

RIVIERA

The Riviera Condominium Association, Inc
2401 Collins Avenue
Miami, Beach, Florida 33140
Tel (305) 532-3742 • Fax (305) 531-1090
E-mail: rivieracondo@atlanticbbn.net

City of Miami Beach Building Dept. Officials
Historic Preservation Board

NOTICE OF INTENT

Re: Riviera Condominium Association, Inc.
2401 Collins Avenue
Miami Beach, Fl. 33140

Project: Replacement of High-Impact Glass Windows and Doors Plus Balcony Railing Options

Dear City Officials and Board Members,

Please be advise that our building is in the process of performing renovation changes to our building. The following are the changes being submitted for approval:

- 1) Changing all existing glass windows, sliding glass doors, and storefront panels to 9/16-inch-High Impact Glass. The City of Miami Beach Building Department has approved the changes of the glass color from clear to gray, the aluminum frame color from the existing bronze color to white, and changing the exterior building's paint color from the existing peach to a more updated approved color consistent with the building department, which includes white tones for the main body with gray accent trimming.

We would also like to request an approval from the Historic Preservation Board regarding the following changes to improve and enhance the panoramic view and appearance to our building from both the ocean and city views:

- 2) Change the existing fixed glass & windows to just fixed glass panels only on the unit's that face the east (beach) side and on the elevator foyer on every floor on the west (Collins Avenue) side.
- 3) Remove all the masonry walls in the balconies for safety and improvement purposes to meet new building department code with the following options:
 - a) Aluminum railing
 - b) High-Impact glass panels

The above proposed changes, if approve, will undoubtedly increase our building's appearance and surrounding neighborhood.

Thank you in advance and please feel free to contact me should you have any further questions.



Ileana Estevez
Property Manager

MIAMI BEACH

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, Florida 33139; Tel: 305.673.7550; Web: www.miamibeachfl.gov/planning

LAND USE BOARD HEARING APPLICATION

The following application is submitted for review and consideration of the project described herein by the land use board selected below. A separate application must be completed for each board reviewing the proposed project.

| Application Information | | | |
|--|-----------------------------|--|-------------------|
| FILE NUMBER HPB-18-0226 | | | |
| <input type="radio"/> Board of Adjustment <input type="checkbox"/> Variance from a provision of the Land Development Regulations <input type="checkbox"/> Appeal of an administrative decision | | <input type="radio"/> Design Review Board <input type="checkbox"/> Design review approval <input type="checkbox"/> Variance | |
| <input type="radio"/> Planning Board <input type="checkbox"/> Conditional use permit <input type="checkbox"/> Lot split approval <input type="checkbox"/> Amendment to the Land Development Regulations or zoning map <input type="checkbox"/> Amendment to the Comprehensive Plan or future land use map | | <input type="radio"/> Historic Preservation Board <input type="checkbox"/> Certificate of Appropriateness for design <input type="checkbox"/> Certificate of Appropriateness for demolition <input type="checkbox"/> Historic district/site designation <input type="checkbox"/> Variance | |
| <input type="checkbox"/> Other: | | | |
| Property Information - Please attach Legal Description as "Exhibit A" | | | |
| ADDRESS OF PROPERTY 2401 COLLINS AVE | | | |
| FOLIO NUMBER(S) Folio # 0232260140001 | | | |
| Property Owner Information | | | |
| PROPERTY OWNER NAME THE RIVIERA CONDOMINIUM ASSOCIATION, Inc. | | | |
| ADDRESS 2401 COLLINS AVE | CITY MIAMI BEACH | STATE FL. | ZIP CODE 33140 |
| BUSINESS PHONE (305)532-3742 | CELL PHONE (305)915-0474 | EMAIL ADDRESS RIVIERA.CONDO@ATLANTICBBN.NET | |
| Applicant Information (if different than owner) | | | |
| APPLICANT NAME | | | |
| ADDRESS | CITY | STATE | ZIP CODE |
| BUSINESS PHONE | CELL PHONE | EMAIL ADDRESS | |
| Summary of Request | | | |
| PROVIDE A BRIEF SCOPE OF REQUEST 1) WINDOW GLASS CONFIGURATION FROM WINDOWS + GLASS PANELS TO FIXED GLASS (Impact) 9/16 GRAY COLOR. 2) REMOVE CONCRETE WALLS IN ALL BALCONIES AND REPLACE WITH RAILINGS OR IMPACT GLASS PANELS IN THE NEAR FUTURE | | | |

