

[illegible]

DRB FILE: 18-0324

PRE APPLICATION MEETING: 2018-07-17
DATE OF 1st SUBMISSION: 2018-08-20
DATE OF FINAL SUBMISSION: 2018-09-07
DRB BOARD MEETING: 2018-11-06

NEW SINGLE FAMILY RESIDENCE

10 W SAN MARINO DR.

MIAMI BEACH, FLORIDA

CLIENT	ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	LANDSCAPING	CIVIL ENGINEER	CONSULTANTS	SCOPE OF WORK
10 W SAN MARINO LLC 10 W SAN MARINO DR. MIAMI BEACH, FL. 33139 (305) 965-7923	CALIX ARCHITECTS 1728 CORAL WAY #702 MIAMI, FL 33145 (305) 860-9600 AR0009383	QUALITY STRUCTURE DESIGN 360 MERIDIAN AVE. #3C MIAMI BEACH, FL 33139 (786) 419-2853 PE 52051	VIDAL & ASSOCIATES INC. 241 NW SOUTH RIVER DRIVE MIAMI, FL 33128 (305) 571-1860 PE 52051	CHRISTOPHER CAWLEY 780 NE 69th STREET #1106 MIAMI, FL 33138 (305) 979-1585 LC 26000460	OCEAN ENGINEERING, INC. 333 NE 24TH STREET, SUITE 408 MIAMI, FL 33137 (786) 253-5252 PE 61747	A12 DESIGN CORP 3631 TORREMOLINOS AVE DORAL, FL 33178 (305) 520-9242	* DEMOLITION OF A PRE-1942 SINGLE FAMILY RESIDENCE * NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE



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PROPOSED NEW RESIDENCE FOR:
10 W SAN MARINO

LOCATED AT:
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA. 33139

PROJECT
TITLE

PROJECT LOCATION

CALIL
ARCHITECTS

1728 CORAL WY., SUITE-702 MIAMI, FLORIDA 33144
PHONE: (305) 860-9600 FAX: (305) 860-9602
EDUARDO A. CALIL ARCHITECT LICENSE NO. AR 0009383
WWW.CALLARCHITECTS.COM

SEAL

SHEET No.

COVER

DRAWN	RG.
CHECKED	E.A.C.
DATE	AUG '18
SCALE	SHOWN
JOB No.	2018-028

PLOT DATE: 2018-09-06

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PROPOSED NEW RESIDENCE FOR:

10 W SAN MARINO

LOCATED AT:

10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA, 33189

PROJECT TITLE

PROJECT LOCATION

SEAL

PLOT DATE: 2018.08.13

OVER -----

#81486 10/15/86 King Elec - 200 amp serv size in amps

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10 West San Marino Drive
Miami Beach, Florida



10 W SAN MARINO DR.

LOCATION

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

PROJECT
TITLE

LOCATED AT:
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139

PROJECT
LOCATION

CALIL
ARCHITECTS

1728 CORAL WAY, SUITE 302 MIAMI, FLORIDA 33145
PHONE: (305) 860-8600 FAX: (305) 860-8602
EDUARDO A. CALIL, ARCHITECT LICENSE NO. AR 0000383
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SHEET No.	
EX-1.1	
DRAWN	R.G.
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DATE	AUG '18
SCALE	SHOWN
JOB No.	2018-018

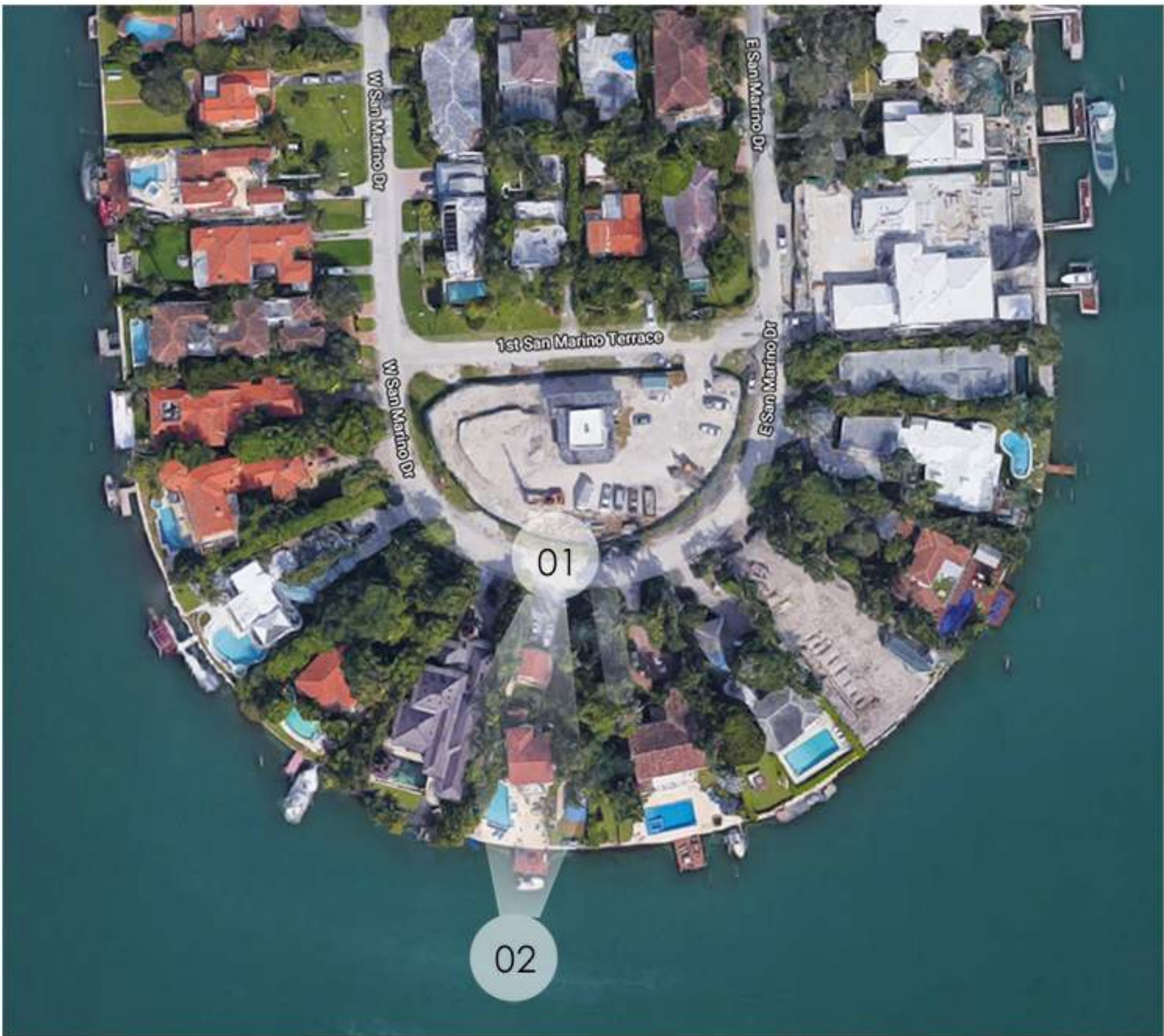
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01. FRONT VIEW FROM W. SAN MARINO DR.



02. REAR VIEW FROM THE BAY



KEY PLAN

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR	PROJECT TITLE
10 W SAN MARINO	PROJECT LOCATION
LOCATED AT:	
10 W SAN MARINO DRIVE	
MIAMI BEACH, FLORIDA, 33139	

CALIL

ARCHITECTS

1728 CORAL WAY, SUITE 302
MIAMI, FLORIDA 33145
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SHEET No.	
EX-1.2	
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01. 14 W. SAN MARINO DR.



02. 22 W. SAN MARINO DR.



KEY PLAN

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR
PROJECT TITLE
10 W SAN MARINO

PROJECT LOCATION
LOCATED AT:
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA, 33139

CALIL
ARCHITECTS
1728 CORAL WAY, SUITE-302 MIAMI, FLORIDA 33145
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EX-1.3	
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03. 28 W. SAN MARINO DR.



04. 34 W. SAN MARINO DR.



KEY PLAN

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR	PROJECT TITLE
10 W SAN MARINO	PROJECT LOCATION
LOCATED AT:	
10 W SAN MARINO DRIVE	
MIAMI BEACH, FLORIDA, 33139	

CALIL

ARCHITECTS

1728 CORAL WAY, SUITE 302 MIAMI, FLORIDA 33145
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EX-1.4	
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05. 40 W. SAN MARINO DR.



06. 70 W. SAN MARINO DR.



