

HISTORIC PRESERVATION BOARD SUBMITTAL



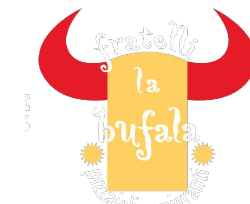
HISTORIC PRESERVATION BOARD
FINAL SUBMITTAL
SEPT. 07, 2018



OWNER:
SCOTT ROBINS COMPANIES
230 FIFTH STREET, MIAMI BEACH, FL 33139
TEL: 305-674-0600
EMAIL: Info@RobinsCompanies.com



ARCHITECT:
JSK ARCHITECTURAL GROUP (AA 0003187)
137 GIRALDA AVENUE, CORAL GABLES, FL 33134
TEL: 305-448-1986 / FAX: 775-206-2139
JORGE S. KUPERMAN, AIA (AR 0016353)



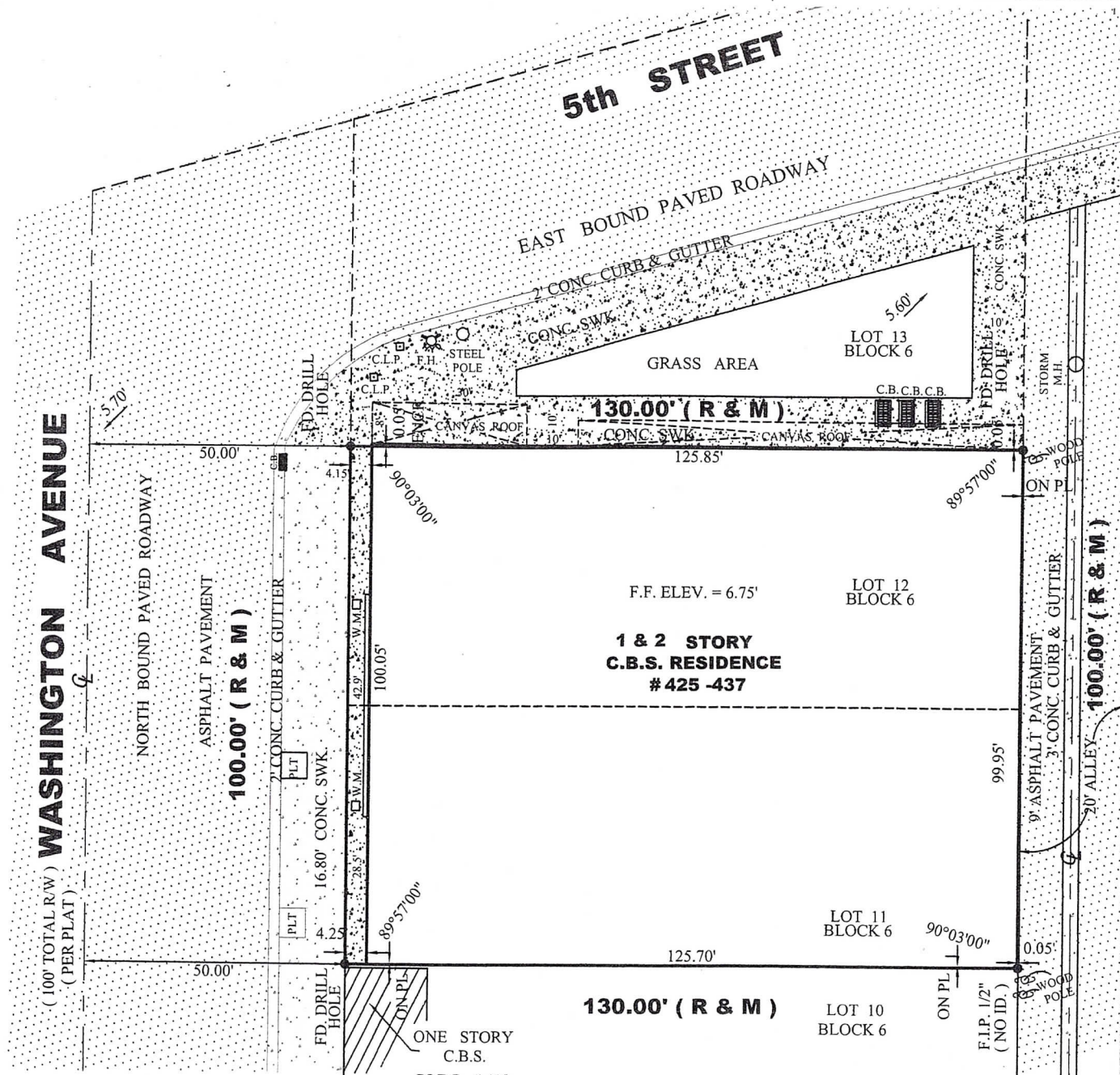
TENANT:
FRATELLI LA BUFALA
437 WASHINGTON AVENUE, MIAMI BEACH, FL 33139
TEL: 305-532-0700
LUCA D'ANGELO & LARRY MELE

SCOPE OF WORK

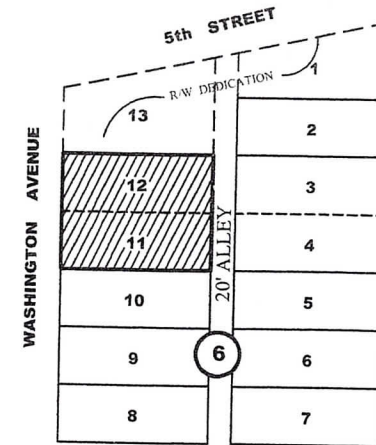
THE WORK DESCRIBED HEREIN INVOLVES: INSTALLING GLASS GARAGE-STYLE DOORS FOR AL-FRESCO DINING ALONG FRONT FACADE FOR PROJECT IN CONSTRUCTION UNDER PERMIT BC1704914 AND RV1705058.

INDEX OF DRAWINGS

ARCHITECTURE		FIRST SUBMITTAL 09/07/2018		FINAL SUBMITTAL 09/07/2018	
SHEET NO.	DESCRIPTION				
A-000	COVER SHEET	●	●		
	SURVEY	●	●		
A-100	EXISTING SITE PLAN	●			
A-101	PROPOSED LIFE SAFETY PLAN	●			
A-200	EXISTING FLOOR PLAN, REFLECTED CEILING PLAN	●			
A-201	PROPOSED PLANS	●			
A-300	EXISTING ELEVATIONS	●			
A-301	PROPOSED ELEVATIONS	●			
A-302	PROPOSED ELEVATIONS	●			
A-400	EXISTING BUILDING PHOTOS	●			
A-401	EXISTING CONTEXTUAL PHOTOS	●			
A-402	EXISTING INTERIOR SPACE PHOTOS	●			
A-500	PROPOSED SECTIONS	●			
A-600	PROPOSED RENDERS	●			



LOCATION SKETCH
SCALE: NTS



13,000 sq. ft.
0.30 acres

ABBREVIATIONS:

SWK=SIDEWALK, CBS=CONCRETE BLOCK STRUCTURE, CLF=CHAIN LINK FENCE, PL=PROPERTY LINE, DUE=DRAINAGE UTILITY EASEMENT, IP=IRON PIPE, F=FOUND, A/C=AIR CONDITIONER PAD, P/C=PROPERTY CORNER, D/H=DRILLED HOLE, WF=WOODEN FENCE, RES=RESIDENCE, CL=CLEAR, RB=REBAR, UE=UTILITY EASEMENT, CONC=CONCRETE SLAB, R/W=RIGHT OF WAY, DE=DRAINAGE EASEMENT, C/L=CENTER LINE, O=DIAMETER, TYP=TYPICAL, M=MEASURED, R=RECORDED, ENCR=ENCROACHMENT, COMP=COMPUTER, ASH=ASPHALT, N/D=NAIL & DISC, S=SET, FEE=FINISH FLOOR ELEVATION, O/S=OFFSET, P/P=POWER POLE, OHP=OVERHEAD POWERLINE, VM=WATER METER, WOOD FENCE=WOOD FENCE, MASONRY WALL=MASONRY WALL, CONCRETE=CONCRETE, MAINTENANCE & DRAINAGE EASEMENT=M & D.E.

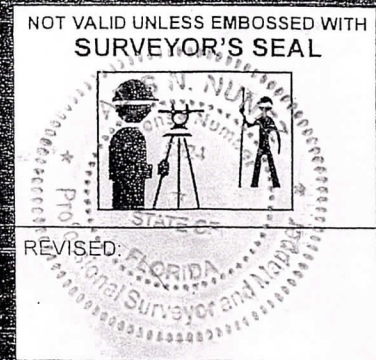
ELEVATION BASED ON LOC. # 4231 NE
CBM# D-112-R ELV. 4.69' TYPE OF SURVEY: BOUNDARY SURVEY

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. 4) LEGAL DESCRIPTION PROVIDED BY CLIENT. 5) UNDERGROUND ENCROACHMENTS NOT LOCATED. 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. 7) OWNERSHIP OF FENCES ARE UNKNOWN. 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.