| Project Information | | | |
|--|----------------------------|--|---|
| Is there an existing building(s) on the site? | | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| Does the project include interior or exterior demolition? | | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Provide the total floor area of the new construction. | | | SQ. FT. |
| Provide the gross floor area of the new construction (including required parking and all usable area). | | | SQ. FT. |
| Party responsible for project design | | | |
| NAME Abdel Karim Conrado | | <input type="checkbox"/> Architect | <input type="checkbox"/> Contractor |
| | | <input checked="" type="checkbox"/> Engineer | <input type="checkbox"/> Landscape Architect |
| | | <input type="checkbox"/> Tenant | <input type="checkbox"/> Other _____ |
| ADDRESS 10848 AVENIDA SANTA ANA | | CITY BOCA RATON | STATE FL |
| | | ZIP CODE 33498 | |
| BUSINESS PHONE (561) 313-5650 | CELL PHONE (SAME) | EMAIL ADDRESS ABDELKARIMCONRADO@GMAIL.COM | |
| Authorized Representative(s) Information (if applicable) | | | |
| NAME Jorge Acosta | | <input type="checkbox"/> Attorney | <input type="checkbox"/> Contact |
| | | <input type="checkbox"/> Agent | <input checked="" type="checkbox"/> Other Board/President |
| ADDRESS 2401 COLLINS AVE #1508 | | CITY MIAMI BEACH | STATE FL |
| | | ZIP CODE 33140 | |
| BUSINESS PHONE (305) 532-3742 | CELL PHONE 786 574-8900 | EMAIL ADDRESS RIVIERACONDO@ATLANTICBBN.NET | |
| NAME MAGIN PEREZ | | <input type="checkbox"/> Attorney | <input type="checkbox"/> Contact |
| | | <input type="checkbox"/> Agent | <input checked="" type="checkbox"/> Other Board/Treasurer |
| ADDRESS 2401 COLLINS AVE #1006 | | CITY MIAMI BEACH | STATE FL |
| | | ZIP CODE 33140 | |
| BUSINESS PHONE (305) 532-3742 | CELL PHONE 786-427-9952 | EMAIL ADDRESS RIVIERACONDO@ATLANTIC.BBN.NET | |
| NAME Sydney Cohen | | <input type="checkbox"/> Attorney | <input type="checkbox"/> Contact |
| | | <input type="checkbox"/> Agent | <input checked="" type="checkbox"/> Other Board/Director |
| ADDRESS 2401 COLLINS AVE #1601 | | CITY MIAMI BEACH | STATE FL |
| | | ZIP CODE 33140 | |
| BUSINESS PHONE (305) 532-3742 | CELL PHONE | EMAIL ADDRESS RIVIERACONDO@ATLANTICBBN.NET | |

Please note the following information:

- A separate disclosure of interest form must be submitted with this application if the applicant or owner is a corporation, partnership, limited partnership or trustee.
- All applicable affidavits must be completed and the property owner must complete and sign the "Power of Attorney" portion of the affidavit if they will not be present at the hearing, or if other persons are speaking on their behalf.
- To request this material in alternate format, sign language interpreter (five-day notice is required), information on access for persons with disabilities, and accommodation to review any document or participate in any City sponsored proceedings, call 305.604.2489 and select (1) for English or (2) for Spanish, then option 6; TTY users may call via 711 (Florida Relay Service).

Please read the following and acknowledge below:

- Applications for any board hearing(s) will not be accepted without payment of the required fees. All checks are to be made payable to the "City of Miami Beach".
- Public records notice – All documentation submitted for this application is considered a public record subject to Chapter 119 of the Florida Statutes and shall be disclosed upon request.
- In accordance with the requirements of Section 2-482 of the code of the City of Miami Beach, any individual or group that will be compensated to speak or refrain from speaking in favor or against an application being presented before any of the City's land use boards, shall fully disclose, prior to the public hearing, that they have been, or will be compensated. Such parties include: architects, engineers, landscape architects, contractors, or other persons responsible for project design, as well as authorized representatives attorneys or agents and contact persons who are representing or appearing on behalf of a third party; such individuals must register with the City Clerk prior to the hearing.
- In accordance with Section 118-31. – Disclosure Requirement. Each person or entity requesting approval, relief or other action from the Planning Board, Design Review Board, Historic Preservation Board or the Board of Adjustment shall disclose, at the commencement (or continuance) of the public hearing(s), any consideration provided or committed, directly or on its behalf, for an agreement to support or withhold objection to the requested approval, relief or action, excluding from this requirement consideration for legal or design professional service rendered or to be rendered. The disclosure shall: (I) be in writing, (II) indicate to whom the consideration has been provided or committed, (III) generally describe the nature of the consideration, and (IV) be read into the record by the requesting person or entity prior to submission to the secretary/clerk of the respective board. Upon determination by the applicable board that the forgoing disclosure requirement was not timely satisfied by the person or entity requesting approval, relief or other action as provided above, then (I) the application or order, as applicable, shall immediately be deemed null and void without further force or effect, and (II) no application form said person or entity for the subject property shall be reviewed or considered by the applicable board(s) until expiration of a period of one year after the nullification of the application or order. It shall be unlawful to employ any device, scheme or artifice to circumvent the disclosure requirements of this section and such circumvention shall be deemed a violation of the disclosure requirements of this section.
- When the applicable board reaches a decision a final order will be issued stating the board's decision and any conditions imposed therein. The final order will be recorded with the Miami-Dade Clerk of Courts. The original board order shall remain on file with the City of Miami Beach Planning Department. Under no circumstances will a building permit be issued by the City of Miami Beach without a copy of the recorded final order being included and made a part of the plans submitted for a building permit.

The aforementioned is acknowledged by:

Owner of the subject property Authorized representative



SIGNATURE

Jorge Acosta

PRINT NAME

6-15-2018

DATE SIGNED

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF Florida
COUNTY OF Miami-Dade

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY

STATE OF Florida
COUNTY OF Miami-Dade

I, Jorge Acosta PRESIDENT (print title) of Riviera Condo. Assn. (print name of corporate entity), being first duly sworn, depose and certify as follows: (1) I am the authorized to file this application on behalf of such entity. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (7) I am responsible for remove this notice after the date of the hearing.

SIGNATURE

Sworn to and subscribed before me this 15th day of June, 2018. The foregoing instrument was acknowledged before me by Jorge Acosta, who has produced personally as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: 01-02-2022



PRINT NAME

POWER OF ATTORNEY AFFIDAVIT

STATE OF _____

COUNTY OF _____

I, _____, being first duly sworn, depose and certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize _____ to be my representative before the _____ Board. (3) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (4) I am responsible for remove this notice after the date of the hearing.

PRINT NAME (and Title, if applicable)

SIGNATURE

Sworn to and subscribed before me this _____ day of _____, 20____. The foregoing instrument was acknowledged before me by _____, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

NOTARY PUBLIC

My Commission Expires: _____

PRINT NAME

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries or partners. If any of the contact purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individuals(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.

