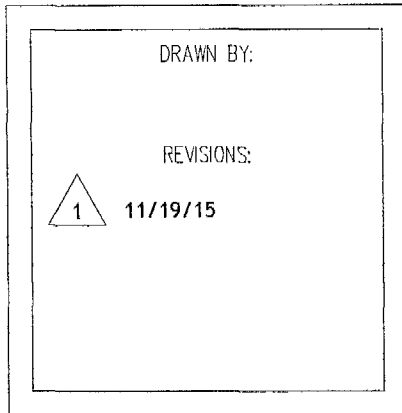


WATER & SEWER INSTALLATION NOTES:

- 1- A HORIZONTAL DISTANCE OF 10 FT. SHALL BE MAINTAINED BETWEEN WATER & SEWER MAINS. WHEN THE 10 FEET HORIZONTAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH MECHANICAL JOINTS.
- 2- A VERTICAL DISTANCE OF AT LEAST 18 INCHES SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS. THE SEWER SHALL BE A DUCTILE IRON SINGLE 20 FEET LENGTH CENTERED ON THE CROSSING IF THE MINIMUM VERTICAL DISTANCE IS LESS THAN 18 INCHES OR THE SEWER IS INSTALLED ABOVE THE WATER MAIN (REGARDLESS OF SEPARATION).
- 3- IN HIGHLY CONGESTED AREAS, WHERE EITHER WATER OR SEWER FACILITIES ARE EXISTING AND THE SEPARATION REQUIREMENTS CANNOT BE MET, SPECIAL CONSIDERATION MAY BE GIVEN SUBJECT TO A COMPLETE EVALUATION OF EXISTING AND PROPOSED CONDITIONS.
- 4- THE MAXIMUM ALLOWABLE EXFILTRATION RATE OF GRAVITY SANITARY SEWERS CONSTRUCTED IN A PUBLIC WELLFIELD PROTECTION AREA SHALL BE FIFTY (50) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY FOR RESIDENTIAL LAND USE AND TWENTY (20) GALLONS PER INCH PIPE DIAMETER PER MILE PER DAY FOR NONRESIDENTIAL LAND USE.
- 5- SANITARY SEWER FORCE MAIN EXFILTRATION RATE SHALL NOT BE GREATER THAN ONE-HALF (1/2) THE ALLOWABLE LEAKAGE RATE SPECIFIED IN AWWA C600-82 AT A TEST PRESSURE OF 100 POUNDS PER SQUARE INCH.
- 6- THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- 7- ALL OTHER PUBLIC OR PRIVATE UTILITY FACILITIES SHALL BE CONSTRUCTED AT LEAST 3 FEET (HORIZONTAL SEPARATION) FROM ANY WATER AND SEWER MAIN AS MEASURED FROM THE OUTSIDE BELL OF THE WATER AND SEWER PIPE TO THE OUTSIDE OF THE UTILITY PIPE.
- 8- WHEN THE 3 FEET HORIZONTAL SEPARATION BETWEEN PROPOSED AND EXISTING LINE IS NOT POSSIBLE, THE CONTRACTOR SHALL HAND DIG OR EXPOSE THE WATER AND SEWER PIPES BEFORE PROCEEDING WITH POWER EQUIPMENT EXCAVATION.
- 9- IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC., IN THE SAME TRENCH PARALLEL TO AND ABOVE EXISTING WATER AND SEWER PIPES EXCEPT WHERE THEY CROSS. ANY DEVIATION FROM NOTES 6, 7 AND 8 SHALL BE APPROVED IN WRITING BY THE RESPONSIBLE WATER AND SEWER UTILITY.

SPECIALE NOTES:

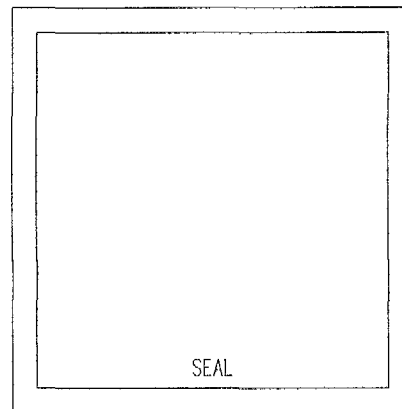
- 1- SEE SHEET C-2 FOR DRAINAGE PLAN, AND SHEET C-4 FOR DRAINAGE DETAILS.
- 2- SEE ARCHITECTURAL AND STRUCTURAL PLAN FOR ADDITIONAL DETAILS.
- 3- CONTRACTOR SHALL REPAIR/REPLACE EXISTING PAVEMENT, CURB AND GUTTER, DRIVEWAY, SIDEWALK, AND OTHER EXISTING FEATURES DAMAGED DURING THE INSTALLATION OF THE IMPROVEMENTS AS PER THE CITY OF MIAMI BEACH AND/OR FDOT STANDARDS.
- 4- ALL EXISTING PAVEMENT MARKINGS AND SIGNAGE IN THE RIGHT-OF-WAY TO REMAIN.
- 5- ALL PROPOSED PAVEMENT MARKINGS AND SIGNAGES SHALL CONFORM TO THE CITY OF MIAMI BEACH AND/OR FDOT STANDARDS.
- 6- FOR MAINTENANCE OF TRAFFIC, REFER TO FDOT INDEX NO. 600, AND NO. 603.
- 7- FOR ADDITIONAL NOTES AND SPECIFICATIONS, CONTRACTOR SHALL REFER TO CITY OF MIAMI BEACH PUBLIC WORKS MANUAL, PART II, SECTION 6 - WATER AND DISTRIBUTION SYSTEM, SECTION 7 - SANITARY SEWER COLLECTION SYSTEM, AND SECTION 8 - STORM WATER DRAINAGE SYSTEM.
- 8- SEE PLUMBING PLANS FOR CONTINUATION OF SANITARY SEWER SERVICE LINES AND EQUIPMENT.



