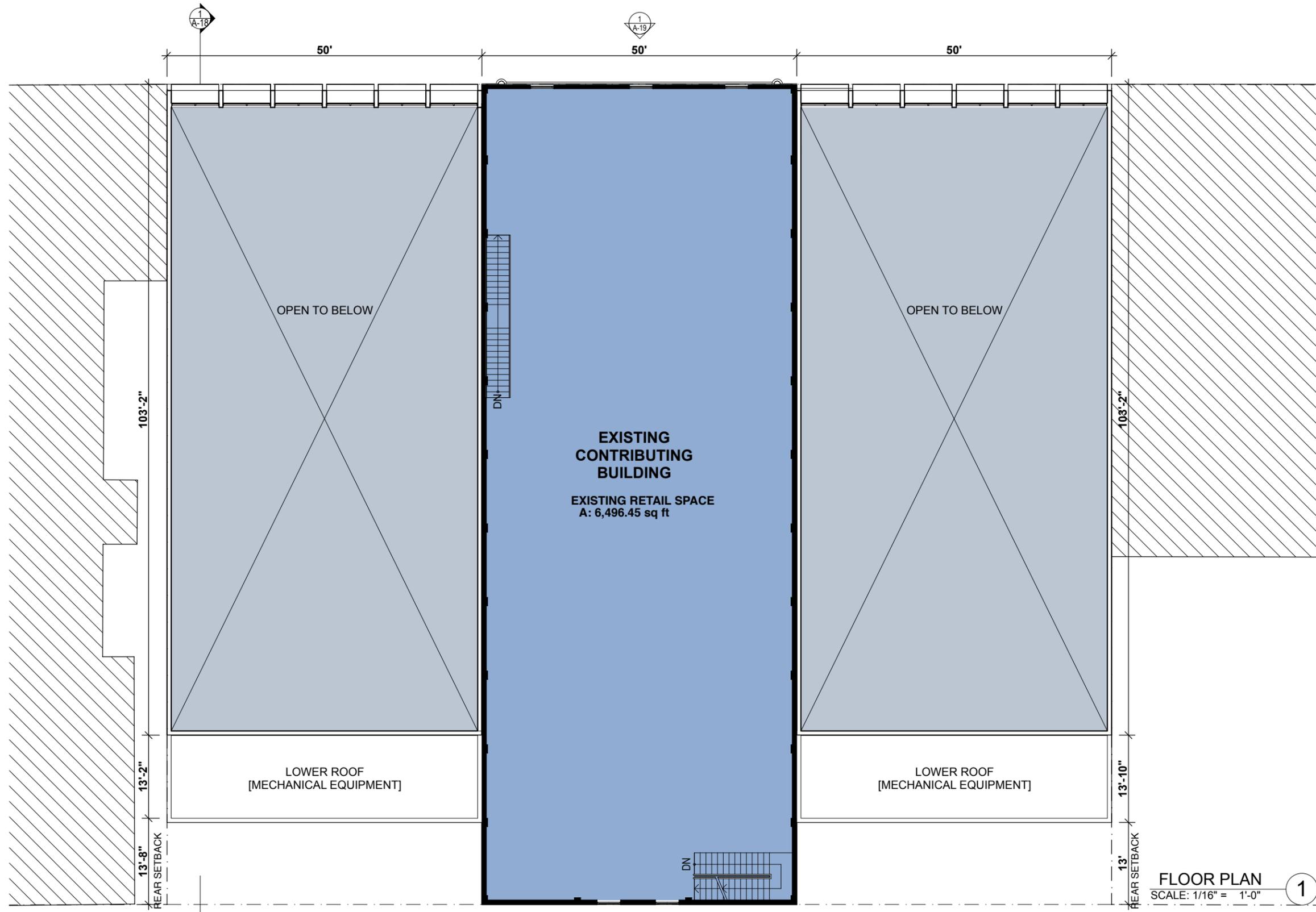




FLOOR PLAN 1 
 SCALE: 1/16" = 1'-0"

PROPOSED GROUND FLOOR

A-16 | **HPB SUBMITTAL**
 709/719/729 WASHINGTON AVE
 MIAMI BEACH, FL 33139
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FLOOR PLAN ① 
 SCALE: 1/16" = 1'-0"

COLLINS CT.

