

Note: A tree removal permit is required prior to the removal of any trees on site.  
Note: Sod and irrigate to edge of road

1 LANDSCAPE PLAN  
1/8" = 1'-0"

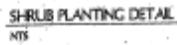
1. See tree photo to finish grade
2. No soil or mulch shall be placed over the rootball.
3. All staking & guys shall be removed approximately 4 months after planting or as directed by Landscape Architect
4. Do not set control leader or top of tree.



**PALM PLANTING DETAIL**  
NTS

1. CONTAINER GRASS SURFING - LOOSE  
ROOTS AT EDGE OF ROOTBALL.
2. ROLL AND SURFAP SURFING - CUT 4"  
REMOVE SURFAP FROM TOP 1/3 OF  
ROOTBALL.

4. DEPTH OF PLANTING (TALL) NOT BE LESS THAN 1/30 TIMES THE DEPTH OF THE MOUND.



1. All plant material to be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
2. All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specifications.
3. All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
4. All plants shall be exceptionally heavy, symmetrical, light tight and so trained in appearance as to be superior to form, branching and symmetry.
5. All sod shall meet the Sunshine 3111 specifications of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
6. Grade B-1, shredded sterilized Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
7. Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
8. All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by weighing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
9. All sod shall be given a maximum of 2" of planting soil as described in note #8.
10. All trees shall be examined by the City Engineer and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
11. All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
12. All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc. after inspection. The top 12" of natural burlap shall be removed or lugged into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by weighing in.
13. All trees, palms and other plants shall be planted with the top of their rootballs no deeper than the final grade surrounding the planting area.
14. In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
15. All planting shall be installed with fertilizer at time of planting.
16. All planting shall be installed in a sound, workmanlike manner and according to current planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
17. All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/groundcover beds should be on separate irrigation zones when feasible for a more efficient system. Irrigation system shall be installed with a rainwash device.
18. All landscape and irrigation shall be installed in compliance with all local codes.
19. The plan shall take precedence over the plant list; should there be any discrepancy between the two.

Sym	Qty	Botanical/ Common Name	Size	Native
CE	5	<i>Coccoloba erecta</i> / Green Buttonwood	14' H x 5' Spr, 3" cal	yes
CD	7	<i>Coccoloba diversifolia</i> / Pigeon Plum	10' H x 5' Spr, 2" cal	yes
CN	13	<i>Cocos nucifera</i> / Green Malaysian/ Coconut Palm	8' CT	no
CG	4	<i>Casualpinia grandifolia</i> / Birdswell Tree	12' H x 5' Spr, 2" cal	yes
TH	2	<i>Tabebuia heterophylla</i> / Pink Tabebuia	10' H x 5' Spr, 2" cal	no
TR	2	<i>Thunus radialis</i> / Thatch Palm	6' GAH	yes
CM	33	<i>Caryotea mitis</i> / Fichtel Palm	6' GAH	no
TD	10	<i>Tripsacum dactyloides</i> / Fanhatchee Grass	24" x 24", 24" O.C.	yes
BA	15	<i>Bambusa tootia gracilis</i> / Slender Weavers Bamboo	6' GAH, 9' Stem-min full	no
MU	128	<i>Muhlenbergia capillaris</i> / Muhly Grass	18" x 16", 24" O.C.	yes
SN	30	<i>Streitzia nicaia</i> / Giant Bird of Paradise	6' GAH	no
RI	39	<i>Raphiolepis indica</i> / Indian Hawthorn	18" x 16", 24" O.C.	no
AD	12	<i>Asparagus densiflorus</i> / Meyer's// Foxtail Fern	16" x 16", 24" O.C.	no
PB	68	<i>Philodendron Burle Marx</i> / Burle Marx	18" x 16", 24" O.C.	no
AW	71	<i>Acalypha wilkesiana</i> / Copperleaf	24" x 24", 24" O.C.	no
Sod		St. Augustine// Floramat		
Mulch		Shredded Eucalyptus, Melaleuca or recycled mulch		

