



CONTEXTUAL SKETCH. MAIN FACADE. FROM LEFT TO RIGHT: BUILDINGS B AND A

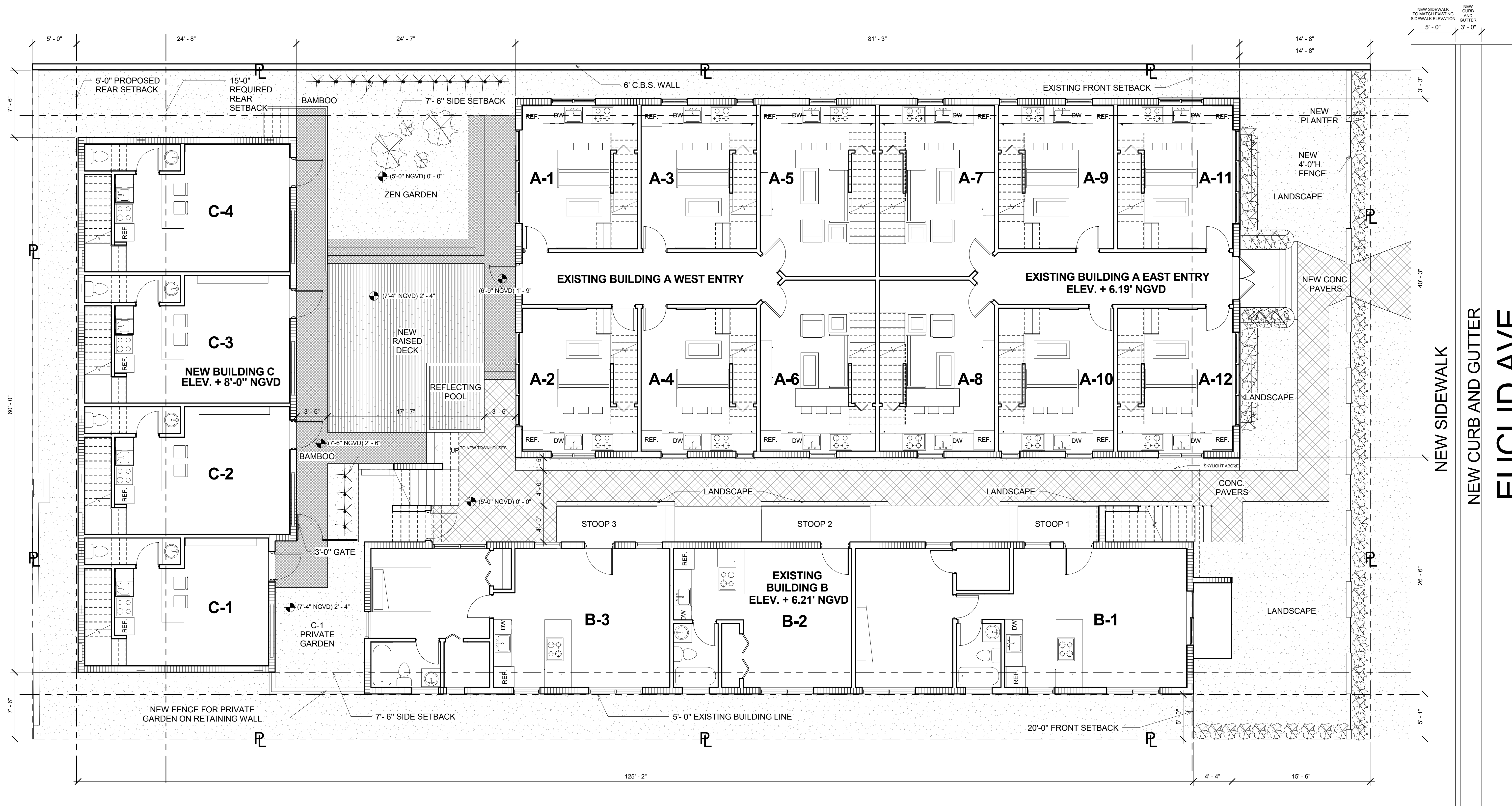


INTERIOR COURTYARD VIEW TAKEN FROM NORTH.
FROM LEFT TO RIGHT: BUILDINGS A, B AND C



CONCEPTUAL REPRESENTATION OF SITE WITH BUILDING A FOOTPRINT





1 PROPOSED SITE PLAN
3/16" = 1'-0"



**EXIST/DEMO
PLAN LEGEND**

EXISTING CMU WALL
WALL TO BE DEMOLISHED

WALL & CEILING FINISHES

FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 723.

INSULATION MATERIALS

INSULATION MATERIALS, FACING, VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE - DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL273, FBC R 902.10.

TYP. PROJECT DEMOLITION NOTES

1. EXISTING BATHROOMS- REMOVE AND DISCARD ALL PLUMBING FIXTURES, FLOOR TILE, WALL TILE, AND PREPARE BATHROOMS TO RECEIVE NEW TILE AND FIXTURES
2. EXISTING PLASTER/GWB - REMOVE AND DISCARD AS INDICATED WITH A DASHED LINE ON DEMOLITION PLANS AND PREPARE FOR REPLACEMENT. DO NOT REMOVE ANY STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER. PROVIDE TEMPORARY SHORING WHERE REQUIRED.
3. REMOVE ALL INACTIVE SANITARY, VENT & WATER PIPING & CAP BELOW FLOOR SLAB AS REQUIRED. PATCH HOLES IN FLOOR SLAB WITH CONCRETE, LEAVING A SMOOTH, LEVEL FLOOR
4. ELECTRICAL SYSTEMS/PANELS, CONDUITS & WIRING TO REMAIN IN SAME LOCATION

NOTE: THE EXISTING WOOD FRAMING FLOOR WILL BE EVALUATED BY AN STRUCTURAL ENGINEER AND COMPLETELY DEMOLISHED IF IT IS REQUIRED

1 BLDG-A EXIST/DEMO FIRST FLOOR
1/4" = 1'-0"

**PROPOSED
PLAN LEGEND**

EXISTING CMU WALL
NEW PARTITION WALL

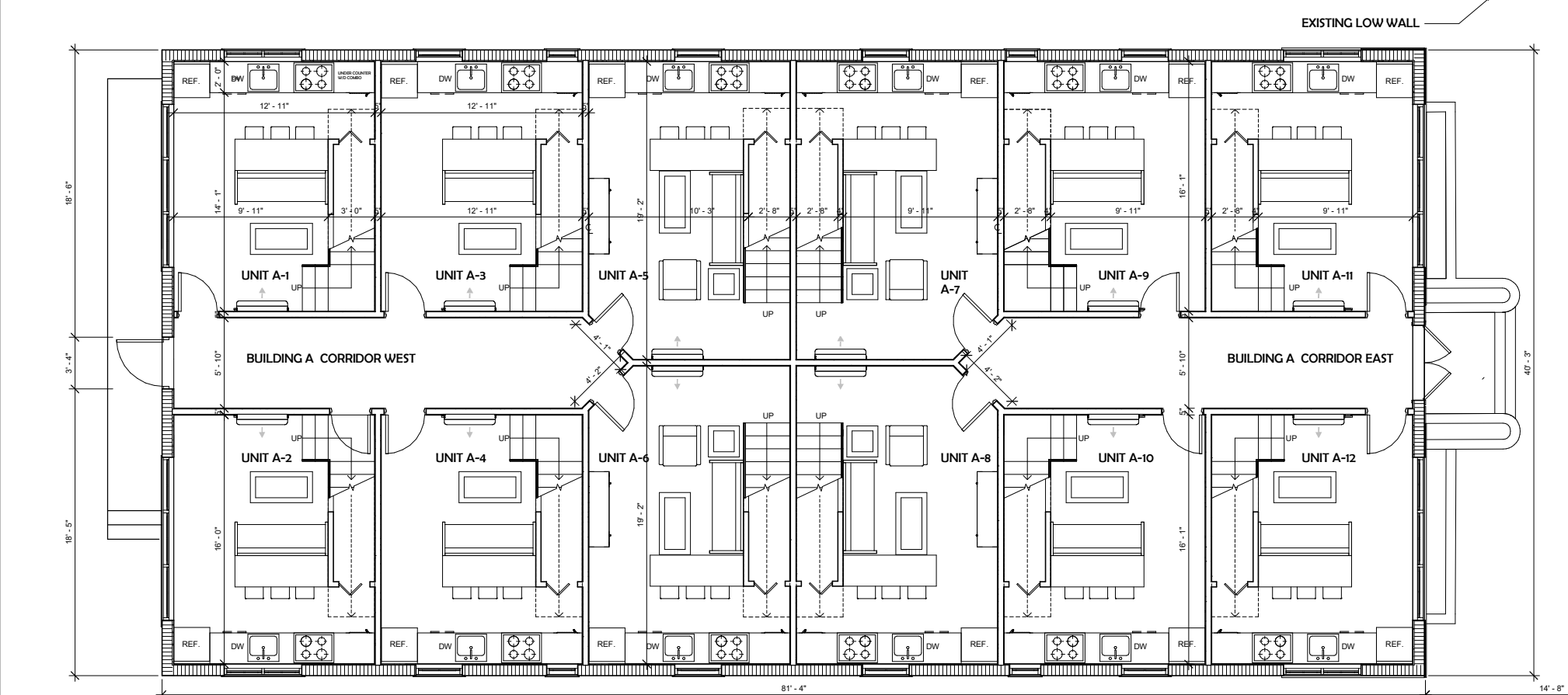
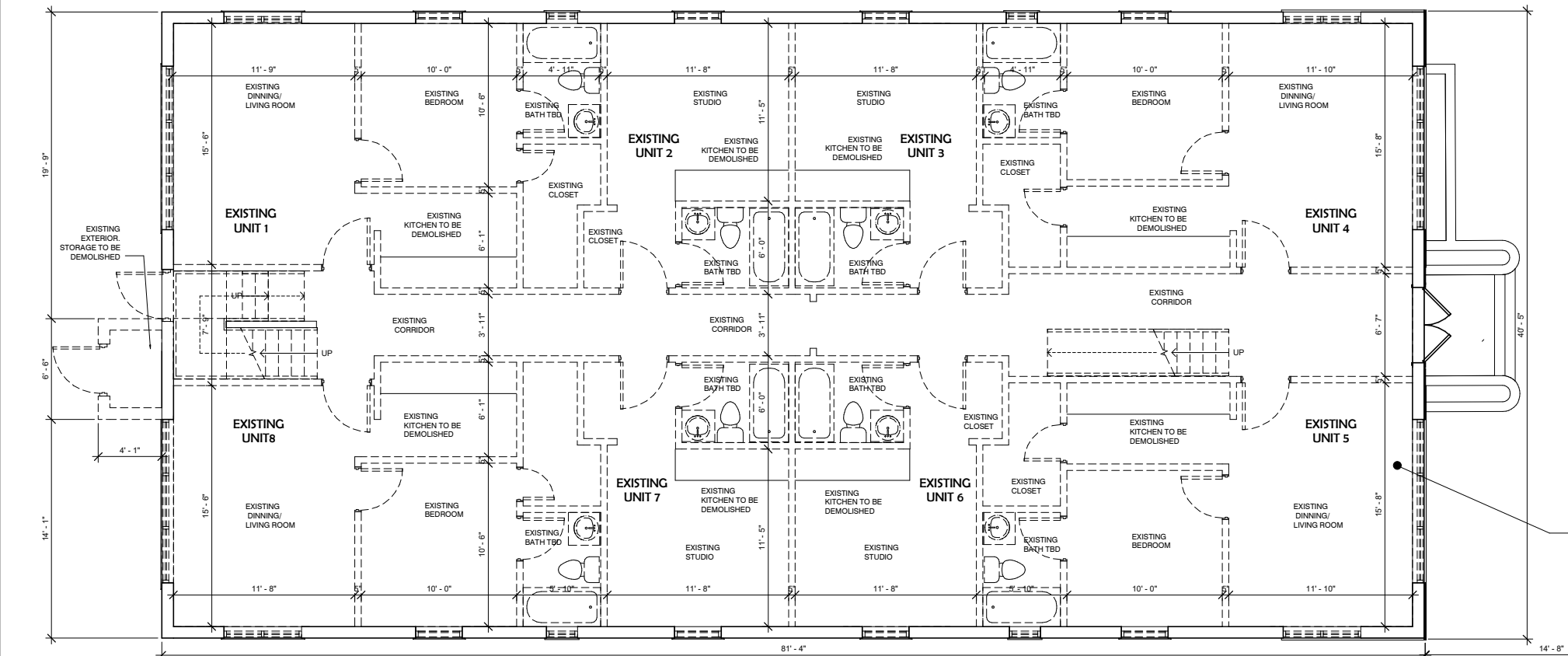
WALL & CEILING FINISHES