A-17

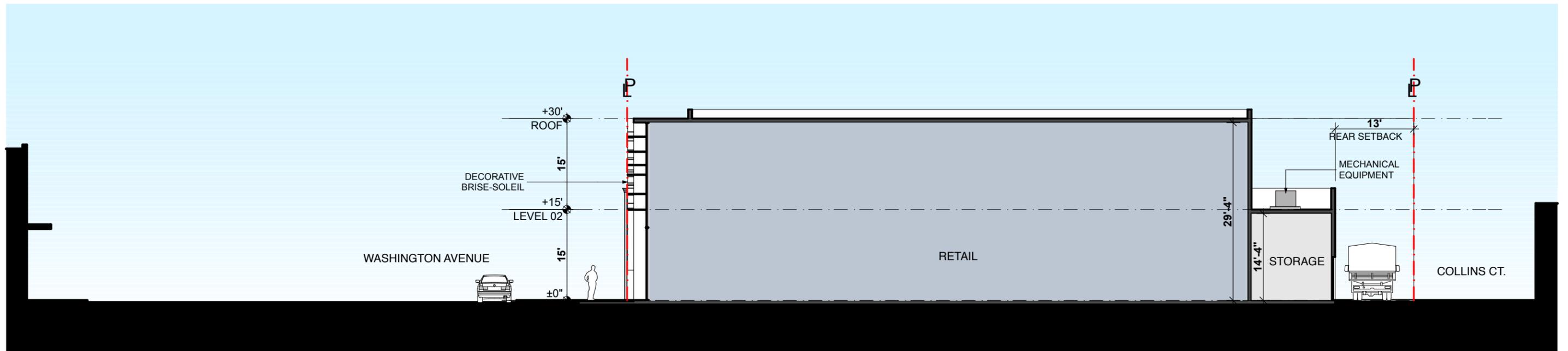
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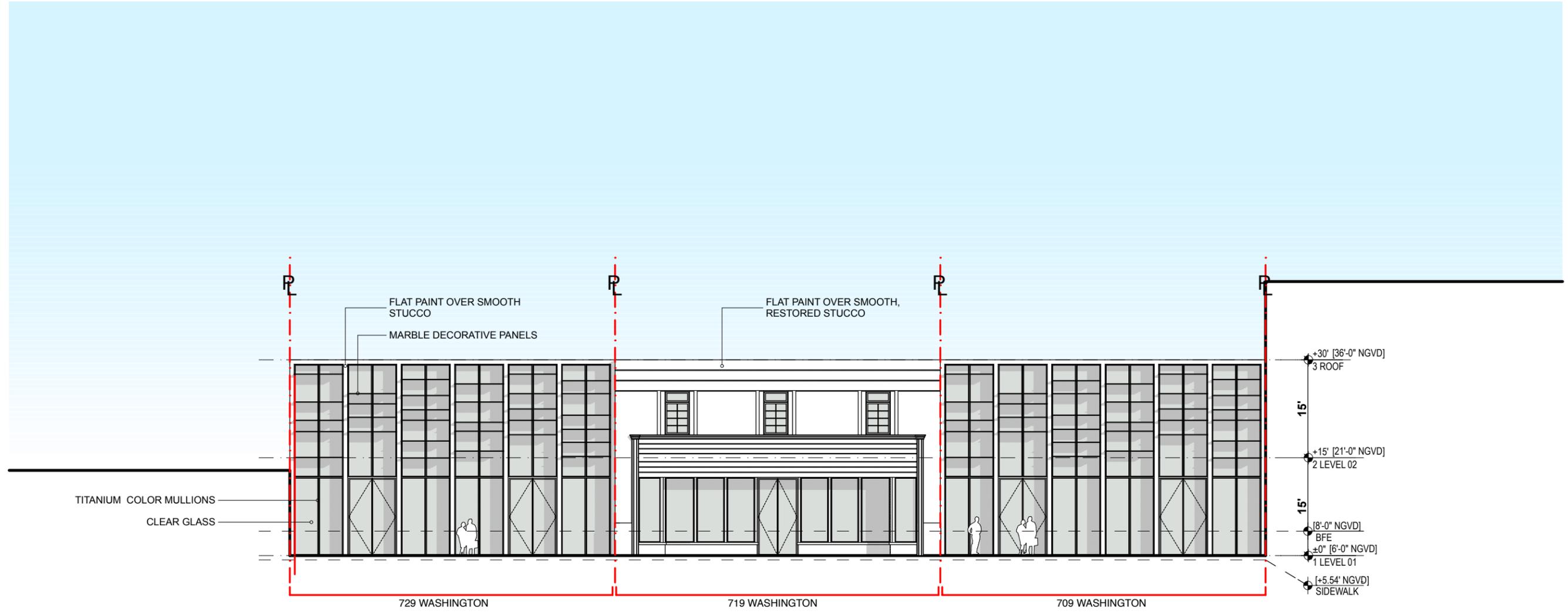
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PROPOSED SECOND FLOOR