NEW TOWNHOMES &amp; HISTORIC RENOVATION OF EXISTING BUILDING FOR

THREE60 INC. 1610 EUCLID AVE. MIAMI BEACH

1610 Euclid Avenue,  
Miami Beach FL 33139

- ☐ REVIEW SET  
☐ PRELIMINARY  
☐ NOT FOR CONSTRUCTION  
☐ DRY RUN PERMIT SET  
☐ PERMIT SET  
☐ BID SET  
☐ CONSTRUCTION SET

SUBMITTAL DATE: 06-09-16

DRAWN BY:  
Author  
CHECKED BY:  
ARI SKLAR

## LANDSCAPE PLAN

## L2

PROJECT #: 16-006

DATE : 03-29-16

- ☐ REVIEW SET
- ☐ PRELIMINARY
- ☐ NOT FOR CONSTRUCTION
- ☐ DRY RUN PERMIT SET
- ☐ PERMIT SET
- ☐ BID SET
- ☐ FINAL SUBMITTAL

SUBMITTAL DATE: 06-22-16

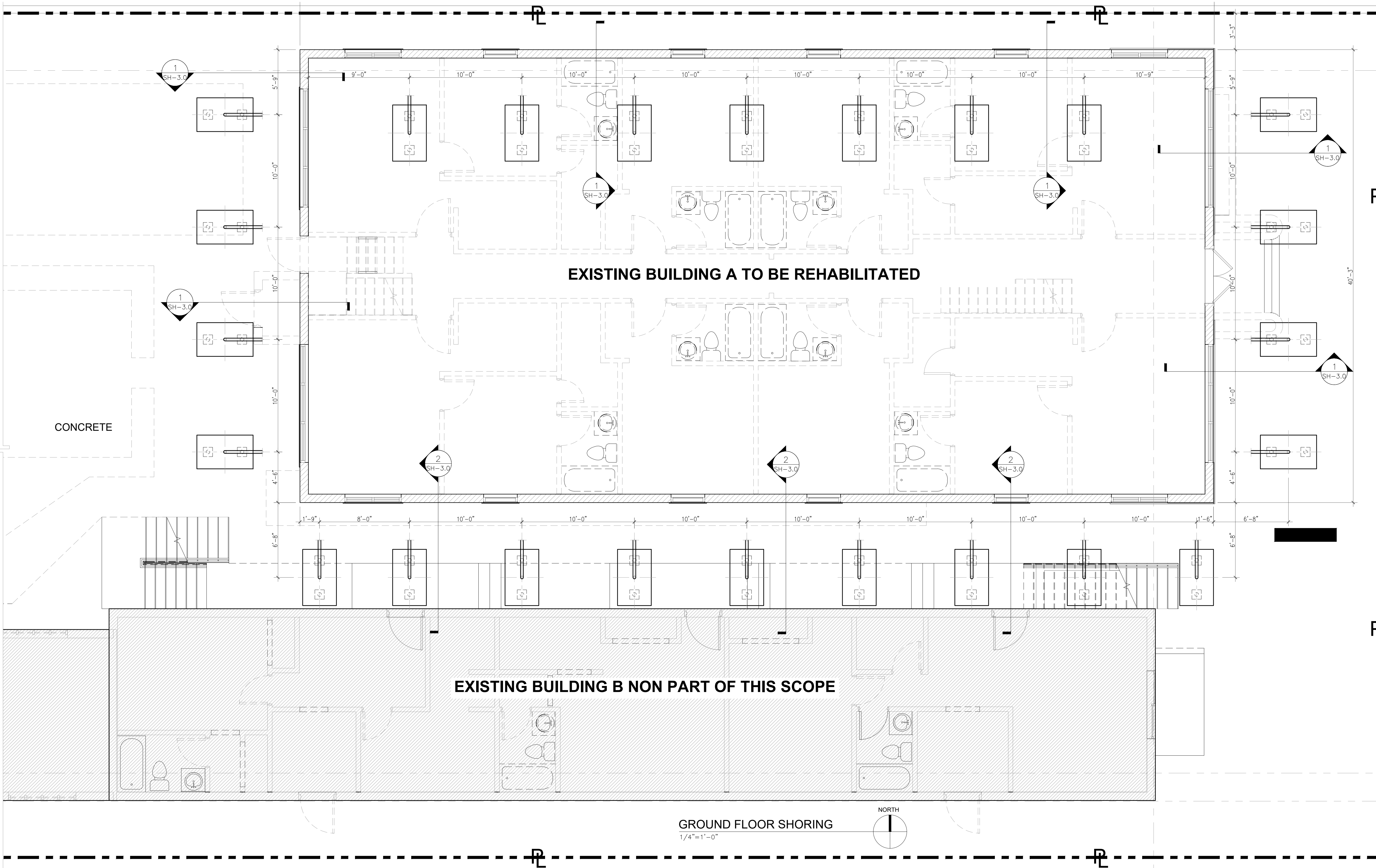
DRAWN BY:  
Author  
CHECKED BY:  
ARI SKLAR