NAME

DATE OF CONTRACT

NAME, ADDRESS AND OFFICE

% OF STOCK

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application if filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

**DISCLOSURE OF INTEREST
CORPORATION, PARTNERSHIP OR LIMITED LIABILITY COMPANY**

If the property that is the subject of the application is owned or leased by a corporation, partnership or limited liability company, list ALL of the owners, shareholders, partners, managers and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

| NAME OF CORPORATE ENTITY | |
|---------------------------------|-----------------------|
| NAME AND ADDRESS | % OF OWNERSHIP |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

| NAME OF CORPORATE ENTITY | |
|---------------------------------|-----------------------|
| NAME AND ADDRESS | % OF OWNERSHIP |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

If there are additional corporate owners, list such owners, including corporate name and the name, address and percentage of ownership of each additional owner, on a separate page.

DISCLOSURE OF INTEREST
TRUSTEE

If the property that is the subject of the application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.

| TRUST NAME | |
|-------------------|------------|
| NAME AND ADDRESS | % INTEREST |
| <hr/> | <hr/> |

COMPENSATED LOBBYIST

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

| NAME | ADDRESS | PHONE |
|-------|---------|-------|
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

Additional names can be placed on a separate page attached to this application.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) AN APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Florida
COUNTY OF Miami-Dade

I, Jorge Acosta, being first duly sworn, depose and certify as follows: (1) I am the applicant or representative of the applicant. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

[Signature]
SIGNATURE

Sworn to and subscribed before me this 28 day of August, 2018. The foregoing instrument was acknowledged before me by personally, who has produced _____ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

My Commission Expires: 01-02-2022



[Signature]
NOTARY PUBLIC
Ileana R. ESTEVEZ
PRINT NAME

2018 FLORIDA NOT FOR PROFIT CORPORATION ANNUAL REPORT

DOCUMENT# 751790

Entity Name: THE RIVIERA CONDOMINIUM ASSOCIATION, INC.

Current Principal Place of Business:

2401 COLLINS AVENUE
MIAMI BEACH, FL 33140

Current Mailing Address:

2401 COLLINS AVENUE - OFFICE
MIAMI BEACH, FL 33140 US

FEI Number: 59-2022072

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

BECKER & POLIAKOFF PA
C/O ROSA DE LA CAMARA, ESQ.
121 ALHAMBRA PLAZA, 10TH FLOOR
CORAL GABLES, FL 33134 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Officer/Director Detail :

Title VP
Name CHABAN, NASIN
Address 2401 COLLINS AVENUE
1001
City-State-Zip: MIAMI BEACH FL 33140

Title P
Name ACOSTA, JORGE
Address 2401 COLLINS AVENUE
1508
City-State-Zip: MIAMI BEACH FL 33140

Title T
Name PEREZ, MAGIN
Address 2401 COLLINS AVENUE
1006
City-State-Zip: MIAMI BEACH FL 33140

Title S
Name COHEN, SYDNEY G
Address 2401 COLLINS AVENUE
1601
City-State-Zip: MIAMI BEACH FL 33140

Title D
Name DUBOY-GONZALEZ, MIRIAM
Address 2401 COLLINS AVENUE
1712
City-State-Zip: MIAMI BEACH FL 33140

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am an officer or director of the corporation or the receiver or trustee empowered to execute this report as required by Chapter 617, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JORGE ACOSTA

PRESIDENT

01/17/2018

Electronic Signature of Signing Officer/Director Detail

Date

17078

Owner Biscayne International

Permit No. 88469

Cost \$ 8,333,325.00

Lot 1 & 2 Block 4

Subdivision M.B. Improv. Co.

Address 2401 Collins Avenue

3 Commercial Stores
148 - 1 Bed - 2 Bath

General Contractor Isaac Sklar

Bond No.

15 - 1 Bed - 1 1/2 Bath

Architect Isaac Sklar

Engineer Ruben Baran

14 - 2 Bed - 2 Bath

Zoning Regulations:

Use RM125

Area

Lot Size 165 x 314

177

Building Size:

Front 154'

Depth 284'

Height 173'

Stories 17

Certificate of Occupancy No. #4858 8-8-80

Use RM125

Type of Construction

Foundation

conc. piles Roof

Date 1-29-74

PLUMBING Contractor #57386-Sam Bloom Plumbers, Inc.

Sewer Connection 1

Date

Water Closets 367

Swimming Pool Traps

Temporary Water Closet #57038-Able Orn Iron-3-5-79
1 #57396-Able Orn Iron-6-25-79
5 Spouts

Lavatories 382

Steam or Hot Water Boilers

Wells

Bath Tubs 177

Showers 170

ROUGH APPROVAL

FINAL APPROVAL

Urinals 1

Sinks 178

GAS Contractor

Date

Dish Washing Machine 77

Gas Ranges

Gas Frylators

Laundry Trays 15

Gas Water Heaters

Gas Pressing Machine

Laundry Washing Machines 5

Gas Space Heaters

Gas Vents for Stove

Drinking Fountains 1

Gas Refrigerators

Floor Drains 20

Gas Steam Tables

Grease Traps

Gas Broilers

GAS Rough APPROVAL

Safe Wastes

GAS FINAL APPROVAL

AIR CONDITIONING Contractor

190 a/c drains

1 utility sewer

SEPTIC TANK Contractor

1 fire sprinkler

65 roof inlet

OIL BURNER Contractor

2 heater-new installation

1 meter set (gas)

SPRINKLER Contractor

1 swim pool indirect waste water supply 1 gas piping=

ELECTRICAL Contractor #75579 Levitz Electric

Date 6-27-79

7900 OUTLETS

Switches

Ranges 177

1 Temporary Service #75460-

465 fire alarm outlets

Lights

Irons

Neon Transformers Levitz Elect.