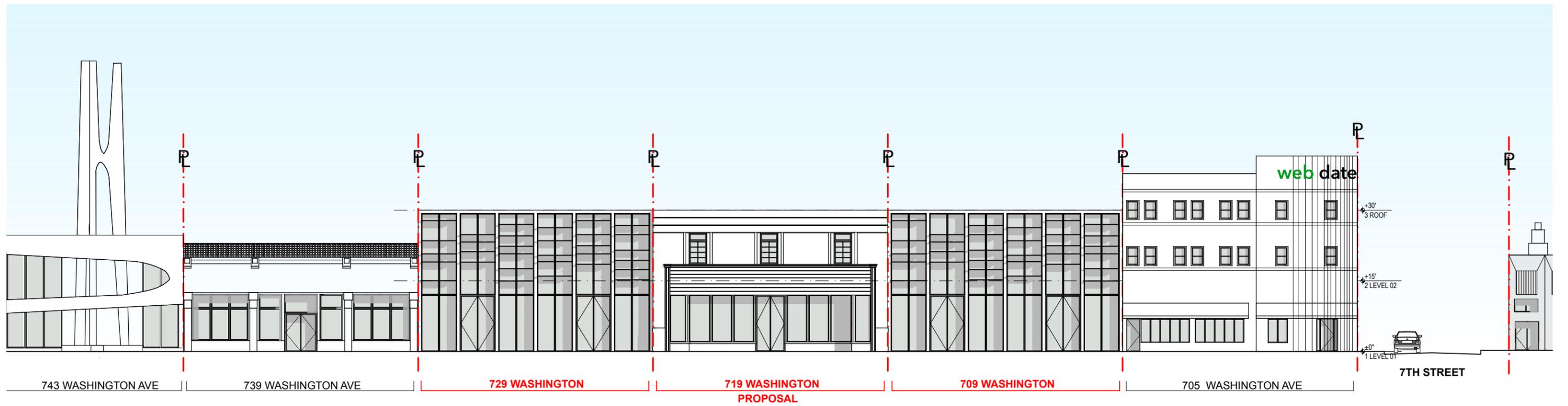


SECTION 01
 SCALE: 1/16" = 1'-0" 1

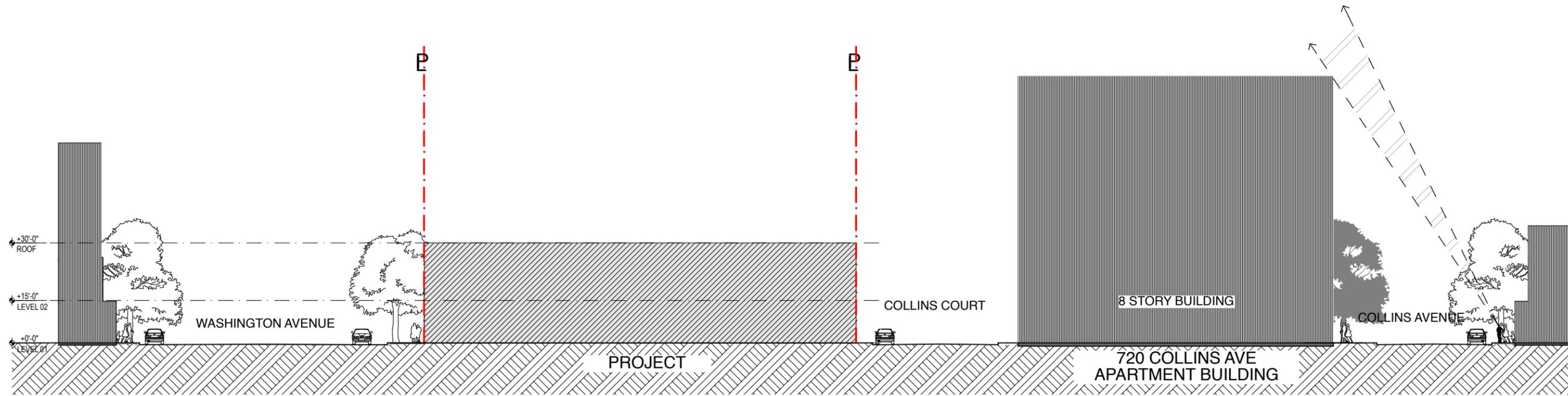


FRONT ELEVATION ①
SCALE: 1/16" = 1'-0"