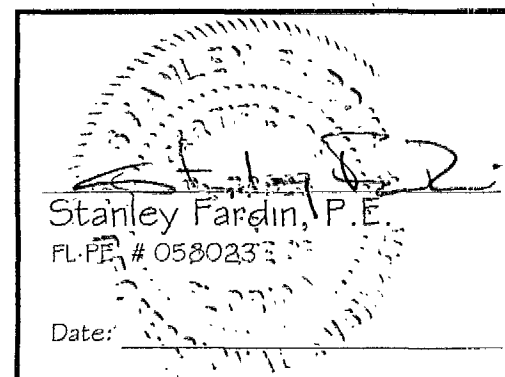
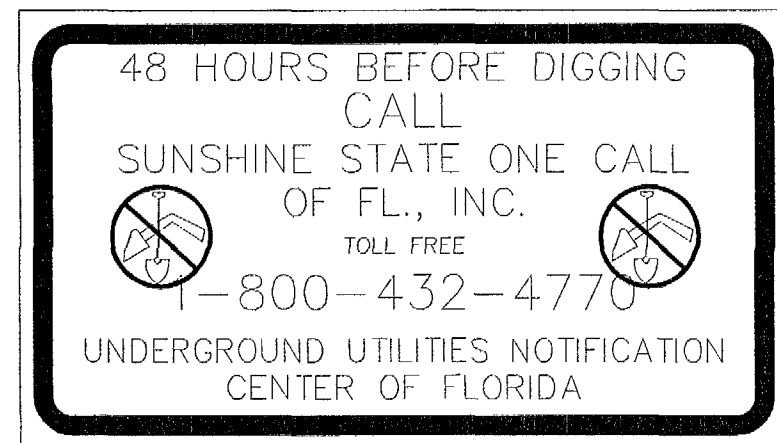
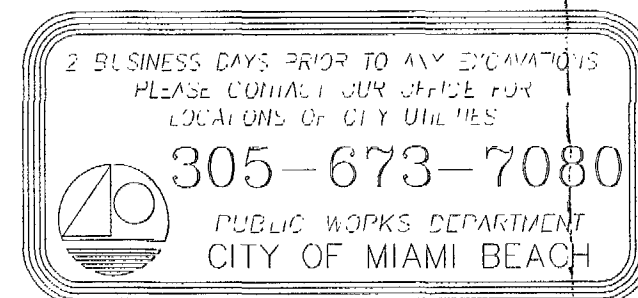
AA0003669
ANTHONY LEON
006762