Receptacles

Refrigerators

Sign Outlets

HEATERS

Water

Motors

Meter Change

Space

Appliances

Centers of Distributions

Service

VIOLATIONS

Electrical Contractor

Violations

FINAL APPROVAL

By

Date

#7008

BUILDING PERMITS: #M9980 - Temptech - 1 3 1/2ton A/C central - 4-15-88 - Apt 1908 *W*

- #56972-Harold G. Jaffer, Inc. - 1 6" supply well-2-22-79
- #57003-Rose Septic Tank- 750#/100 sq ft-1-26-79
- #57639-Sam Bloom Plumbers. - Fire Standpipe and Sprinkler System. 9-5-79
- #58096-J Harold G. Jaffer, Inc. - 1 discharge well-1-21-80
- 6/18/80 - heater, new installation - pool piping #58571 - McGrath Pools
- #58833--Peoples Gas System--1 Meter Set(Gas)--8/28/80
- 4/28/81 - #59450 - Peoples Gas System - 1 gas meter set - \$5.00

Electrical Permits:

- #75579- Levitz Electric- 1-3000, 1-2000, 1-800, 1-400 service, 180-100 am, 3-400a, 2=250amps, 1-150a, 1-200 amps, 1-800 amps
- 1-1200 amps; 3-1½HP motors, over 1-3HP; 1-5HP motors, over 3-5HP; 2-7½ motors, over 5-8HP, 1-10 motors, over 8-10HP,
- 2-15 motors, over 10-25HP, 2-30 motors, over 25-100 HP, 1 motors, over 100 HP, 259 Kw generator transformers, 1 fire alarm
- master, 1 TV master, 410 television outlets, 361 fans- 28 dryers, 28 washers, 177 refrigerators, 177 dishwashers, 177 tele-
- phone outlets-6-27-79
- 4/16/81 - #59415- Silver Plumbing - emergency sprinkler repair - \$10
- 4/16/81 - #59416 - Silver Plumbing - gas hook-up to pool heater - \$5.00
- 5/15/81 - #77189 - Levitz Electric, Inc. - Raceways only, City of Miami Beach will install all conductors - NC
- #78097 7/27/82 County Wide - 1 telephone booth
- #78904 10/3/83 Ocean Elect - 3 light outlets, 5 recept, 7 motor 0-1 hp
- #78904 10/3/83 Ocean Elect - 3 light outlets, 5 recept, 7 motors 0-1 hp
- #79671 8/27/84 Ocean Elect - 200 amp service size

Building Permits:

- #08086-Riverview Construction- 260 chain link fence-\$600-10-15-75
M04423-Ottis Elevator Co.-3 elevators-escalators-\$240,000-7-16-79
#15846-Therm Alum Ind.- Install windows and sliding glass doors-\$50,000-10-23-79
M04518-Air King of Fla.--409 tons central a/c, \$3000 mechanical ventilation-11-1-79
- # 17656 Ideal Roofing & Sheet Metal Roof, built up insul. on concrete \$68,000. 3-10-80
6/10/80 swimming pool renovation, pool interior and mechanical 55,000 gal. 10,000. #90146 McGrath Pools
2-17-81/#19767/for sale sign/Gordon Malleod Realtor/\$5
#91119 10/31/83 D.E. MacDonald aluminium security gates and fence 190 l.f. as per plans \$23,500
#24784 12/1/83 Hurst Awning - folding shutters \$700.
#25134 3/19/84 Norman F. meyer Const - (no work in right of way) pressure clean, seal & paint driveway and entire 2nd fl parking area \$9,381.25
#25279 4/26/84 Seaview Ind - instal alum accord type storm shutters & 2 glass door 6x8' \$1,200.
#M07200 3/12/85 Acme Chute Co - truash chute repair
#26784 Cohen Tile Center tile floor at entry & back lobby & entry wall, all existing \$12,000.
#27489 10/4/85 Weather Control Shutters installation of aluminum shutters apt 1102 \$950.
#27490 10/4/85 Weather Cpntrl Shutters installation of aluminum shutters apt 802 \$960.
#27507 10/9/85 Weather Cpntrl Shutters install of aluminum shutters apt 801 \$3,000.
#27508 10/9/85 Weather Control Shutters installation of aluminum shutters apt 1701 \$3,000.
#27509 10/9/85 Weather Control Shutters installation of aluminum shutters apt 1901 \$3,000.
#27510 10/9/85 Weather Control Shutters installation of aluminum Shutters \$3,000.
#28232 4/4/86 Weather Cpntrl Shutters installation of aluminum shutters \$3,000.
#08301 7/29/86 Total Appliance 1-2 ton air cond central change out of 2 ton cond unit
#M08473 10/7/86 All-In-1 10/7/86 2 ton cond unit air cond central replace of roof unit
#29365 10/29/86 Herman Parodi pressure cleaning waterproof & painting \$3,800.
#M09068 - R.F.A. Air Cond. - 1 A/C (Central) - 6-26-87