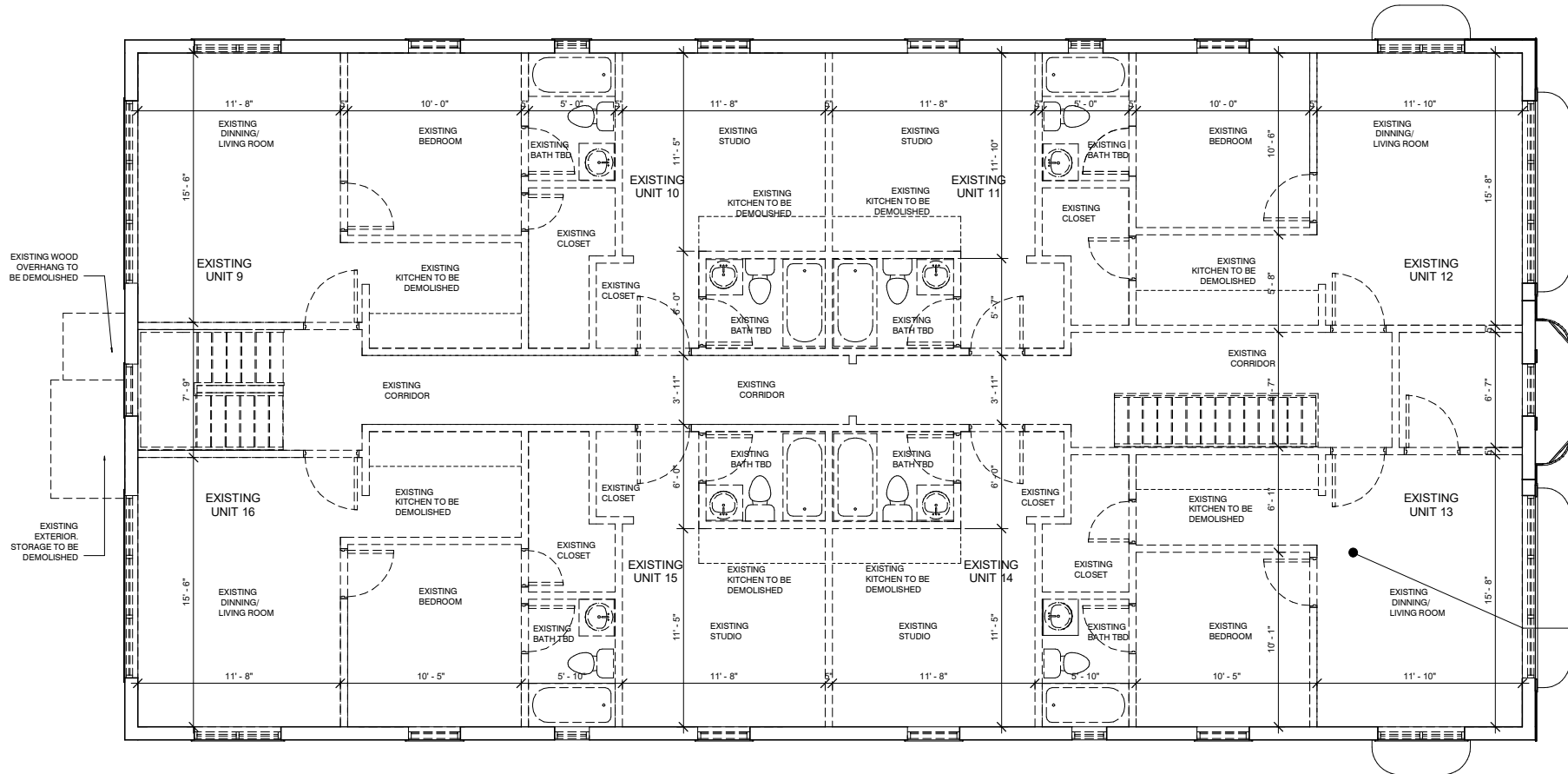
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INSULATION MATERIALS

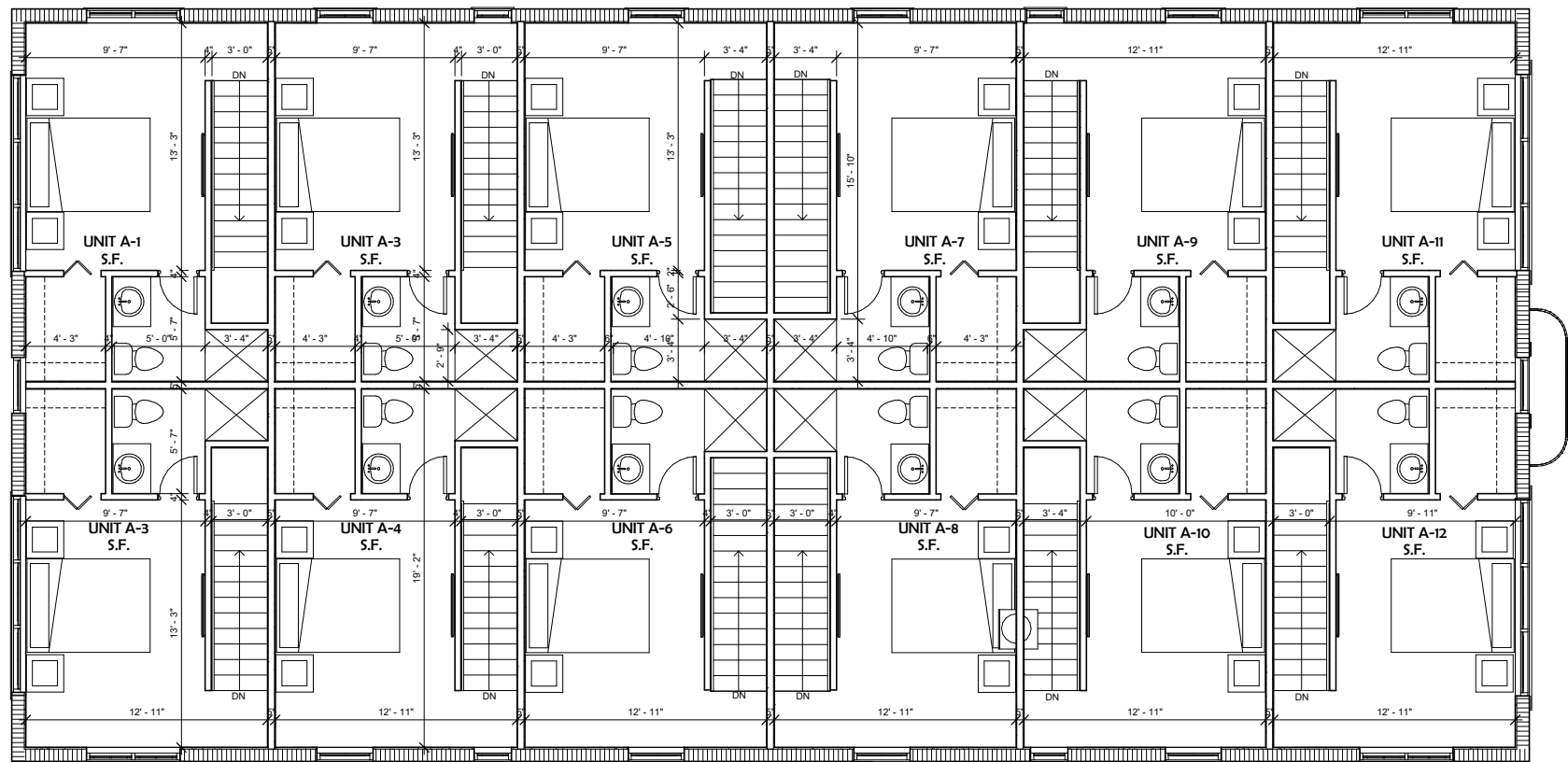
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2 BLDG-A PROPOSED FIRST FLOOR
1/4" = 1'-0"





1 BLDG-A EXIST/DEMO SECOND FLOOR
1/4" = 1'-0"



2 BLDG-A PROPOSED SECOND FLOOR
1/4" = 1'-0"

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR
THREE60 INC. 1610 EUCLID AVE. MIAMI BEACH
1610 Euclid Avenue
Miami Beach, FL 33139

☐ REVIEW SET
☐ PRELIMINARY
☐ NOT FOR CONSTRUCTION
☐ DRY RUN PERMIT SET
☐ PERMIT SET
☐ BID SET
☐ CONSTRUCTION SET

SUBMITTAL DATE: 06-09-16

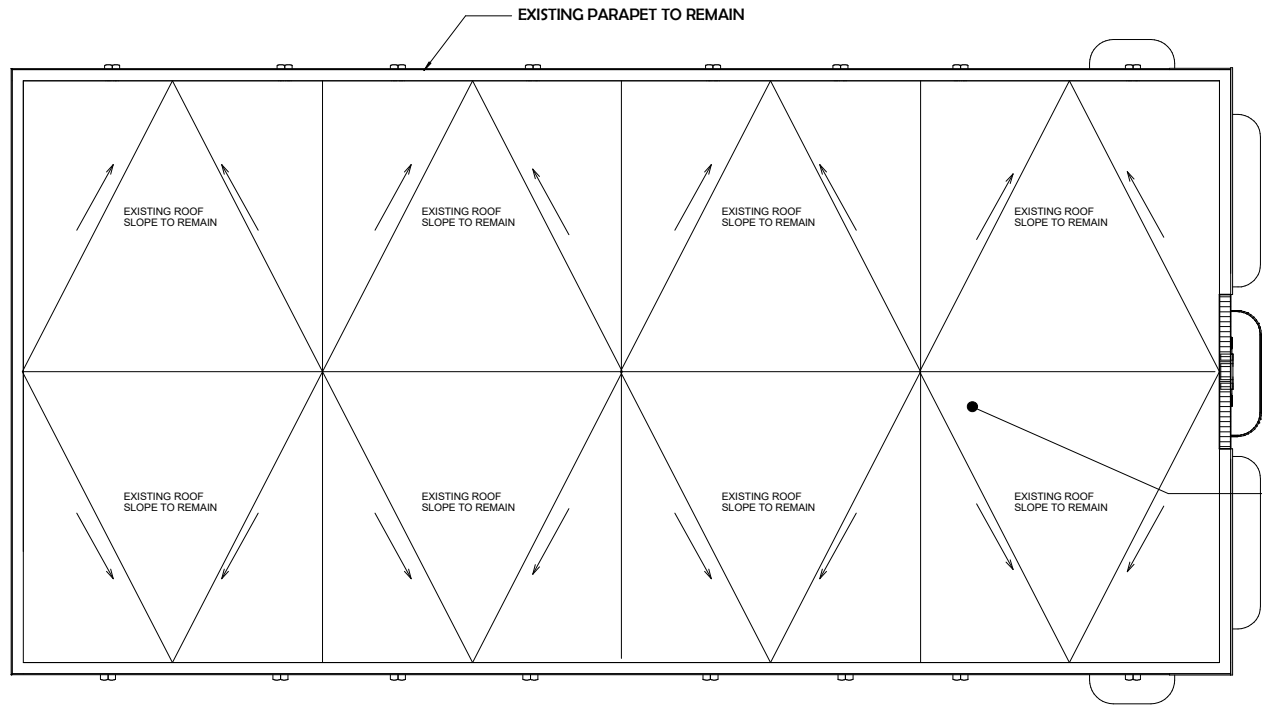
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**BUILDING A
EXIST/PROPOSED SECOND
FLOOR**

A2.1

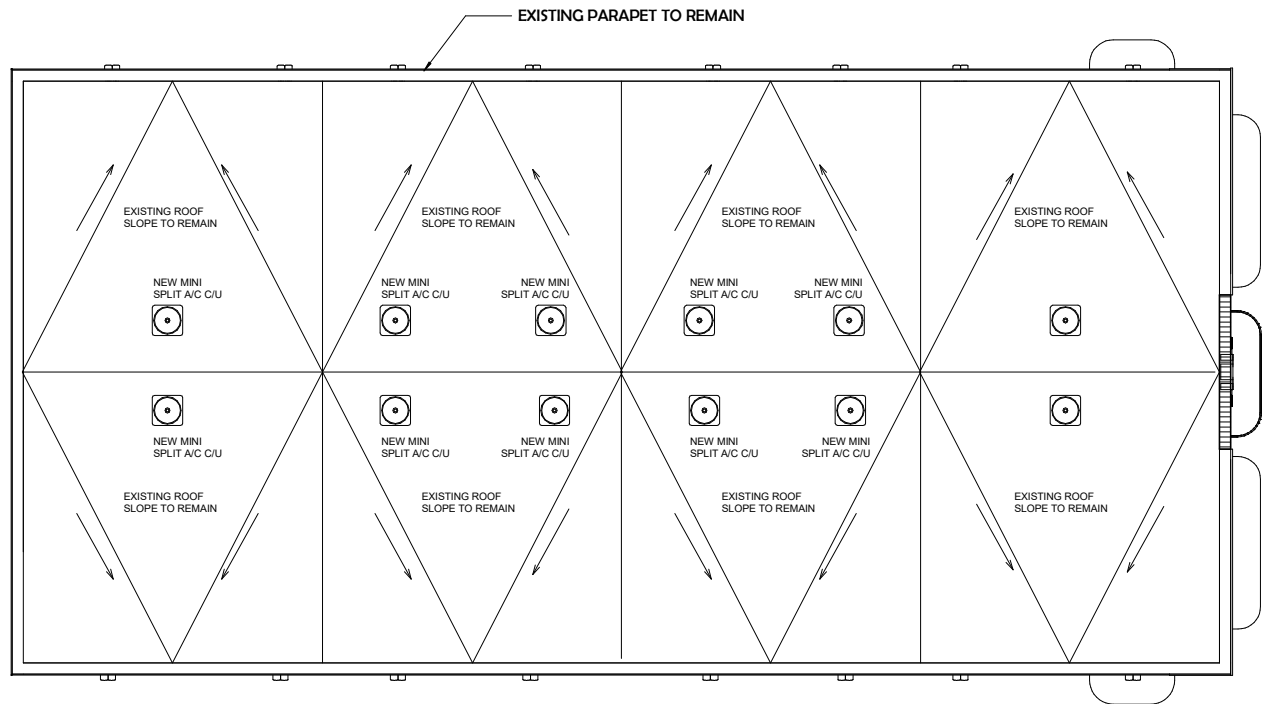
PROJECT #: 16-006

DATE: 03-29-16



NOTE: THE EXISTING WOOD FRAMING ROOF WILL BE EVALUATED BY AN STRUCTURAL ENGINEER AND COMPLETELY DEMOLISHED IF IT IS REQUIRED