KEY PLAN

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR	PROJECT TITLE
10 W SAN MARINO	
LOCATED AT:	PROJECT LOCATION
10 W SAN MARINO DRIVE	
MIAMI BEACH, FLORIDA, 33139	

CALIL
ARCHITECTS

1728 CORAL WAY, SUITE 202 MIAMI, FLORIDA 33145
AA 28001949 PHONE: (305) 860-8600 FAX: (305) 860-8602
EDUARDO A. CALL ARCHITECT LICENSE NO. AT 0008383
WWW.CALLARCHITECTS.COM



SHEET No.	
EX-1.5	
DRAWN	R.G.
CHECKED	E.A.C.
DATE	AUG '16
SCALE	SHOWN
JOB No.	2016-018

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07. 115 W. SAN MARINO DR.



08. 117 1st W. SAN MARINO TERRACE



KEY PLAN

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

PROJECT TITLE

LOCATED AT:
 10 W SAN MARINO DRIVE
 MIAMI BEACH, FLORIDA, 33139

PROJECT LOCATION

CALIL
 ARCHITECTS

1728 CORAL WAY, SUITE-202 MIAMI, FLORIDA 33145
 AA 28001949 PHONE: (305) 860-9603 FAX: (305) 860-9602
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SHEET No.	
EX-1.6	
DRAWN	R.G.
CHECKED	E.A.C.
DATE	AUG '16
SCALE	SHOWN
JOB No.	2016-010

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[illegible]

PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

PROJECT TITLE	PROJECT LOCATION
PROPOSED NEW RESIDENCE 10 W SAN MARINO	LOCATED AT: 10 W SAN MARINO DRIVE PALM BEACH, FLORIDA, 33409

CALIL
ARCHITECTS

1728 CORAL WAY, SUITE 702 W. 26001949 PHONE: (205) 860-9600
MAMA, FLORIDA 33145 FAX: (205) 860-9602
EDUARDO A. CALIL, ARCHITECT LICENSE No. AR 0009383
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SHEET No.

EX-1.7

DRAWN	RG
CHECKED	EAC
DATE	AUG '88
SCALE	SHOWN
JOB No.	2018-070

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11. 125 E SAN MARINO DR.



12. 55 E SAN MARINO DR.



KEY PLAN

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

PROJECT
 TITLE

LOCATED AT:
 10 W SAN MARINO DRIVE
 MIAMI BEACH, FLORIDA, 33139

PROJECT
 LOCATION

CALIL
 ARCHITECTS

1728 CORAL WAY, SUITE 302 MIAMI, FLORIDA 33145
 PHONE: (305) 860-3600 FAX: (305) 860-3602
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SHEET No.
EX-1.8

DRAWN	R.G.
CHECKED	E.A.C.
DATE	AUG '18
SCALE	SHOWN
JOB No.	2018-018

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13. 35 E SAN MARINO DR.



14. 29 E SAN MARINO DR.



KEY PLAN

No.	REVISIONS	BY

PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO
 PROJECT TITLE
 PROJECT LOCATION
 LOCATED AT:
 10 W SAN MARINO DRIVE
 MIAMI BEACH, FLORIDA, 33139

CALIL
 ARCHITECTS
 1728 CORAL WAY, SUITE 302 MIAMI, FLORIDA 33145
 PHONE: (305) 860-8600 FAX: (305) 860-8602
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SHEET No.
EX-1.9
 DRAWN: R.G.
 CHECKED: E.A.G.
 DATE: AUG '18
 SCALE: SHOWN
 JOB No.: 2018-018

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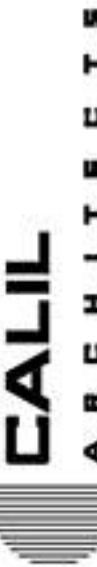
[illegible]

PROJECT TITLE
PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

PROPOSED NEW RESIDENCE FOR
TOWN COUNCIL

PROJECT TITLE	PROJECT LOCATION
------------------	---------------------

1010 SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139



MA 26001949 PHONE: (205) 860-9600 FAX: (205) 860-9602
EDUARDO A. GALL, ARCHITECT LICENSE NO. AR 0009383
WWW.GALLARCHITECTS.COM

1228 CORAL WAY SUITE-202 MIAMI, FL 33145

MA 21001949 PHONE: (303) 860-9600 FAX: (303) 860-9602
EDUARDO A. CALL ARCHITECT LICENSE No. AR 0009383

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ET No.

EX-1.10

DRAIN	RG
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DATE	AUG '88
SCALE	SHOWN
JOB NO.	2018-078

RECEIVED
AUG
544
2018

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[illegible]

PROJECT TITLE
PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

PROJECT TITLE	PROJECT LOCATION
PROPOSED NEW RESIDENCE 10 W SAN MARINO	LOCATED AT: 10 W SAN MARINO DRIVE PALM BEACH, FLORIDA, 33409

CALIL
ARCHITECTS

1728 CORRAL WY., SUITE 702
MAMA, FLORIDA 33145
M 26001949 PHONE: (305) 860-9600
FAC: (305) 860-9602
EDUARDO A. CALIL, ARCHITECT
LICENSE NO. AR 0000383
WWW.CALILARCHITECTS.COM

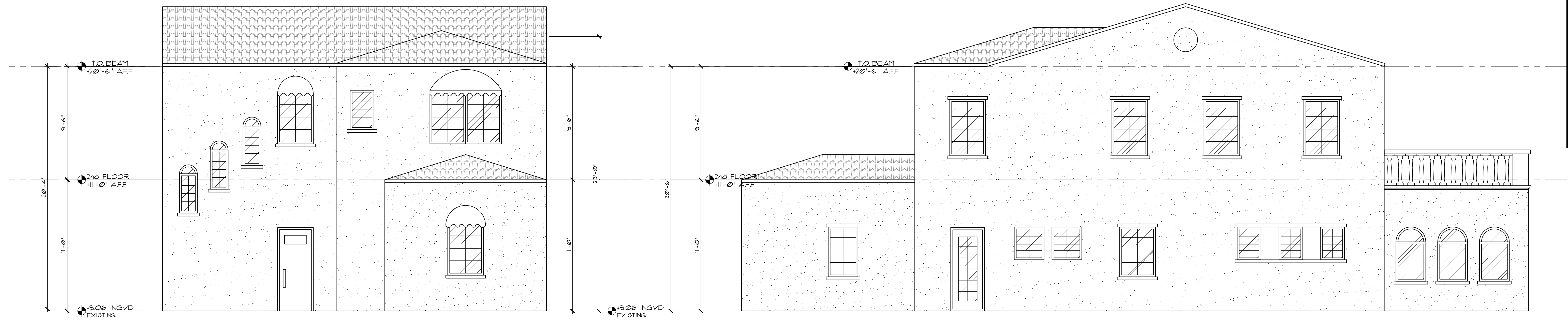
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SHEET No.
EX-1.11

DRAWN	R.G.
CHECKED	E.A.C.
DATE	AUG '88
SCALE	SHOWN
JOB No.	2018-078

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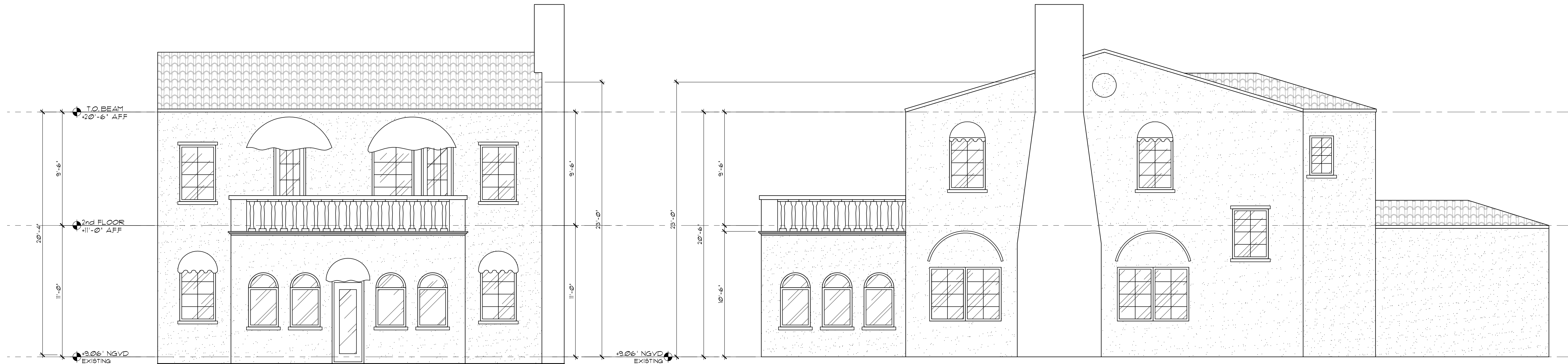
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[illegible]