3 DESIGN
ARCHITECTURE

4300 Biscayne Blvd. #G-04, Miami, FL 33137
P: 305.438.9377 | F: 305.438.9379



NEW RESIDENCE
FOR:
4354 ALTON ROAD
MIAMI BEACH, FL 33139



Samabi GROUP INC.
Consulting Engineers

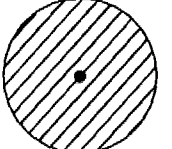

13335 SW 124th STREET, SUITE 111
MIAMI, FL 33186
T: 305-454-8212
F: 305-514-0582
samabi@bellsouth.net

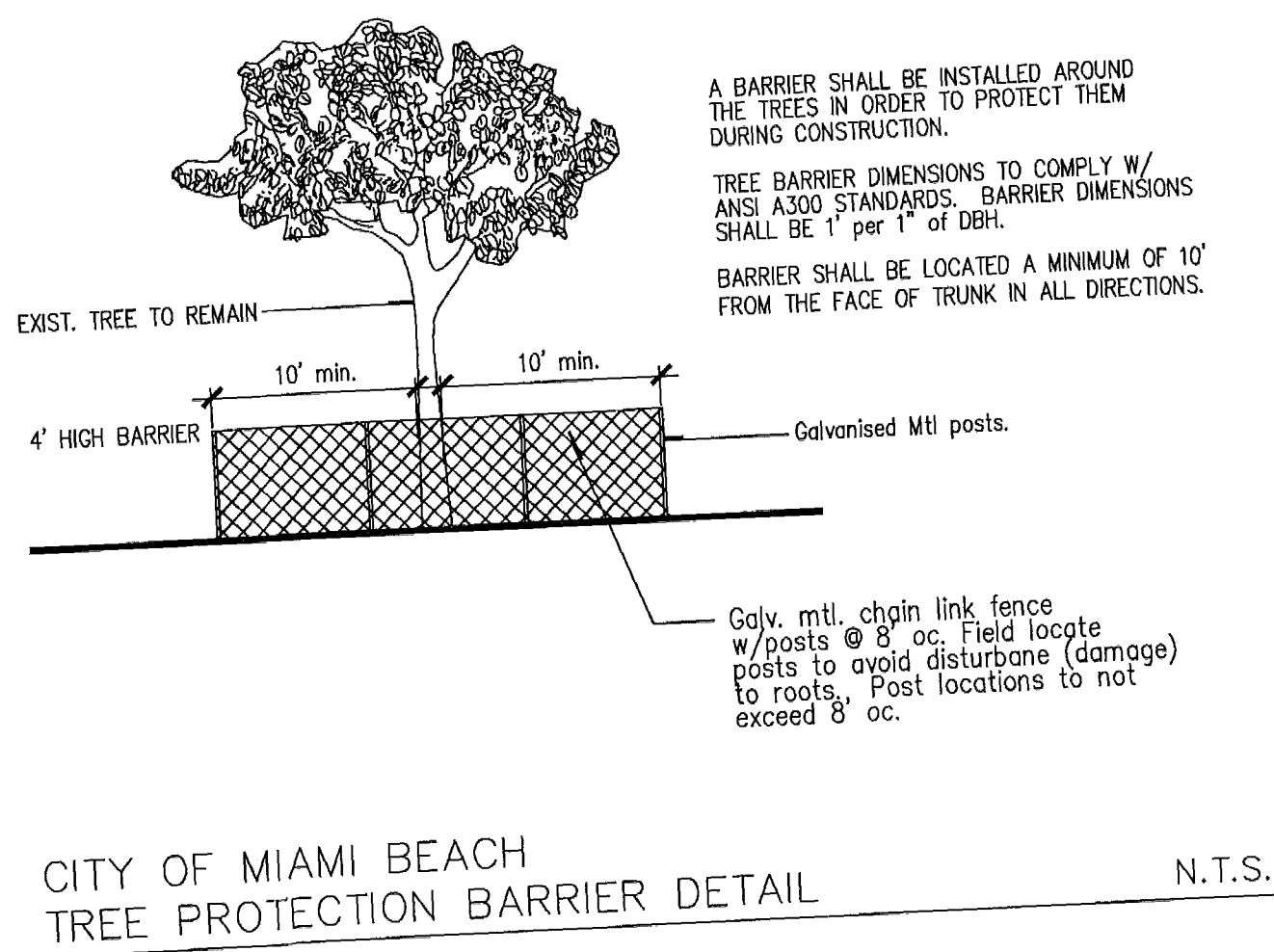
Certificate of Authorization No.: 26611

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DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

C-3
SANITARY SEWER
NOTES - DETAILS

#-Key	Botanical / Common Name	Disposition	Description, Notes
#1 PC	Phoenix canariensis / Canary Island Date	-Relocate-	18' oa ht, 20' spr, 35" dbh.
#2 PC	Phoenix canariensis / Canary Island Date	-Relocate-	18' oa ht, 20' spr, 31" dbh.
#3 PC	Phoenix canariensis / Canary Island Date	-Relocate-	16' oa ht, 18' spr, 28" dbh.
#4 FR	Ficus religiosa / Bo Tree	Remain	35' oa ht, 35' spr, 17,25,21,7,8" dbhs
#5 SM	Swietenia mahagoni / Mahogany	-Remove-	25' oa ht, 33' spr, 18" dbh.
#6 WR	Washingtonia robusta / Washingtonia Palm	-Remove-	45' oa ht, 20' spr, 8.5" dbh.
#7 CN	Cocos nucifera / Coconut Palm	-Remove-	45' oa ht, 20' spr, 10" dbh.
#8 CN	Cocos nucifera / Coconut Palm	-Remove-	45' oa ht, 18' spr, 11.5" dbh.
#9 CN	Cocos nucifera / Coconut Palm	-Remove-	24',16',14' oa ht, 13' spr, 3 @ 4" dbh.
#10 AM	Adonidia merrillii / Christmas Palm	-Remove-	20' oa ht, 8' spr, 3" dbh.
#11 PE	Ptychosperma elegans / Alexander Palm	-Remove-	30' oa ht, 32' spr, 13" dbh.
#12 PA	Persea americana / Avocado	-Remove-	20' oa ht, 16' spr, 8" dbh.
#13 LI	Lagerstromia indica / Cape Myrtle	-Remove-	22', 18' oa ht, 15' spr, 2 @ 5" dbh.
#14 AM	Adonidia merrillii / Christmas Palm	-Remove-	

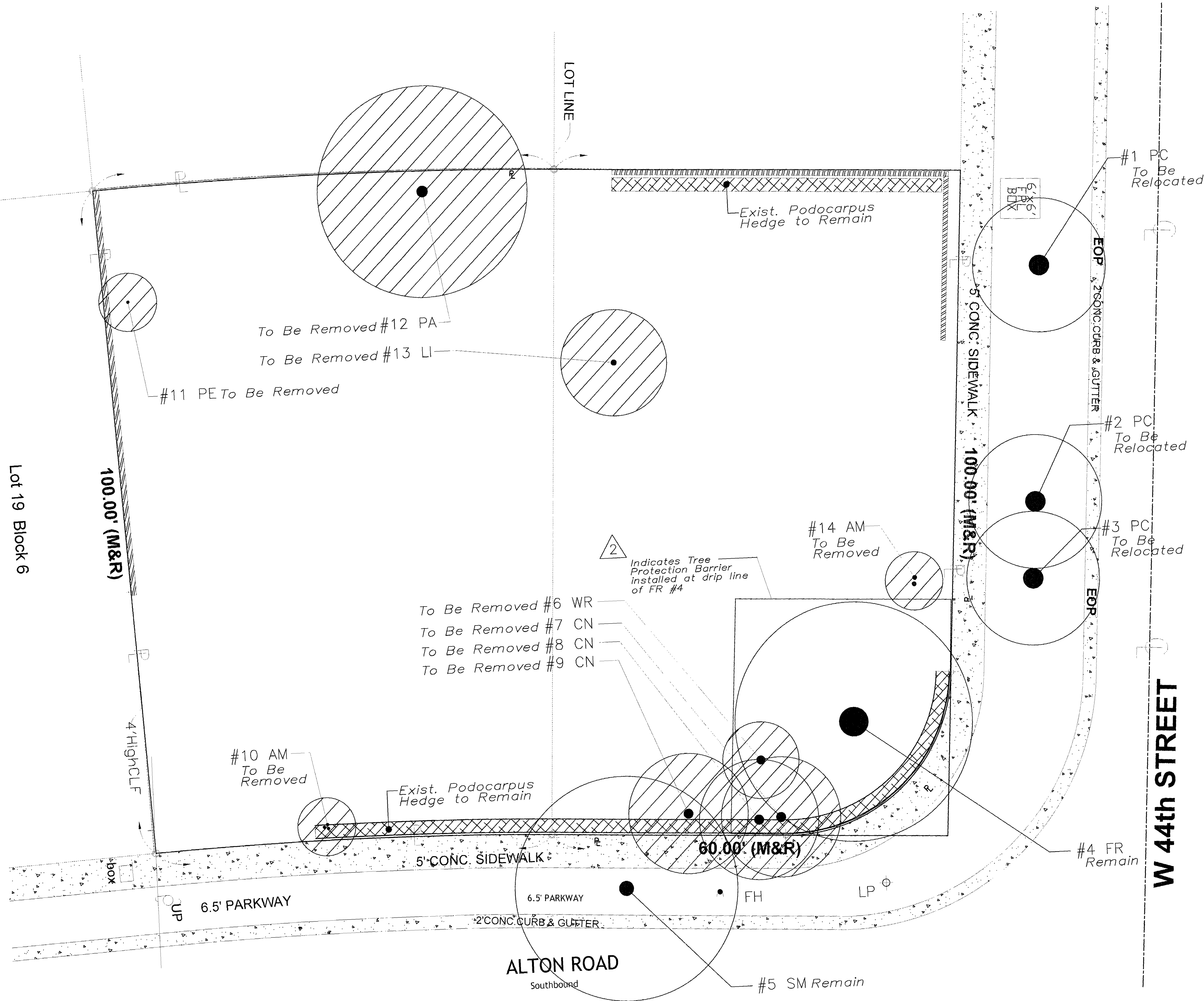
 Indicates Existing Tree / Palm
 To Be Removed