2 BLDG A ROOF EXIST/DEMO
3/16" = 1'-0"



1 BLDG-A ROOF PROPOSED
3/16" = 1'-0"

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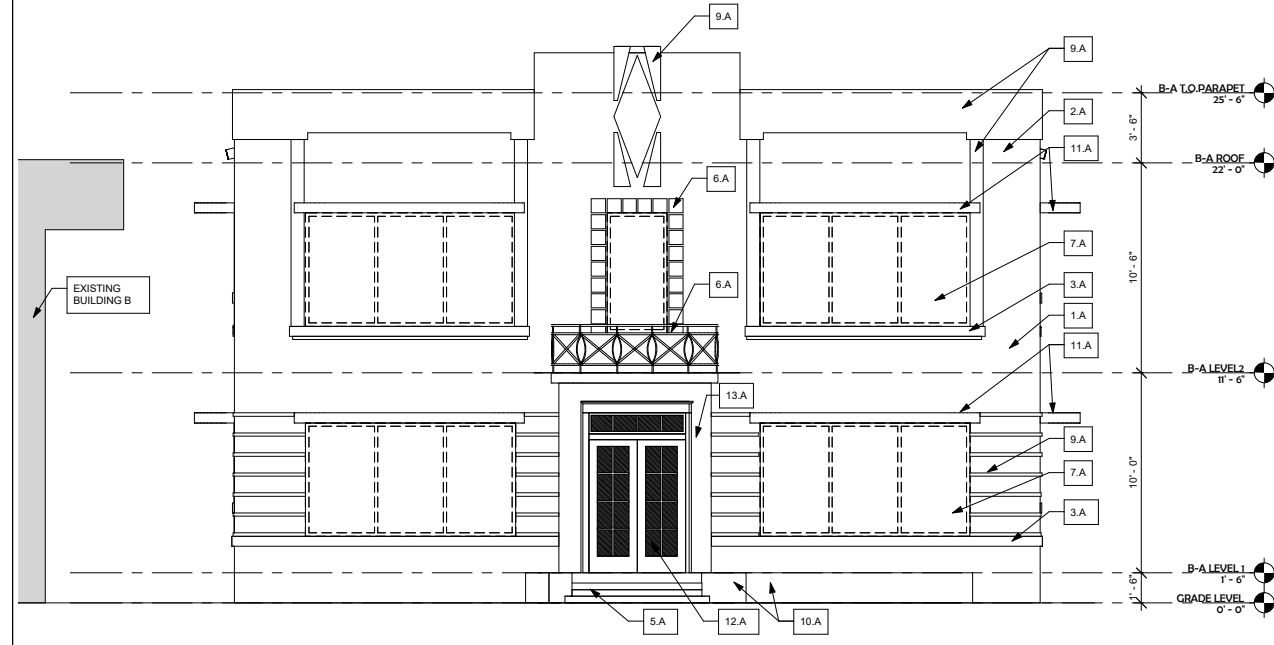
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**BUILDING A EXISTING
PROPOSED ROOF PLAN**

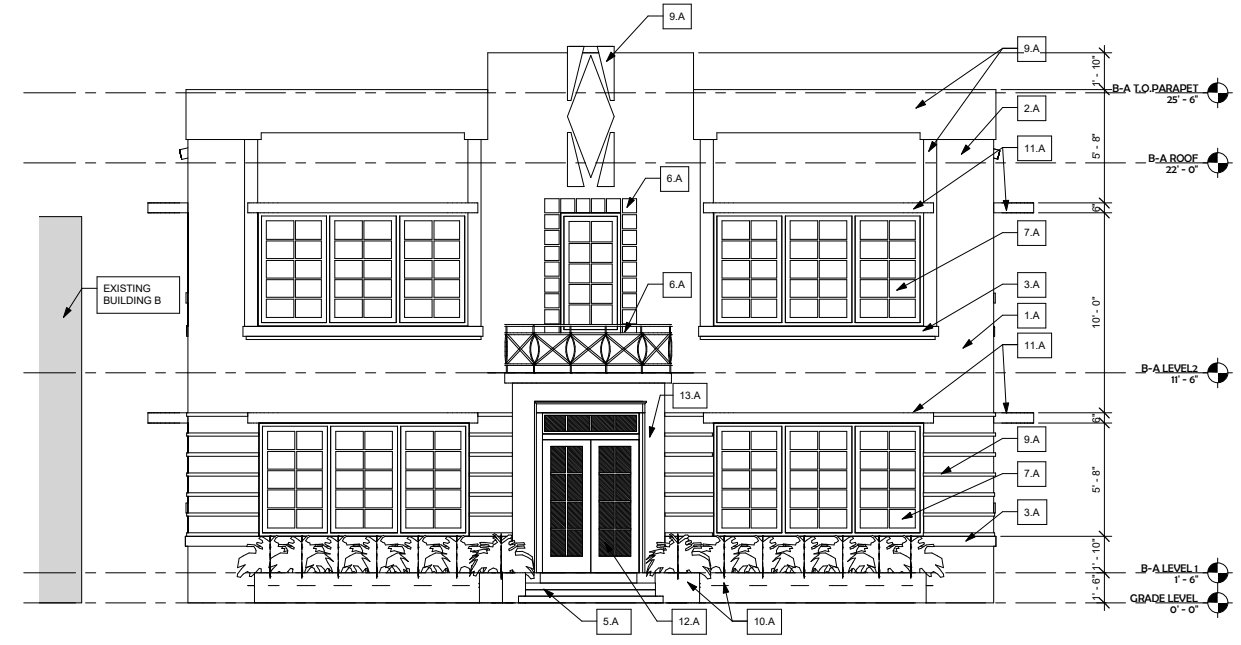
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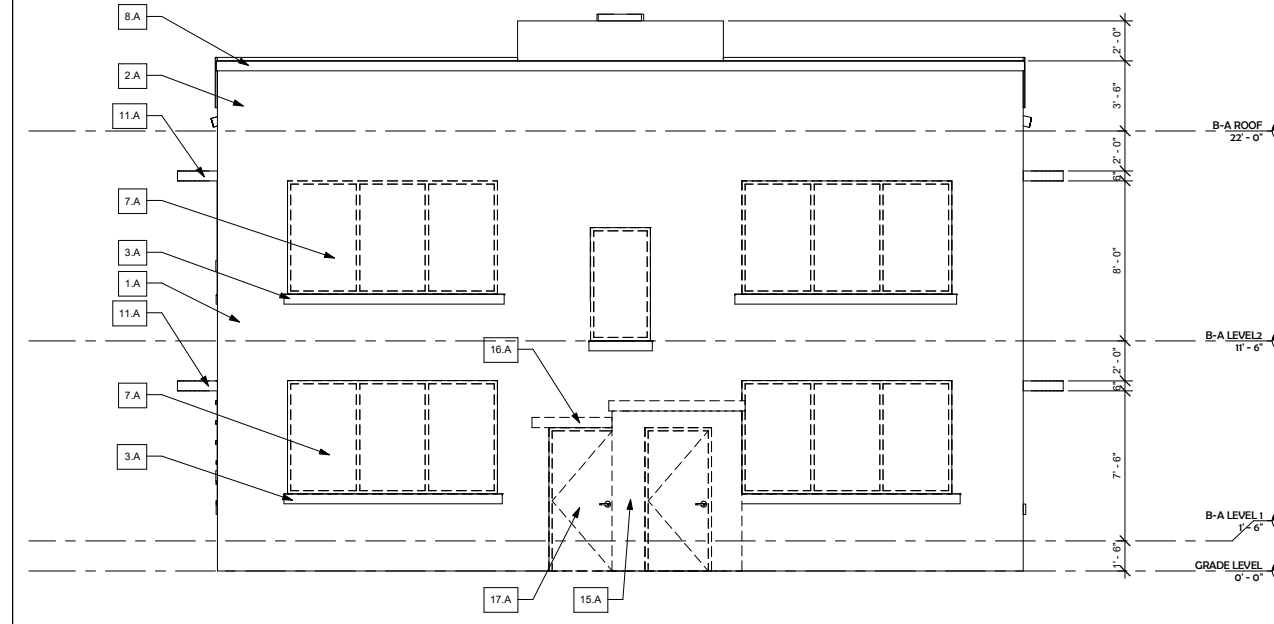
DATE: 03-29-16



1 EAST ELEVATION EXISTING/DEMO
1/4" = 1'-0"



2 EAST ELEVATION PROPOSED
1/4" = 1'-0"



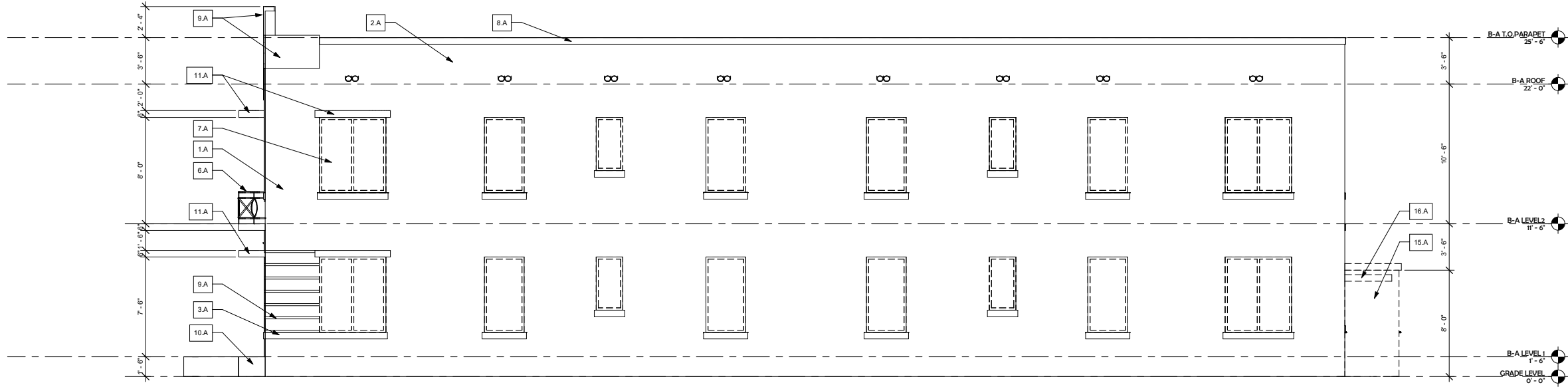
3 WEST ELEVATIONS EXISTING/DEMO
1/4" = 1'-0"



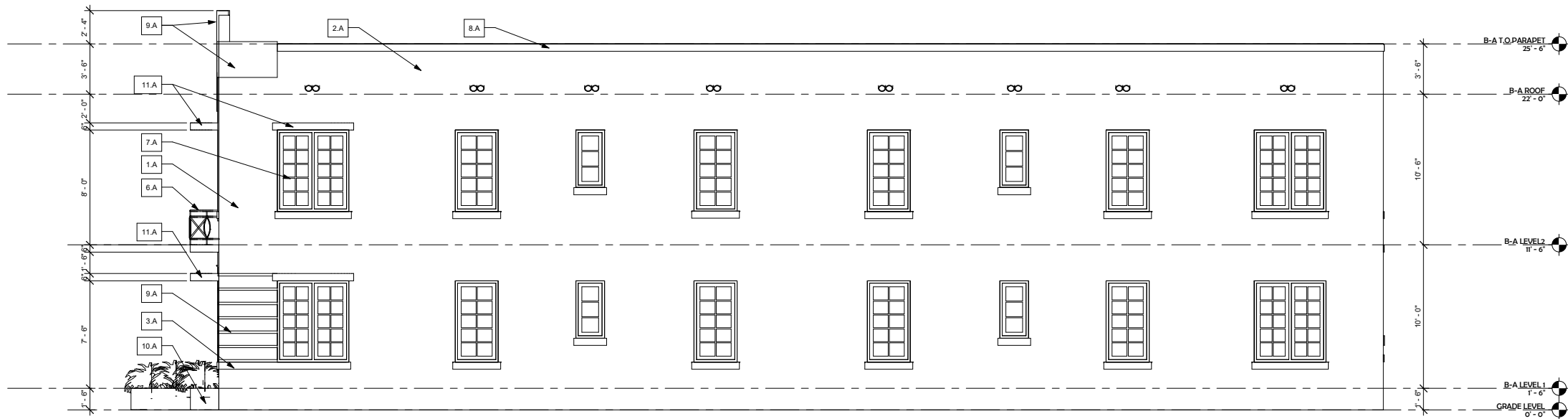
4 WEST ELEVATIONS PROPOSED
1/4" = 1'-0"

PROPOSED ELEVATION RESTORATION NOTES BLDG A

- | | |
|--|---|
| 1.A. EXISTING ROUGH STUCCO TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE. | 9.A. EXISTING STUCCO REVEALS TO REMAIN PATCH AND RESTORE AS NEEDED. |
| 2.A. EXISTING ROUGH STUCCO PARAPET TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE. | 10.A. EXISTING PLANTERS TO REMAIN. PATCH AND RESTORE AS NEEDED. |
| 3.A. EXISTING SMOOTH STUCCO WINDOW SILL TO REMAIN. PATCH AND REPAIR AS NEEDED. | 11.A. EXISTING OVERHANG TO REMAIN. PATCH AND RESTORE AS NEEDED. |
| 5.A. EXISTING CONCRETE STEPS TO REMAIN WITH NEW TILE FINISH. | 12.A. EXISTING DOOR TO BE RESTORED TO ITS ORIGINAL CONDITIONS. |
| 6.A. EXISTING RAILING TO BE RESTORED TO ITS ORIGINAL CONDITIONS. | 13.A. EXISTING TILE REVEAL TO BE RESTORED AS STUCCO REVEAL. |
| 7.A. EXISTING WINDOWS TO BE REPLACED AND RESTORE WITH SIMILAR DESIGN AS THE BUILDING ORIGINAL WINDOWS. | 14.A. NEW DOOR DESIGN TO MATCH BUILDING ORIGINAL DOORS. |
| 8.A. EXISTING SMOOTH STUCCO CORNICE TO REMAIN. PATCH AND RESTORE AS NEEDED. | 15.A. EXISTING EXTERIOR STORAGE TO BE DEMOLISHED. |
| | 16.A. EXISTING WOOD OVERHANG TO BE DEMOLISHED. |
| | 17.A. EXISTING DOOR TO BE DEMOLISHED. |



1 NORTH ELEVATION EXIST/DEMO
1/4" = 1'-0"



2 NORTH ELEVATION PROPOSED
1/4" = 1'-0"

PROPOSED ELEVATION RESTORATION NOTES BLDG A

- | | |
|--|---|
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| 2.A. EXISTING ROUGH STUCCO PARAPET TO REMAIN. PATCH AND RESTORE AS NEEDED. PAINT COLOR WHITE. | 10.A. EXISTING PLANTERS TO REMAIN. PATCH AND RESTORE AS NEEDED. |
| 3.A. EXISTING SMOOTH STUCCO WINDOW SILL TO REMAIN. PATCH AND REPAIR AS NEEDED. | 11.A. EXISTING OVERHANG TO REMAIN. PATCH AND RESTORE AS NEEDED. |
| 4.A. EXISTING CONCRETE STEPS TO REMAIN WITH NEW TILE FINISH. | 12.A. EXISTING DOOR TO BE RESTORED TO ITS ORIGINAL CONDITIONS. |
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| | 16.A. EXISTING WOOD OVERHANG TO BE DEMOLISHED. |
| | 17.A. EXISTING DOOR TO BE DEMOLISHED. |