- FACADE PANEL NOTES:**
- FACADE DECORATIVE PANEL PATTERN RHYTHM TO ALTERNATE RANDOMLY AND BE UNIQUE ON EACH BAY.
 - SLABS ARE ANGLED AT MINIMUM 15 DEGREES FOR WATER DRAINAGE AND TO AVOID BIRD NESTING

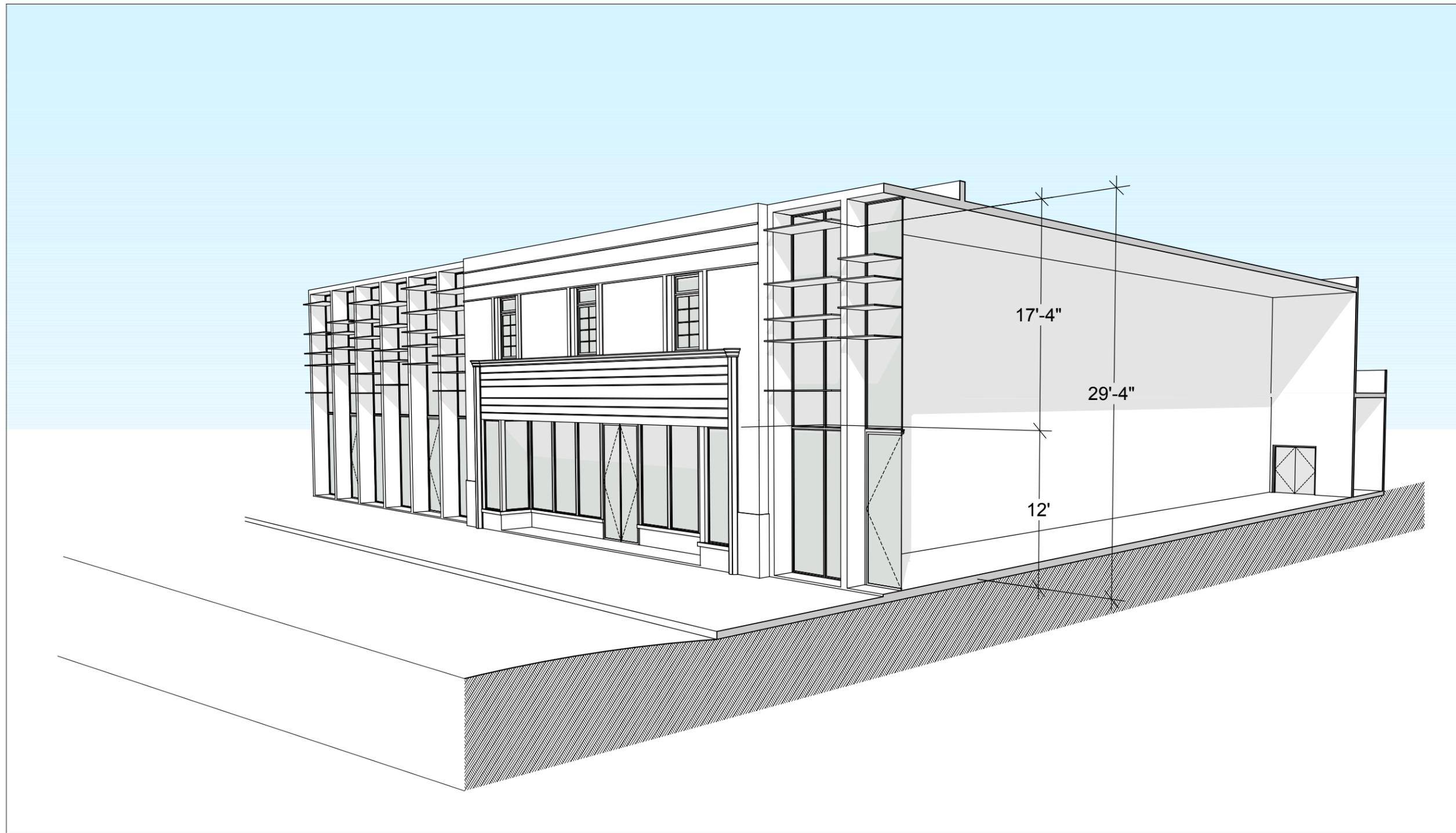


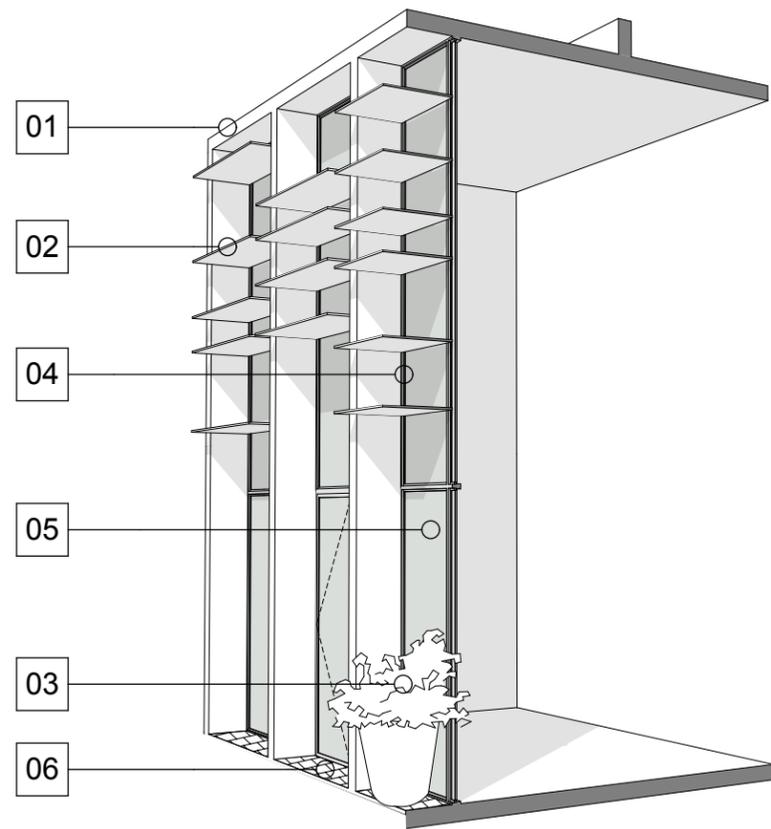
CONTEXT ELEVATION (WEST) ①
SCALE: 1" = 20'