PROPERTY ADDRESS: 437 WASHINGTON AVE., MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION: LOTS 11 AND 12, IN BLOCK 6, OF OCEAN BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

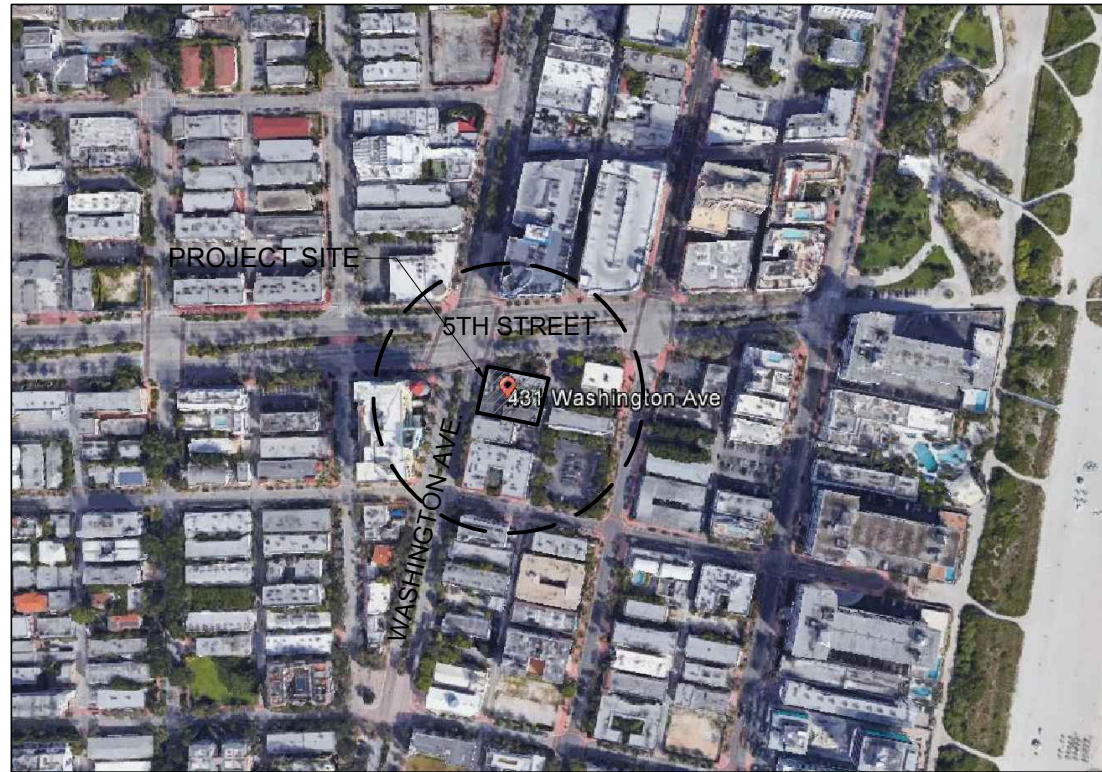


I HEREBY CERTIFY That the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes.
There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

Adis N. Nunez
ADIS N. NUNEZ
REGISTERED LAND SURVEYOR
STATE OF FLORIDA #5924

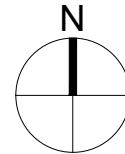
SINCE 1987
BLANCO SURVEYORS INC.
Engineers • Land Surveyors • Planners • LB # 0007059
555 NORTH SHORE DRIVE
MIAMI BEACH, FL 33141
(305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

FLOOD ZONE: AE	SUFFIX: L	DATE: 9/11/09	BASE: 8'
PANEL: 0319	COMMUNITY #: 120651		
DATE: 9/6/18	SCALE: 1" = 30'	DWN. BY: F. Blanco	JOB No: 18-570



LOCATION MAP

SCALE: N.T.S.



LEGAL DESCRIPTION

LOTS 11 AND 12, OF BLOCK 6, OF "OCEAN BEACH, FLA.", ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2 AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; SITUATED IN THE CITY OF MIAMI BEACH, FLORIDA.

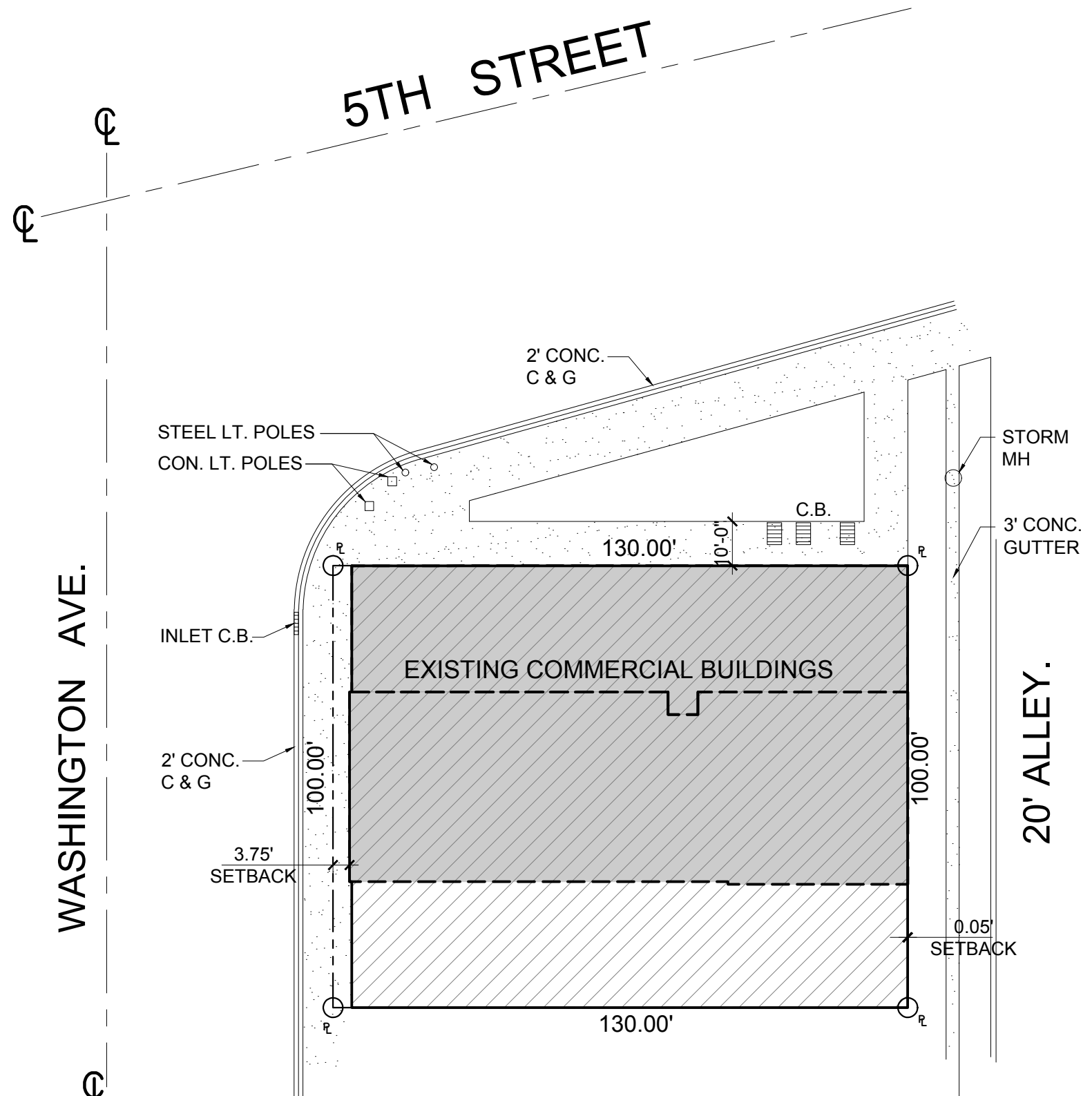
ZONING DESCRIPTION

USE: COMMERCIAL
ZONING: C-PS2

AREAS	EXISTING
GROSS LOT AREA:	13,000 S.F.
BUILDING AREA:	12,600 S.F.

SETBACKS	REQUIRED	EXISTING
FRONT STREET:	0.00'	3.75' (ALONG WASHINGTON AVE)
REAR:	0.00'	0.05'
SIDE:	0.00'	0.00'

PARKING
PARKING REQUIRED: 0 SPACES
PARKING PROVIDED: 0 SPACES



EXISTING SITE PLAN

SCALE: 1" = 30'



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HPB FINAL SUBMITTAL
FILE NO. HPB18-0242

HPB FINAL SUBMITTAL

REVISIONS	DATE
HPB FIRST SUBMITTAL COMMENTS	8/31/2018

PROJECT NUMBER
2018-022

DATE
09/07/2018

SHEET TITLE
EXISTING SITE PLAN

DRAWN BY
R.B.

CHECKED BY
J.S.K.

SHEET NUMBER
A-100

LIFE SAFETY INFORMATION:

OCCUPANT LOAD CALCS (FBC TABLE 1004.1.1):

PROPOSED AREA	SQUARE FOOTAGE	OCCUPANT LOAD
1- ASSEMBLY AREA (without fixed seats)	1,932 SQ.FT./ 15 (NET)	128.8 OCCUPANTS
2- KITCHEN AREA	1,005 SQ.FT./100 (GROSS)	10.05 OCCUPANTS
3- STORAGE AREA	249 SQ.FT./300 (GROSS)	0.83 OCCUPANTS
TOTAL OCCUPANCY LOAD:		139.7 OCCUPANTS

FIRE SAFETY INFORMATION FOR (A-2) RESTAURANT/BAR OCCUPANCY:

AS PER N.F.P.A. 101. NON-SPRINKLERED (NOT PROTECTED)

MEANS OF EGRESS:	CODE REQUIRED:	PROVIDED
AS PER 12.2.4.	2 EXITS (SEC. 38.2.4.1.2)	3 (EXISTING)

FIRE EXTINGUISHERS:	CODE REQUIRED:	PROVIDED
(1) PER 2,500 SQ. FT. OF AREA W/ 75'-0" MAX. TRAVEL DIST.	F.B.C. 2017 ED. F.F.P.C. 2017 6TH ED. SECT. 9.7.4	2 (EXISTING)

FIRE SAFETY INFORMATION FOR NEW OCCUPANCY (A-2) RESTAURANT/BAR:
AS PER N.F.P.A. 101, 2012 ED. ANNEX A, TABLE A7.6 FOR NEW: (A-2) BAR/LOUNGE

MAX. COMMON PATH (C.P.)	MAX. REQUIRED	PROVIDED:
(A-2) BAR/RESTAURANT	20'-0" (UNPROTECTED)	N/A
MAX. TRAVEL DISTANCE (T.D.)		
(A-2) BAR/RESTAURANT	200'-0" (UNPROTECTED)	94'-6" (MAX.)
DEAD END LIMIT (D.E.)		
(A-2) BAR/RESTAURANT	20'-0" (UNPROTECTED)	N/A

NOTE:
ALL DOORS ALONG AN ACCESSIBLE ROUTE SHALL HAVE 'U' TYPE PULLS & COMPLY W/ FBC ACCESSIBILITY 2017, 6th ED. SECTION 404.2.7

FIRE EXTINGUISHER NOTES:
(2) EXISTING 2A-10BC TYPE FIRE EXTINGUISHERS TO REMAIN.
NOTE: FOR EACH 2500 SQ. FT. OF BUILDING AREA WITH A 75'-0" MAX TRAVEL DISTANCE, AS PER FBC 2017-906, FFPC 2017 6TH SECT.-9.7.4.1. SEE FLOOR PLAN FOR LOCATIONS.