FRONT elevation NORTH
SCALE: 1/4" = 1'-0" EXISTING

SIDE elevation WEST

SCALE: 1/4" = 1'-0" EXISTING



REAR elevation SOUTH
SCALE: 1/4" = 1'-0" EXISTING

SIDE elevation EAST

SCALE: 1/4" = 1'-0" EXISTING

PROJECT TITLE

PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139

CALIL

ARCHITECTS

1728 CORAL WAY, SUITE-702 MIAMI, FLORIDA 33145
AA 26001949 PHONE: (305) 860-9800 FAX: (305) 860-9802
EDUARDO A. CALL, ARCHITECT LICENSE No. AR 0009383
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SHEET No. _____

EX-2.1

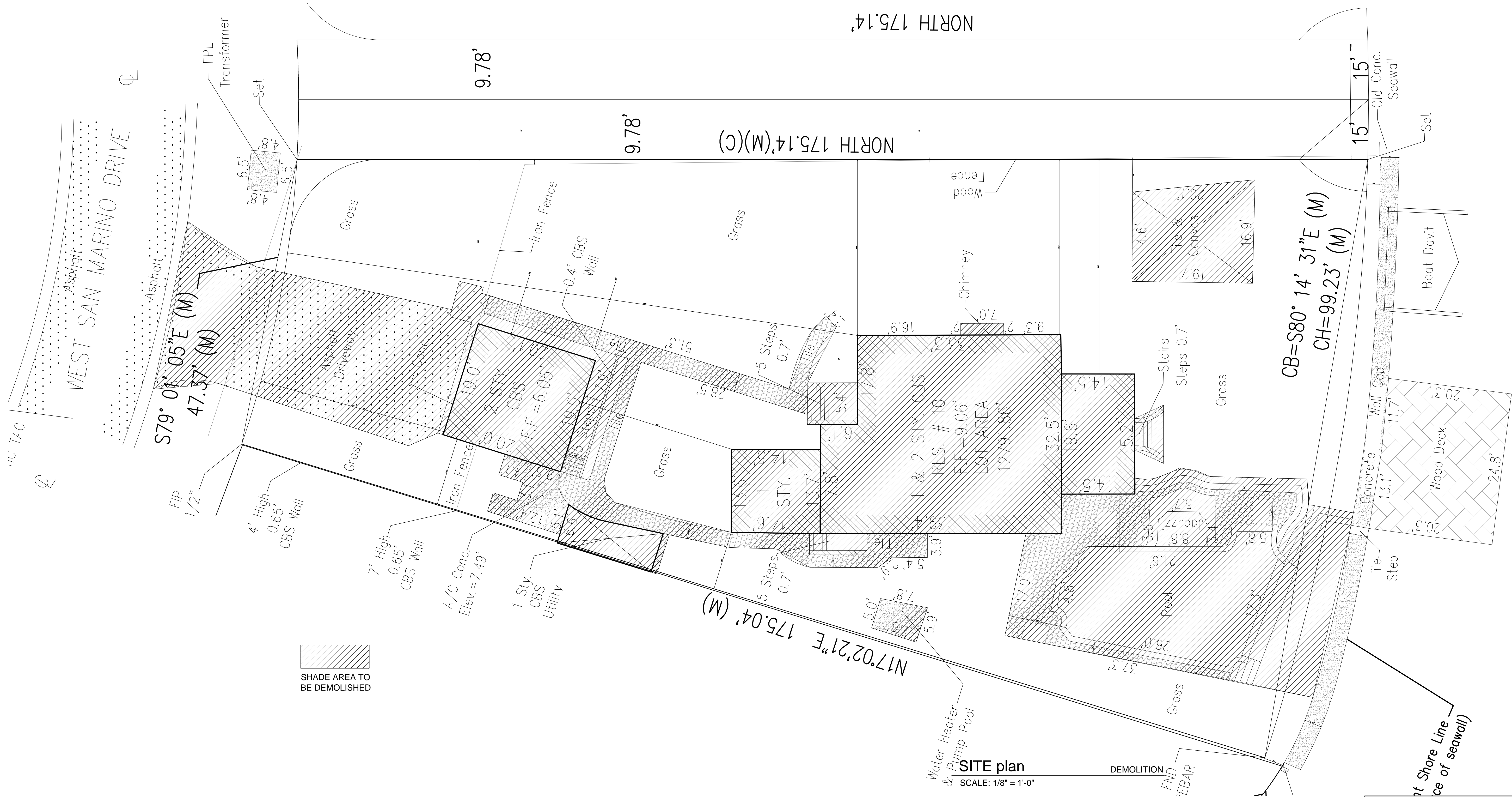
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CHECKED	E.A.C.
DATE	AUG '18
SCALE	SHOWN
JOB No.	2018-028

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PLOT DATE: 2018-09-04



PROJECT DATA

SCOPE OF WORK:
NEW 2-STORY, CBS, SINGLE FAMILY RESIDENCE

OCCUPANCY TYPE: RESIDENTIAL RS-3
CONSTRUCTION TYPE: TYPE V-B

CLASSIFICATION OF STRUCTURE FOR FLOOD-RESISTANT DESIGN AND CONSTRUCTION:
CATEGORY II

LEGAL DESCRIPTION

LOT 1, BLOCK 1 OF SAN MARINO ISLAND ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 9 AT PAGE 22, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPOSED NEW RESIDENCE FOR:
PROJECT TITLE
10 W SAN MARINO

PROJECT LOCATION
LOCATED AT:
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139

CALIL
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1728 CORAL WAY, SUITE-702 MIAMI, FLORIDA 33145
AA 26001949 PHONE: (305) 860-9600 FAX: (305) 860-9602
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SHEET No.
EX-2.2
DRAWN: R.G.
CHECKED: E.A.C.
DATE: AUG '18
SCALE: SHOWN
JOB No.: 2018-028

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[illegible]

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	10 W San Marino dr. Miami Beach Florida 33139		
2	Folio number(s):	02-3232-003-0010		
3	Board and file numbers :	DRB18-0324		
4	Year built:	1928	Zoning District:	RS-3
5	Based Flood Elevation:	9.00'	Grade value in NGVD:	6.20'
6	Adjusted grade (Flood+Grade/2):	7.60'	Free board:	10.00'
7	Lot Area:	12,791 sq ft		
8	Lot width:	58'	Lot Depth:	175'
9	Max Lot Coverage SF and %:	3,837.30 SQ FT (30%)	Proposed Lot Coverage SF and %:	3,727 SQ FT (29.14%)
10	Existing Lot Coverage SF and %:	2,014 SQ FT (15.7%)	Lot coverage deducted (garage-storage) SF:	500 SQ FT
11	Front Yard Open Space SF and %:	507 SQ FT (52.2%)	Rear Yard Open Space SF and %:	1,734 SQ FT (70.1%)
12	Max Unit Size SF and %:	6,395 SQ FT (50%)	Proposed Unit Size SF and %:	6,384 SQ FT (49.91%)
13	Existing First Floor Unit Size:	2,014 SQ FT	Proposed First Floor Unit Size:	3,727 SQ FT
14	Existing Second Floor Unit Size	1,602 SQ FT	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB	69.74%
15			Proposed Second Floor Unit Size SF and % :	2,657 SQ FT
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	654 SQ. FT. (24.6%)

		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"	23'-0"	28'-0"	
18	Setbacks:				
19	Front First level:	20'-0"	NA	NA	
20	Front Second level:	30'-0"	31'-1/2"	30'-0"	
21	Side 1:	10'-0"	26'-9 1/2"	10'-0"	
22	Side 2 or (facing street):	10'-0"	9'-8"	10'-0 1/2"	
23	Rear:	26'-3"	31'-7 1/2"	29'-8"	
	Accessory Structure Side 1:	7'-6"	N/A	7'-6"	N/A
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	N/A
25	Accessory Structure Rear:	13'-2"	N/A	13'-4"	N/A
26	Sum of Side yard :	20'-0"	36'-5 1/2"	20'-0 1/2"	
27	Located within a Local Historic District?		NO		
28	Designated as an individual Historic Single Family Residence?		NO		
29	Determined to be Architecturally Significant?		NO		

Notes:

If not applicable write N/A

All other data information should be presented like the above format

PROJECT TITLE
PROPOSED NEW RESIDENCE FOR:
10 W SAN MARINO

**PROJECT
LOCATION**



The Seal of the Commonwealth of Massachusetts, featuring a Native American figure holding a bow and arrow, with a star above his right shoulder, all enclosed within a shield and a crest above it.

SHEET No.	
A-0.0	
DRAWN	R.G.
CHECKED	E.A.C.
DATE	AUG '18
SCALE	SHOWN
JOB No.	2018-028

PLOT DATE: 2018-09-06

ZONING data sheet

- : NOTICE : -

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[illegible]

CITY EASEMENT

PROPERTY LINE 175.14'

10'-0" SIDE SETBACK

-500 SQ. FT.