SECTION A-A
SCALE: 1/32" = 1'-0" 1



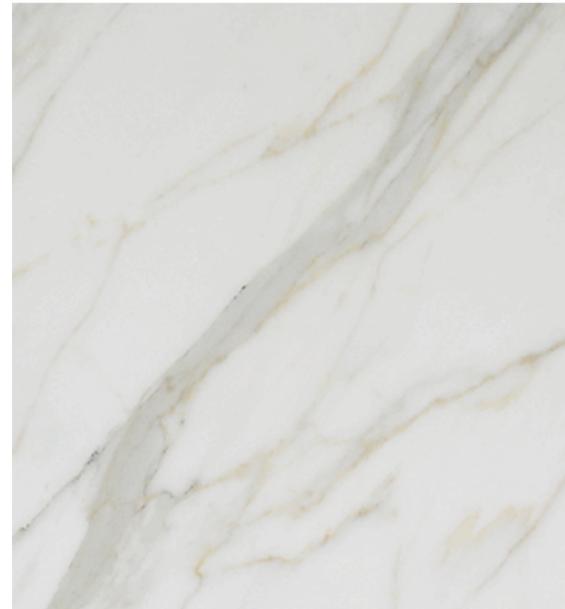




MATERIAL PALLETE



01 - PAINTED SMOOTH STUCCO



02 - CALACATTA MARBLE SLAB



03 - POTTED PLANTS



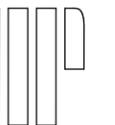
04 - CLEAR GLASS

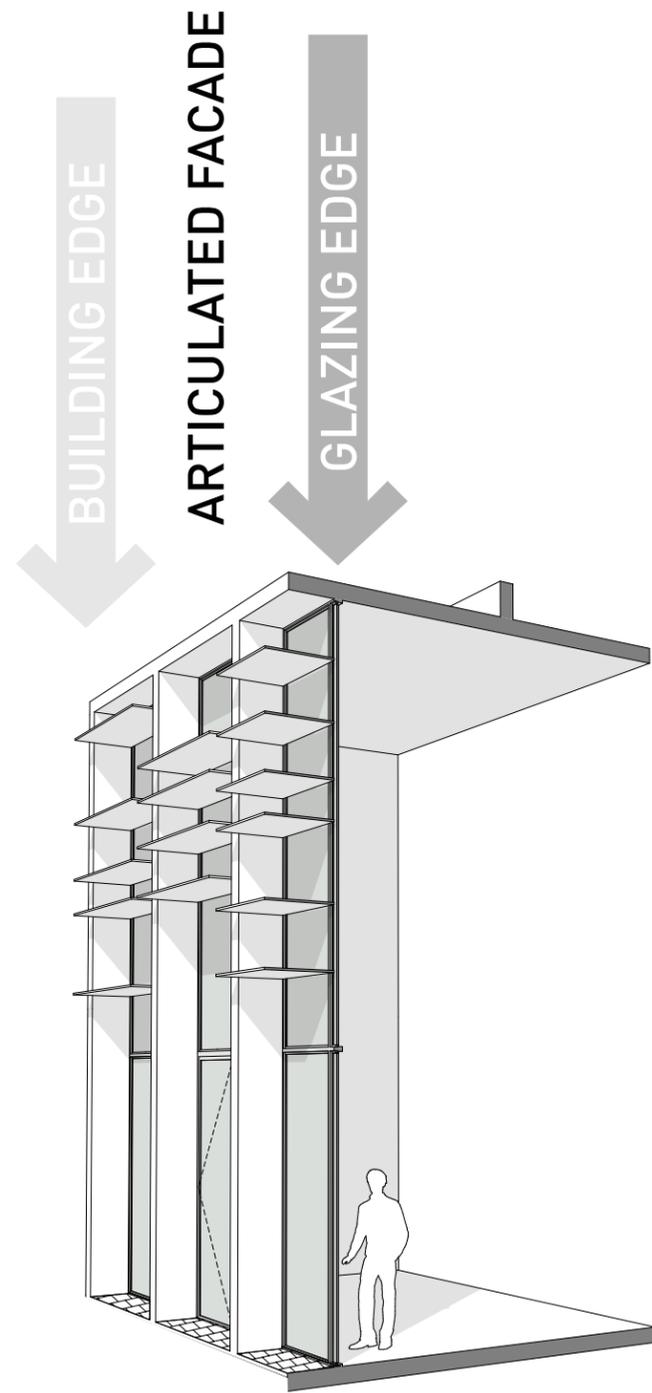


05 - POWDER COATED TITANIUM FINISH MULLIONS



06 - WHITE GRANITE COBBLES





PROPOSED HABITABLE BRISE-SOLEIL STRATEGY



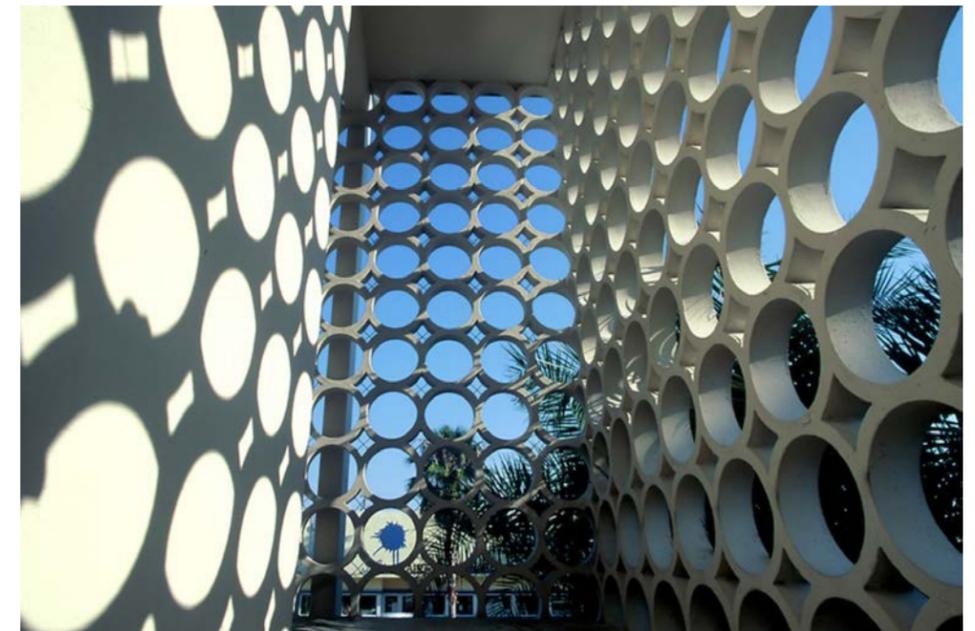
BRISE-SOLEIL PRECEDENT 01
1 LINCOLN ROAD
MORRIS LAPIDUS, 1953



BRISE-SOLEIL PRECEDENT 02
1701 MERIDIAN AVE.