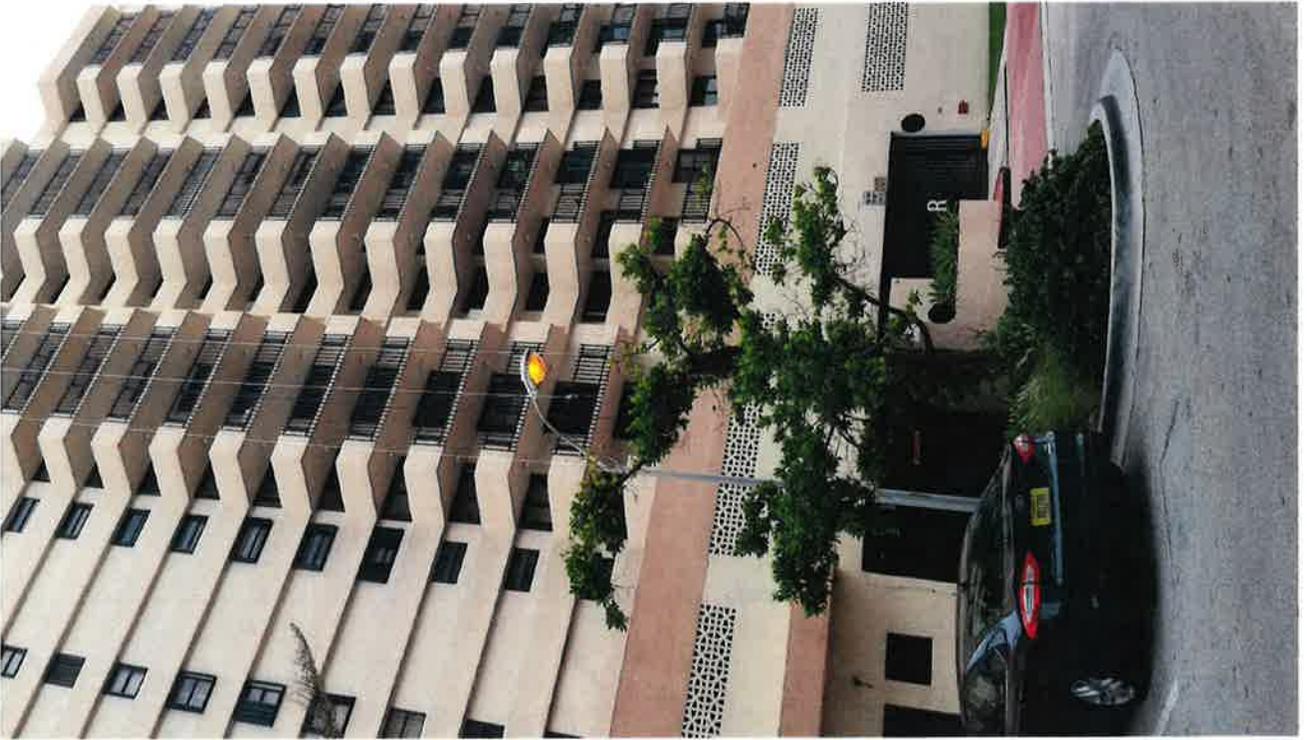
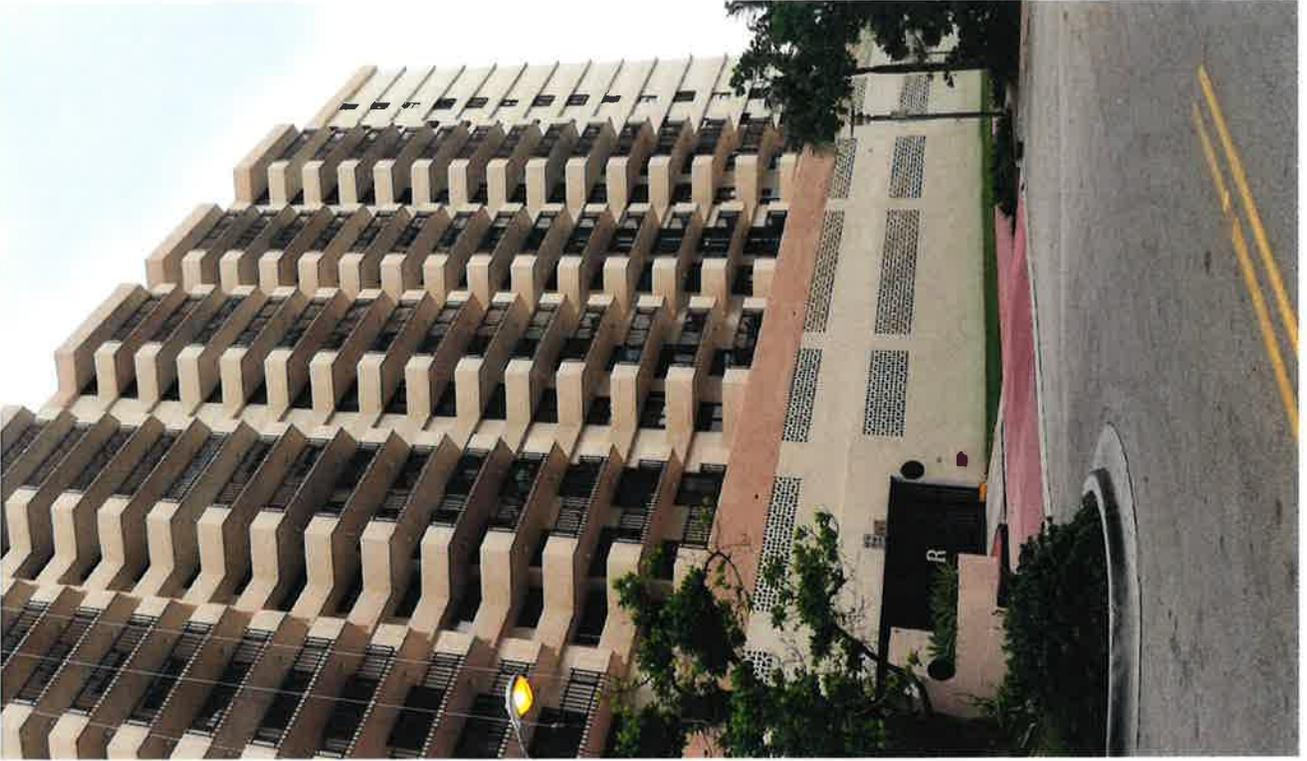
#M-04464; Sam Bloom Plumbers. 2 600,000 BTU Hot Water Heater. 8-29-79