4,227 SQ. FT.

10'-0" SIDE SETBACK

PROPERTY LINE 175.04'

LOT SIZE: 12,791 SQ. FT.

ALLOWED UNIT SIZE: 6,395 SQ FT (50%)
 PROPOSED UNIT SIZE:
 3,727 SQ FT 1st FLOOR
 2,657 SQ FT 2nd FLOOR
 TOTAL UNIT SIZE: 6,384 SQ FT (49.91%)

LOT 2
BLOCK 1
(PB 9 - Pg 22)

 **FIRST floor plan** UNIT SIZE

SCALE: N.T.S.

- : NOTICE : -

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PROJECT TITLE

LOCATION
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139

CALIL

ARCHITECTS

1728 CORAL WAY, SUITE-702 MIAMI, FLORIDA 33145
AA 26001949 PHONE: (305) 860-9800 FAX: (305) 860-9802
EDUARDO A. CALL, ARCHITECT LICENSE No. AR 0009383
WWW.CALLARCHITECTS.COM

REAL

SHEET No. _____

A-2.1

DRAIN	R.G.
CHECKED	E.A.C.
DATE	AUG '18
SCALE	SHOWN
JOB No.	2018-028

PLOT DATE: 2018-09-06

[illegible]

CITY EASEMENT

PROPERTY LINE 175.14'

10'-0" SIDE SETBACK

POOL EQUIPMENT

OUTDOOR
COVERED
TERRACE

465 SQ. FT.

FAMILY
ROOM

KITCHEN

B.H.O.

AV CLOSET

AV CLOSET

TRY
VER

LIVING ROOM

LIVING ROOM

OUTDOOR
TERRACE

POOL

560 SQ. FT.

1/2=280 SQ.FT.

PROPERTY LINE 99.23'

LINE AT 7'-6" POOL SETBACK

LINE AT 29'-10" SETBACK

OUTDOOR
TERRACE

BAR

STAIR

GYM /
OFFICE

CLOSE

BATH C

ENTRY
GARDEN

10'-0" SIDE SETBACK

PROPERTY LINE 175.04'

LOT 2
BLOCK 1
(PB 9 - Pg 22)

FRONT YARD: 972 SQ. FT.
REQUIRED OPEN YARD SPACE: 486 SQ FT (50%)
PROPOSED OPEN SPACE: 507 SQ FT (52.2%)

REAR YARD: 2,472 SQ. FT.
REQUIRED OPEN YARD SPACE: 1,730 SQ FT (70%)
PROPOSED OPEN SPACE: 1,734 SQ FT (70.1%)

1454 SQ. FT.


SITE plan
SCALE: N.T.S.

OPEN SPACE

PROJECT TITLE

PROPOSED NEW RESIDENCE FOR
10 W SAN MARINO

LOCATION
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA, 33139



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ARCHITECTS

REAL

SHEET No.

A-2.4

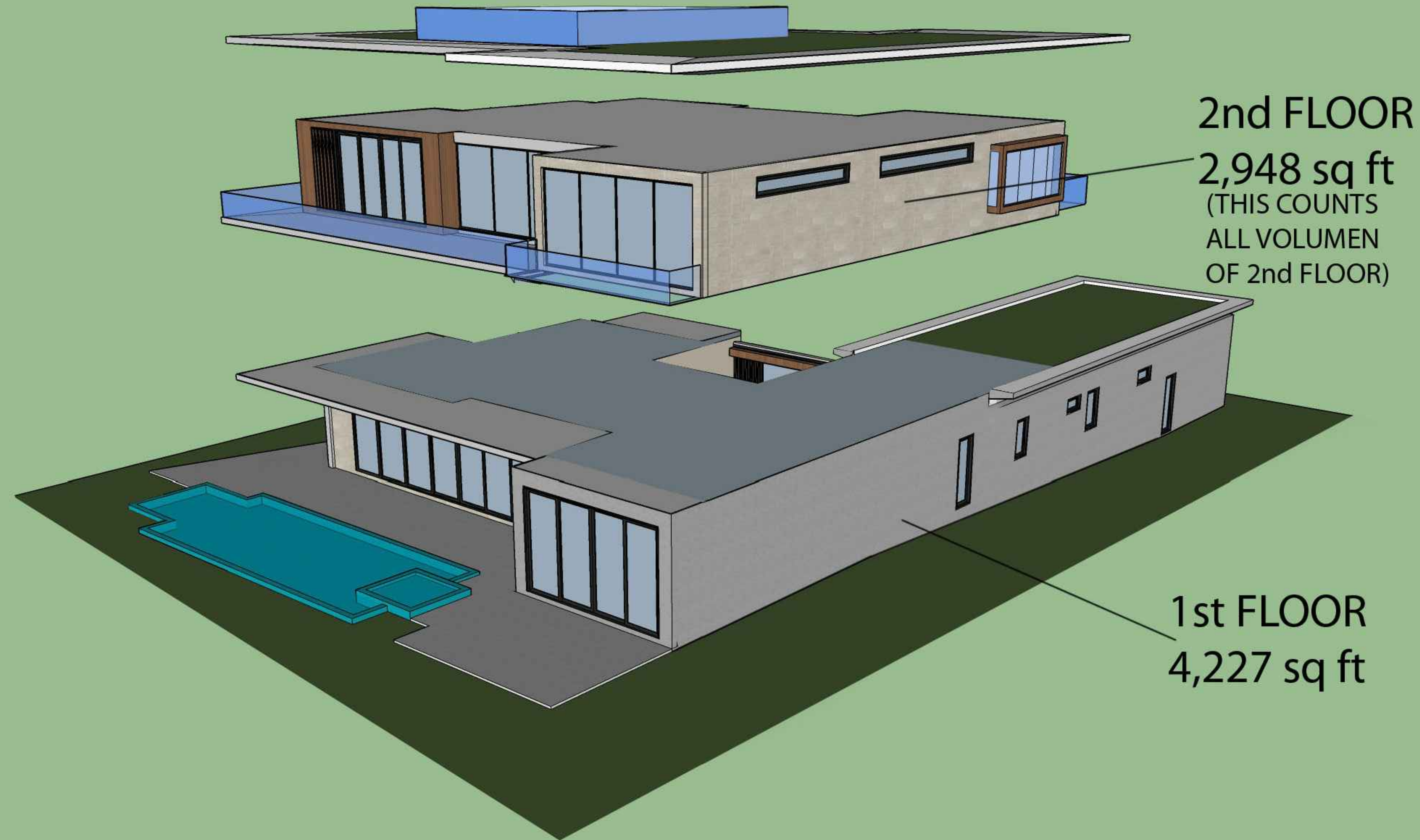
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PLOT DATE: 2018-09-06

[illegible]

VOLUMETRIC 69.74%

AXONOMETRIC
SCALE: N.T.S.

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PROJECT TITLE

PROPOSED NEW RESIDENCE FOR:
10 W SAN MARINO

LOCATION
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA, 33139

CALIL

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A-5.1


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PLOT DATE: 2018-09-06

[illegible]

PROPOSED NEW RESIDENCE FOR:
10 W SAN MARINO

10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139



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ARCHITECTS

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ET No.

A-6.2

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PLOT DATE: 2018-09-06

[illegible]

PROPOSED NEW RESIDENCE FOR:
10 W SAN MARINO

10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139

TITLE

LOCATION

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ARCHITECTS

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REAL

SHEET No.

A-6.3

DRAWN	RG.
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DATE	AUG '18
SCALE	SHOWN
JOB No.	2018-028

FRONT CONTEXT MONTAGE

SCALE: N.T.S.

- : N O T I C E : -

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MIAMI BEACH DESIGN REVIEW BOARD SECOND SUBMITTAL
NEW RESIDENCE | 10 WEST SAN MARINO DRIVE | MIAMI BEACH, FLORIDA

CLIENT / PROPERTY INFORMATION

PROPERTY ADDRESS
10 WEST SAN MARINO DRIVE
MIAMI BEACH, FL 33139

EXISTING VEGETATION SUMMARY

The existing vegetation located on the property is composed primarily of royal palms and clusters of overgrown christmas palms. The landscape architect is requesting for all vegetation on site to be removed, due to conflicts with the proposed site design, and will be mitigating for canopy loss by integrating new native tree canopy and vegetation into a new improved landscape design.