1

CITY OF MIAMI BEACH
TREE PROTECTION NOTES

- Understory plants within areas surrounded by protective barriers shall be protected.
- No oil, fill, equipment, building materials, building debris, or any other material shall be placed within the area surrounded by the protective barrier.
- No disposal of any waste material such as paints, oils, solvents, asphalt, concrete, mortar, or any other material shall occur within the areas surrounded by protective barriers.
- Natural grade shall be maintained on areas surrounded by the protective barriers. In the event that the natural grade of the site is changed as a result of site development such that the safety of the tree is endangered, tree wells or retaining walls are required.
- Only hand digging and grading activities will be permitted within the tree protection zone. All surrounding areas must be graded to a point that meets the outside of the tree protection zone.
- Underground utility lines, including, but not limited to, irrigation, plumbing, electrical, or telecommunication lines shall be placed outside the areas enclosed by protective barriers. If said placement is not possible, disturbance and root damage shall be minimized by using techniques such as tunneling, hand digging, excavations with an air spade, or use of overhead utility lines.
- No vehicles or equipment shall be permitted within areas surrounded by the protective barrier.
- Written permission is required from the Urban Forester & the Planning Department prior to removal of the Tree Protection Barrier, in order to complete the work, within the boundary. Work performed within the boundary is to be done by hand, (no machinery), and an on-site walk through may be required.



TREE SURVEY & DISPOSITION PLAN
SCALE: 1/8" = 1'-0"

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LA 1.0

TREE SURVEY
& DISPOSITION PLAN

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ANTHONY LEON
001652

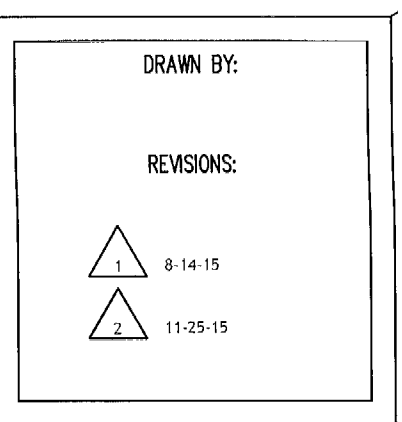
DESIGN
ARCHITECTURE
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P: 305-438-9377 | F: 305-438-9379

H.L. Martin, Landscape Architect, P.A.
LC# 20000404 LA #0001722
5985 SW 30th Street, Miami, Florida 33155
305-750-4272; hmartin@hmartinla.com
Harriet L. Martin, Landscape Architect

NEW RESIDENCE
AT
4354 ALTON ROAD
MIAMI BEACH, FL 33139

Plant List				
Qty	Key	Botanical / Common Name	Description	
4	SG	<i>Sinaruba glauca</i> / Paradise Tree	12' oa ht, 2" cal, 5' spr.	Yes
3	SM	<i>Swietenia mahogani</i> / Mahogany Street Trees	14' oa ht, 3" cal, 7' spr, 4' ct	Yes
1	RE	<i>Roystonea elata</i> / Royal Palm	14' GW, 28-30" oa hts	Yes
3	THR	<i>Thrinax radiata</i> / Thatch Palm	5', 7', 9' oa hts	Yes
4	VM	<i>Veitchia montomeriana</i> / Veitchia Palm	22', 18', 2 @ 14' oa hts	No
7	CD	<i>Coccoloba diversifolia</i> / Pigeon Plum	12' oa ht, 2" cal, 5' spr.	Yes
8	CM	<i>Caryota mitis</i> / Fishtail Palm	16'-18' oa ht, 8" spr, 5 trunks, min.	No
3	SP	<i>Sabal palmetto</i> / Sabal Palm	16'-30' oa hts, staggered	Yes
3	WB	<i>Wodyetia bifurcata</i> / Foxtail Palm	18' oa hts, matched	No
3	RHE	<i>Rhapis excelsa</i> / Lady Palm	4'-5' ht, 3'spr, 15 gal.	No
4	COE	<i>Conocarpus erectus</i> / Green Buttonwood	36"ht x 18"spr, 7 gal.	Yes
20	CHI	<i>Chrysobalanus icaco</i> / Red Tip Coccolup	18"ht x 18"spr, 3 gal.	Yes
92	POM	<i>Podocarpus macrophyllus</i> / Podocarpus	7-8"ht x 3'spr, 45 gal.	No
36	CLG	<i>Clusia guttifera</i> / Small Leaf Clusia	4-5"ht x 2'spr, 15 gal.	No
13	CLG	<i>Clusia guttifera</i> / Small Leaf Clusia	8-9"ht x 3'spr, 25 gal.	No
7	COV	<i>Codiaeum variegatum</i> / Crotons	30"ht, 24" spr. 15 gal.	No
3	HEC	<i>Hedychium coronarium</i> / White Ginger	30"ht, 24" spr. 15 gal.	No
31	MOD	<i>Monstera deliciosa</i> / Monstera	24"ht, 24"spr, 7 gal.	No
80	PHB	<i>Philodendron Burle Marx</i> / Burle Marx	16"ht x 16"spr, 3 gal.	No
11	PRC	<i>Philodendron rojo-congo</i> / Rogo Congo	18"ht, 18"spr, 3 gal.	No
16	BAP	<i>Burleria repens</i> / Coral Creeper	8"ht x 8" spr, 3 gal.	No
35	SPR	<i>Spatheoglottis plicata</i> / Ground Orchids	16"ht x 18"spr, 3 gal.	No