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REVISIONS

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR
THREE60 INC. 1610 EUCLID AVE. MIAMI BEACH
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SUBMITTAL DATE: 06-09-16

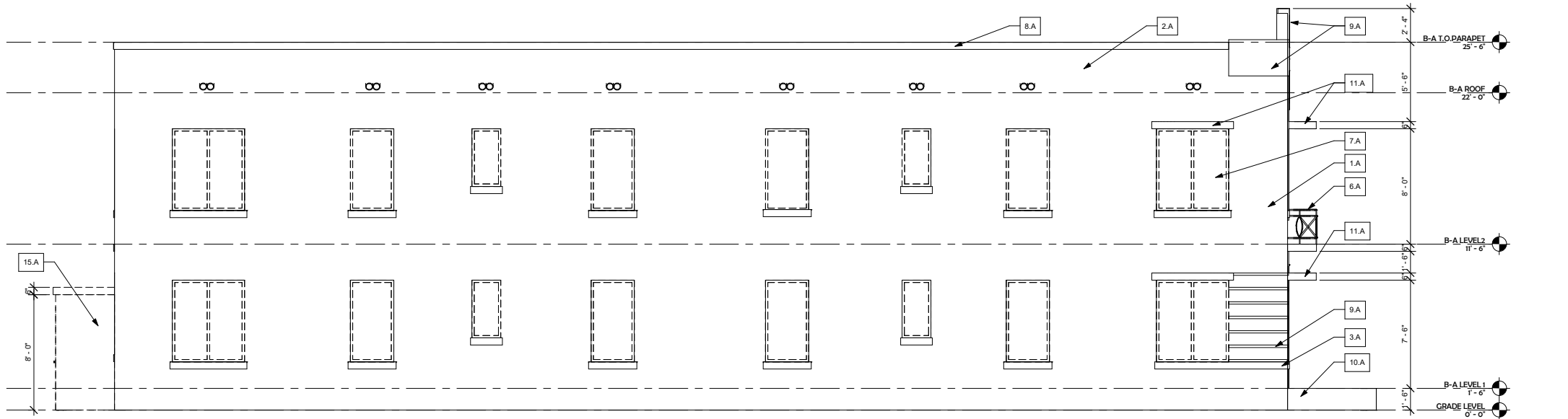
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**BUILDING A EXISTING
PROPOSED ELEVATIONS**

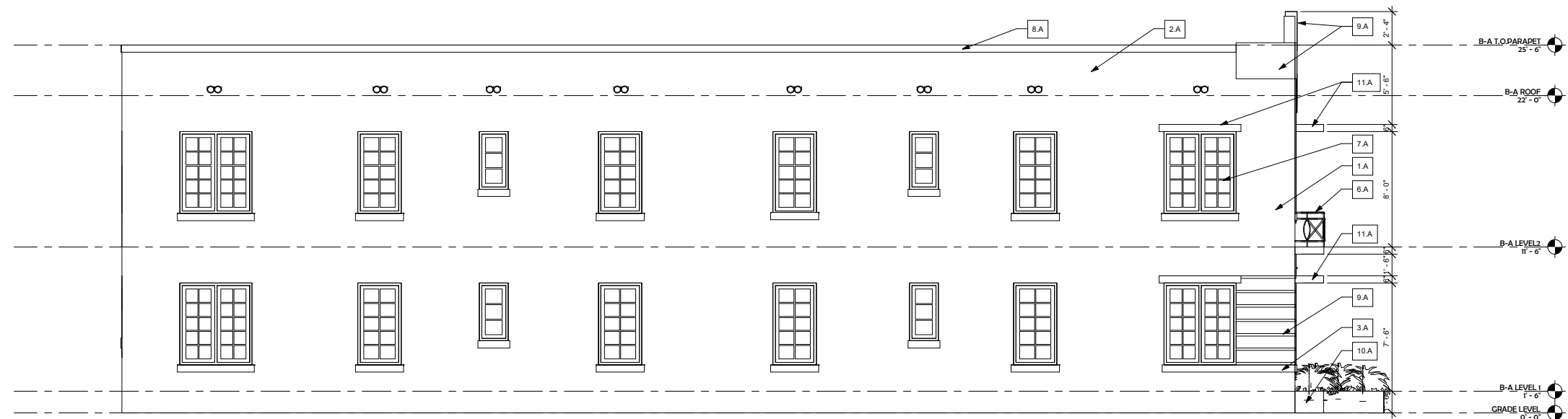
A2.4

PROJECT #: 16-006

DATE: 03-29-16



1 SOUTH ELEVATION EXISTING/DEMO
1/4" = 1'-0"



2 SOUTH ELEVATION PROPOSED
1/4" = 1'-0"

PROPOSED ELEVATION RESTORATION NOTES BLDG A	
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TEL - (954) 925-9292
FAX - (954) 925-6292
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AA 0002849
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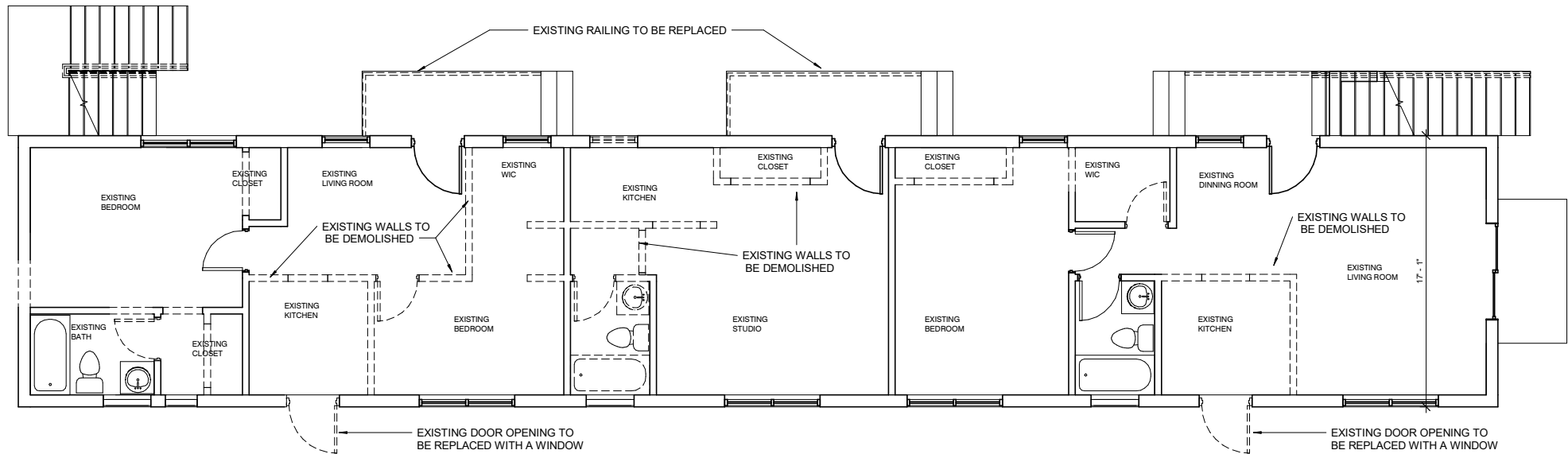
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**BUILDING A EXISTING
PROPOSED ELEVATIONS**

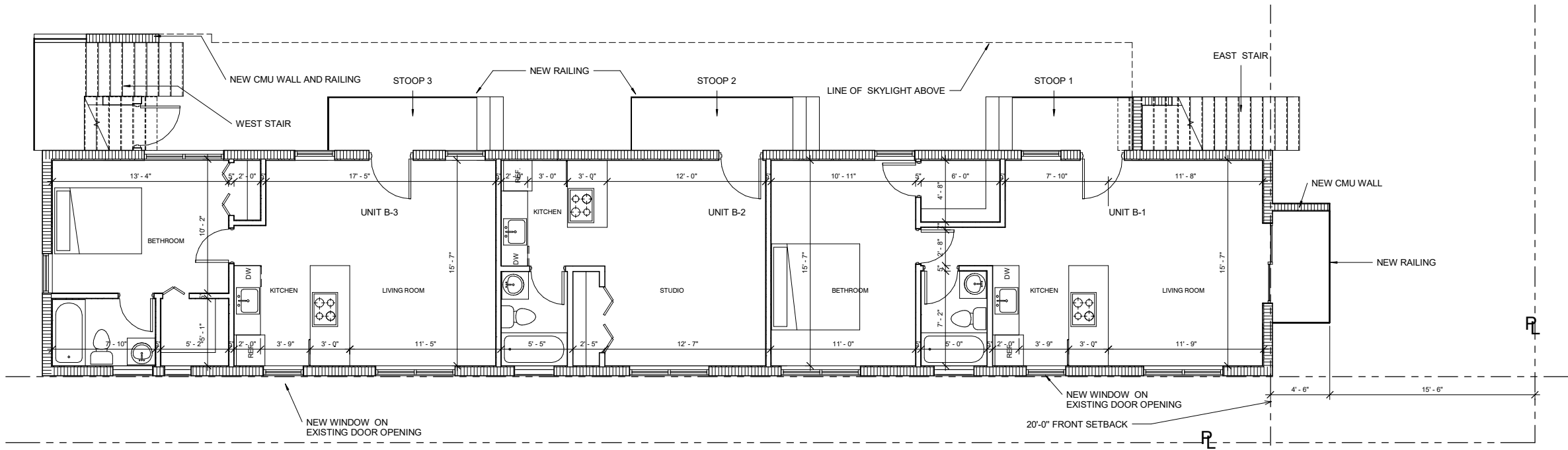
A2.5

PROJECT #: 16-006

DATE: 03-29-16



1 BLDG-B LEVEL 1 EXISTING
1/4" = 1'-0"



2 BLDG-B LEVEL 1 PROPOSED
1/4" = 1'-0"

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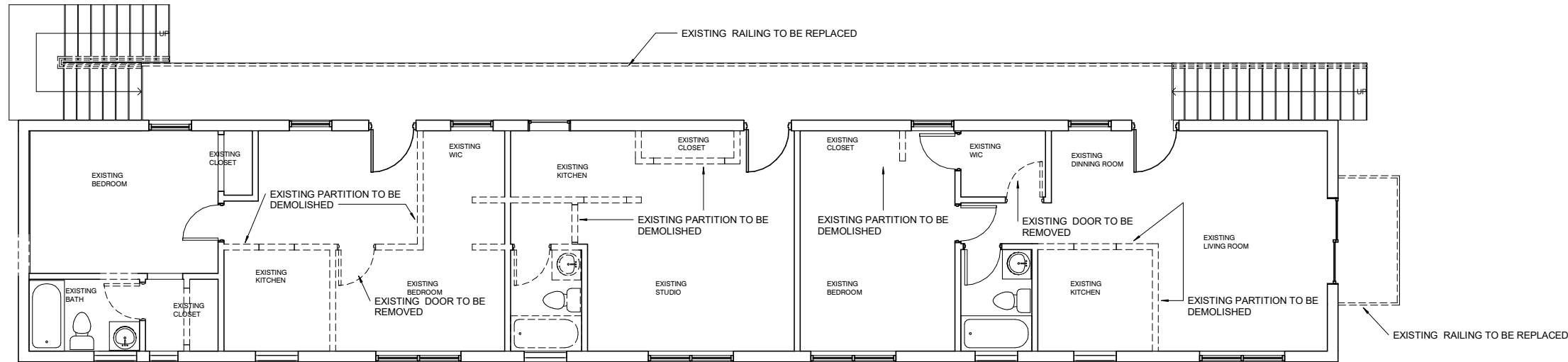
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BUILDING B LEVEL 1
EXISTING / PROPOSED
FLOOR PLAN