SCOPE OF WORK

- New tropical landscape design to complement new Residence, that of which introduces and incorporates new native tree canopy to the site

INDEX OF SHEETS

- L-0.0 Landscape Cover Page + Sheet Index
L-1.0 Landscape Plan
L-2.0 Landscape Legend, Notes + Details
L-3.0 Plant Material Images
L-4.0 Existing Palm Survey + Disposition Plan

NOTICE
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No.	REVISIONS	BY
1ST	DRB SUBMIT	
	08.20.18	
2ND	DRB SUBMIT	
	09.07.18	

PROPOSED NEW RESIDENCE FOR:
10 W SAN MARINO

PROJECT
TITLE

PROJECT
LOCATION

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SEAL
CHRISTOPHER CAWLEY, RLA
Florida License LA 6667769

SHEET No.
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JOB No.
R.G.
E.A.C.
09.07.18
SHOWN
2018-028

PLOT DATE: 2018-09-06

CHRISTOPHER CAWLEY | CC
LANDSCAPE ARCHITECTURE LLC | LA
Florida Landscape Architecture Business LC 26000460
780 NE 69th Street | Suite 1106 | Miami, FL 33138
T 305.979.1585 | www.christophercawley.com

ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.

CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.

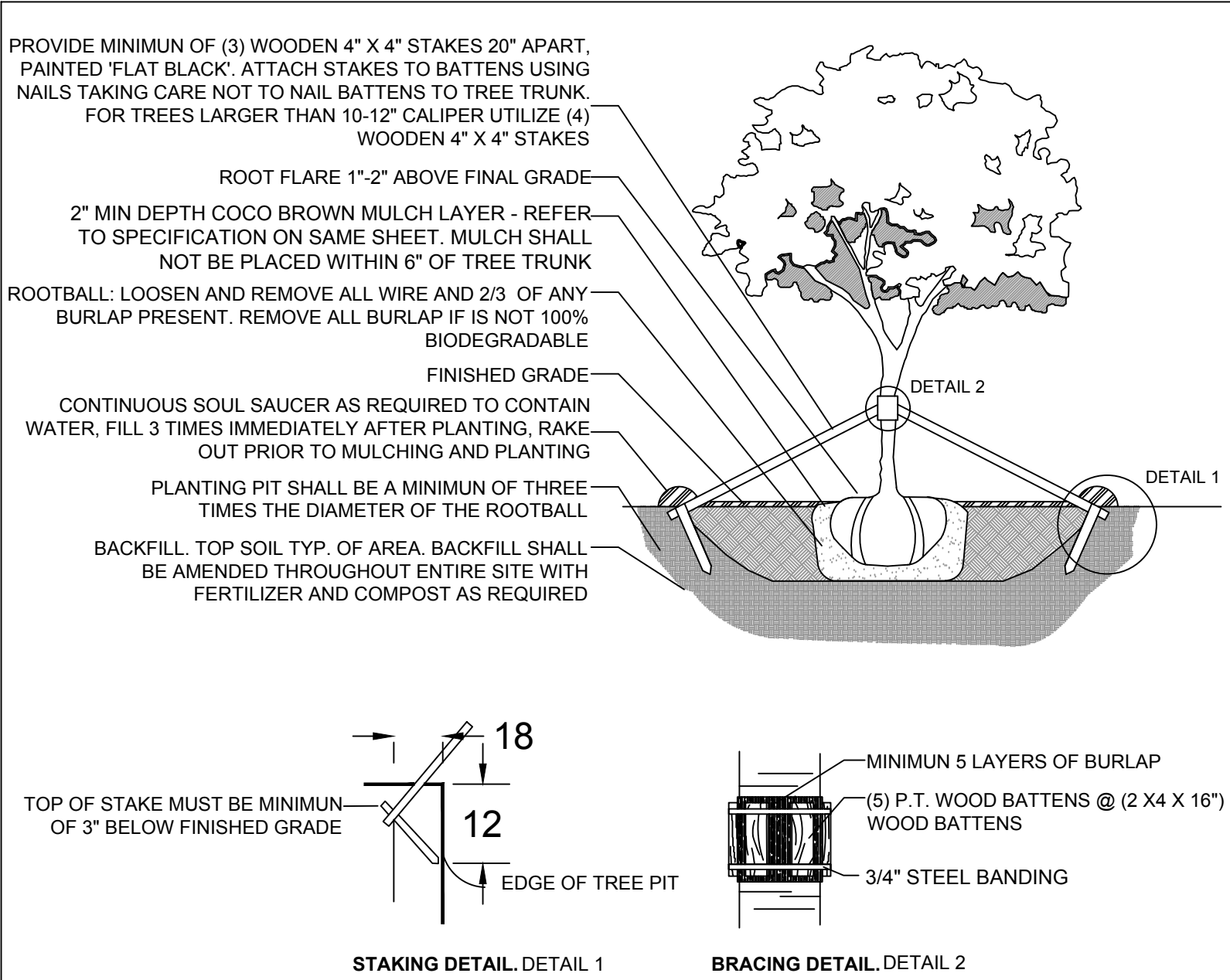
TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.

THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE BED AREAS TO BE SODDED.

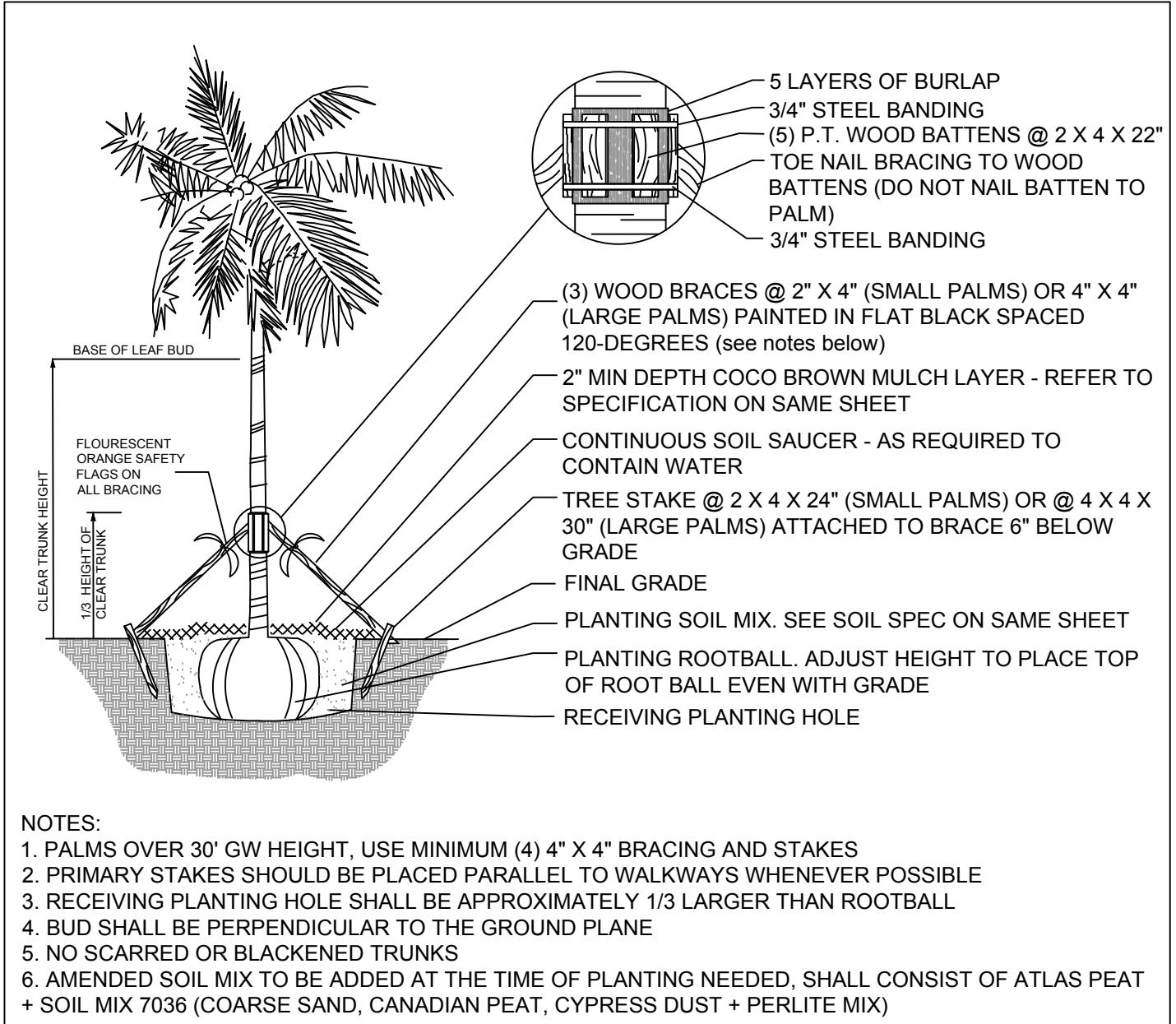
6. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH A SMALL GRAY GRANITE AGGREGATE FREE FROM WEEDS AND PESTS. NO 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 3" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.
7. SOD SHALL BE 'EMPIRE TURF' ZOYSIA GRASS IN ALL LAWN AREAS AS SHOWN ON THE PLANS. SOD SHALL BE STRONGLY ROOTED, FREE FROM WEED, FUNGUS, INSECTS AND DISEASE. CONTRACTOR SHALL SOD ALL AREAS AS INDICATED ON THE PLANS OR AS DIRECTED. PAYMENT SHALL BE DETERMINED BY THE TOTAL MEASURED SODDED AREAS X THE UNIT PRICE SUBMITTED AND FIELD VERIFIED. SOD SHALL CARRY A 5-MONTH WARRANTY.
8. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
9. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MONISTORE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "F" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.