FLAME SPREAD NOTE:
ALL INTERIOR FINISHES INCLUDING WALLS, PARTITIONS CEILINGS AND OTHER EXPOSED INTERIOR SURFACES, COMPRISING BOTH PLASTER, WOOD OR OTHER INTERIOR FINISH MATERIAL AND ANY SURFACING MATERIAL SUCH AS PAINT OR WALL PAPER APPLIED THEREOF SUCH AS PAINT OR WALL PAPER APPLIED THEREOF SHALL HAVE A FLAME SPREAD CLASSIFICATION OF "B" AS PER N.F.P.A. 101 2017 SEC. 12.3.3.1 (ASSEMBLY) WITH <300 OCCUPANTS AS PER F.B.C. 2017 ED. SECTION 803.1.1 AND TABLE 803.9 FOR NON-SPRINKLERED STRUCTURES. ALL INTERIOR FINISHES SHALL COMPLY WITH NFPA 101, SECTION 10.2.2.2.

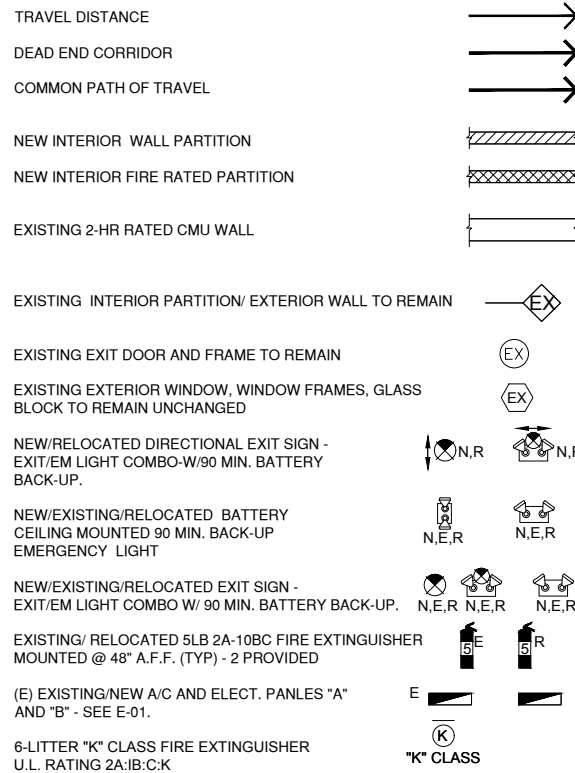
LIFE SAFETY NOTES:

- NO DOOR USED IN A MEANS OF EGRESS SHALL SWING AGAINST THE DIRECTION OF EXIT TRAVEL WHERE DOORS ARE REQUIRED TO SWING IN THE DIRECTION OF EXIT TRAVEL EXCEEDING 50 OCCUPANTS.
- DOORS SHALL BE ARRANGED TO BE READILY OPENED FROM THE EGRESS SIDE WHENEVER THE BUILDING IS OCCUPIED. LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF KEY, TOOL, SPECIAL KNOWLEDGE, OR EFFORT FOR OPERATION FROM THE INSIDE OF THE BUILDING.
- AS PER SECTION 7.2.1.7 AND 12.2.2.3 OF N.F.P.A. 101 2017, ALL EXISTING EGRESS DOORS HAVE AN EXISTING LOCK WITH PANIC HARDWARE OR FIRE EXIT HARDWARE WITH AN OCCUPANT LOAD OF 100 OR MORE PERSONS.
- THE MINIMUM WIDTH OF ANY EXIT ACCESS SHALL BE AS SPECIFIED FOR INDIVIDUAL OCCUPANCIES BY CHAPTER 8 THRU 30 (NFPA) BUT IN NO CASE SHALL SUCH WIDTH BE LESS THAN 36"
- FLOOR SURFACES ON BOTH SIDES OF DOOR SHALL HAVE NO LESS THAN 1/2" CHANGE IN ELEVATION 101-7.2.1.3 FFPC.
- DOOR ASSEMBLIES IN FIRE RATED BARRIER SHALL BE OF THE APPROPRIATE FIRE RATING FOR LOCATION 101.8.2.3.2 FFPC.
- FOR NEW LIFE SAFETY EQUIPMENT REFER TO E-1.

LIFE SAFETY INFORMATION

OCCUPANCY GROUPS: (A-2) ASSEMBLY - RESTAURANT/BAR
CODE COMPLIANCE: FLORIDA BUILDING CODE 2017, 6th EDITION
NFPA 2017 6TH ED.
LIFE SAFETY CODE 2017
FLORIDA FIRE PREVENTION CODE 2017

LIFE SAFETY LEGEND



CODE INFORMATION

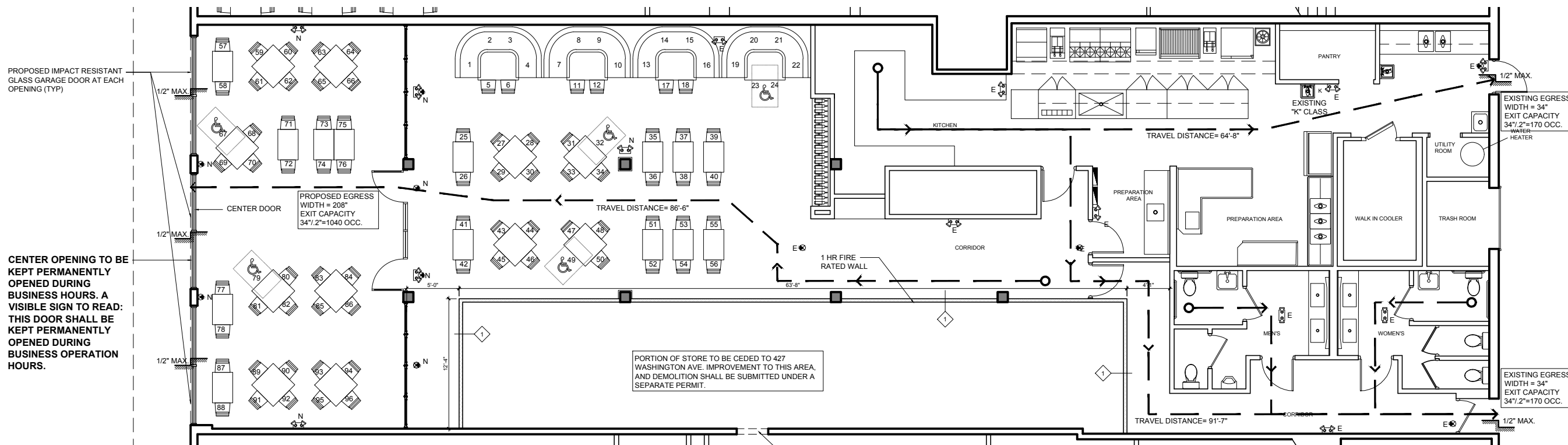
- APPLICABLE CODES:**
(F.B.C.) FLORIDA BUILDING CODE: BUILDING, 2017 6TH EDITION
(F.B.C.E.) FLORIDA BUILDING CODE: EXISTING BUILDING, 2017 6TH EDITION
(F.F.P.C.) FLORIDA FIRE PREVENTION CODE - 6TH EDITION
(N.F.P.A.) LIFE SAFETY CODE HANDBOOK - LATEST EDITION
(F.A.C.) FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION - LATEST EDITION
(MDG) MDAD DESIGN GUIDELINES
(LSMP) MDAD LIFE SAFETY MASTER PLAN
- CLASSIFICATION OF WORK:** (F.B.C.E. SECTION 504)
ALTERATION - LEVEL 2
- OCCUPANCY CLASSIFICATION:** (A-2) ASSEMBLY
- DURING CONSTRUCTION:**
COMPLY WITH FFPC 101:4.6.10 & NFPA 1 CHAPTER 16
- REHAB CLASS:** RENOVATION (FFPC 101: 43)

SEATING & TABLE SCHEDULE

TABLE TOP STYLES	2 TOPS	4 TOPS	6 TOPS
TABLE TOP QUANTITY	14	11	4
SEAT QUANTITY	28	44	24

ADA ACCESSIBLE 5% = 7 SEATS TOTAL NUMBER OF SEATS: 96

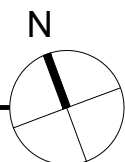
BUILDING SHALL NOT BE OCCUPIED DURING CONSTRUCTION. BUILDING IS CURRENTLY VACANT.



PROPOSED LIFE SAFETY FLOOR PLAN

1
A-101

SCALE: 3/32" = 1'-0"