GROUND FLOOR SHORING

**SH-1.0**

PROJECT #: H161280

DATE : 06-22-16



GROUND FLOOR SHORING  
1/4"=1'-0"

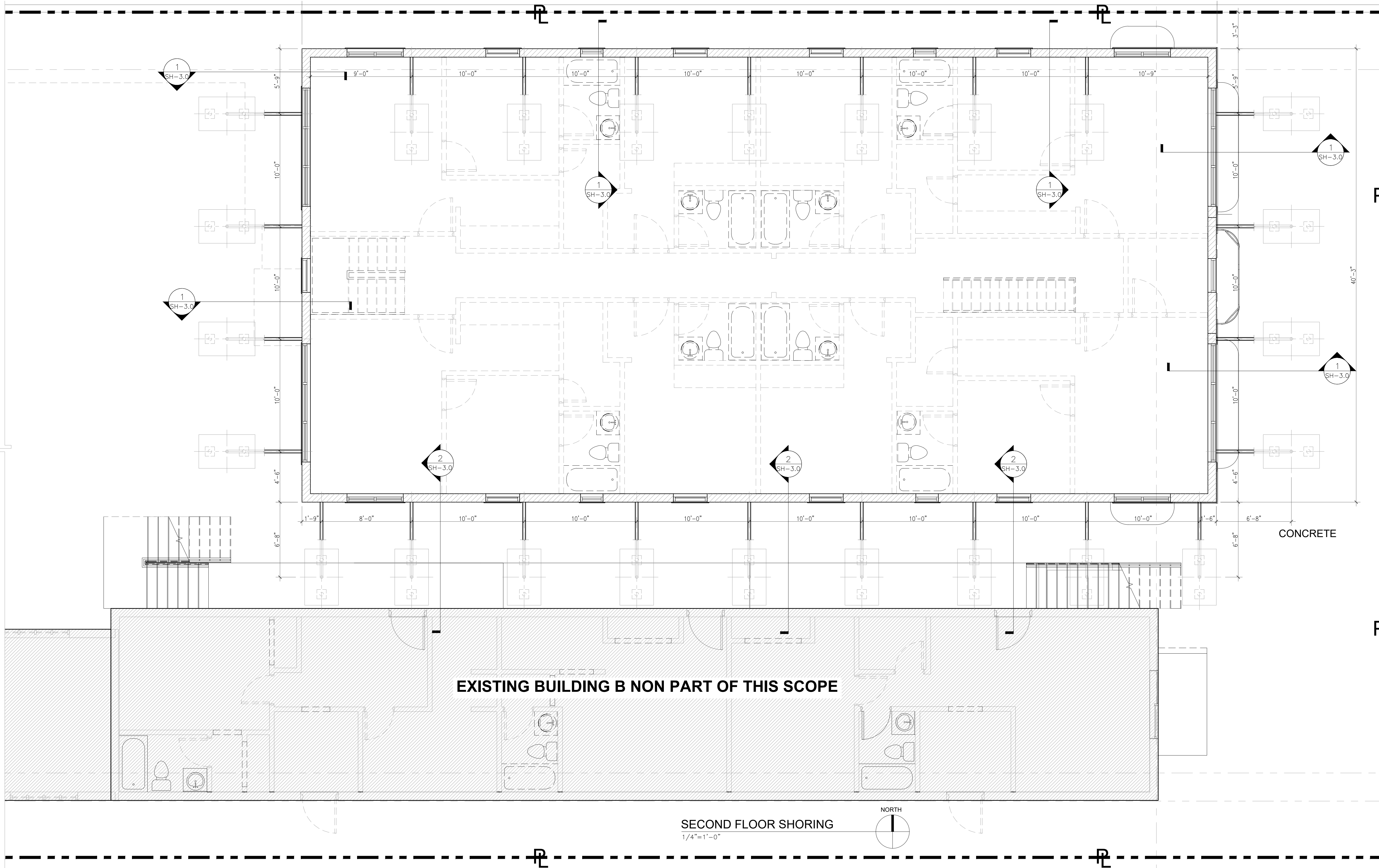
GENERAL NOTES

ALL CHANGES IN THE DRAWING LAYOUT AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER.  
THESE DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION FURNISHED BY THE CONTRACTOR.  
THE APPLICABLE RECOMMENDED PRACTICES OF THE SHORING AND FORMING INSTITUTE, INC. AND OSHA SHALL BE FOLLOWED.  
ALL EQUIPMENT MUST BE ERECTED PLUMB AND LEVEL.  
IT IS THE CONTRACTOR'S RESPONSIBILITY FOR SAFETY REQUIREMENTS DURING ERECTION, USE AND DISMANTLING OF ASSEMBLY.