Plumbing Permits:

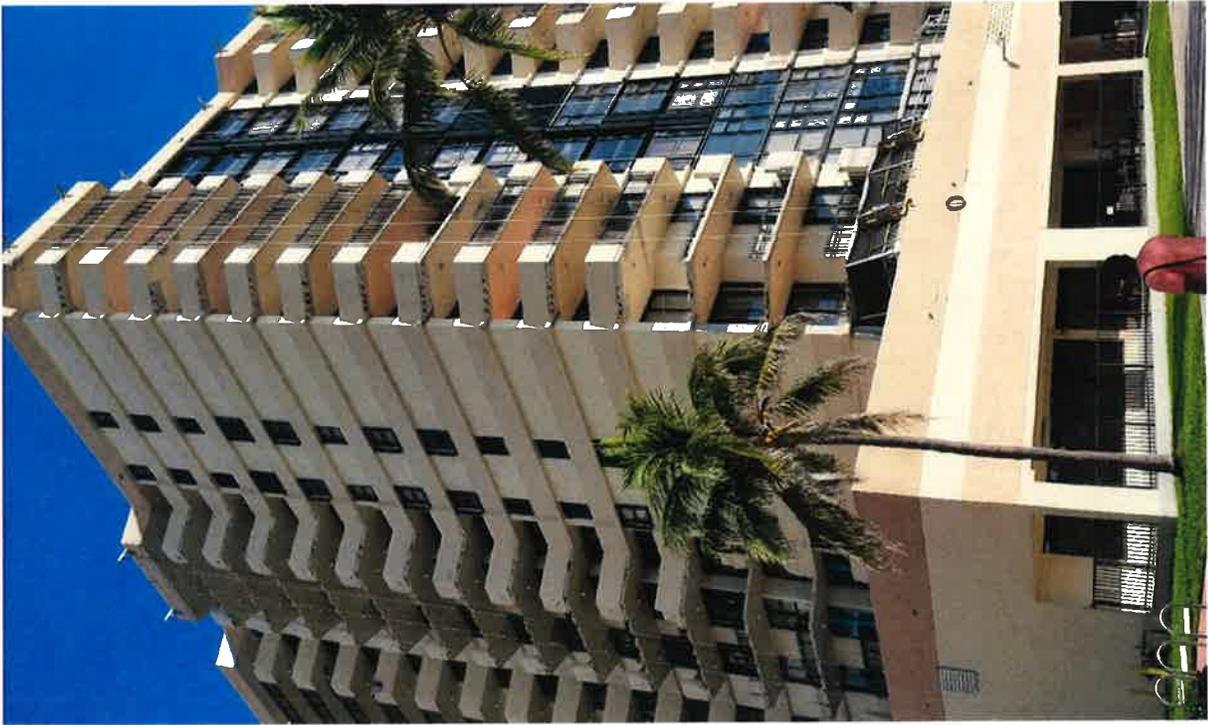




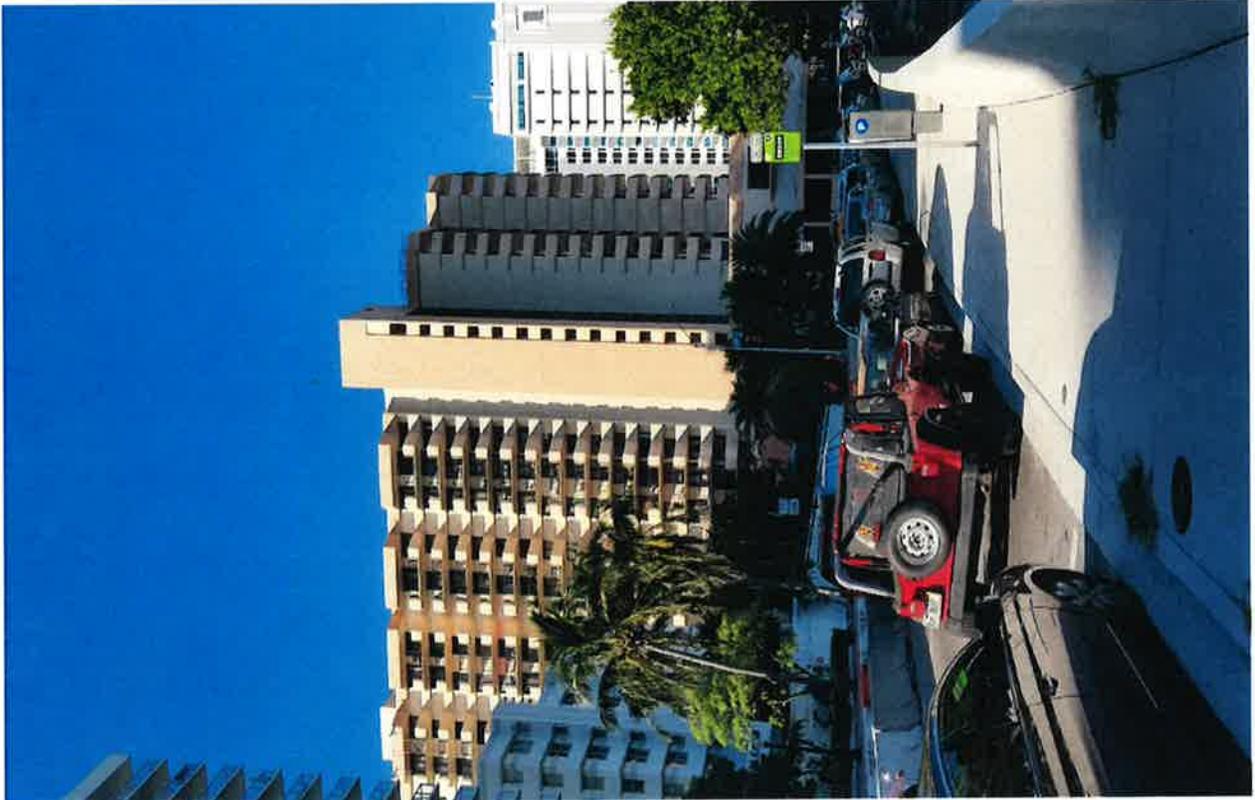












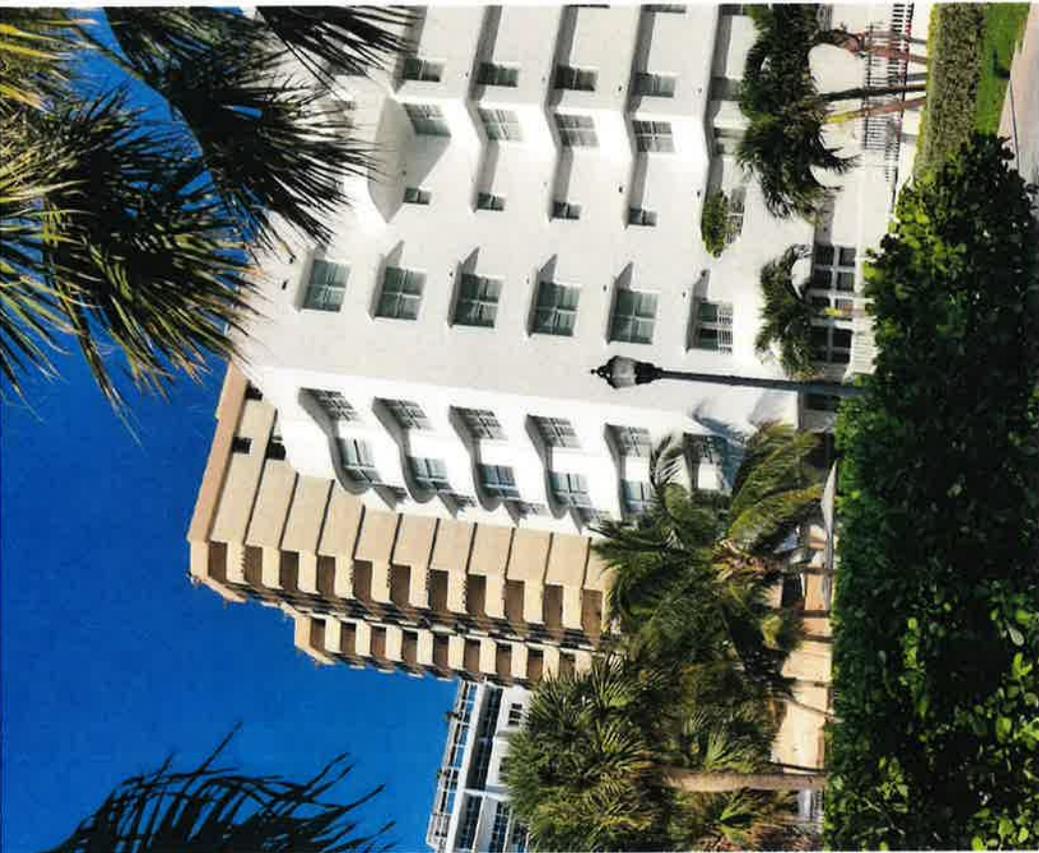


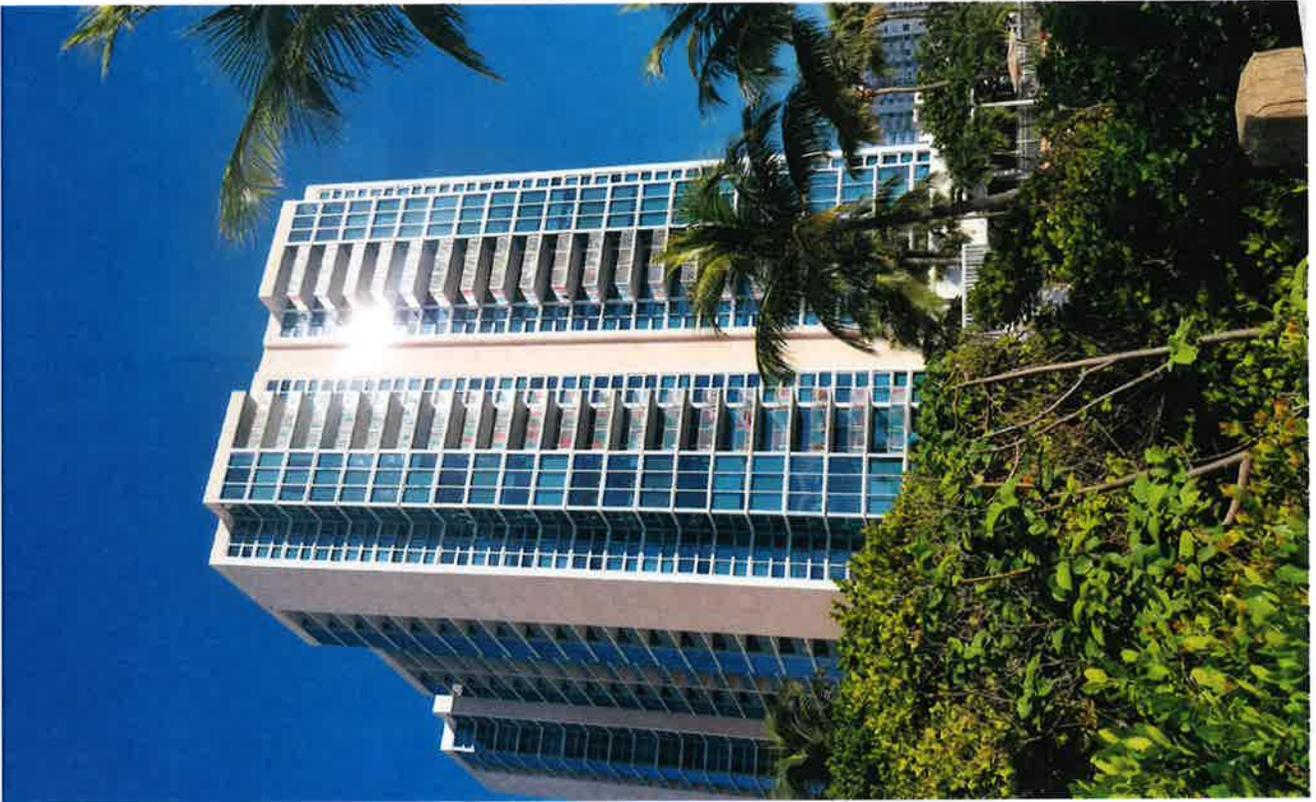