BRISE-SOLEIL PRECEDENT 03
REGIONS BANK, 1133 NORMANDY DR, NORTH BEACH
FRANCIS HOFFMAN, 1958

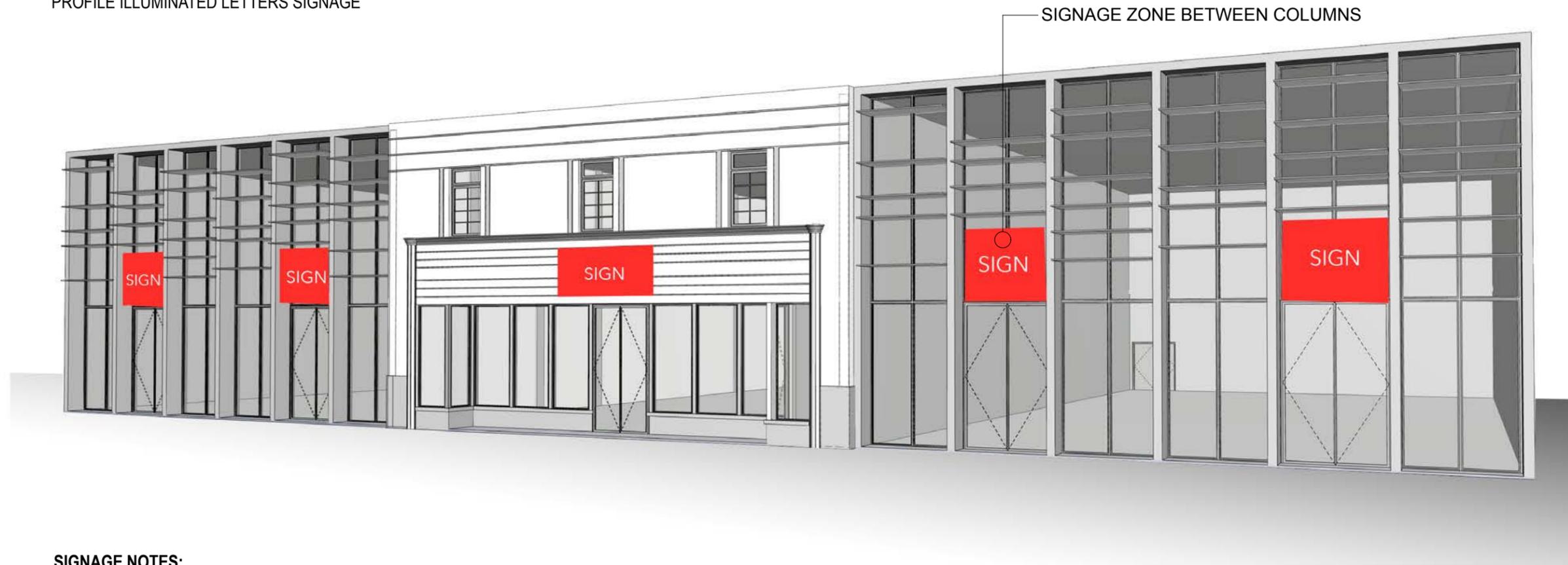


BRISE-SOLEIL PRECEDENT 03
REGIONS BANK, 1133 NORMANDY DR, NORTH BEACH
FRANCIS HOFFMAN, 1958





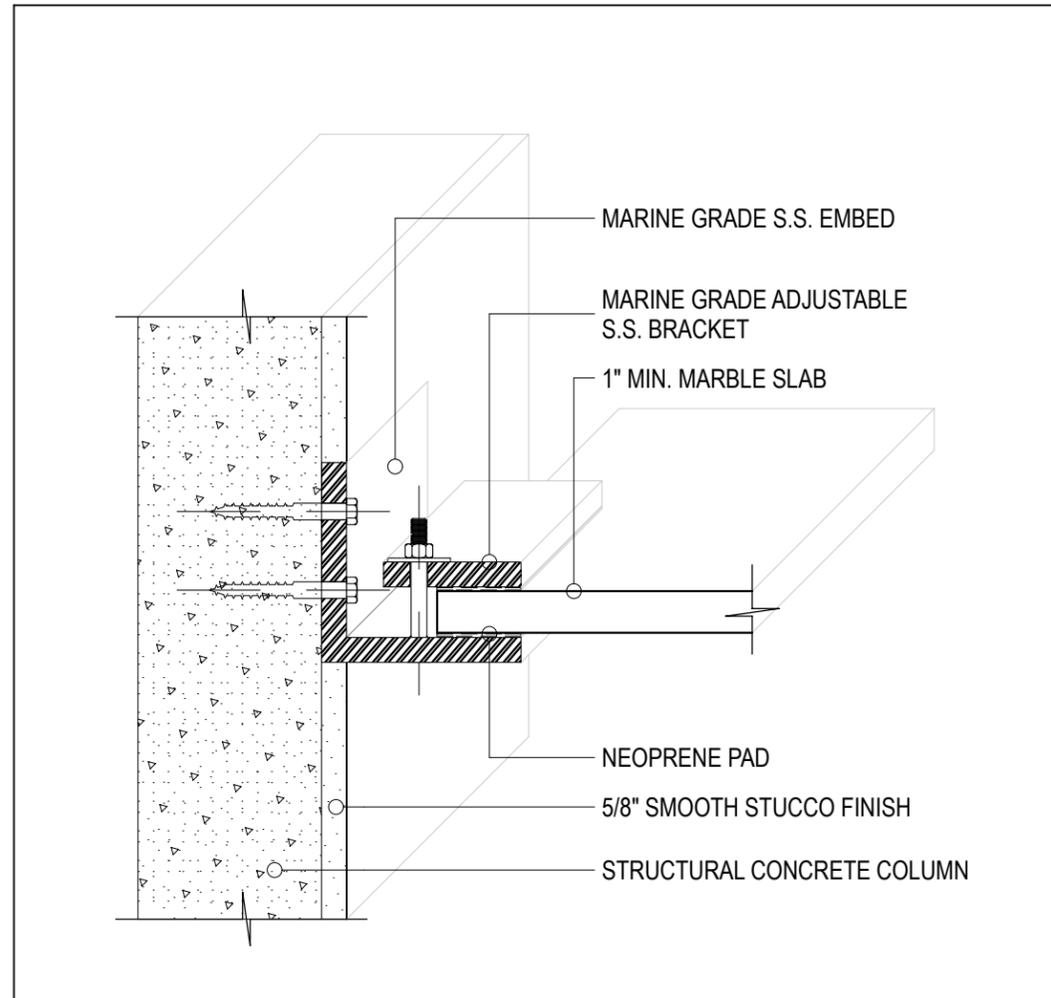
PROFILE ILLUMINATED LETTERS SIGNAGE



SIGNAGE NOTES:

- ALL TENANTS TO ADOPT THE SAME SIGNAGE PROGRAM AS OUTLINED.
- SIGNAGE TO CONFORM TO AND BE APPROVED BY THE CITY OF MIAMI BEACH SIGNAGE REGULATIONS AND SHALL CONFORM TO LANDLORD CRITERIA.





MARBLE PANEL EMBED

1



CALACATTA MARBLE SLABS

2



EXTERIOR STONE SEALER

PRODUCT: DuPont StoneTech Professional Heavy Duty Exterior Sealer

EXPECTED WEAR: Up to 10 years

PRODUCT BENEFITS:

- Heavy duty protection against water-based stains
- Weather resistant
- Minimizes efflorescence
- Preserves natural look
- Solvent-based formula
- Exterior use





A-27

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RENDERING



TREE DISPOSITION SCHEDULE

No.	Botanical Name	Common Name	DBH	Spread	Ht.	Remain	Remove	Relocate	Reason / Notes
001	<i>Swietenia mahagoni</i>	Mahogany Tree	32"	25'	40'	✓			street tree in good condition
002	<i>Cocos nucifera</i>	Coconut Palm	8"	18'	28'	✓			street tree in good condition
003	<i>Cocos nucifera</i>	Coconut Palm	8"	18'	35'	✓			street tree in good condition
004	<i>Cocos nucifera</i>	Coconut Palm	8"	20'	35'	✓			street tree in good condition
005	<i>Cocos nucifera</i>	Coconut Palm	9"	20'	35'	✓			street tree in good condition
006	<i>Cocos nucifera</i>	Coconut Palm	9"	15'	25'	✓			street tree in good condition
007	<i>Bursera simaruba</i>	Gumbo Limbo	12"	5'	16'		✓		hatracked
008	<i>Bursera simaruba</i>	Gumbo Limbo	12"	6'	18'		✓		hatracked