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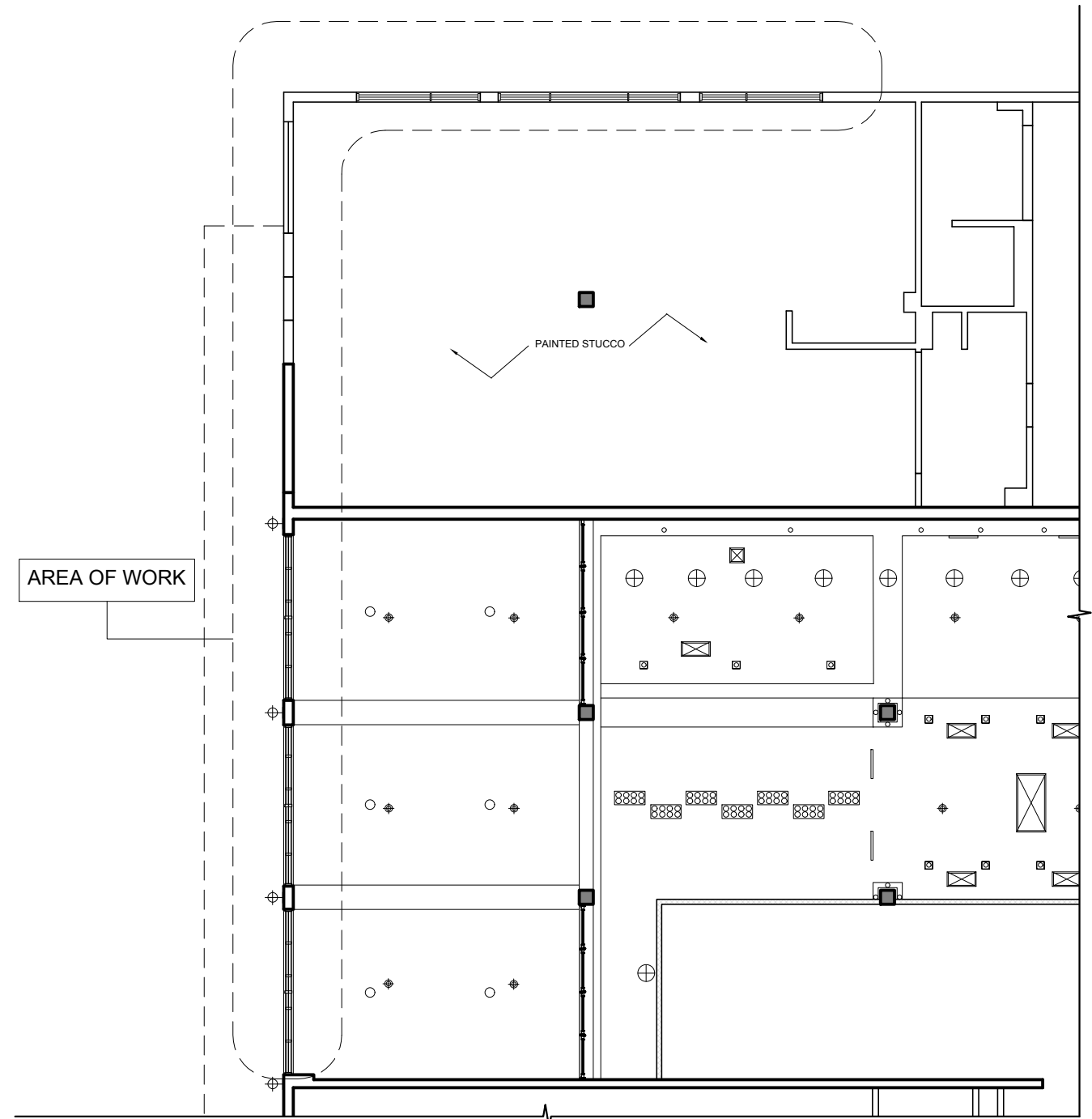
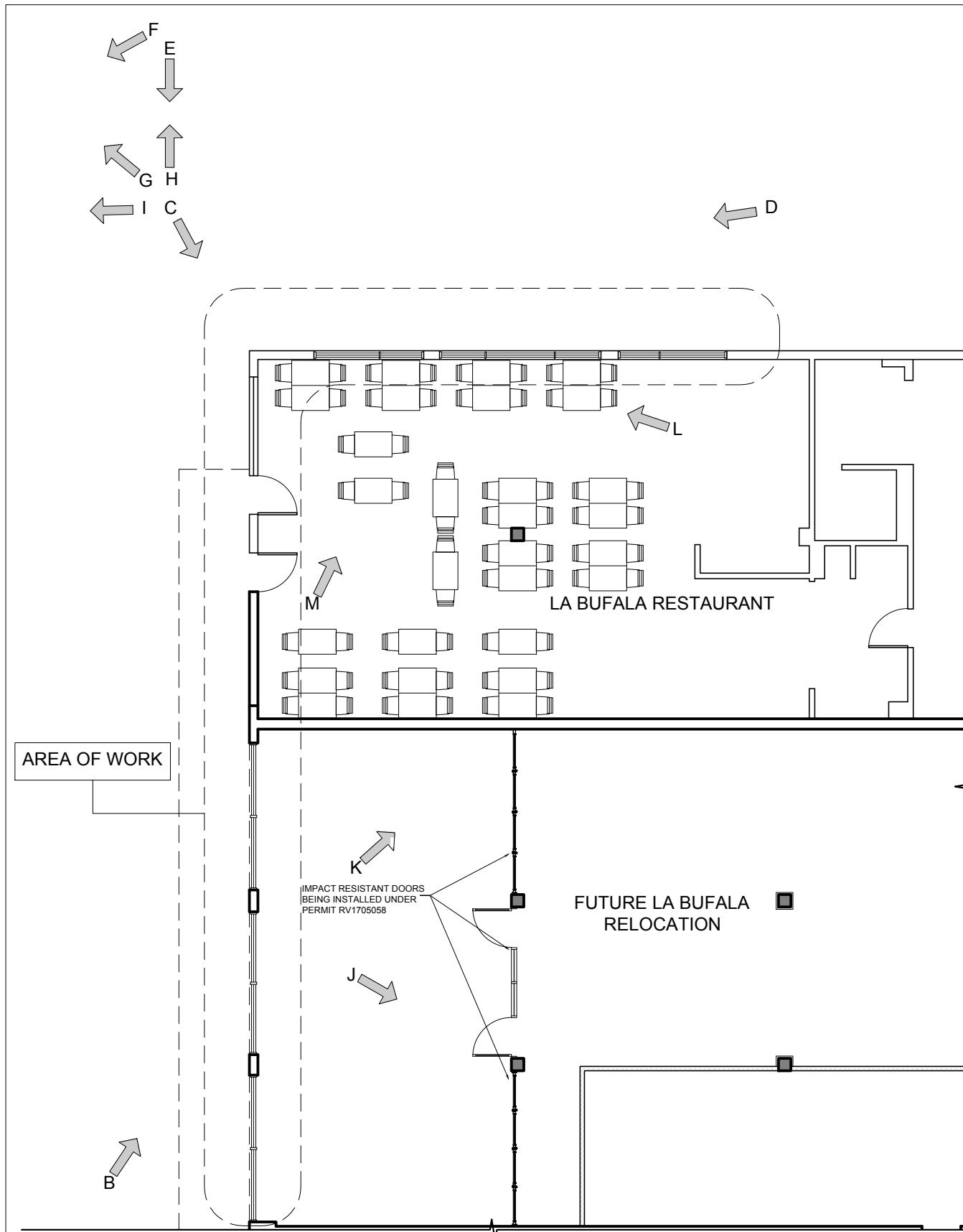
REVISIONS	DATE
HPB FIRST SUBMITTAL COMMENTS	8/31/2018

PROJECT NUMBER
2018-022

DATE
09/07/2018
SHEET TITLE
PROPOSED LIFE SAFETY FLOOR PLAN
DRAWN BY
R.B.
CHECKED BY
J.S.K.
SHEET NUMBER

A-101

NOT FOR CONSTRUCTION



1
A-200

PREVIOUSLY APPROVED FLOOR PLAN HPB17-0110
(PHOTO LOCATION) SCALE: 3/32"=1'-0"

1
A-200

PREVIOUSLY APPROVED CEILING PLAN HPB17-0110
SCALE: 3/32"=1'-0"

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PREVIOUSLY APPROVED FLOOR PLANS HPB17-0110
 DRAWN BY
R.B.
 CHECKED BY
J.S.K.