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PROFESSIONAL ENGINEER

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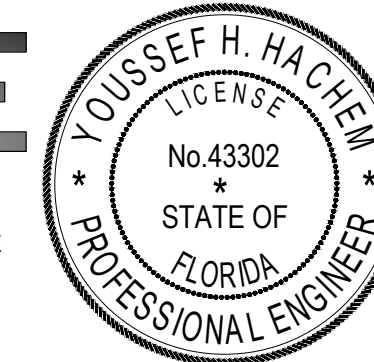
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SEAL  
ARI L. SKLAR  
LICENSE #ARI473

REVISIONS

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR  
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SUBMITTAL DATE: 06-22-16

DRAWN BY:  
Author  
CHECKED BY:  
ARI SKLAR

GROUND FLOOR SHORING

**SH-2.0**

PROJECT #: H161280

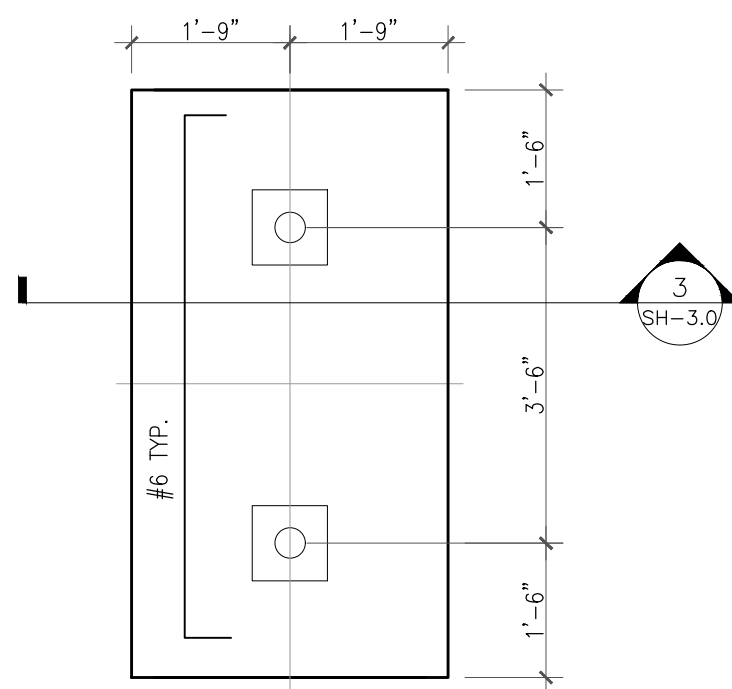
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CONCRETE:

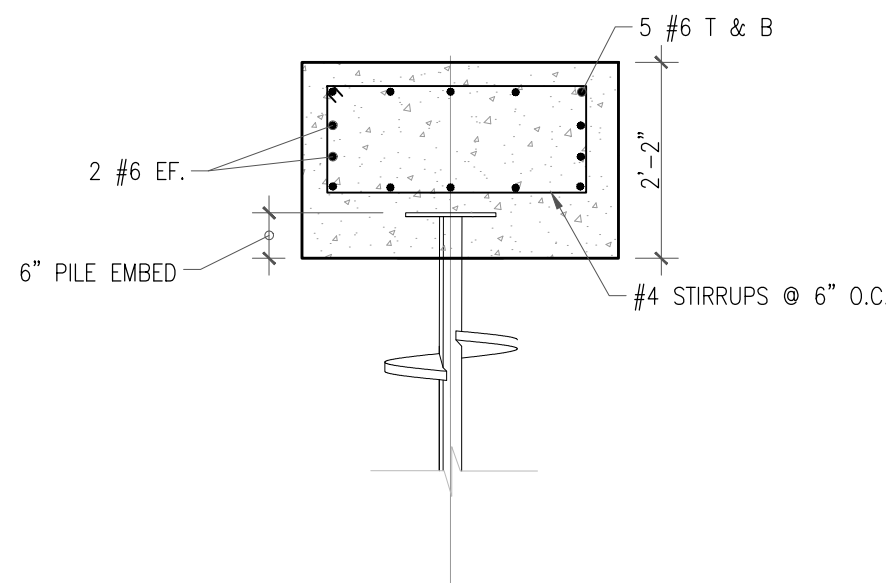
- CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. 318-LATEST EDITION) AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (A.C.I. 315-LATEST EDITION).
- ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (ACI 301). PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING" (A.C.I. 305R-99).
- CONCRETE COVER:  
TO BE AS FOLLOWS:

	BOTTOM	TOP	SIDES FOOTING/PILES
CAPS	3"	2"	2"
BEAMS	1 1/2"	1 1/2"	1 1/2"
COLUMNS	---	---	1 1/2"
SLABS	3/4"	3/4"	1"
WALLS	---	---	1 1/2"
- NO ADMIXTURES PERMITTED WITHOUT THE REVIEW OF ARCHITECT / ENGINEER.
- FOR ALL CONCRETE TO BE PLACED IN SLABS (INCLUDING SLABS ON GRADE), THE SLUMP SHALL NOT EXCEED 4". NO WAIVERS OF THIS REQUIREMENT SHALL BE CONSIDERED. SLUMP FOR OTHER CONCRETE SHALL NOT EXCEED 5".
- CONCRETE TO BE REGULAR WEIGHT WITH A DESIGN STRENGTH ACHIEVED AT 28 DAYS AS FOLLOWS:
  - COLUMNS & FOOTINGS  $f_c = 3,000$  PSI
  - BEAMS,  $f_c = 5,000$  PSI (U.O.N.) W/ W/C OF 0.4 MAX
- TAKE ONE SET OF 5 CYLINDERS FOR EVERY FIFTY CUBIC YARDS OR FRACTION THEREOF FOR EACH CLASS OF CONCRETE POURED EACH DAY. FOLLOW ASTM STANDARDS FOR SAMPLING AND TESTING. TEST ONE CYLINDER AT 3 DAYS AND 7 DAYS AND 3 AT 28 DAYS. IF ONE OF THE TWO 28 DAYS TESTS FALLS BELOW SPECIFIED STRENGTH, TEST THE THIRD CYLINDER AT 56 DAYS. TAKE ONE SLUMP TEST (ASTM C143) FOR EACH SET OF TEST CYLINDERS CAST.
- NO CONCRETE TEST WILL BE ACCEPTED IF CONCRETE IS TAMPERED WITH IN ANY WAY AFTER SAID TEST IS PERFORMED. REPEAT TEST IF WATER IS ADDED AFTER INITIAL SAMPLING.
- IF CONCRETE IS PUMPED, SLUMP MAY BE INCREASED TO 4" AT THE TRUCK, PROVIDED THE SLUMP SPECIFIED IN NOTE 4 IS MAINTAINED AT THE DISCHARGE END. USE A MINIMUM 4-INCH PUMP. TAKE CONCRETE SAMPLES FOR SLUMP AT TRUCK AND AT DISCHARGE END AND FOR CYLINDER TESTING AT DISCHARGE END.
- CONTRACTOR IS RESPONSIBLE FOR THE ADEQUACY OF FORMS AND SHORING AND FOR SAFE PRACTICE IN THEIR USE AND REMOVAL. CONTRACTOR SHALL DESIGN AND ERECT FORMWORK IN STRICT COMPLIANCE WITH ACI 347R LATEST EDITION SUBMIT SIGNED & SEALED SHOP DWGS. CONTRACTOR SHALL COORDINATE ALL OPENINGS AS REQUIRED FOR OTHER TRADES. OPENINGS WHERE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO IDENTIFY DESIGN INTENT ONLY. THE SPECIFIC DIMENSIONS AND LOCATIONS SHALL BE FURNISHED OR CONFIRMED BY THE TRADE REQUIRING THE OPENING. PROVIDE CHAMFERS AT ALL CORNERS IN CONCRETE MEMBERS EXPOSED TO VIEW. FORMWORK TO REMAIN IN PLACE UNTIL CONCRETE HAS ATTAINED ENOUGH STRENGTH TO SUPPORT ALL DEAD LOADS PLUS A MINIMUM OF 50 PSF OF ADDITIONAL CONSTRUCTION LOAD.
- SPECIFIED EXPANSION BOLTS SHALL BE OF THE SIZE INDICATED AND OF THE MAXIMUM EMBEDMENT LENGTH INTO THE CONCRETE. LEAD SHIELDS ARE NOT ACCEPTABLE. EXPANSION BOLTS SHALL NOT BE SUBSTITUTED FOR SPECIFIED ANCHOR BOLTS WITHOUT THE ENGINEER'S APPROVAL.



PILE CAP TYP. DETAIL

SCALE: 1/2"=1'-0"