Tree Disposition List (Remain & Relocated)			
#-Key	Botanical / Common Name	Disposition	Description, Notes
#1 PC	<i>Phoenix canariensis</i> / Canary Island Date	Relocated	18' oa ht, 20' spr, 35" dbh.
#2 PC	<i>Phoenix canariensis</i> / Canary Island Date	Relocated	18' oa ht, 20' spr, 31" dbh.
#3 PC	<i>Phoenix canariensis</i> / Canary Island Date	Relocated	16' oa ht, 18' spr, 28" dbh.
#4 FR	<i>Ficus religiosa</i> / Bo Tree	Remain	35' oa ht, 35' spr, 17.25,21,7.8" dbhs



ANTHONY LEON
0016752

3
DESIGN
ARCHITECTURE

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AT:
4354 ALTON ROAD
MIAMI BEACH, FL 33139



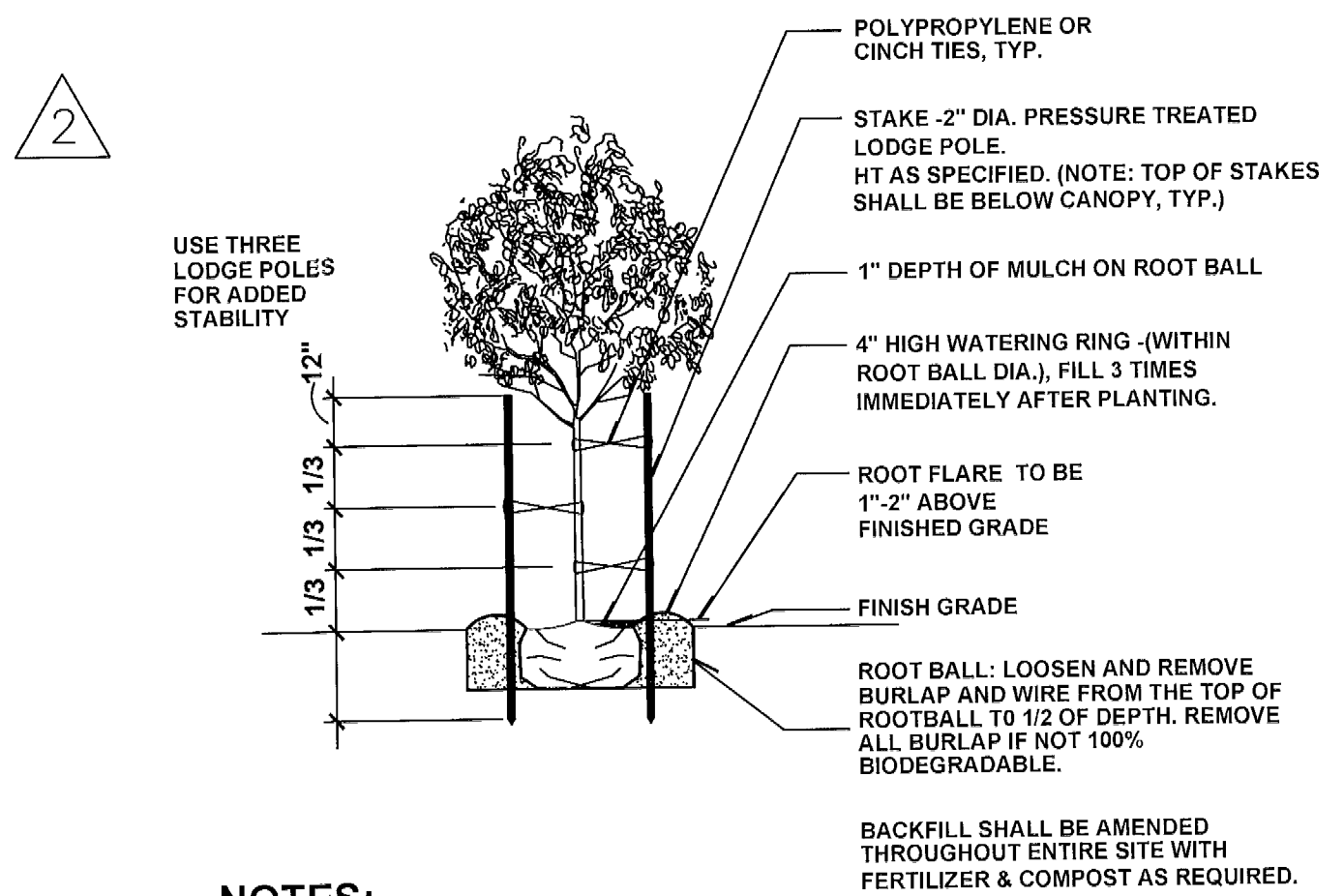
LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