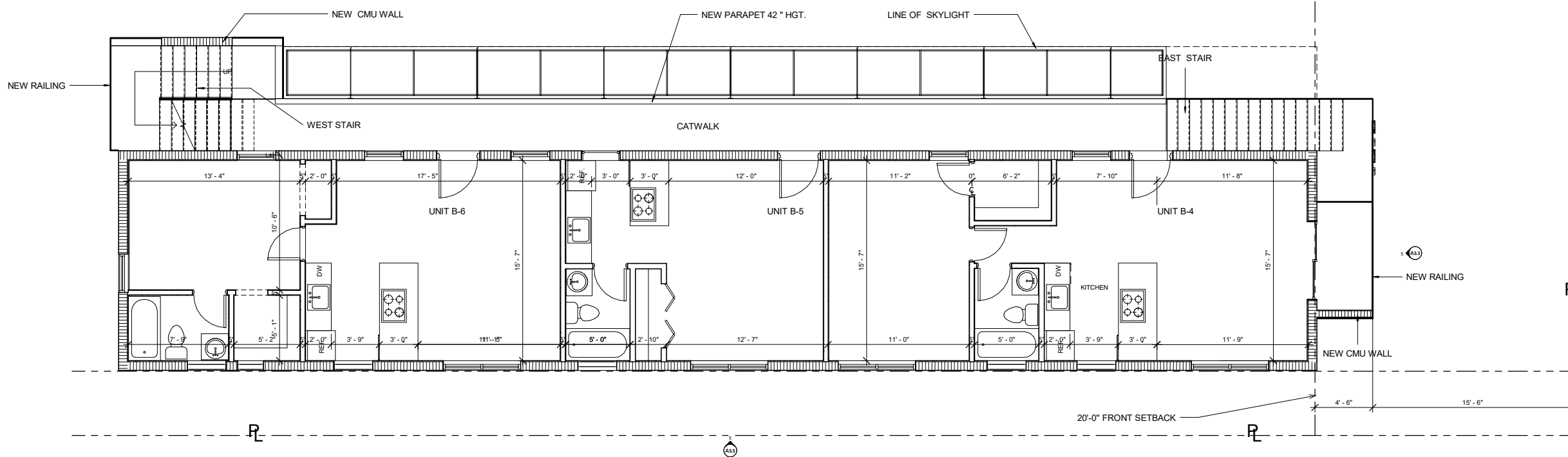
A3.0

PROJECT #: 16-006

DATE: 03-29-16



1 BLDG-B LEVEL 2 EXISTING
1/4" = 1'-0"



2 BLDG-B LEVEL 2 PROPOSED
1/4" = 1'-0"

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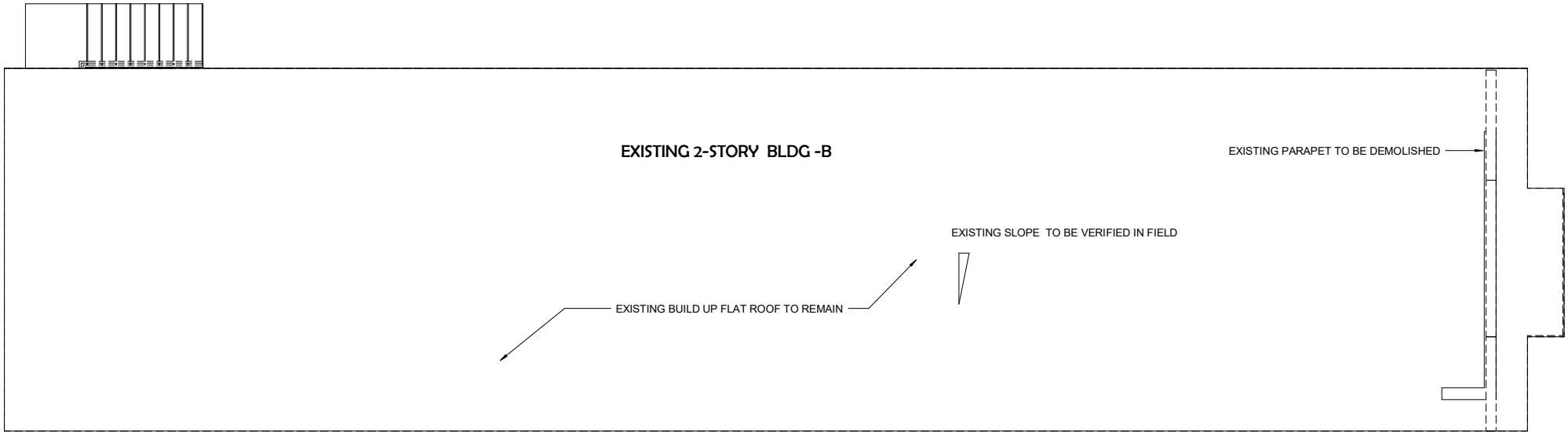
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**BUILDING B LEVEL 2
EXISTING / PROPOSED
FLOOR PLAN**

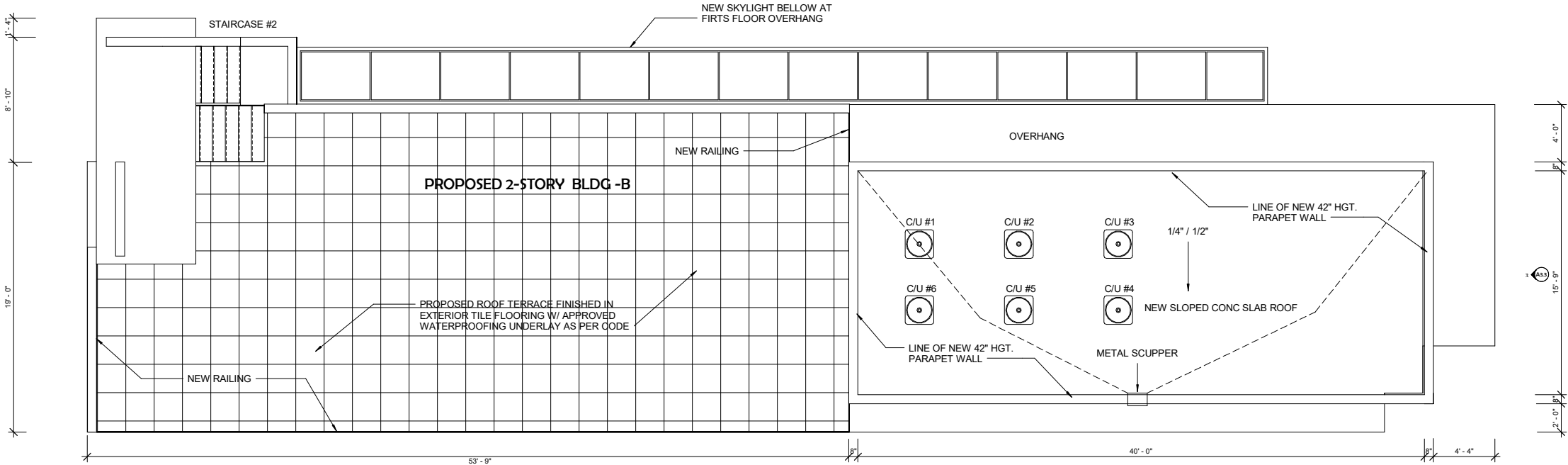
A3.1

PROJECT #: 16-006

DATE: 03-29-16



1 BLDG-B ROOF EXISTING
1/4" = 1'-0"



2 BLDG-B ROOF PROPOSED
1/4" = 1'-0"

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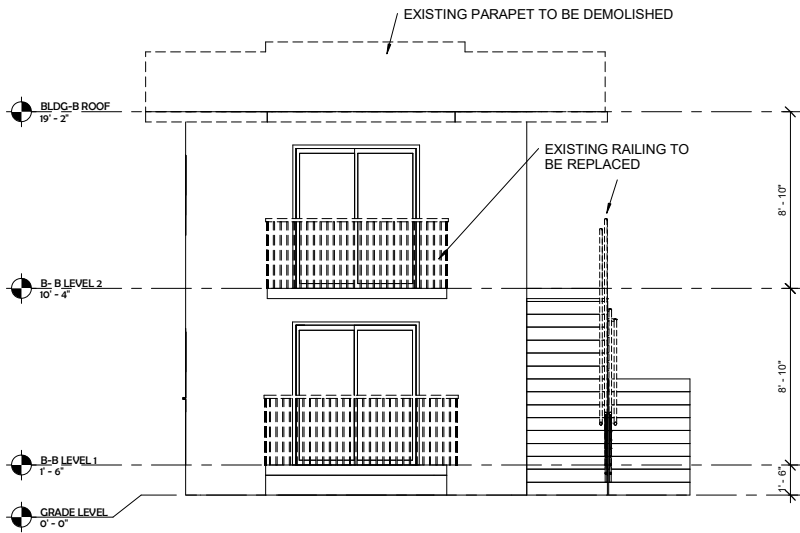
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BUILDING B ROOF PLAN
EXISTING / PROPOSED

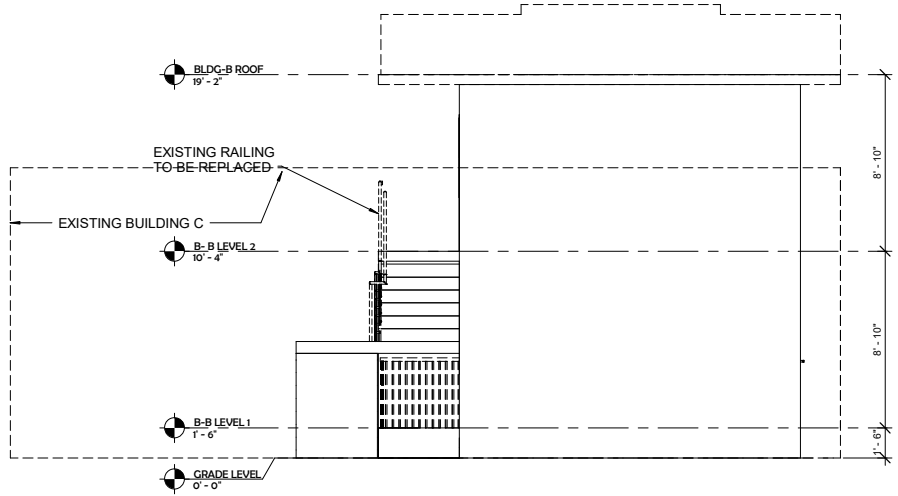
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PROJECT #: 16-006

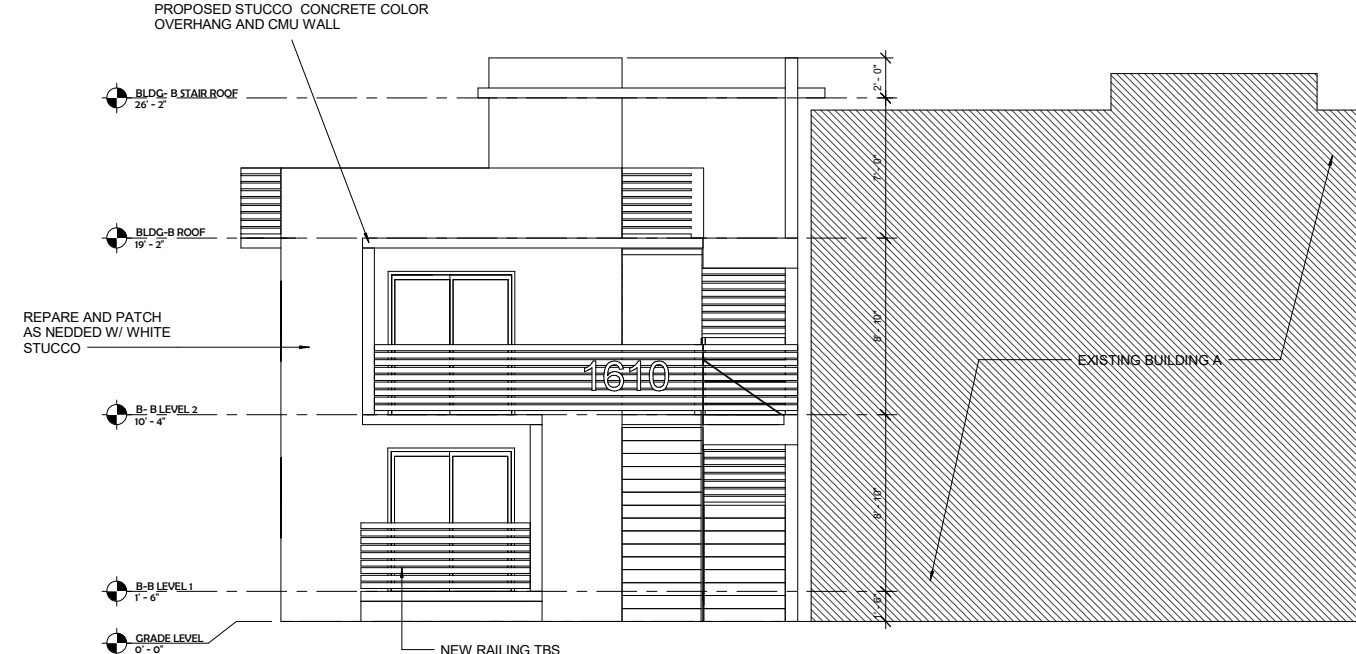
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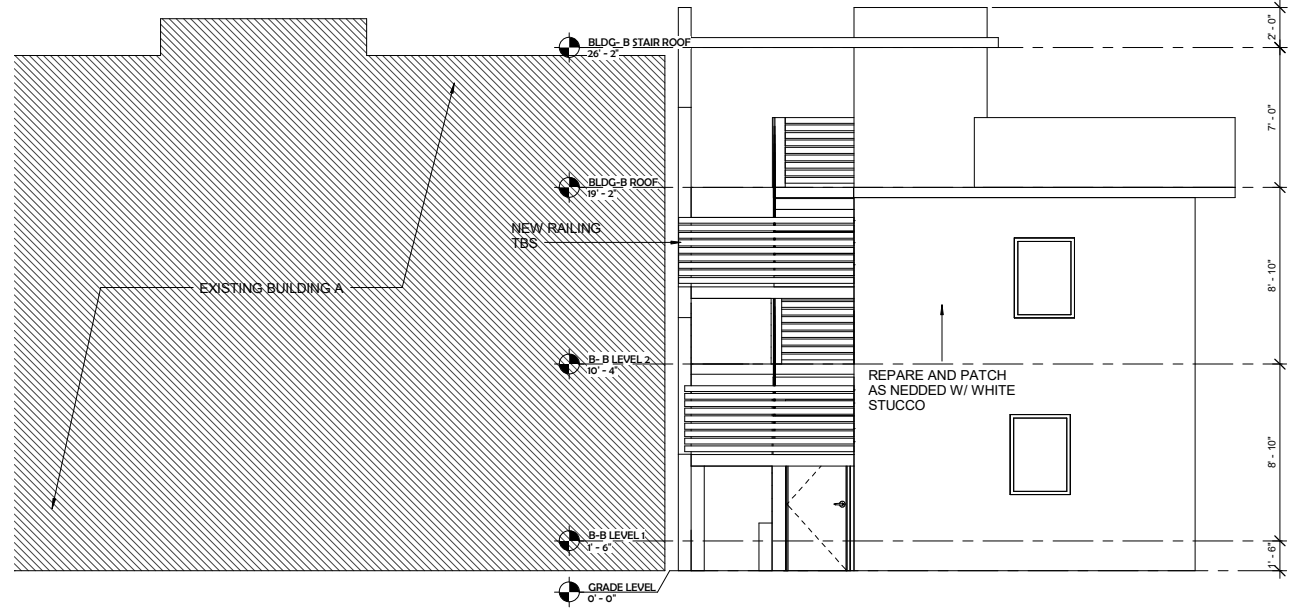
1 EXISTING EAST ELEVATION
1/4" = 1'-0"



3 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED EAST ELEVATION
1/4" = 1'-0"