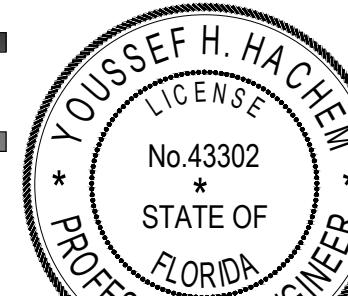


SECTION 3/SH-3.0

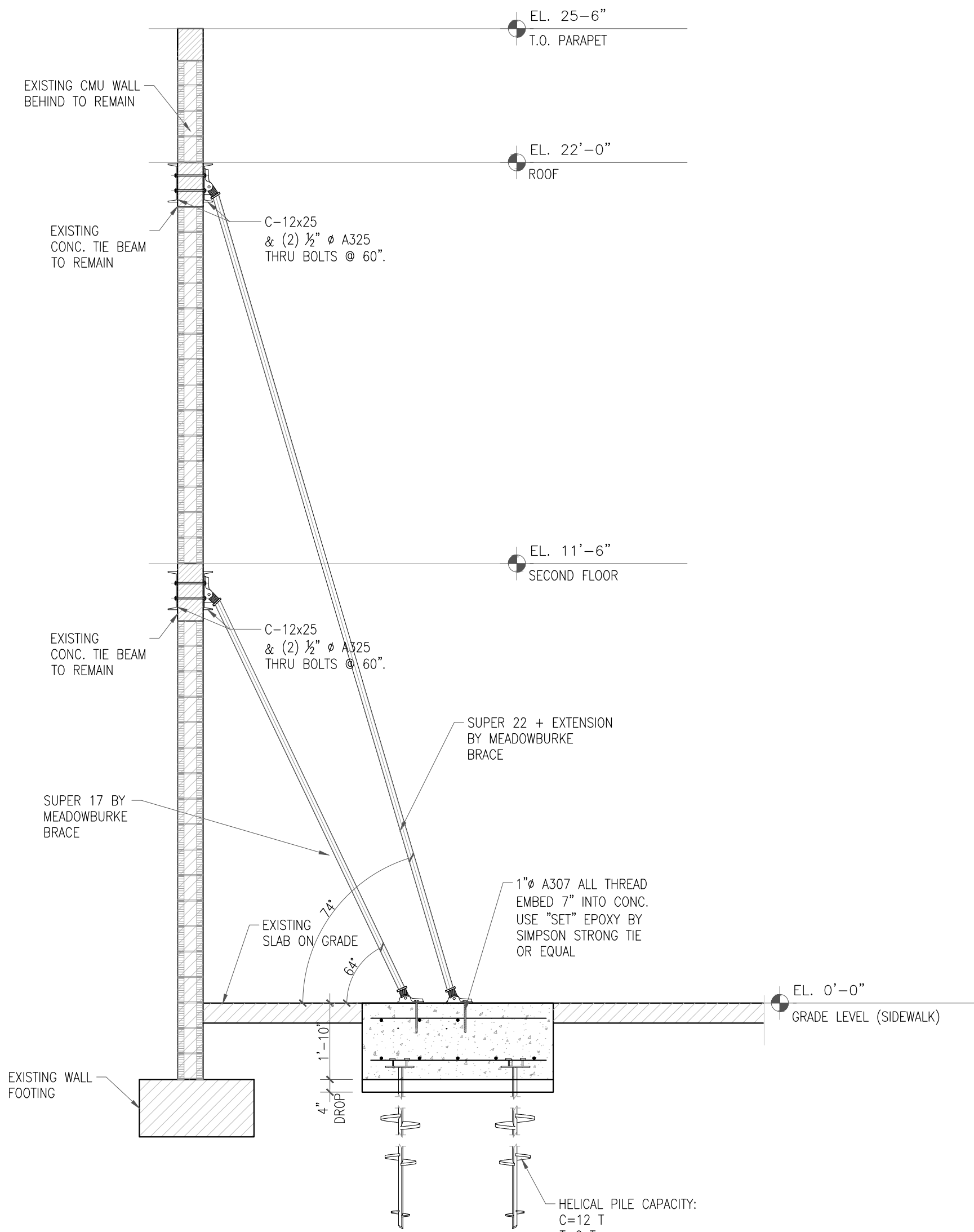
SCALE: 1/2"=1'-0"