SHEET NUMBER
A-200



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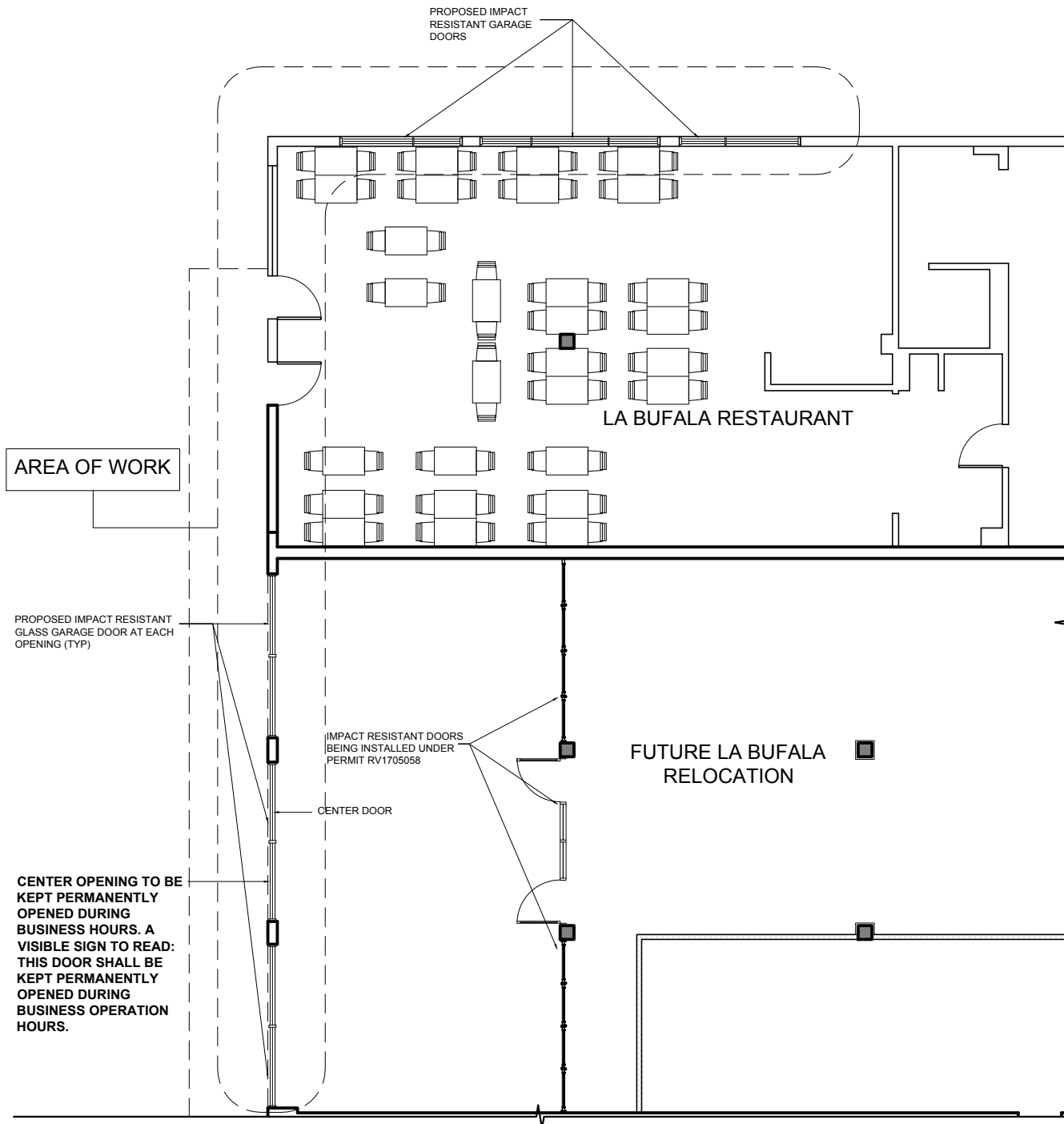
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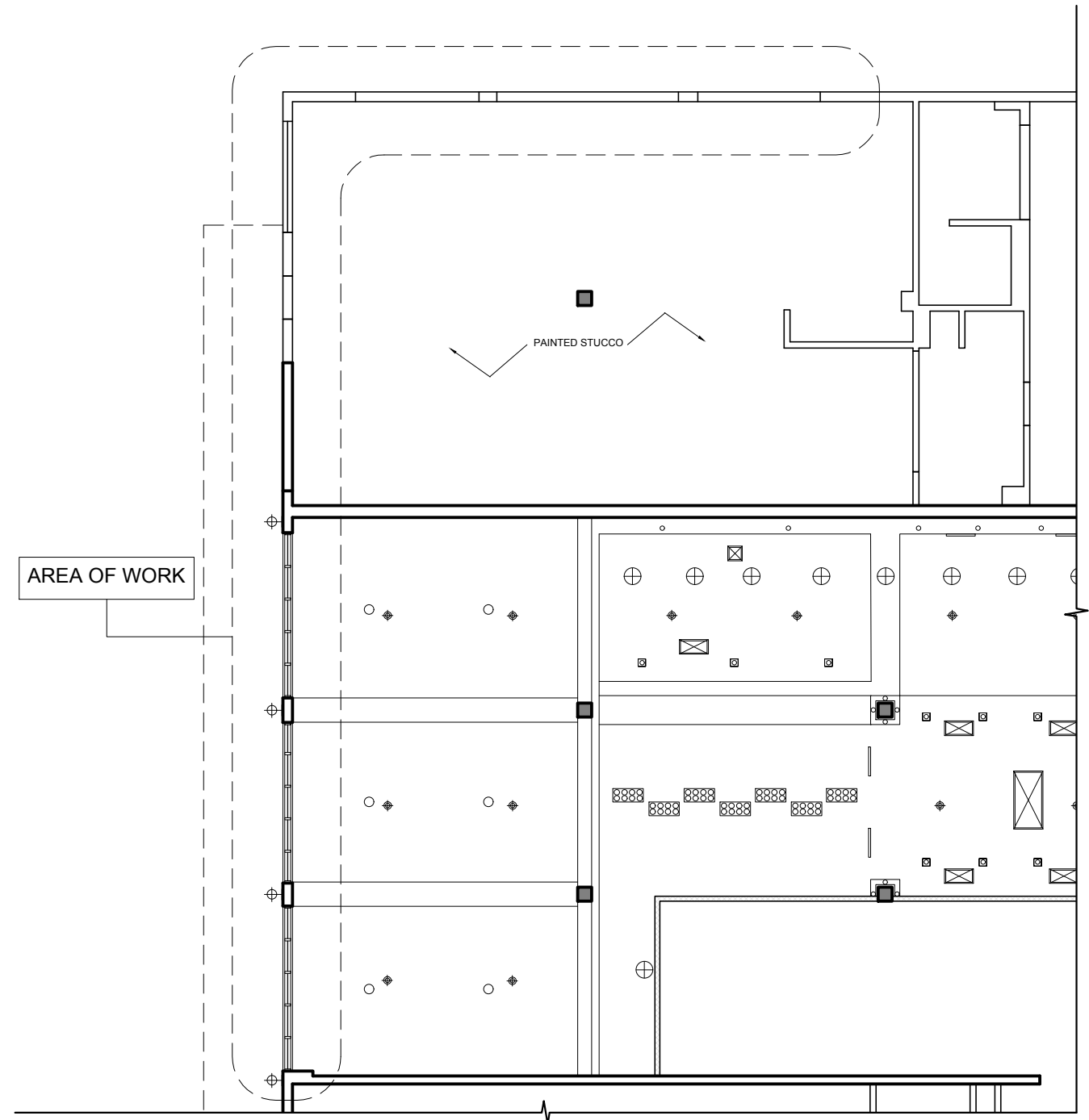
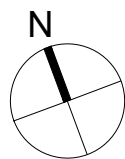
A-201



PROPOSED FLOOR PLAN (ADDING GARAGE DOORS)

SCALE: 3/32" = 1'-0"

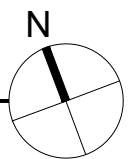
1
A-201



PROPOSED REFLECTED CEILING PLAN

SCALE: 3/32" = 1'-0"

1
A-201



NOT FOR CONSTRUCTION



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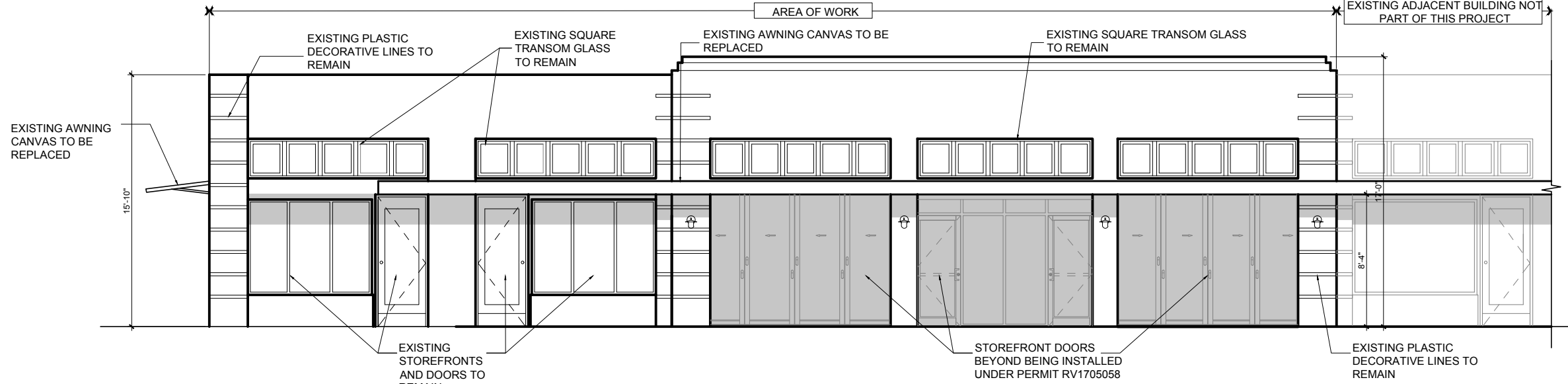
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SHEET TITLE
 EXISTING ELEVATIONS

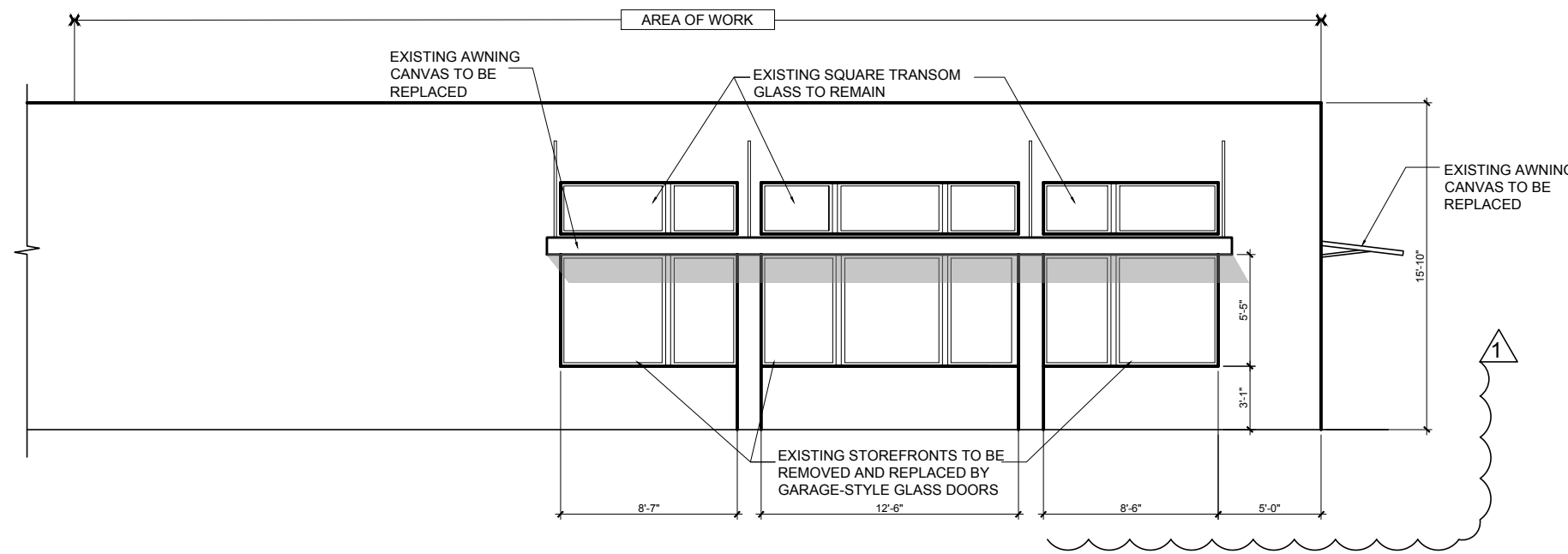
DRAWN BY
 R.B.

CHECKED BY
 J.S.K.