PLANT LIST - 10 WEST SAN MARINO DRIVE						
KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES	
TREES						
CU	2	YES	SEA GRAPE TREE	Coccoloba uvifera	Field grown, 14' ht min, 8' spread min, multi, character	
MF	5	YES	SIMPSON STOPPER TREE	Myrcianthes fragrans	12' ht min, 6' spread min, multi, limbed up, equal to Treewood Wholesale	
CE	11	YES	GREEN BUTTONWOOD TREE	Conocarpus erectus	12' ht min, 6' spread min, 2.5 dbh min, standard, 4' CT, equal to Treewood Wholesale	
PALMS & BAMBOO						
BC	12	NO	TROPICAL BLUE BAMBOO	Bambusa chungii	Field grown, 18' height, full, space 5-6' on center	
BT	ALT	NO	SLENDER WEAVER BAMBOO	Bambusa textilis gracilis	Field grown, 18' height, full, space 5-6' on center	
CM	8	NO	FISHTAIL PALM	Caryota mitis	Field grown, 14-16' height, full	
CN	4	NO	'MAYPAN' COCONUT PALM	Cocos nucifera 'Maypan'	12' min grey wood, full heads, curved character trunk, Florida Fancy	
PS	3	NO	SYLVESTER DATE PALM	Phoenix sylvestris	Field grown, (2) at 8' CT + (1) at 14' CT, full, single	
VM	3	NO	MONTGOMERY PALM	Veitchia montgomeryana	10' grey wood min, full heads, matched	
SHRUBS						
CEG	25	YES	GREEN BUTTONWOOD SHRUB	Conocarpus erectus	15 gallon, 4' ht min, full, space 18" on center	
CHR	75	YES	COCO PLUM SHRUB	Chrysobalanus icaco	15 gallon, 4' ht min, full, space 18" on center	
ELD	55	NO	JAPANESE BLUEBERRY SHRUB	Elaeocarpus decipiens	15 gallon, 4' ht min, full, space 18" on center	
PSL	45	YES	BAHAMA WILD COFFEE SHRUB	Psychotria ligustrifolia	3 gallon, full, space 18" on center.	
TROPICALS, GROUNDCOVERS, + ACCENTS						
CLN	8	NO	BLEEDING HEART VINE	Clerodendrum thomsoniae	3 gallon, trellis, full, 18" on center	
FGI	170	YES	FICUS GREEN ISLAND	Ficus macrocarpa 'Green Island'	15 gallon, 4' ht min, full, space 18" on center	
MIC	70	NO	WART FERN	Microsorium scolopendrium	1' gallon, full, 18" on center	
PGC	50	NO	PHILODENDRON 'ROJO CONGO'	Philodendron 'Rojo congo'	3 gallon, full, 24" on center	
PHW	57	NO	PHILODENDRON 'WILLIAMSII'	Philodendron 'Williamsii'	3 gallon, full, 18" on center	
PHX	60	NO	PHILODENDRON 'XANADU'	Philodendron 'Xanadu'	3 gallon, full, 18" on center	
PRC	48	NO	PHILODENDRON 'ROJO CONGO'	Philodendron 'Rojo congo'	3 gallon, full, 24" on center	
TRF	30	YES	DWARF FAKAHATCHEE GRASS	Tripsacum floridana	3 gallon, full, 18" on center	
SOD, AGGREGATE & MULCH						
MLC	AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH					
SOD	'EMPIRE TURF' ZOYSIA GRASS - OVER 2" TOPSOIL BED. SEE PLANTING SPECS					
3GA	3/8" DECOMPOSED GRANITE AGGREGATE OR STONE TO BE SELECTED. INSTALLED OVER FILTER FABRIC AND WEED BARRIER MATERIAL / OLIMAR, 2" MIN. DEPTH					



C.M.B. LARGE TREE PLANTING DETAIL

N.T.S.



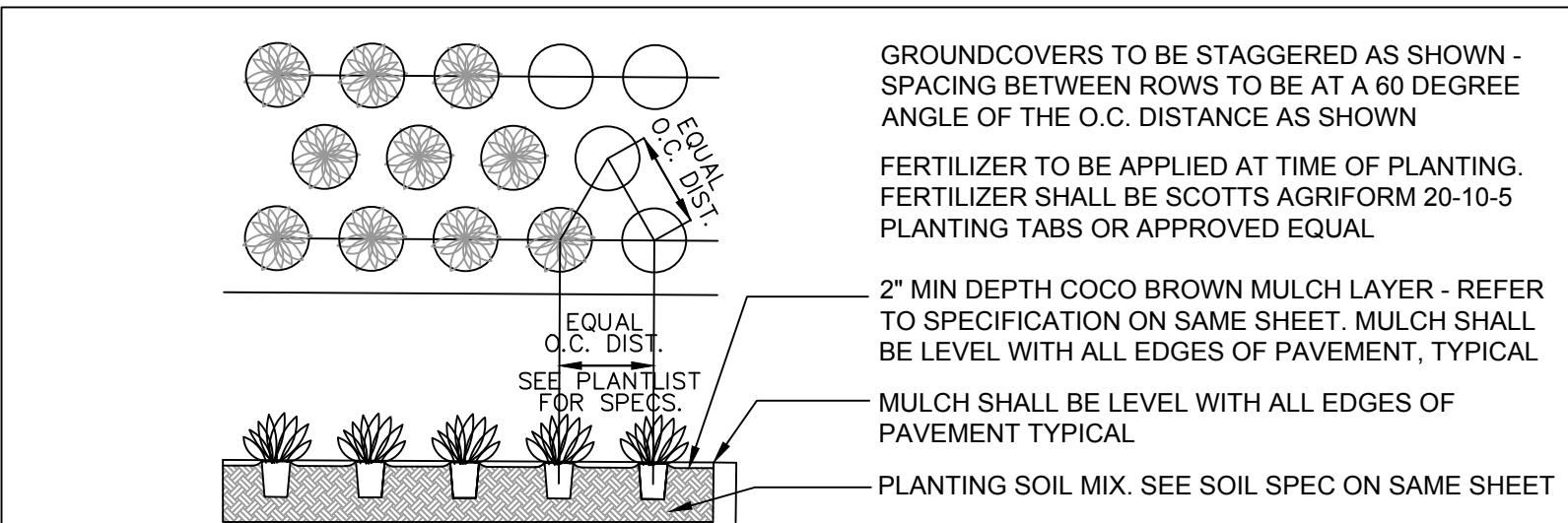
C.M.B. PALM PLANTING DETAIL

N.T.S.

[illegible]