THE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSTRUED AS CONSTRUCTION
PERMITS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

LA 1.1

LANDSCAPE PLAN

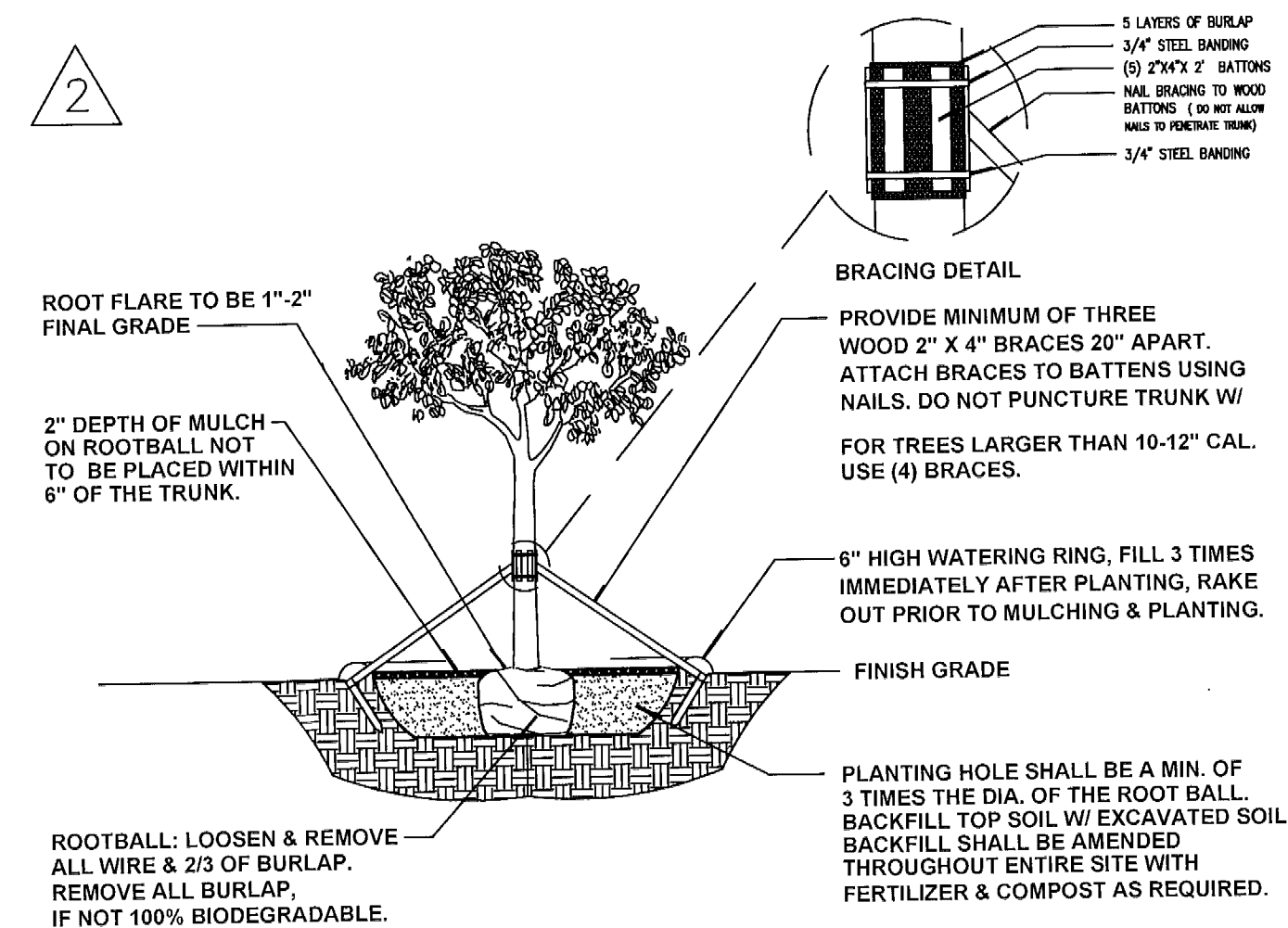


NOTES:

- MULCH SHALL BE AMERIGROW RECYCLED PINEBARK BROWN OR CITY APPROVED EQUIVALENT.
- DO NOT APPLY MULCH WITHIN 6" OF THE TREE TRUNK