SHEET NUMBER
A-300



1
 A-300
EXISTING ELEVATION - WASHINGTON AVE
 WEST VIEW SCALE: 1/8"=1'-0"



2
 A-300
EXISTING ELEVATION - 5TH STREET
 NORTH VIEW SCALE: 1/8"=1'-0"



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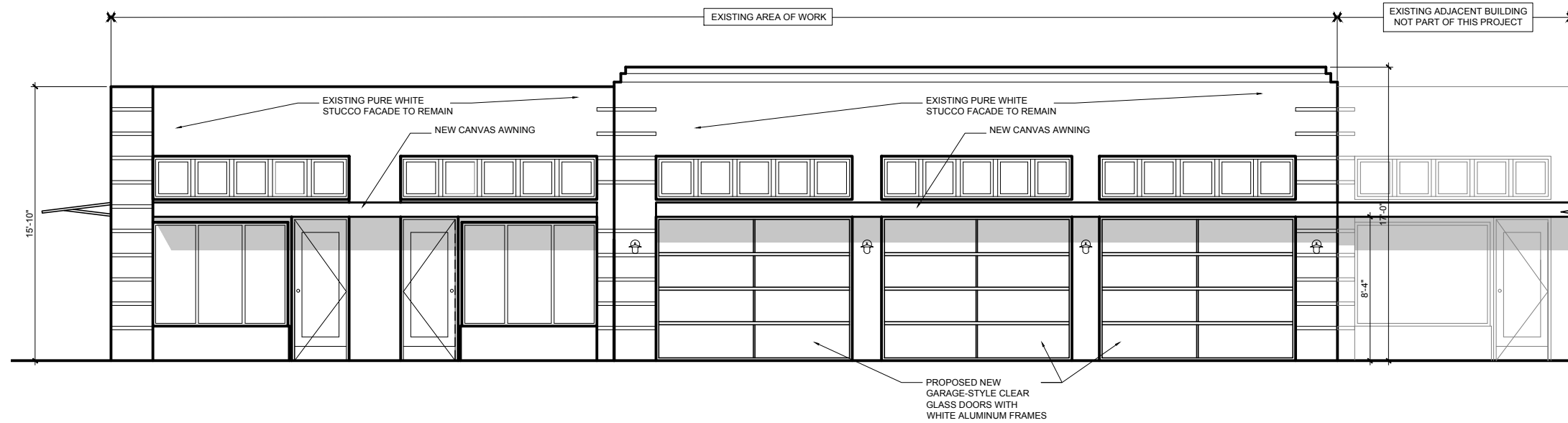
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 PROPOSED ELEVATIONS

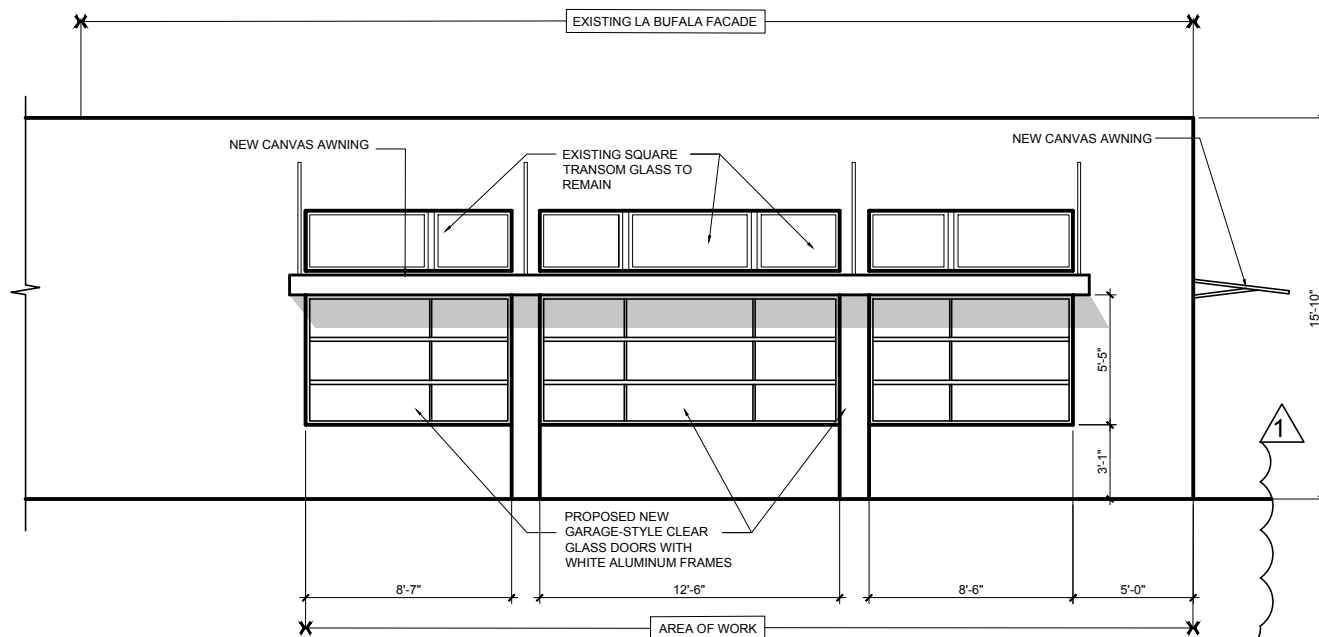
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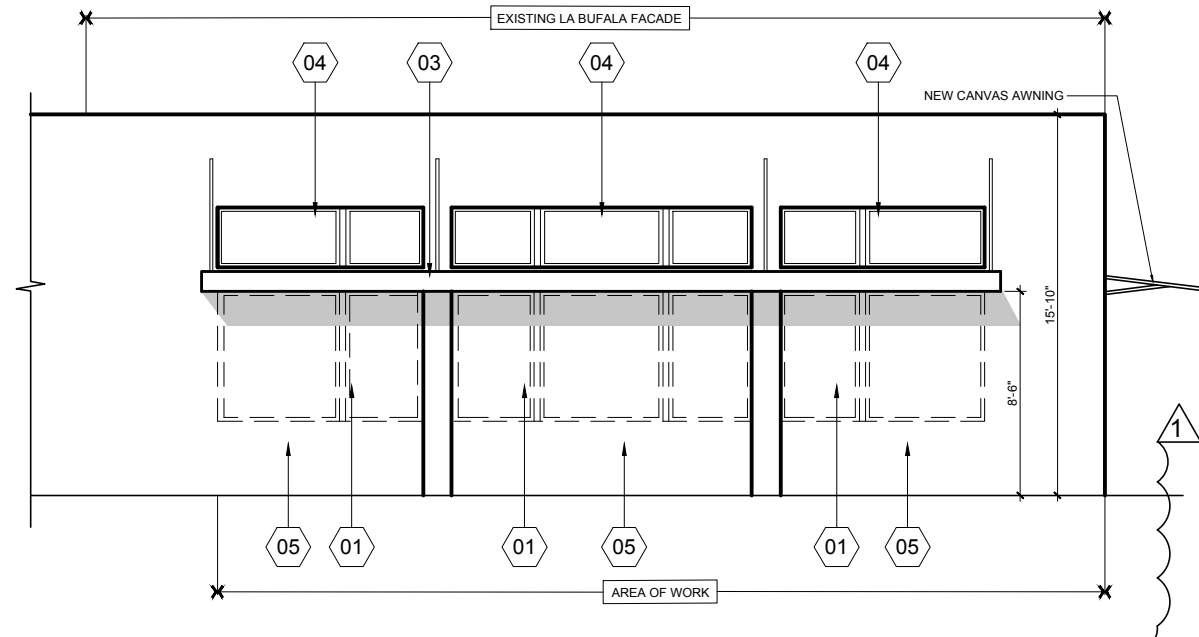
SHEET NUMBER
A-301



1 PROPOSED ELEVATION - WASHINGTON AVE
 A-301 SCALE: 1/8"=1'-0"



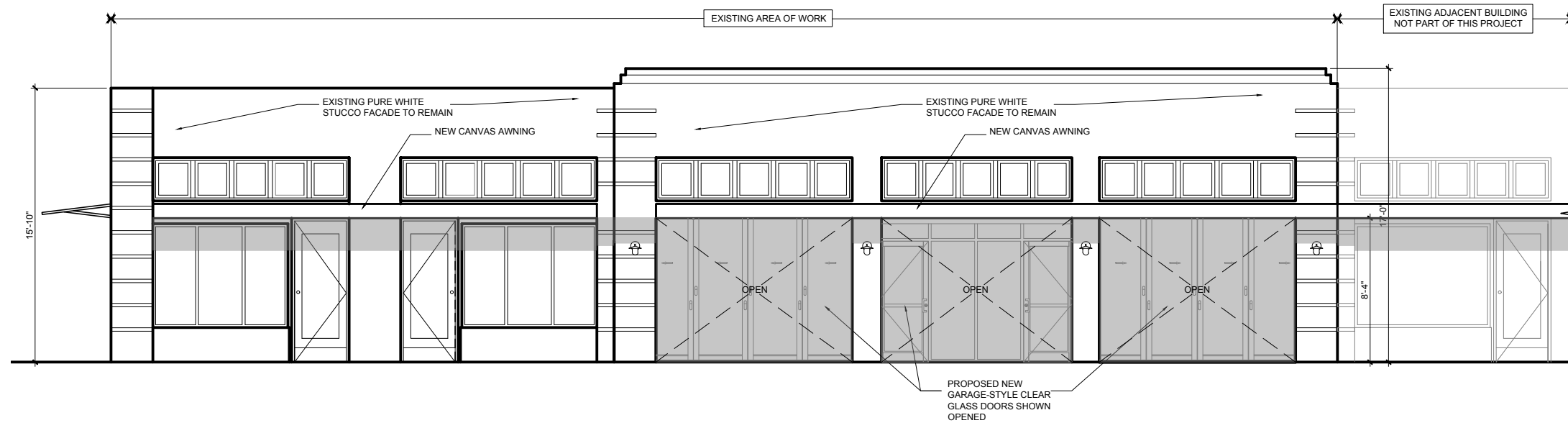
2 PROPOSED ELEVATION - 5TH STREET
 A-301 SCALE: 1/8"=1'-0"