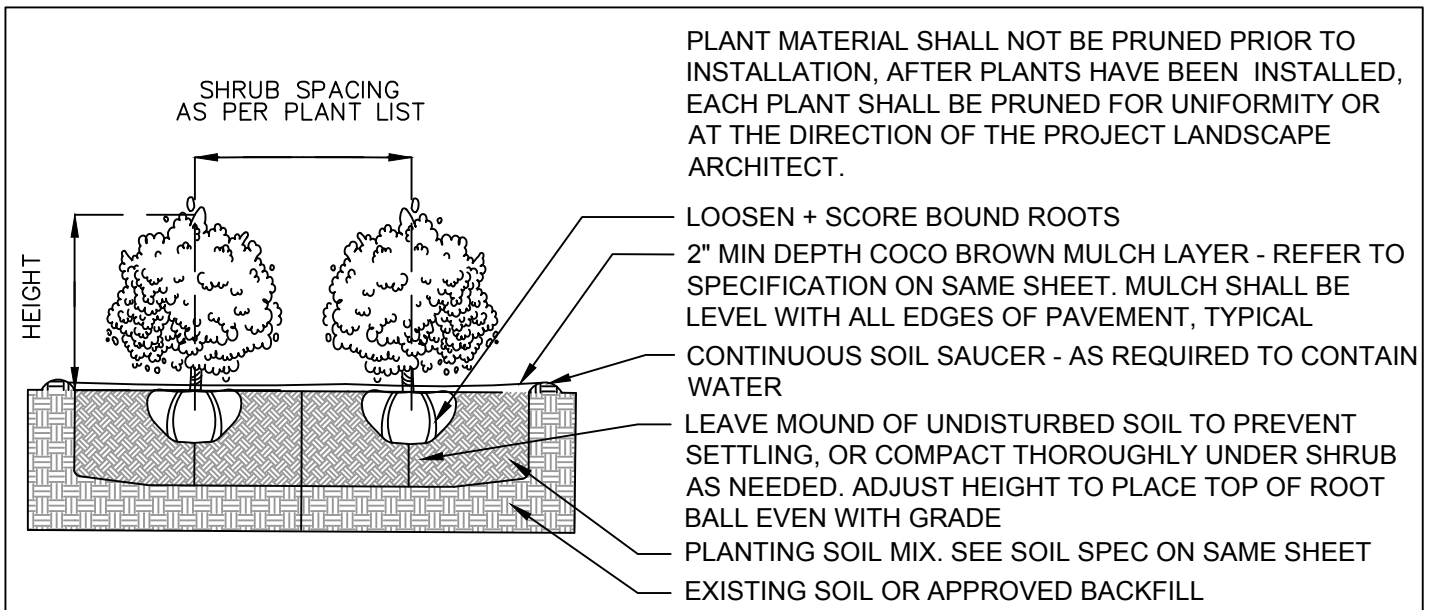
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LANDSCAPE ARCHITECTURE LLC | LA

PROJECT LOCATION	LOCATED AT: 10 W SAN MARINO DRIVE MIAMI BEACH, FLORIDA. 33139
---------------------	---------------------------------------------------------------------



GROUNDCOVER PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.

MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 26 (RS1 - RS4 Single Family Home Residential)

ZONING: RS3 **LOT SIZE:** 12,791 SF **ACRES:** 0.29

TREES
FRONT YARD - 2 TREES REQUIRED / 2 TREES PROVIDED
REAR YARD - 3 TREES REQUIRED / 4 TREES PROVIDED

TOTAL OF 5 TREES REQUIRED FOR LOTS UP TO 6,000 SF.
1 ADDITIONAL TREE IS REQUIRED FOR EACH ADDITIONAL 1,000 SF OF LOT AREA.

12,791 SF - 6000 SF = 6,791 SF = 6.8 ADDITIONAL TREES + 5 REQUIRED TREES = **12 TOTAL TREES REQUIRED / 18 TREES PROVIDED** (2 NATIVE SEA GRAPE TREE + 11 NATIVE GREEN BUTTONWOOD TREES + 5 NATIVE SIMPSONS STOPPER TREES PROVIDED)

DIVERSITY REQUIREMENT

11-15 REQUIRED TREES = 4 TREE SPECIES / 4 SPECIES PROVIDED

NATIVE TREES

30% OF REQUIRED TREES OR .30 X 12 = 3.6 NATIVE TREES REQUIRED / 18 NATIVE TREES PROVIDED
(2 NATIVE SEA GRAPE TREE + 11 NATIVE GREEN BUTTONWOOD TREES + 5 NATIVE SIMPSONS STOPPER TREES PROVIDED)

LOW MAINTENANCE TREES

50% OF REQUIRED TREES OR .50 X 12 = 6 LOW MAINTENANCE TREES REQUIRED / 18 LOW MAINTENANCE TREES PROVIDED (2 NATIVE SEA GRAPE TREE + 11 NATIVE GREEN BUTTONWOOD TREES + 5 NATIVE SIMPSONS STOPPER TREES PROVIDED)

STREET TREE REQUIREMENT

AVERAGE STREET TREE SPACING 20' ON CENTER
WEST SAN MARINO DRIVE: 47 LF / 20 = 2.35 STREET TREES REQUIRED / 3 STREET TREES PROVIDED

SHRUBS
12 SHRUBS (OR VINES) REQUIRED FOR EACH REQUIRED LOT AND STREET TREE or 12 X (14.35) = **172 SHRUBS REQUIRED / 200 SHRUBS PROVIDED** (25 NATIVE GREEN BUTTONWOOD SHRUBS + 75 NATIVE COCOPLUM SHRUBS + 55 JAPANESE BLUEBERRY SHRUBS + 45 NATIVE BAHAMA WILD COFFEE SHRUBS PROVIDED)

NATIVE SHRUBS

50% OF TOTAL SHRUBS REQUIRED MUST BE NATIVE or .50 X 172 = **86 NATIVE SHRUBS REQUIRED / 145 NATIVE SHRUBS PROVIDED** (25 NATIVE GREEN BUTTONWOOD SHRUBS + 75 NATIVE COCOPLUM SHRUBS + 45 NATIVE BAHAMA WILD COFFEE SHRUBS PROVIDED)

LARGE SHRUBS / SMALL TREES

10% OF TOTAL SHRUBS REQUIRED MUST BE LARGE SHRUBS OR SMALL TREES or .10 X 172 = 17 **LARGE SHRUBS OR SMALL TREES REQUIRED = 200 LARGE SHRUBS PROVIDED** (25 NATIVE GREEN BUTTONWOOD SHRUBS + 75 NATIVE COCOPLUM SHRUBS + 55 JAPANESE BLUEBERRY SHRUBS + 45 NATIVE BAHAMA WILD COFFEE SHRUBS PROVIDED)

NATIVE LARGE SHRUBS / SMALL TREES

50% OF TOTAL LARGE SHRUBS REQUIRED MUST BE NATIVE or .50 X 17 = **9 NATIVE SHRUBS REQUIRED / 145 NATIVE LARGE SHRUBS PROVIDED (25 NATIVE GREEN BUTTONWOOD SHRUBS + 75 NATIVE COCOPLUM SHRUBS + 45 NATIVE BAHAMA WILD COFFEE SHRUBS PROVIDED)**

LAWN AREA

50% MAXIMUM OF LANDSCAPE AREA: NEW LAWN AREAS ARE LESS THAN 50% OF LANDSCAPE AREA

IRRIGATION SYSTEM

100% COVERAGE PROVIDED PURSUANT TO CMB REQUIREMENTS SET IN CHAPTER 126

LANDSCAPE LEGEND, NOTES + DETAILS

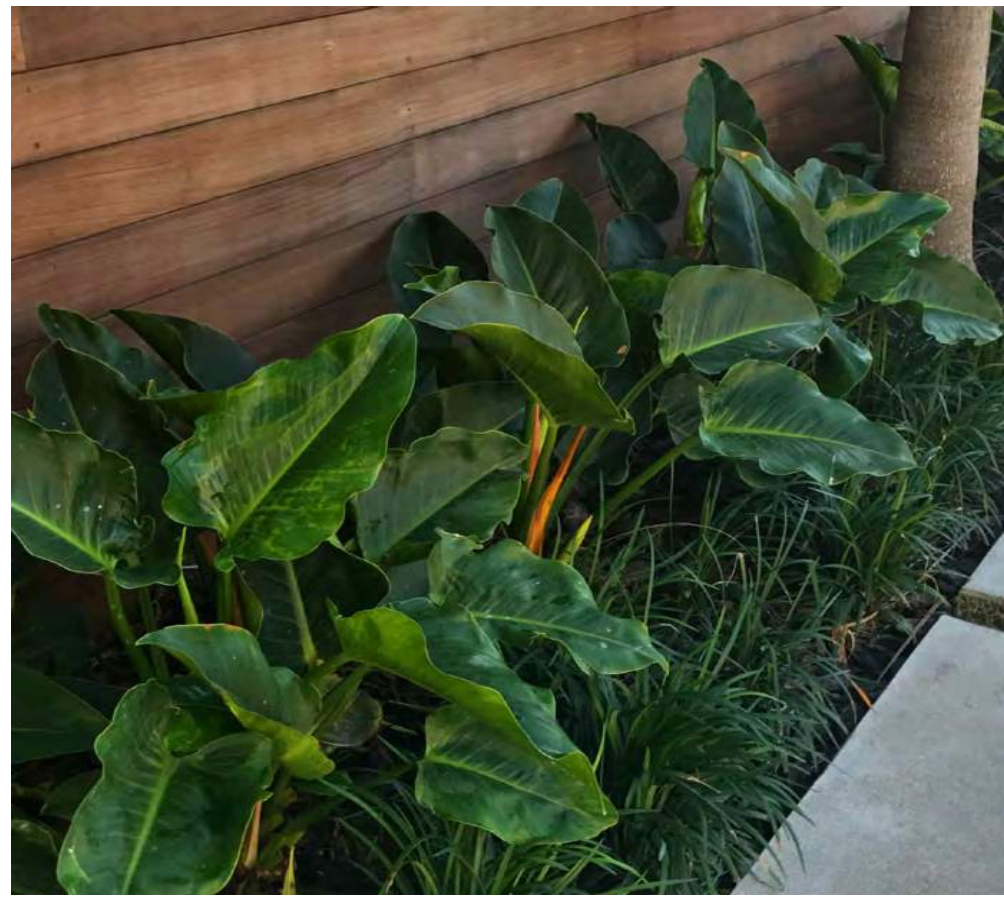
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DRAWN	R.G.
CHECKED	E.A.C.
DATE	09.07.18
SCALE	SHOWN
JOB No.	2018-028