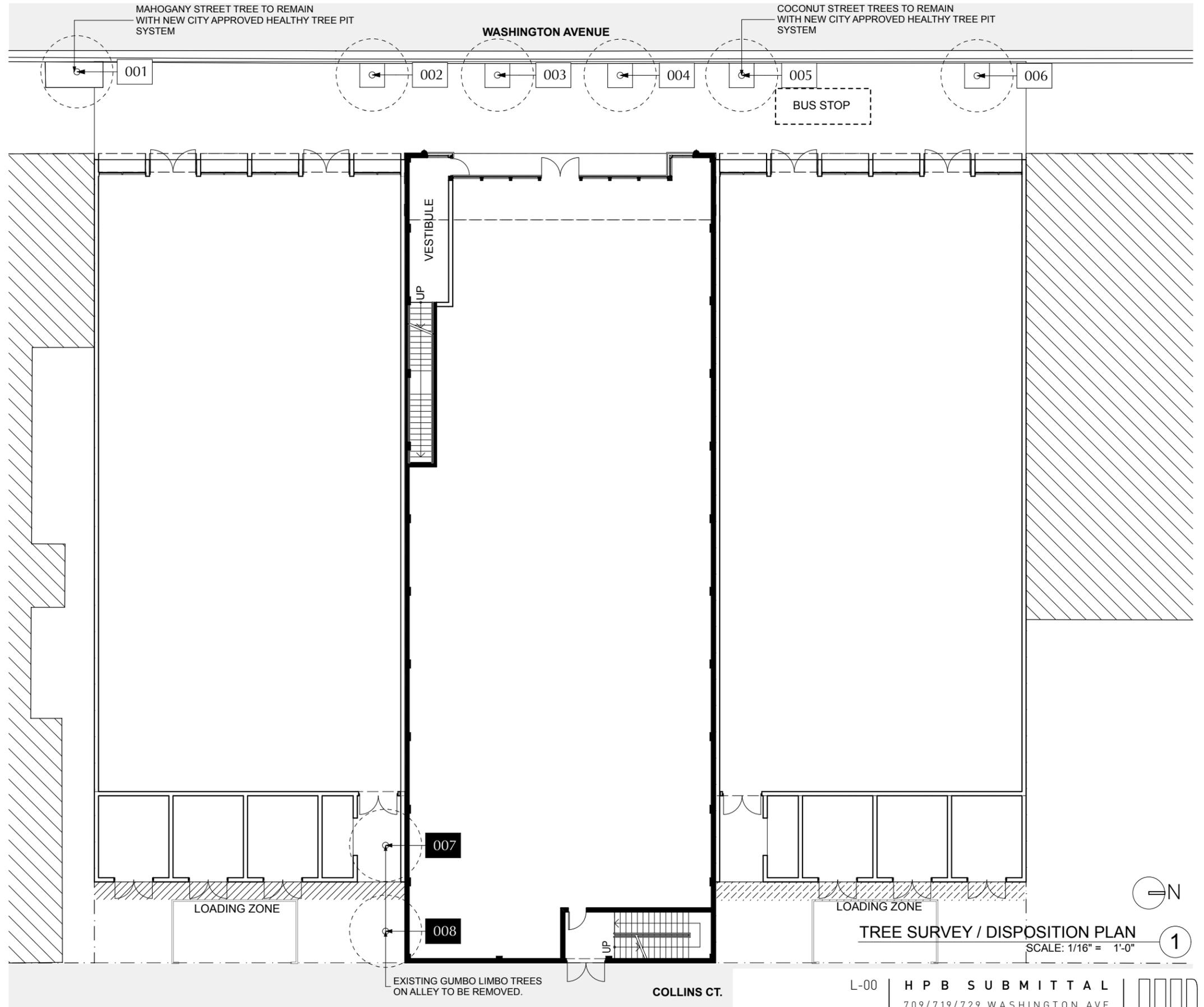


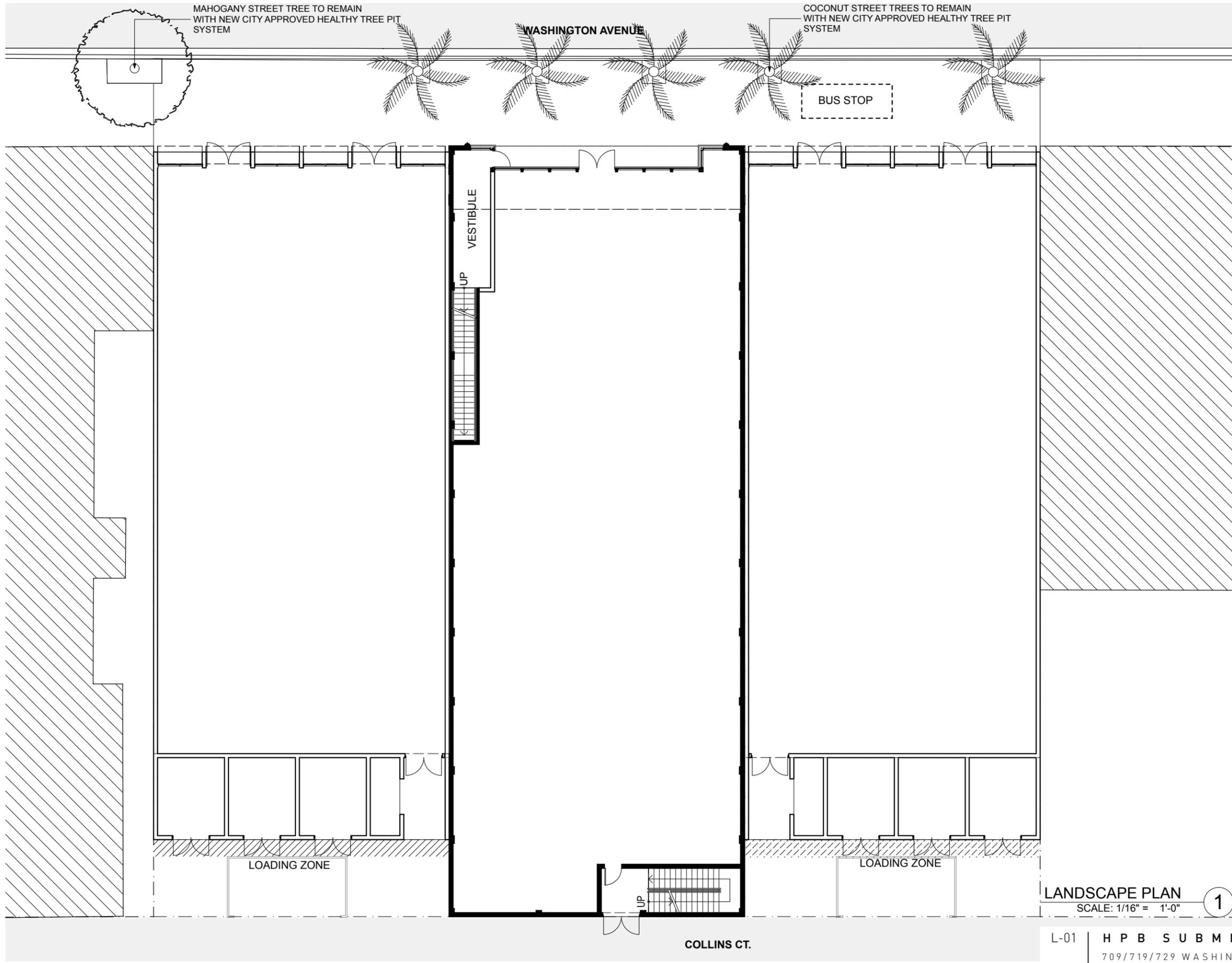
KEY LEGEND

- 000** EXISTING TREE TO REMAIN
- 000** EXISTING TREE TO RELOCATE
- 000** EXISTING TREE TO REMOVE

TREE REMOVAL NOTES

GUMBO LIMBO TREES IN ALLEY PORTION OF 709 WASHINGTON PROPERTY WILL REQUIRE A TREE REMOVAL PERMIT FROM THE CITY OF MIAMI BEACH URBAN FORESTRY DIVISION PRIOR TO CONSTRUCTION.





MAHOGANY STREET TREE TO REMAIN
WITH NEW CITY APPROVED HEALTHY TREE PIT
SYSTEM

WASHINGTON AVENUE

COCONUT STREET TREES TO REMAIN
WITH NEW CITY APPROVED HEALTHY TREE PIT
SYSTEM

BUS STOP

VESTIBULE

UP

LOADING ZONE

LOADING ZONE

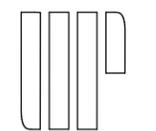
COLLINS CT.

LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"

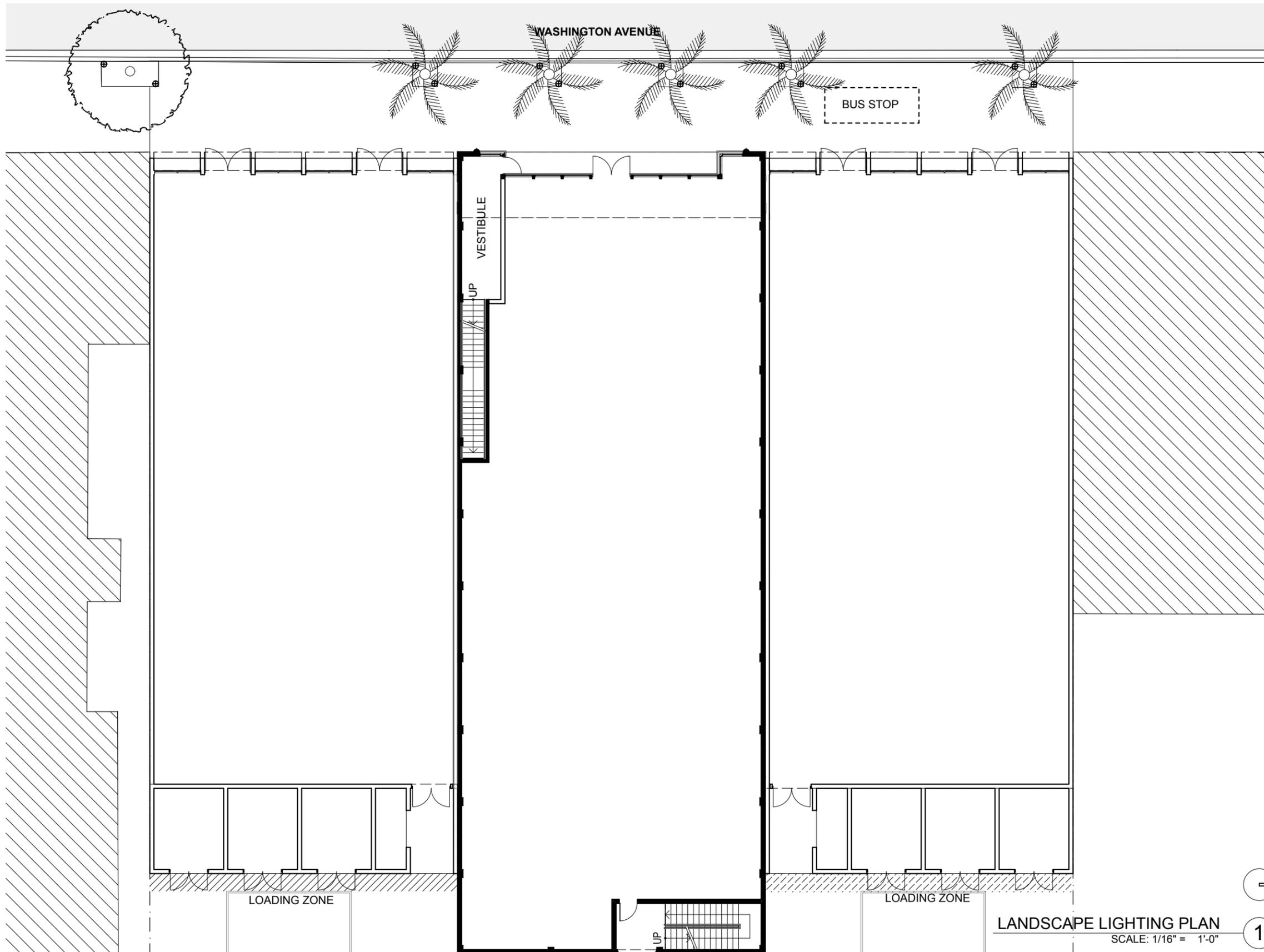
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L-01 | **HPB SUBMITTAL**
709/719/729 WASHINGTON AVE
MIAMI BEACH, FL 33139
06/27/2016 URBAN ROBOT © 2016



GROUND FLOOR LANDSCAPE PLAN



KIM LIGHTING Minivault LTV768
120 / 277 Volt, Die-Cast Brass, LED
revision 10/29/14 • KL_LTV768_spec.pdf

Type: Job: Approvals:
 Fixture Catalog number: Fixture Options: Date: Page: 1 of 3

Specifications
Lens Ring: Die-cast brass with natural finish or optional brushed stainless steel. Five captive 1/8" blackened stainless steel hex-washer cap screws.
Lens: Clear tempered soda lime, 3/4" thick, flush with lens ring, slightly rounded.
Lens Gasket: One-piece molded silicone, U-channel shape completely around lens flange.
Die-Cast Brass Housing: Heavy wall die-cast brass.
Integral Junction Box: Die-cast brass with stainless steel flat sealed screen and molded silicone gasket. Die-cast internal junction box cover with silicone gasket and anti-static plug. Size 10" x 10" x 10" in volume.
Optical System: A total of 3 or 9 LED emitters configured in a rectangular array comprised together as a module. Available in 3000K, 4200K, and 5100K.
LED Driver: Universal. Voltage from 120 to 277V with a ±10% tolerance. 0°F, starting temperature. All drivers are Underwriters Laboratories recognized.

ORDERING INFORMATION
Fixture **Source**
 □ LTV768WV/3LKLUV 3.6W, 3 LEDs, 3000K
 □ LTV768WV/3LKLUV 3.6W, 3 LEDs, 4200K
 □ LTV768WV/3LKLUV 3.6W, 3 LEDs, 5100K
Fixture **Source**
 □ LTV768WV/9LKLUV 10.8W, 9 LEDs, 3000K
 □ LTV768WV/9LKLUV 10.8W, 9 LEDs, 4200K
 □ LTV768WV/9LKLUV 10.8W, 9 LEDs, 5100K

Listings and Ratings
 UL EUL 120V 1" Flat Head 27C, 400000

MIAMI BEACH STANDARD WELL LIGHT

NOTES
 Locations shown are approximate; verify exact fixture placement and orientation in the field with Landscape Architect
 Verify zoning & controls with Landscape Architect
 Verify fixtures and finished with Landscape Architect before purchase
 All fixtures to be UL rated

LIGHTING SCHEDULE AND SPECIFICATIONS

Symbol	Fixture Type	Quantity	Brand	Name/Model No.	Wattage	Lamp	Color	Optics	Voltage	Finish
⊕	CMB KIM WELL LIGHT	12	KIM Lighting	LTV768	3.6 watt	LED/3000K	White	Medium Flood	12VAC	Machined Stainless Steel

LANDSCAPE LIGHTING PLAN
 SCALE: 1/16" = 1'-0"