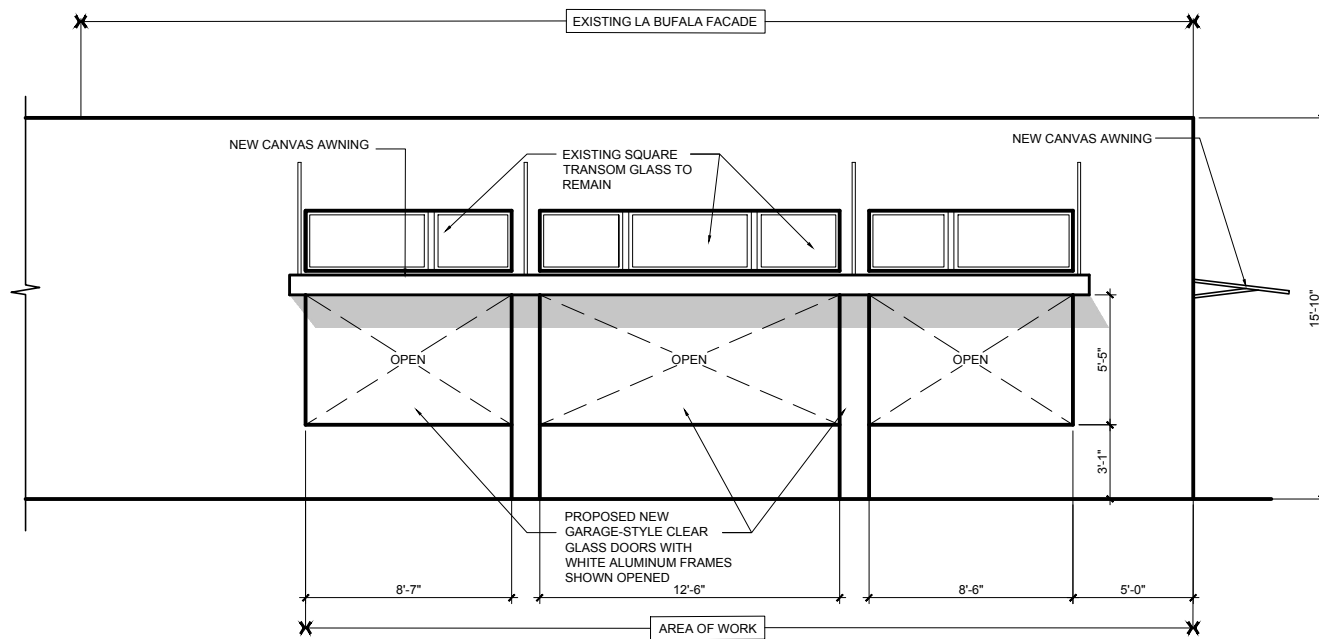
3 DEMOLITION ELEVATION - 5TH STREET
 A-301 SCALE: 1/8"=1'-0"

DEMOLITION KEY NOTES & LEGEND	
01 - REMOVE EXISTING WINDOW.	— EXISTING ITEMS TO REMAIN
02 - REMOVE EXISTING GWB CEILING AND BULKHEAD ON THIS AREA	— EXISTING ITEMS TO BE REMOVED
03 - EXISTING AWNING CANVAS TO BE REPLACED.	▨ EXISTING AREA TO REMAIN. NOT PART OF THIS PROJECT
04 - EXISTING SQUARE TRANSOM GLASS TO REMAIN.	
05 - EXISTING KNEW WALL TO REMAIN	

NOT FOR CONSTRUCTION



1
A-302
PROPOSED ELEVATION - WASHINGTON AVE
(GARAGE DOORS OPENED) SCALE: 1/8"=1'-0"



2
A-302
PROPOSED ELEVATION - 5TH STREET
(GARAGE DOORS OPENED) SCALE: 1/8"=1'-0"



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FILE NO. HPB18-0242

**HPB FINAL
SUBMITTAL**

REVISIONS	DATE
HPB FIRST SUBMITTAL COMMENTS	8/31/2018

PROJECT NUMBER
2018-022

DATE
09/07/2018

SHEET TITLE
PROPOSED ELEVATIONS

DRAWN BY
R.B.

CHECKED BY
J.S.K.

SHEET NUMBER
A-302



A
A-400



B
A-400



C
A-400



D
A-400

EXISTING BUILDING PHOTOS
SEE PHOTO LOCATION ON FLOOR PLAN SHEET A-200



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EXISTING BUILDING PHOTOS

DRAWN BY
R.B.

CHECKED BY
J.S.K.

SHEET NUMBER
A-400



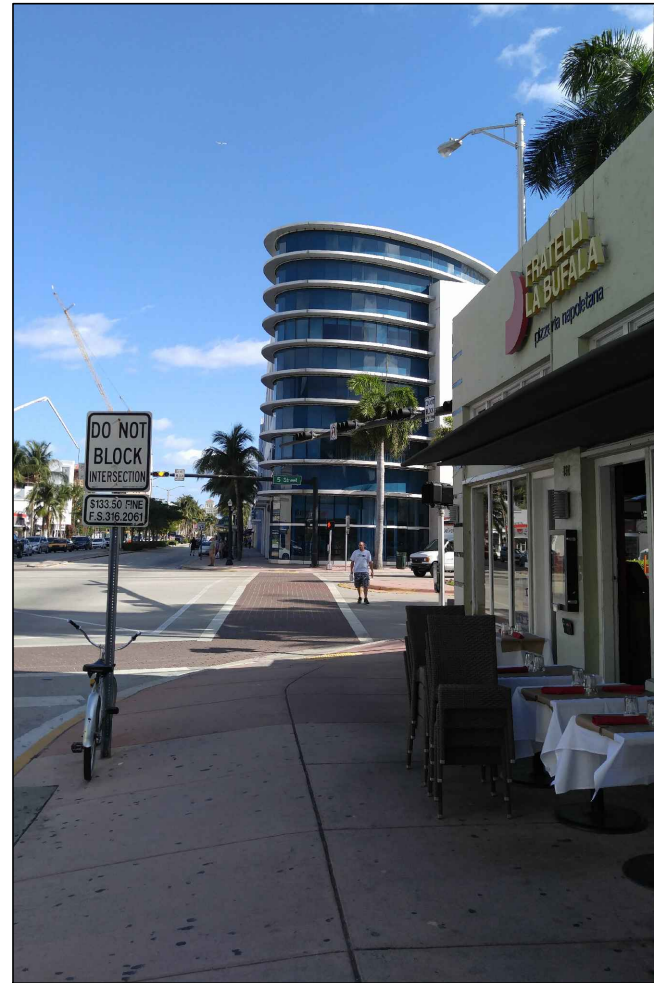
E
A-401



F
A-401



G
A-401



H
A-401



I
A-401

EXISTING CONTEXTUAL PHOTOS
SEE PHOTO LOCATION ON FLOOR PLAN SHEET A-200



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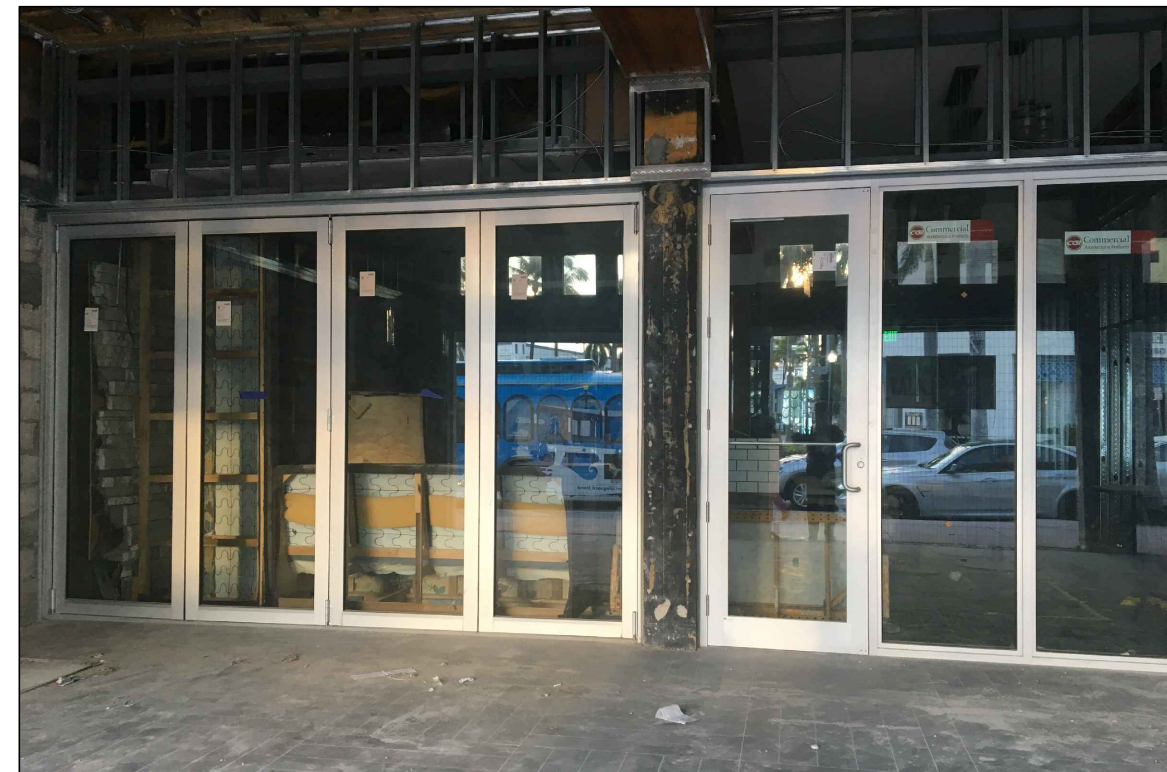
DRAWN BY
R.B.

CHECKED BY
J.S.K.