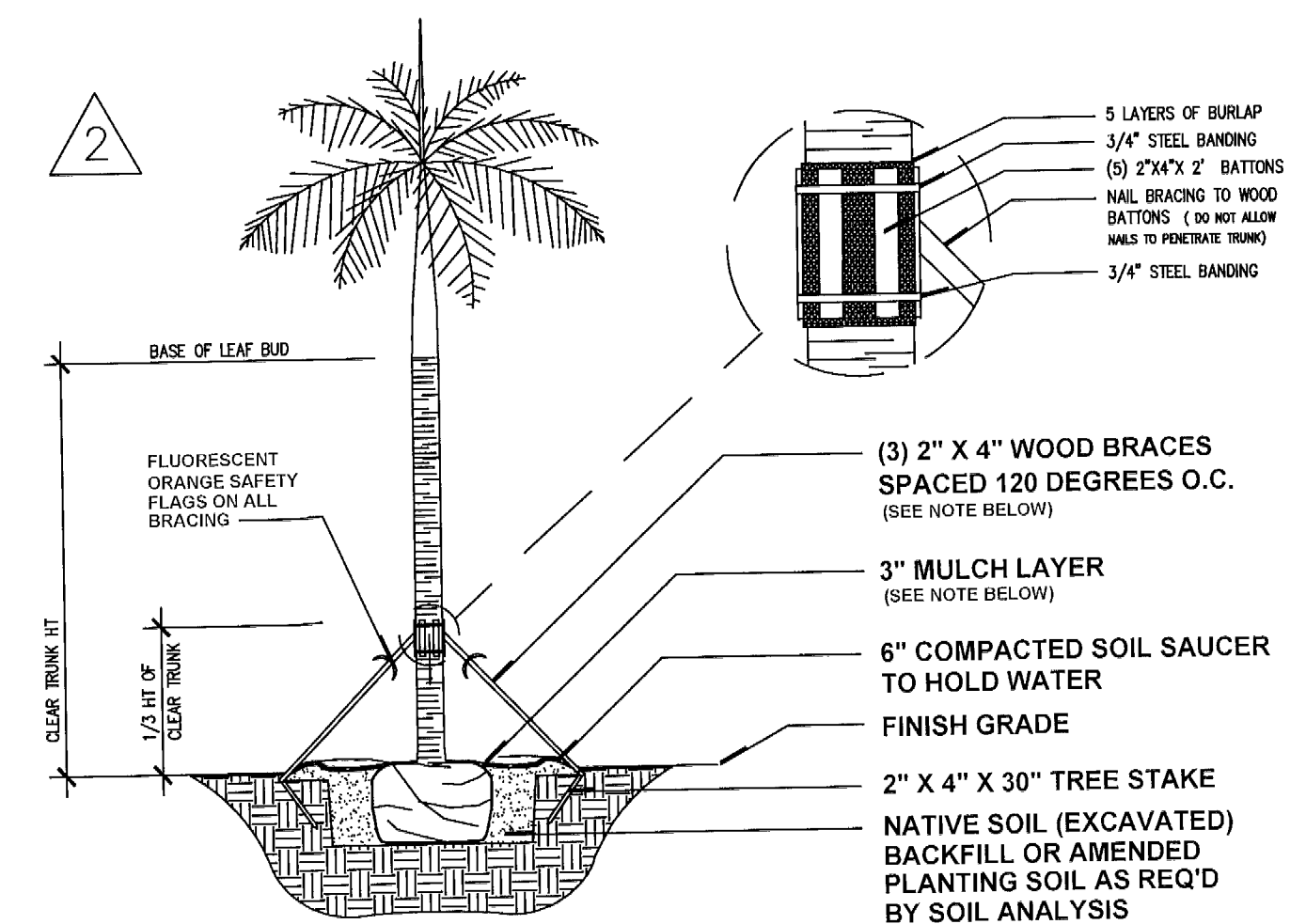
City of Miami Beach
Tree Planting & Bracing Detail With
A Caliper up to 2.5"

N.T.S.



City of Miami Beach
Tree Planting & Bracing Detail
Caliper of 2.5" or Greater

N.T.S.



NOTES:

- PALMS OVER 30' GW HT, USE MINIMUM (4) 4" X 4" BRACING AND STAKES.
- PRIMARY STAKES SHOULD BE PLACED PARALLEL TO WALKWAYS WHENEVER POSSIBLE.
- RECEIVING PLANTING HOLE SHALL BE APPROXIMATELY 1/3 LARGER THAN ROOTBALL.
- BUD SHALL BE PERPENDICULAR TO THE GROUND PLANE.
- TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES.
- NO SCARRED OR BLACKENED TRUNKS.
- AMENDED SOIL MIX. TO BE ADDED AT THE TIME OF PLANTING, IF NEEDED. SHALL CONSIST OF A RATIO MIX 80% CLEAN SILICA SAND AND 20% SCREENED, PULVERIZED TOPSOIL AS NEEDED.
- ANCHORING STAKES SHALL BE DRIVEN A MIN. OF 3" BELOW GRADE.
- MULCH SHALL BE AMERIGROW RECYCLED PINEBARK BROWN OR CITY APPROVED EQUIVALENT.

City of Miami Beach
Typical Palm Planting Detail

N.T.S.

PLANT NOTES

- 1
- ALL PLANT MATERIAL TO BE FLORIDA NO. 1 OR BETTER FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS; PARTS I AND II, 5th EDITION: 2015. RESPECTIVELY.
 - MULCH TO BE "PREMIUM PINEBARK BROWN" SHREDDED MULCH, BY AMERIGROW, OR A CITY APPROVED ALTERNATIVE.
 - ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER, NO NAIL STAKING IN TRUNKS PERMITTED. ALL GUYING & STAKING TO BE REMOVED WITHIN 12 MONTHS AFTER PLANTING.
 - LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
 - ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD, (UNLESS OTHERWISE NOTED) AND LAID WITH ALTERNATING AND ABUTTING JOINTS.
 - ALL PLANTING BEDS TO BE WEED AND GRASS FREE.
 - LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 - LANDSCAPE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND PREPARE ONES OWN QUANTITY COUNTS(PRIOR TO BID COST AND COMPARE TO ARCHITECT'S PLANT LIST). LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ATTAINING ACCURATE COUNT OF PLANT MATERIALS SPECIFIED. IN THE EVENT OF DISCREPANCIES, LANDSCAPE CONTRACTORS SHALL BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT. PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST.
 - NO CHANGES SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT. ADDITIONALLY, SEE CITY OF MIAMI BEACH'S GREENSPACE MANAGEMENT NOTE #4 BELOW.
 - ALL PLANTED AREAS TO RECEIVE 100% COVERAGE BY AN AUTOMATIC IRRIGATION SYSTEM, WITH A MINIMUM OF 50% OVERLAP. RAIN SENSOR TO BE PROVIDED.
 - LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIAL FOR FOR ONE YEAR, FOLLOWING FINAL ACCEPTANCE BY THE CITY OF MIAMI BEACH.
 - ALL GUYING & STAKING SHALL BE REMOVED FROM ALL TREES & PALMS WITHIN TWELVE MONTHS AFTER PLANTING. EXCEPTIONS REQUIRE WRITTEN AUTHORIZATION FROM THE CITY URBAN FORESTER.
 - A FINAL ON-SITE INSPECTION SHALL BE REQUIRED WITH GREENSPACE MANAGEMENT STAFF PRIOR TO ANY OFFICIAL ACCEPTANCE OF ROW PLANT MATERIAL, IN ORDER TO VERIFY PROPER PLANTING DEPTH, SPACING AND QUALITY OF THE MATERIAL. FAILURE TO CONDUCT THE INSPECTION COULD RESULT IN REJECTION OF THE PLANT MATERIAL.