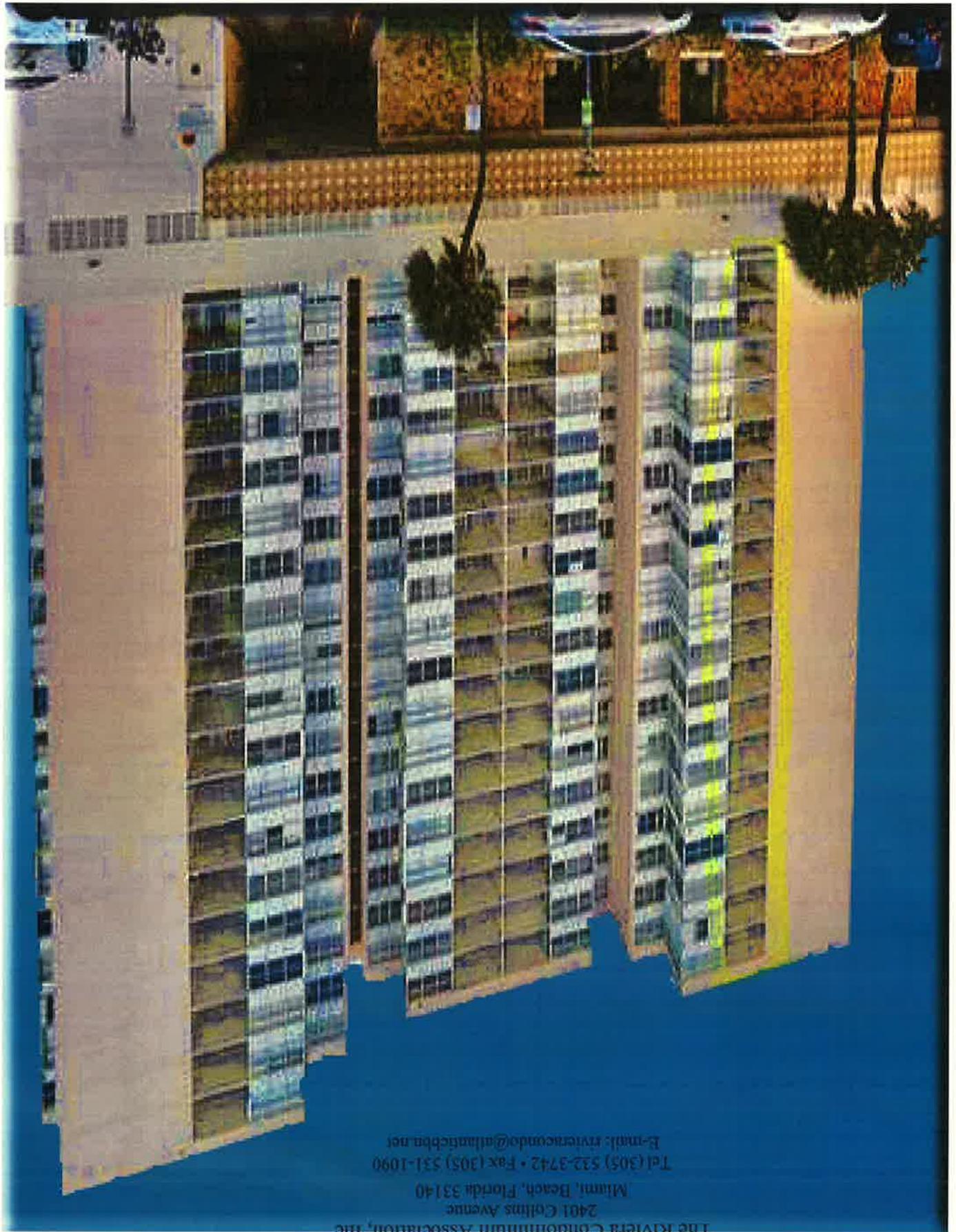












The Riviera Condominium Association, Inc
2401 Collins Avenue
Miami, Beach, Florida 33140
Tel (305) 532-3742 • Fax (305) 531-1090
E-mail: rivieracendo@atlantibca.net

RIVIERA



The Riviera Condominium Association, Inc.
2401 Collins Avenue
Miami, Beach, Florida 33140
Tel (305) 532-3742 • Fax (305) 532-3743
E-mail: rivieracondo@adam.com

RIVIERA