SHEET NUMBER
A-401



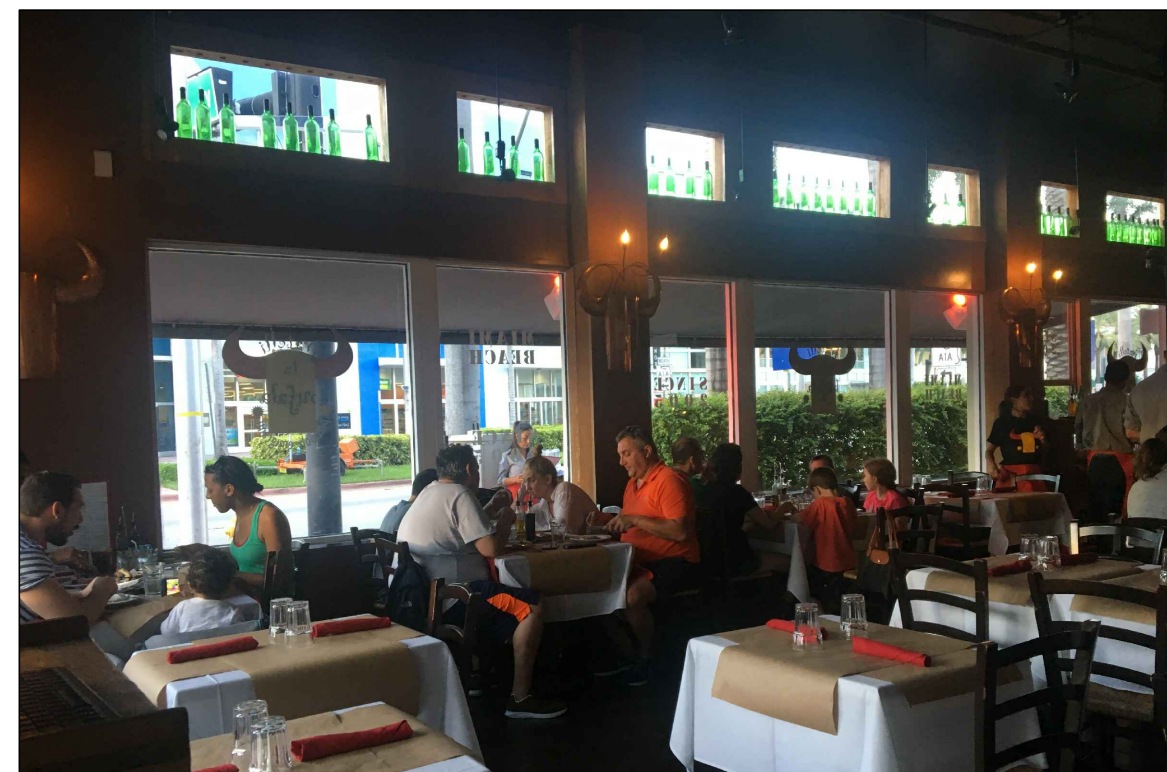
J
A-402



K
A-402



L
A-402



M
A-402

EXISTING INTERIOR SPACE PHOTOS
SEE PHOTO LOCATION ON FLOOR PLAN SHEET A-200



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SHEET TITLE
EXISTING INTERIOR SPACE
PHOTOS

DRAWN BY
R.B.

CHECKED BY
J.S.K.

SHEET NUMBER
A-402



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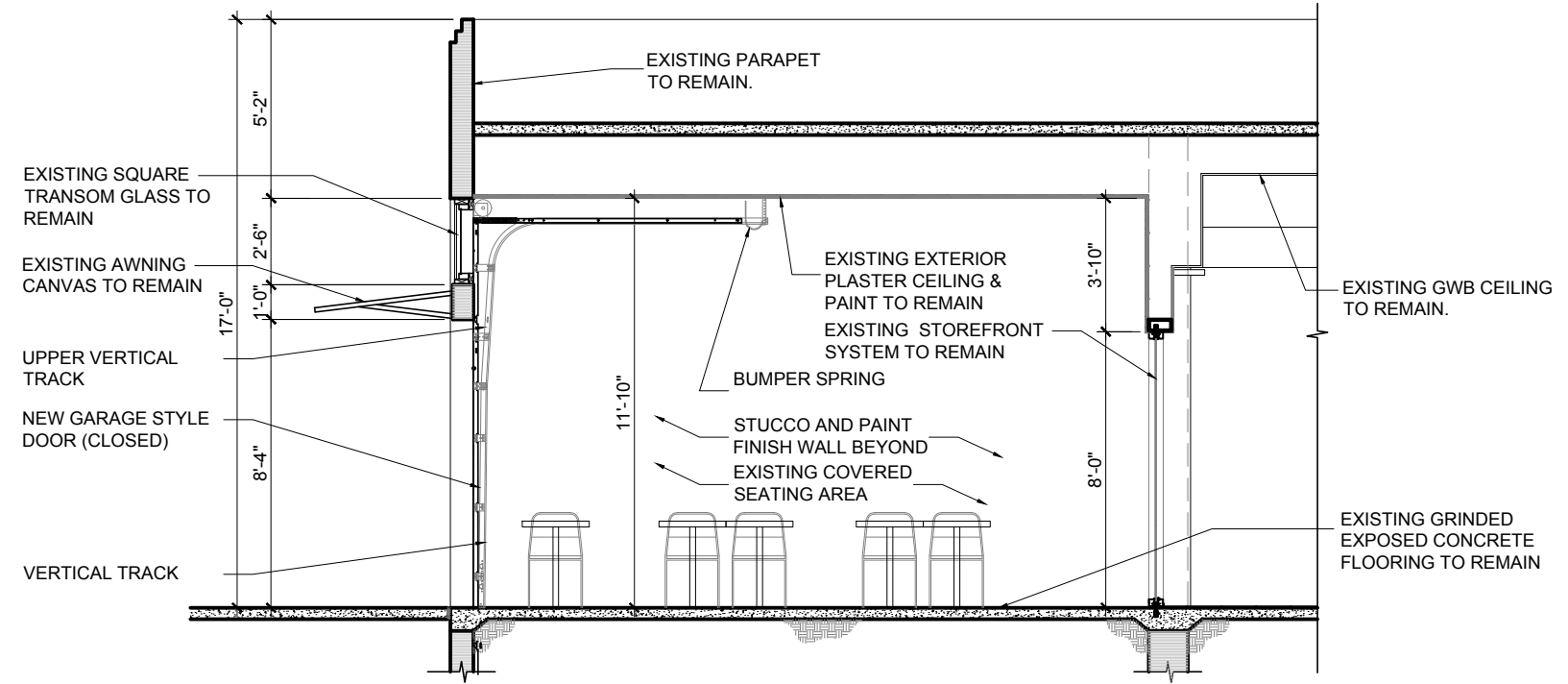
DATE
 09/07/2018

SHEET TITLE
 EXISTING AND PROPOSED SECTION

DRAWN BY
 R.B.

CHECKED BY
 J.S.K.

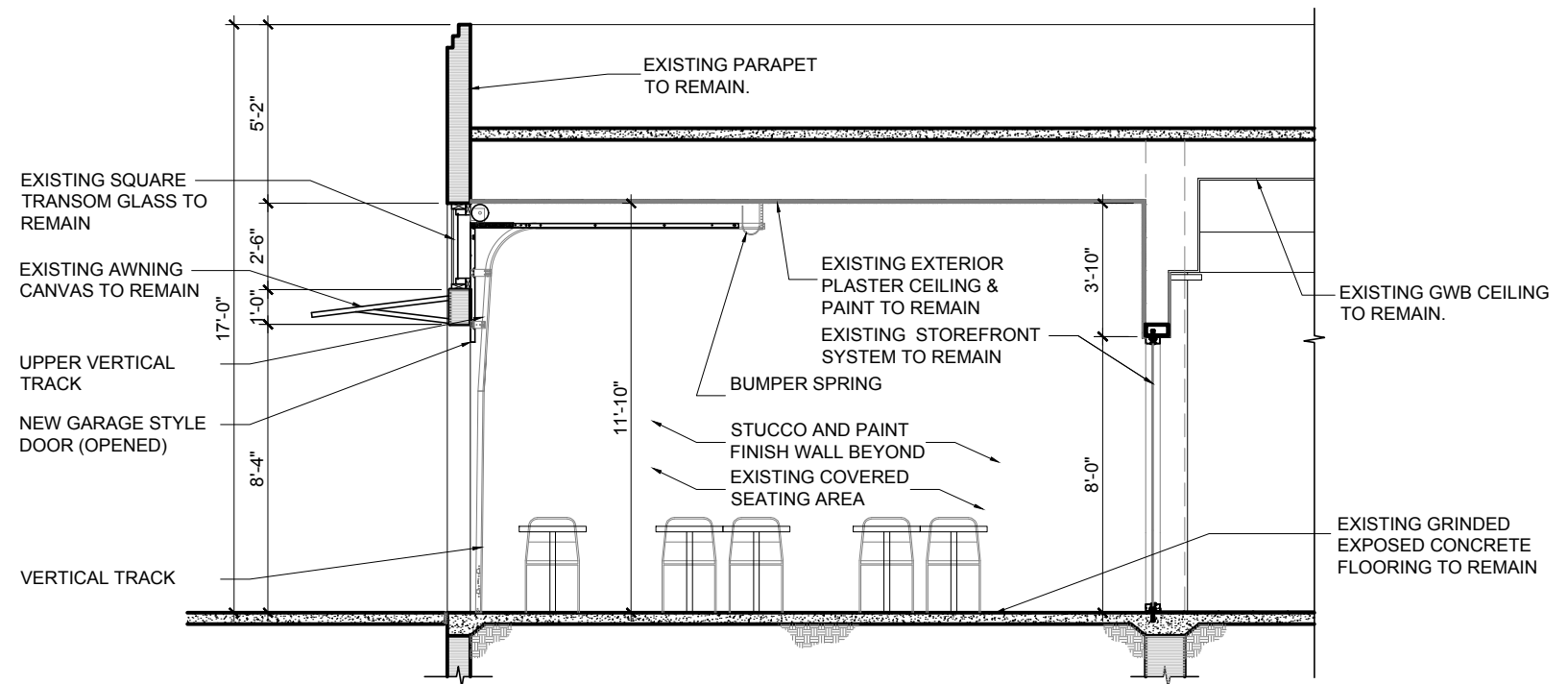
SHEET NUMBER
A-500



1
 A-500

PROPOSED SECTION - GARAGE DOOR CLOSED

SCALE: 3/16" = 1'-0"



1
 A-500

PROPOSED SECTION - GARAGE DOOR OPENED

SCALE: 3/16" = 1'-0"



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1
A-600

PROPOSED RENDER - WASHINGTON AVE.

SCALE: N.T.S.



JSK
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2
A-600

PROPOSED RENDER - 5TH STREET

SCALE: N.T.S.



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SHEET TITLE
PROPOSED RENDERS

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SHEET NUMBER
A-600