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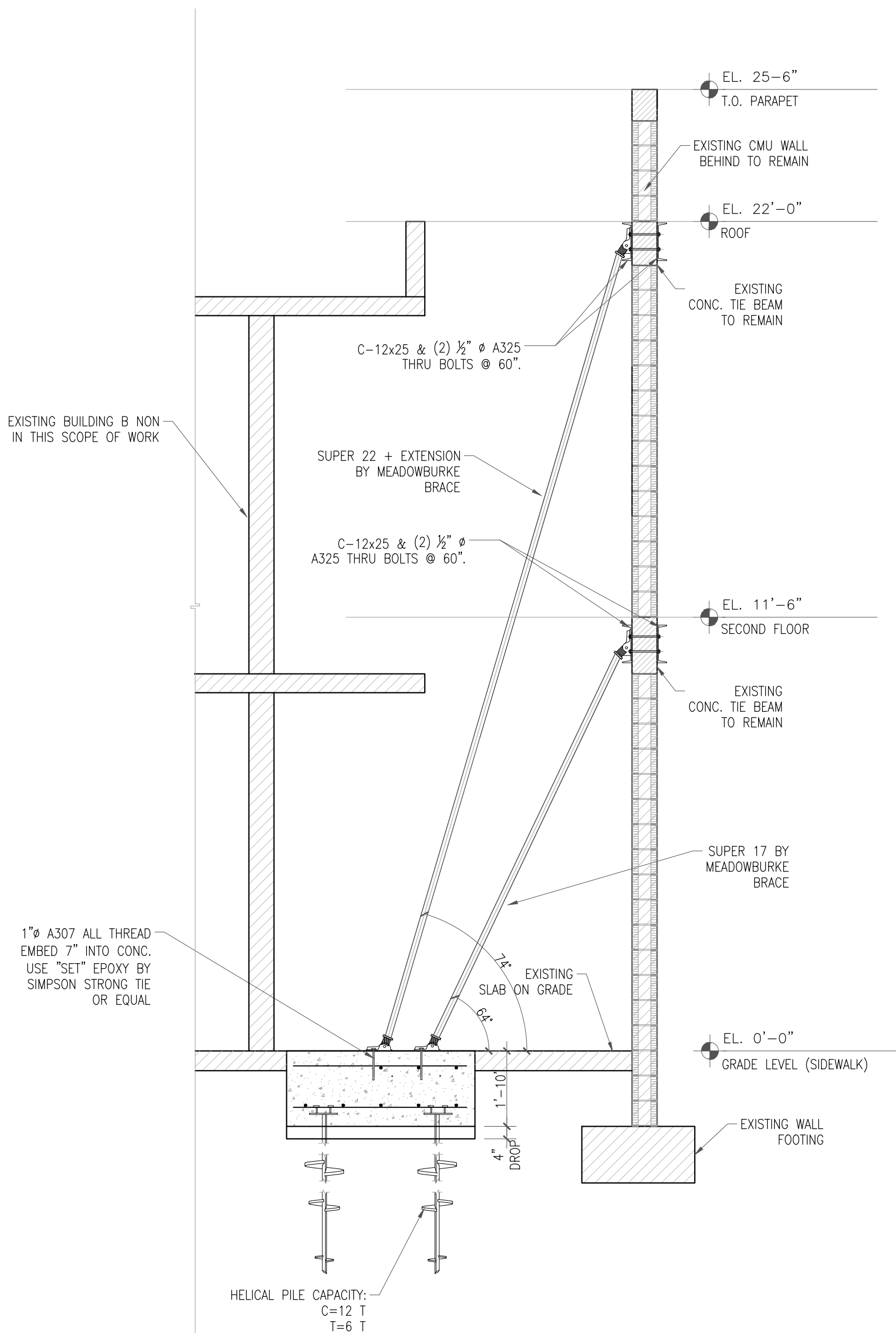


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SECTION 1/SH-1.0 & SH-2.0

SCALE: 3/8"=1'-0"



SECTION 2/SH-1.0 & SH-2.0

SCALE: 3/8"=1'-0"