4 PROPOSED WEST ELEVATION
1/4" = 1'-0"

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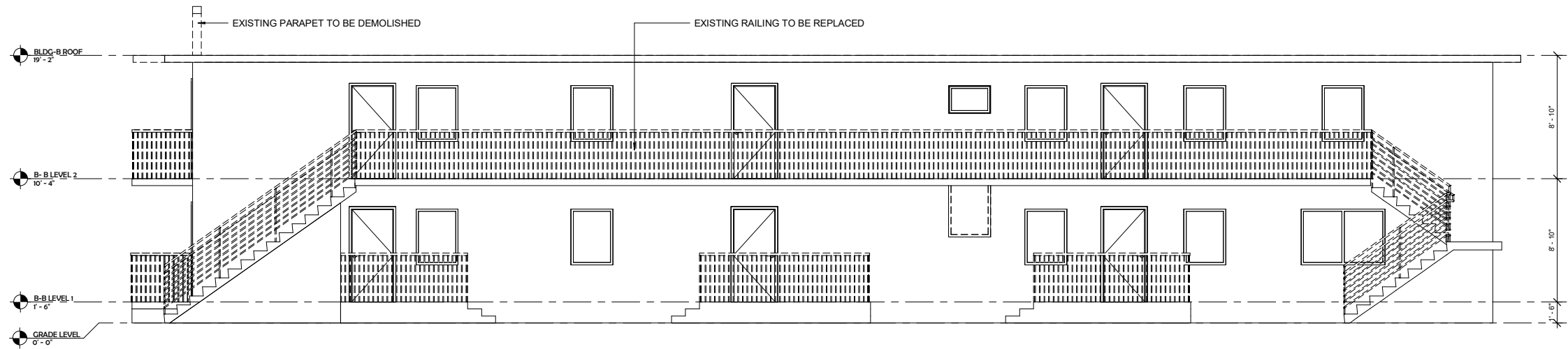
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**BUILDING B ELEVATIONS
EAST / WEST EXISTING AND
PROPOSED**

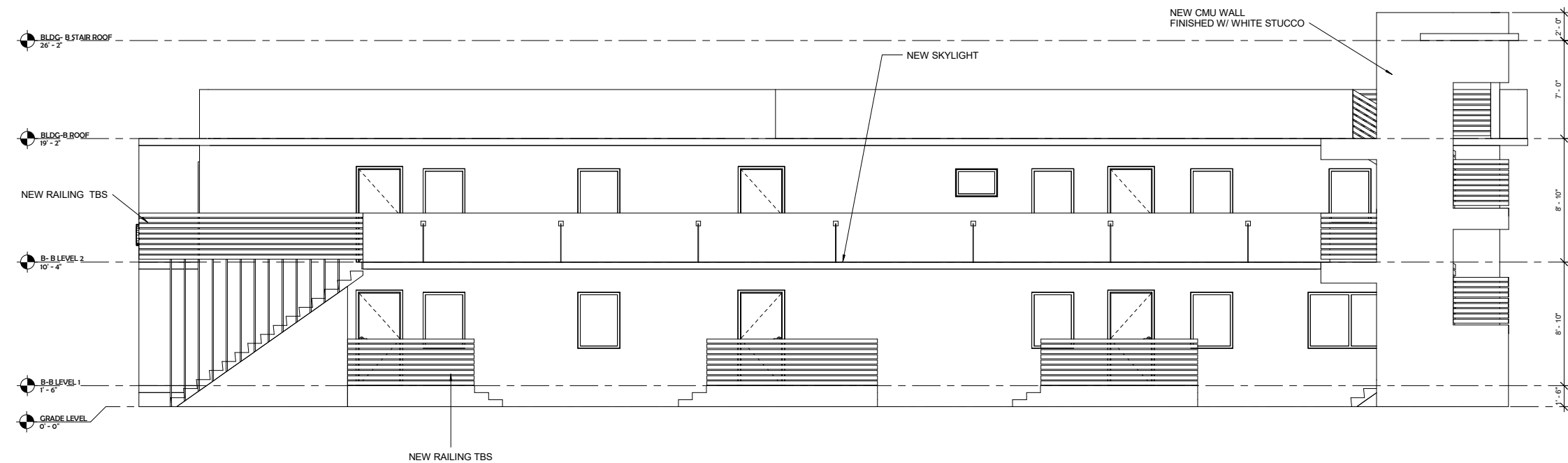
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PROJECT #: 16-006

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1 EXISTING NORTH ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
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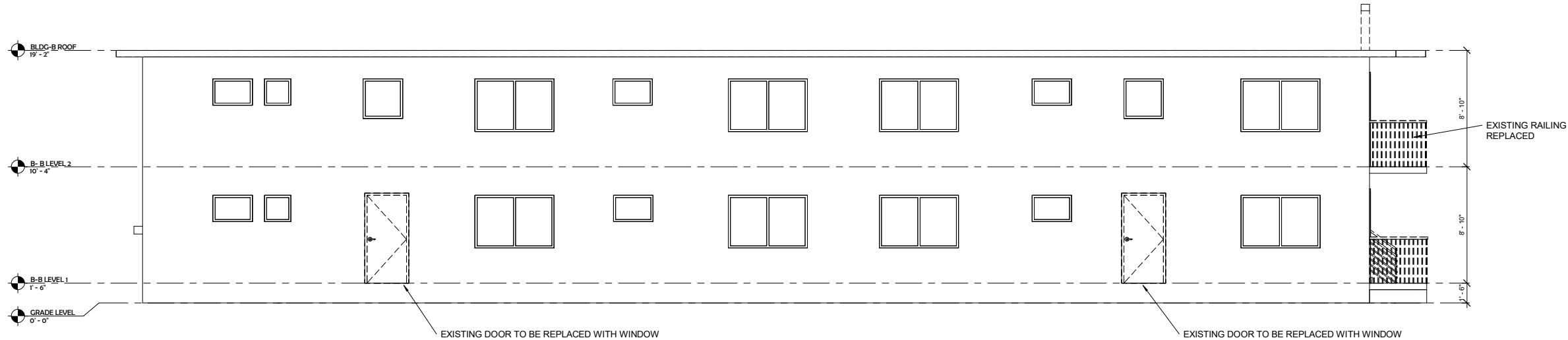
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**BUILDING B ELEVATION
NORTH EXISTING AND
PROPOSED**

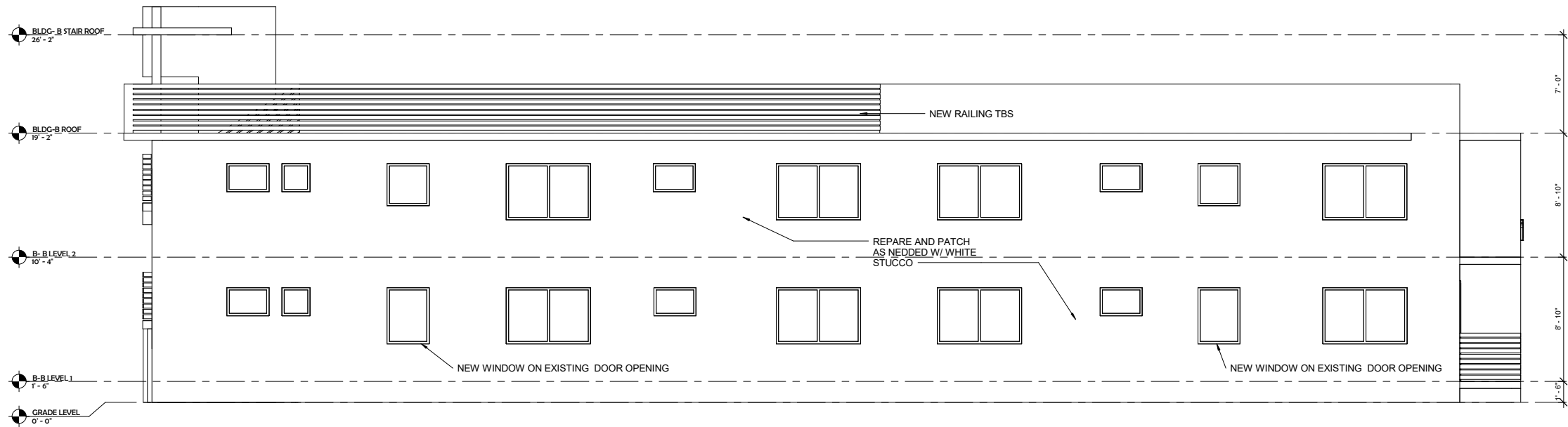
A3.4

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1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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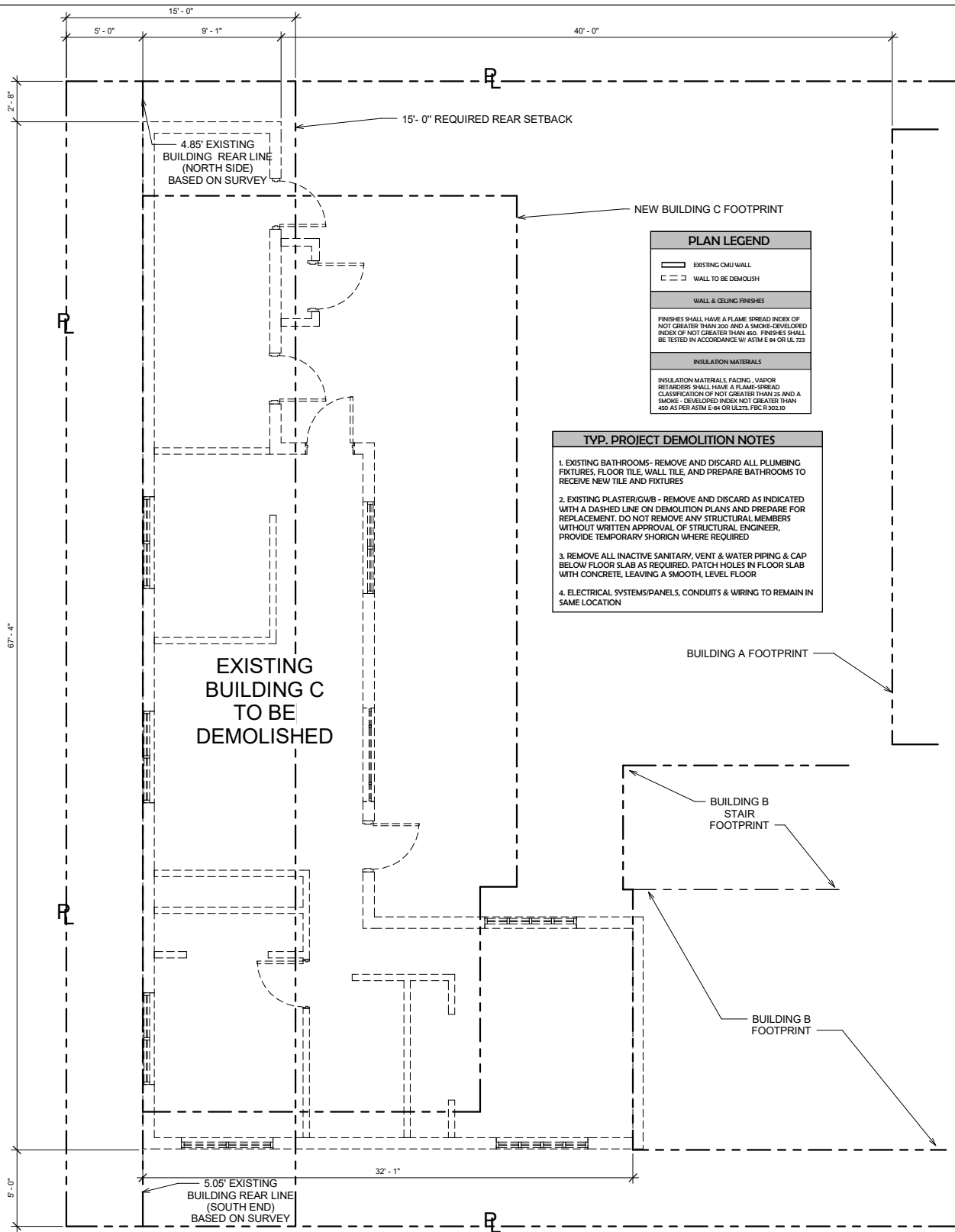
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**BUILDING B ELEVATION
SOUTH EXISTING AND
PROPOSED**