PLOT DATE: 2018-09-06

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PGC / PHILODENDRON 'GREEN CONGO'



PSL / BAHAMA WILD COFFEE



CU / SEAGRAPE TREE



MIC / WART FERN



CN / COCONUT PALM



CM / FISHTAIL PALMS



PS / SYLVESTER DATE PALM



CE / GREEN BUTTONWOOD TREE



VM / MONTGOMERY PALM



FGI / FICUS GREEN ISLAND



CHR / COCOPLUM SHRUB



PHX / PHILODENDRON 'XANADU'



CLN / BLEEDING HEART VINE



TRF / DWARF FAKAHATCHEE GRASS



BC / TROPICAL BLUE BAMBOO

PLANT MATERIAL IMAGES

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No.	REVISIONS	BY
1ST	DRB SUBMIT	
	08.20.18	
2ND	DRB SUBMIT	
	09.07.18	

PROPOSED NEW RESIDENCE FOR:
10 W SAN MARINO

PROJECT
TITLE

CALIL
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AA 26001948 PHONE: (305) 860-9860 FAX: (305) 860-9802
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SEAL

CHRISTOPHER CAWLEY, RLA
Florida License LA 6667769

SHEET No.
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DATE
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E.A.C.
09.07.18
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PLOT DATE: 2018-09-06

CHRISTOPHER CAWLEY | CC
LANDSCAPE ARCHITECTURE LLC | LA
Florida Landscape Architecture Business, LC 26000460
780 NE 69th Street | Suite 1106 | Miami, FL 33138
T 305.979.1585 | www.christophercawley.com

LOCATED AT:
10 W SAN MARINO DRIVE
MIAMI BEACH, FLORIDA 33139

PROJECT
LOCATION

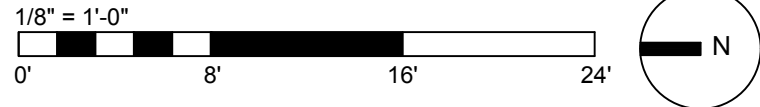
C.M.B. CANOPY MITIGATION SUMMARY
THE CANOPY MITIGATION OF 2,240 SF AS REQUIRED BY THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION AND PROTECTION ORDINANCE HAS BEEN MET AND EXCEEDED. A TOTAL 4,850 SF OF CANOPY HAS BEEN PROVIDED.
CANOPY MITIGATION SUMMARY - (2) NATIVE SEA GRAPE TREES: 600 SF (MB category I @ 300 SF each) - (3) NATIVE SIMPSON STOPPER TREES: 450 SF (MB category II @ 150 SF each) - (11) NATIVE GREEN BUTTONWOOD TREES: 3,300 SF (MB category I @ 300 SF each) - (4) 'MAYPAN' COCONUT PALMS: 200 SF (MB category IV @ 50 SF each) - (3) SYLVESTER DATE PALMS: 150 SF (MB category IV @ 50 SF each) - (3) MONTGOMERY PALMS: 150 SF (MB category IV @ 50 SF each)

C.M.B. EXISTING PALM INVENTORY + DISPOSITION CHART - 10 WEST SAN MARINO DRIVE										
NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	CANOPY AREA	CANOPY LOSS / MIT. REQ. (SQ)
#1	Areca Palm cluster	Dypsis lutescens	NO	+/- 4" ea	+/- 20'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#2	Royal Palm	Roystonea elata	YES	+/- 14"	+/- 35'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#3	Royal Palm	Roystonea elata	YES	+/- 18"	+/- 40'	+/- 18'	FAIR	REMOVE	254 SF	254 SF
#4	Royal Palm	Roystonea elata	YES	+/- 14"	+/- 45'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#5	Royal Palm	Roystonea elata	YES	+/- 14"	+/- 35'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#6	Christmas Palm	Adonidia merrelli	NO	+/- 5"	+/- 15'	+/- 8"	FAIR	REMOVE	50 SF	0 SF
#7	Christmas Palm cluster (triples)	Adonidia merrelli	NO	+/- 4" ea	+/- 25'	+/- 20'	FAIR	REMOVE	314 SF	314 SF
#8	Royal Palm	Roystonea elata	YES	+/- 14"	+/- 35'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#9	Christmas Palm	Adonidia merrelli	NO	+/- 5"	+/- 15'	+/- 8"	FAIR	REMOVE	50 SF	0 SF
#10	Christmas Palm (dbl)	Adonidia merrelli	NO	+/- 5" ea	+/- 15'	+/- 10'	FAIR	REMOVE	79 SF	79 SF
#11	Royal Palm	Roystonea elata	YES	+/- 18"	+/- 40'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#12	Christmas Palm cluster	Adonidia merrelli	NO	+/- 4" ea	+/- 25'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#13	Royal Palm	Roystonea elata	YES	+/- 14"	+/- 35'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#14	Royal Palm	Roystonea elata	YES	+/- 14"	+/- 35'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
#15	Royal Palm	Roystonea elata	YES	+/- 14"	+/- 35'	+/- 15'	FAIR	REMOVE	177 SF	177 SF
TOTAL MITIGATION REQUIRED : 2,240 SF TOTAL MITIGATION PROVIDED : 4,850 SF										

C.M.B. EXISTING PALM SURVEY LEGEND
<div><div></div><div>PALM TO BE REMOVED. SEE CHART L-4.0</div></div>

C.M.B. CHAPTER 46, DIVISION 2 - TREE INVENTORY + DISPOSITION PLAN NOTES
1. THIS 'EXISTING TREE INVENTORY + DISPOSITION PLAN' HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION AND PROTECTION ORDINANCE.
2. EXISTING TREE, PALM, AND VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY ER. BROWNELL + ASSOCIATES ON 05.23.18
3. THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 08.10.18
4. THE OWNER RESERVES THE RIGHT TO REMOVE ANY VEGETATION NOT LOCATED WITHIN THE CITY R.O.W. w/ a D.B.H. OF LESS THAN 8" WITHOUT OBTAINING A TREE REMOVAL PERMIT.

EXISTING PALM SURVEY + DISPOSITION PLAN



- : NOTICE : -	
GENERAL CONTRACTOR:	
FOR CONSTRUCTION, IT IS YOUR RESPONSIBILITY TO WORK TOGETHER WITH THE ARCHITECTURAL & ENGINEERING DRAWINGS. IF ANY DISCREPANCIES APPEAR, CALL THE ARCHITECTS & THE ENGINEERS OF RECORD BEFORE CONTINUING ANY WORK.	

"In my professional judgement and to the best of my knowledge and belief, these plans and specifications comply with applicable Building Codes." This document and the information it contains is the exclusive property of CALIL ARCHITECTS and may not be reproduced or used for other purpose other than the specific project for which it was prepared without the explicit consent of CALIL ARCHITECTS

No.	REVISIONS	BY
1ST	DRB SUBMIT	
	08.20.18	
2ND	DRB SUBMIT	
	09.07.18	

CHRISTOPHER CAWLEY | CC
LANDSCAPE ARCHITECTURE LLC | LA
Florida Landscape Architecture Business, LC 26000480
780 NE 99th Street | Suite 1106 | Miami, FL 33138
T 305.979.1585 | www.christophercawley.com

PROPOSED NEW RESIDENCE FOR: 10 W SAN MARINO	PROJECT TITLE
LOCATED AT: 10 W SAN MARINO DRIVE MIAMI BEACH, FLORIDA 33139	PROJECT LOCATION

CALIL
ARCHITECTS
1728 CORAL WAY, SUITE-702 MIAMI, FLORIDA 33145
AA 26001949 PHONE: (305) 860-3600 FAX: (305) 860-3602
EDUARDO A. CALIL, ARCHITECT LICENSE No. AR 0009383
WWW.CALILARCHITECTS.COM

SEAL
CHRISTOPHER CAWLEY, RLA Florida License LA 6665769

SHEET No.	
L-4.0	
DRAWN	R.G.
CHECKED	E.A.C.
DATE	09.07.18
SCALE	SHOWN
JOB No.	2018-028

PLOT DATE: 2018-09-06