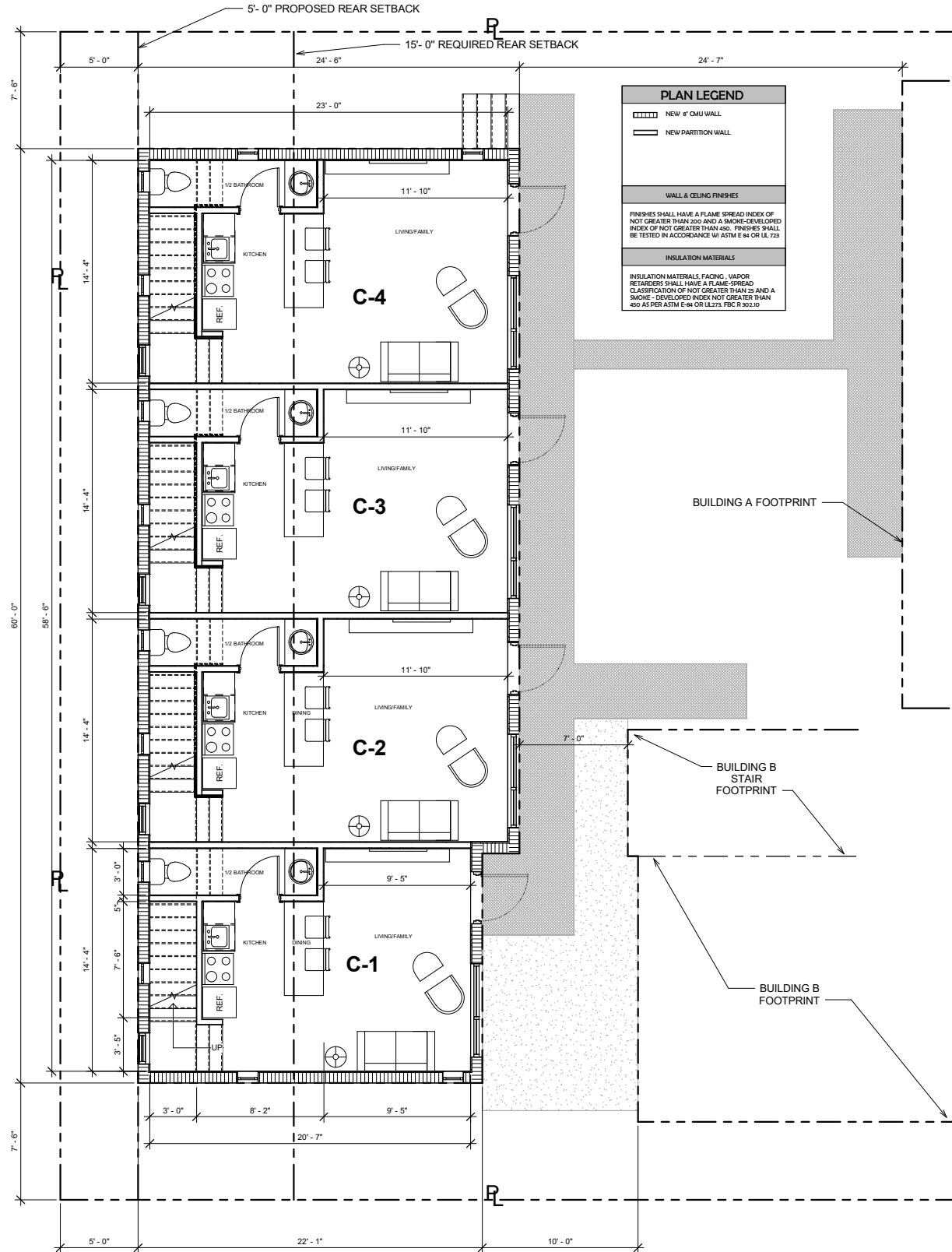
A3.5

PROJECT #: 16-006

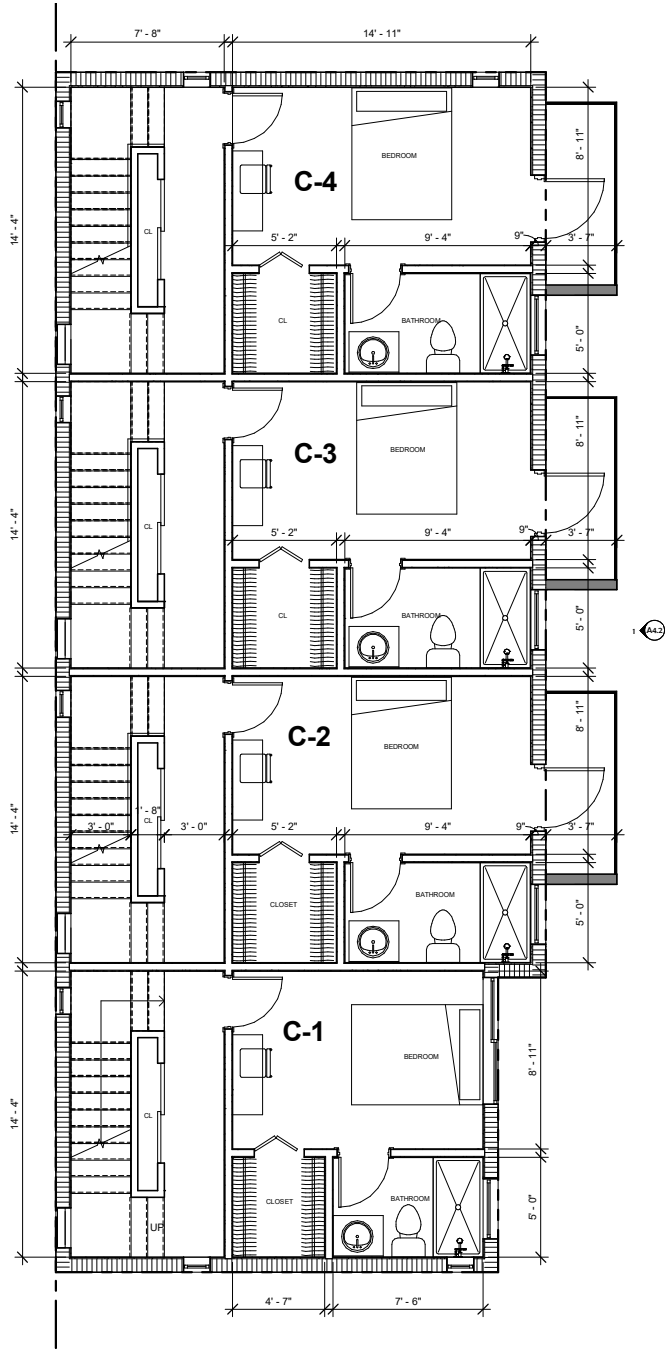
DATE: 03-29-16



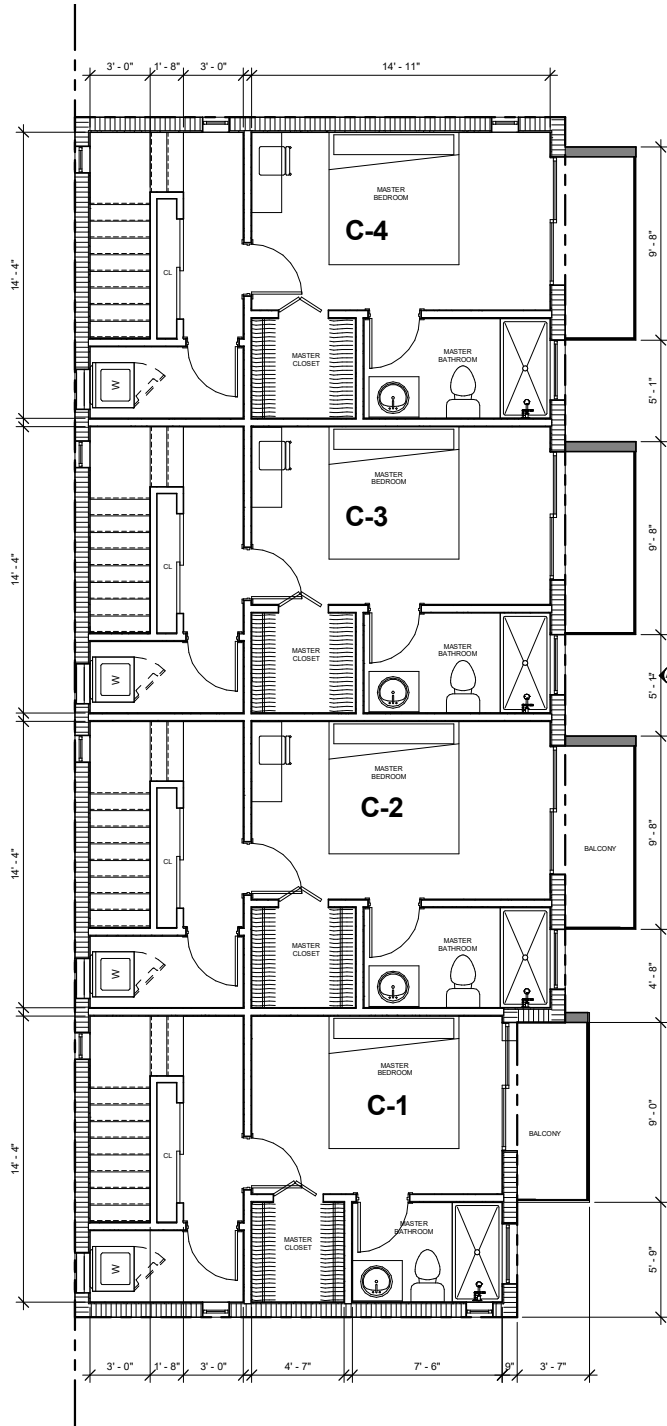
4 EXISTING BUILDING C FIRST FLOOR
1/4" = 1'-0"



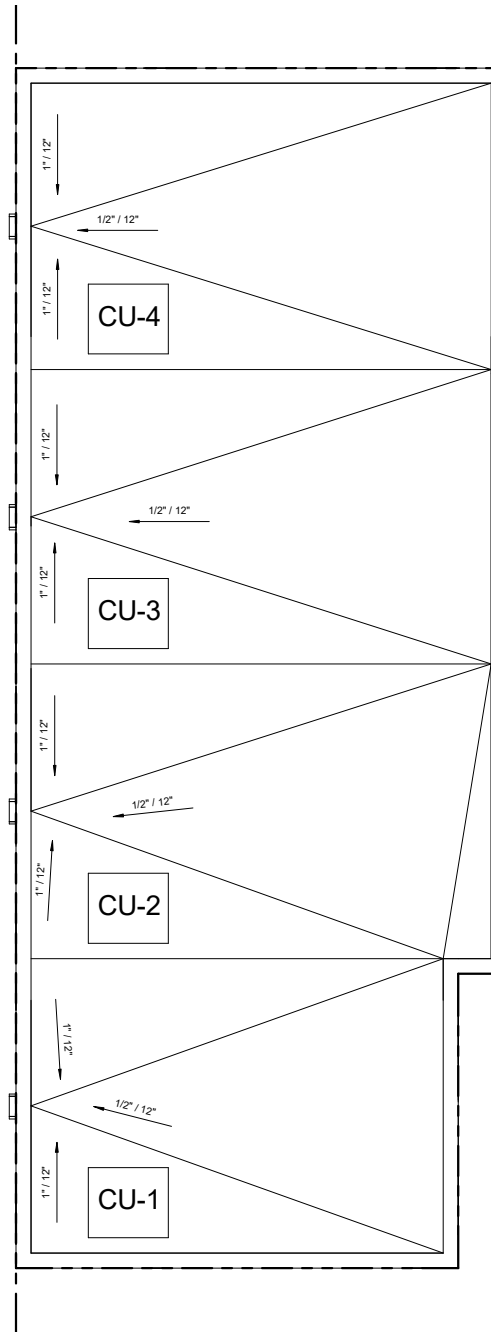
1 NEW BUILDING C FIRST FLOOR
1/4" = 1'-0"



1 NEW BUILDING C SECOND FLOOR
1/4" = 1'-0"



2 NEW BUILDING C THIRD FLOOR
1/4" = 1'-0"



3 NEW BUILDING C ROOF PLAN
1/4" = 1'-0"

PLAN LEGEND	
	NEW 1' O/W WALL
	NEW PARTITION WALL
WALL & CEILING FINISHES	
FINISHES SHALL HAVE A FLAME SPREAD INDEX OF NOT GREATER THAN 200 AND A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450. FINISHES SHALL BE TESTED IN ACCORDANCE W/ ASTM E 84 OR UL 723.	
INSULATION MATERIALS	
INSULATION MATERIALS: FACING, VAPOR RETARDER SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-48 OR UL-723. FSC-R 302.30	

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2300 HOLLYWOOD BLVD
HOLLYWOOD, FL 33021
TEL - (954) 925-9292
FAX - (954) 925-6292
www.sklararchitect.com
AA 0002849
B 0000984
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ARI L. SKLAR
LICENSE #AR4473

REVISIONS

NEW TOWNHOMES & HISTORIC RENOVATION OF EXISTING BUILDING FOR
THREE60 INC. 1610 EUCLID AVE. MIAMI BEACH
1610 Euclid Avenue
Miami Beach, FL 33139

- ☐ REVIEW SET
- ☐ PRELIMINARY
- ☐ NOT FOR CONSTRUCTION
- ☐ DRY RUN PERMIT SET
- ☐ PERMIT SET
- ☐ BID SET
- ☐ CONSTRUCTION SET

SUBMITTAL DATE: 06-09-16

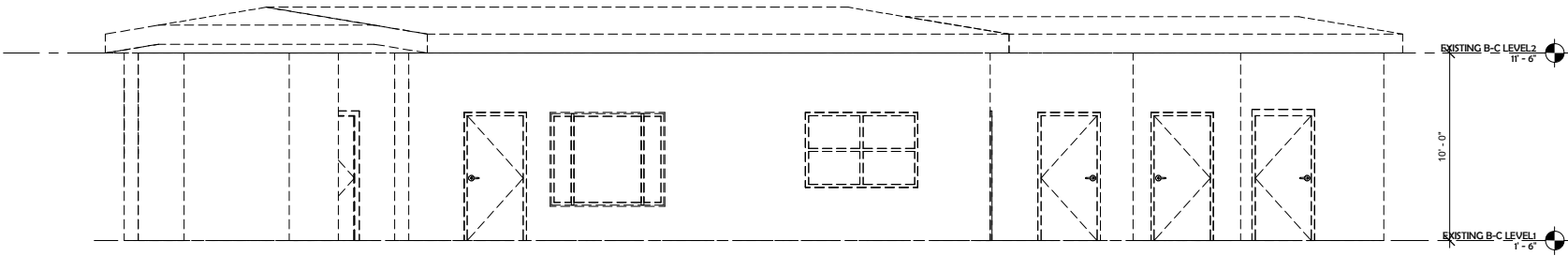
DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

NEW BUILDING C UPPER FLOORS

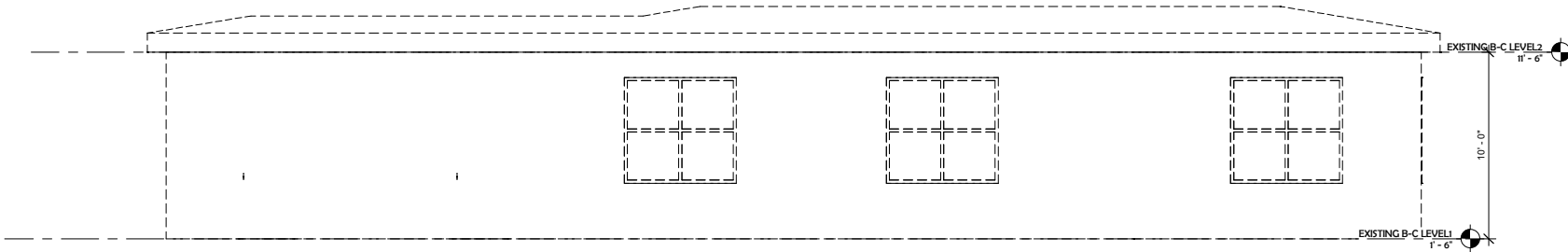
A4.1

PROJECT #: 16-006

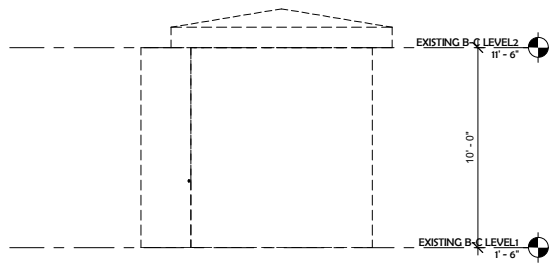
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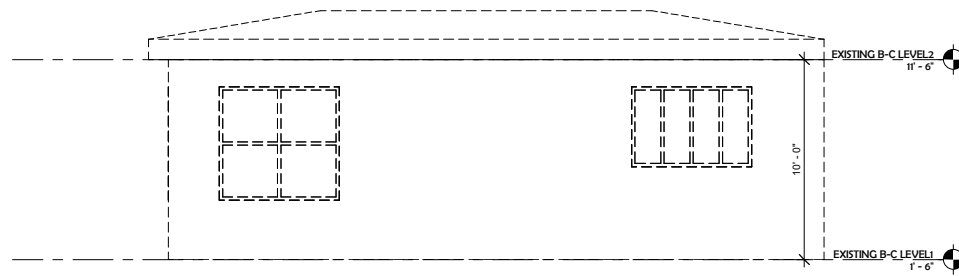
1
1/4" = 1'-0"



4
1/4" = 1'-0"



2
1/4" = 1'-0"



3
1/4" = 1'-0"

EXISTING BUILDING C IS PROPOSED TO BE DEMOLISHED

TYP. PROJECT DEMOLITION NOTES

1. EXISTING BATHROOMS - REMOVE AND DISCARD ALL PLUMBING FIXTURES, FLOOR TILE, WALL TILE, AND PREPARE BATHROOMS TO RECEIVE NEW TILE AND FIXTURES
2. EXISTING PLASTER/GWB - REMOVE AND DISCARD AS INDICATED WITH A DASHED LINE ON DEMOLITION PLANS AND PREPARE FOR REPLACEMENT. DO NOT REMOVE ANY STRUCTURAL MEMBERS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER. PROVIDE TEMPORARY SHORON WHERE REQUIRED
3. REMOVE ALL INACTIVE SANITARY, VENT & WATER PIPING & CAP BELOW FLOOR SLAB AS REQUIRED. PATCH HOLES IN FLOOR SLAB WITH CONCRETE, LEAVING A SMOOTH, LEVEL FLOOR
4. ELECTRICAL SYSTEMS/PANELS, CONDUITS & WIRING TO REMAIN IN SAME LOCATION

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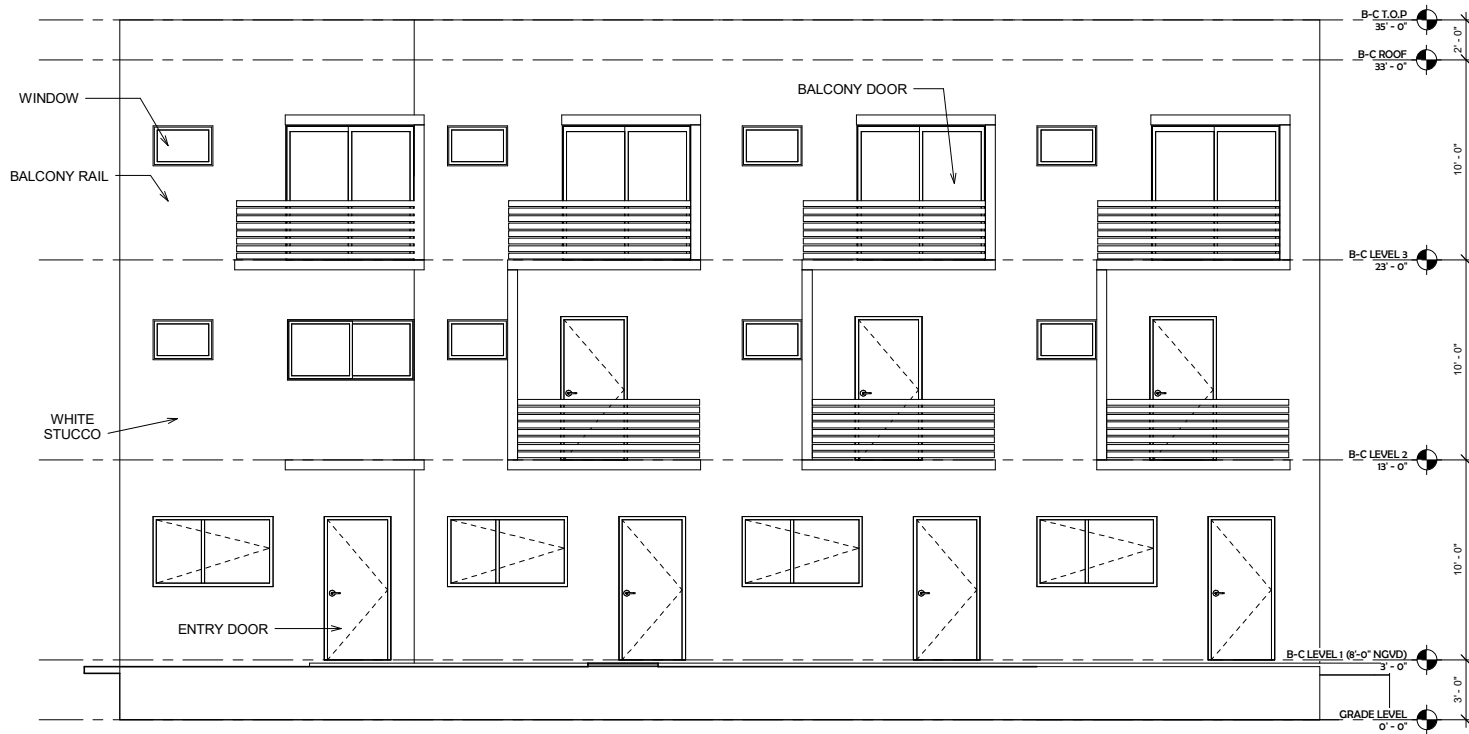
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**EXISTING/DEMO BUILDING
ELEVATIONS**

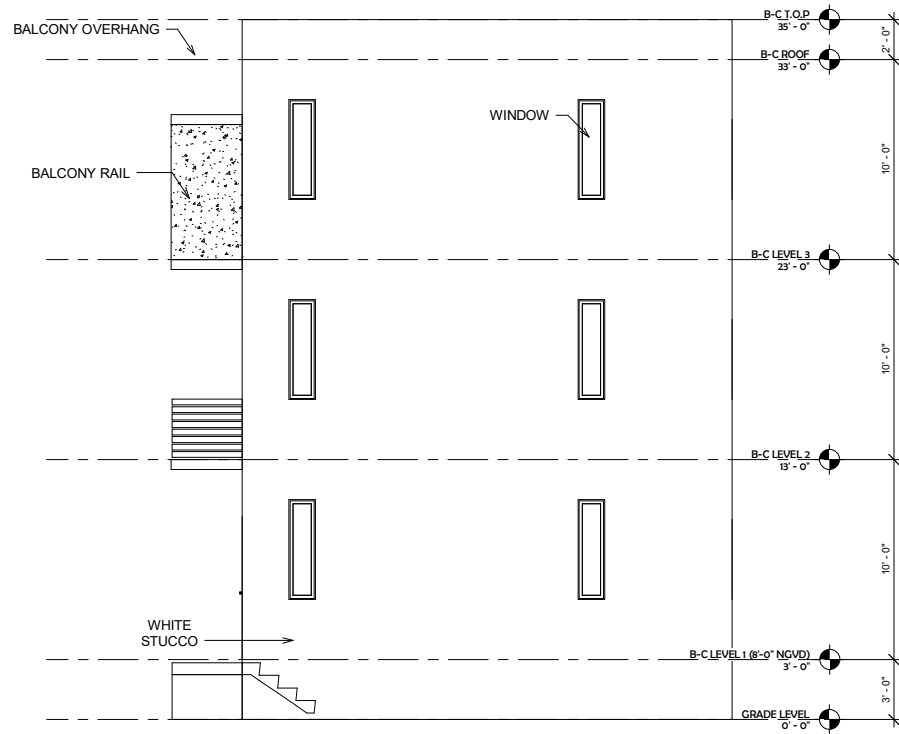
A4.2

PROJECT #: 16-006

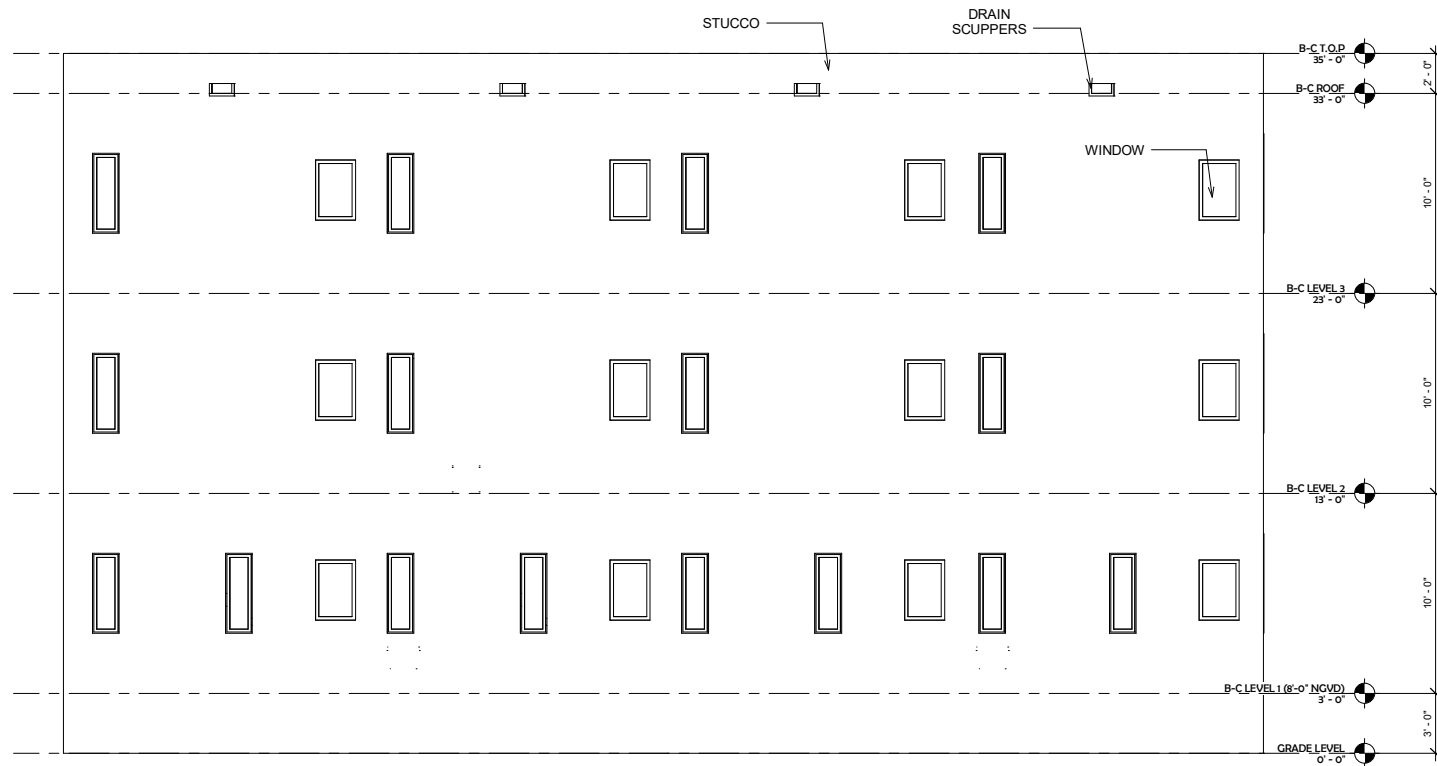
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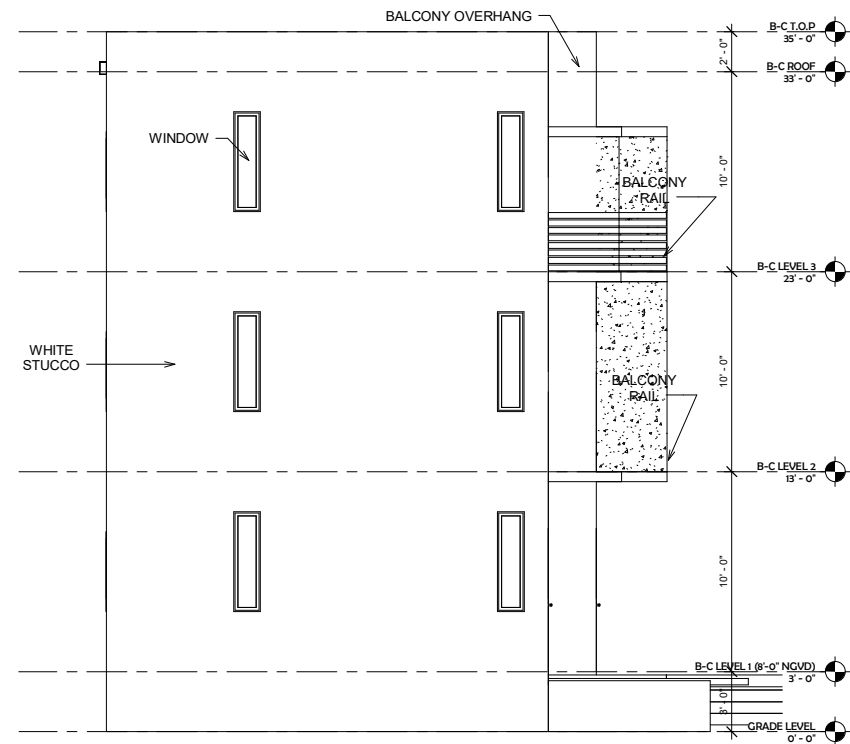
1 NEW BUILDING C EAST ELEVATION
1/4" = 1'-0"



2 NEW BUILDING C NORTH ELEVATION
1/4" = 1'-0"



4 NEW BUILDING C WEST ELEVATION
1/4" = 1'-0"



3 NEW BUILDING C SOUTH ELEVATION
1/4" = 1'-0"

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Author
CHECKED BY:
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**NEW BUILDING C
ELEVATIONS**

A4.3

PROJECT #: 16-006

DATE: 03-29-16