City of Miami Beach, Greenspace Management Notes:

- 1
- An onsite inspection shall be required with Greenspace Management staff prior to installation of any plant material, in order to perform a grades and standards inspection. Failure to conduct the inspection could result in rejection of the plant material.
 - A final onsite inspection shall be required with Greenspace Management staff prior to any official acceptance of plant material, in order to verify proper planting depth, spacing and quality of the material. Failure to conduct the inspection could result in rejection of the plant material.
 - Please utilize Amerigrow (Premium Pinebark Brown) shredded mulch or a City approved alternative. Mulch shall not be applied within 6" of the trunks of any existing or proposed trees or palms.
 - All guying & staking shall be removed within twelve months after planting. Exceptions require written authorization from the City Urban Forester.
 - No substitutions shall be made without prior consent of the City Urban Forester and/or the Planning Department.

A Tree Removal Permit shall be required from the City of Miami Beach for all trees & palms to be removed or relocated, that are not considered exempt, prior to ANY tree or palm removal activity. Please provide a copy of the issued permit prior to FINAL inspection and if not required, proof of exemption.

Plant List

Qty	Key	Botanical / Common Name	Description	
4	SG	Simaruba glauca / Paradise Tree	12' oa ht, 2" cal, 5' spr.	Yes
3	SM	Swietenia mahagoni / Mahogany Street Trees	14' oa ht, 3" cal, 7' spr, 4' ct	Yes
1	RE	Roystonea elata / Royal Palm	14' GW, 28-30' oa hts	Yes
3	THR	Thrinax radiata / Thatch Palm	5', 7', 9' oa hts	Yes
4	VM	Veitchia montgomeriana / Veitchia Palm	22', 18', 2 @ 14' oa hts	No
7	CD	Coccotheca diversifolia / Pigeon Plum	12' oa ht, 2" cal, 5' spr.	Yes
8	CM	Caryota mitis / Fishtail Palm	16'-18' oa ht, 8' spr, 5 trunks, min.	No
3	SP	Sabal palmetto / Sabal Palm	16'-30' oa hts, staggered	Yes
3	WB	Wodyetia bifurcata / Foxtail Palm	18' oa hts, matched	No
3	RHE	Rhapis excelsa / Lady Palm	4'-5' ht, 3'spr, 15 gal.	No
14	COE	Conocarpus erectus / Green Buttonwod	36"ht x 18"spr, 7 gal.	Yes
20	CHI	Chrysobalanus icaco / Red Tip Cocoplum	18"ht x 18"spr, 3 gal.	Yes
92	POM	Podocarpus macrophyllus / Podocarpus	7'-8"ht x 3"spr, 45 gal.	No
36	CLG	Clusia guttifera / Small Leaf Clusia	4'-5"ht x 2"spr, 15 gal.	No
13	CLG1	Clusia guttifera / Small Leaf Clusia	8'-9"ht x 3"spr, 25 gal.	No
7	COV	Codiaeum variegatum / Crotons	30"ht, 24" spr. 15 gal.	No
3	HEC	Hedychium coronarium / White Ginger	30"ht, 24" spr. 15 gal.	No
31	MOD	Monstera deliciosa / Monstera	24"ht, 24"spr, 7 gal.	No
80	PHB	Philodendron Burle Marx / Burle Marx	16"ht x 16"spr, 3 gal.	No
11	PRC	Philodendron rojo-congo / Rago Congo	18"ht, 18"spr, 3 gal.	No
15	BAR	Barleria repens / Coral Creeper	8"ht x 8" spr, 3 gal.	No
36	SPP	Spathoglottis plicata / Ground Orchids	18"ht x 18"spr, 3 gal.	No

Tree Disposition List (Remain & Relocated)

#-Key	Botanical / Common Name	Disposition	Description, Notes
#1 PC	Phoenix canariensis / Canary Island Date	Relocated	18' oa ht, 20' spr, 35" dbh.
#2 PC	Phoenix canariensis / Canary Island Date	Relocated	18' oa ht, 20' spr, 31" dbh.
#3 PC	Phoenix canariensis / Canary Island Date	Relocated	16' oa ht, 18' spr, 28" dbh.
#4 FR	Ficus religiosa / Bo Tree	Remain	35' oa ht, 35' spr, 17,25,21,7,8" dbhs

DRAWN BY:

REVISIONS:

8-14-15

11-25-15

AA0003659

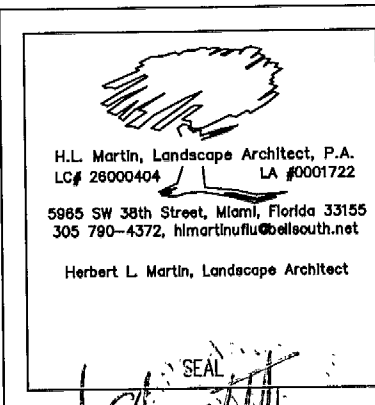
ANTHONY LEON

006152

3 DESIGN ARCHITECTURE

4300 Biscayne Blvd. #G-04, Miami, FL 33137

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NEW RESIDENCE

AT

4354 ALTON ROAD

MIAMI BEACH, FL 33139

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LA

1.1A

LANDSCAPE PLAN

LIGHTING EQUIPMENT TABLE

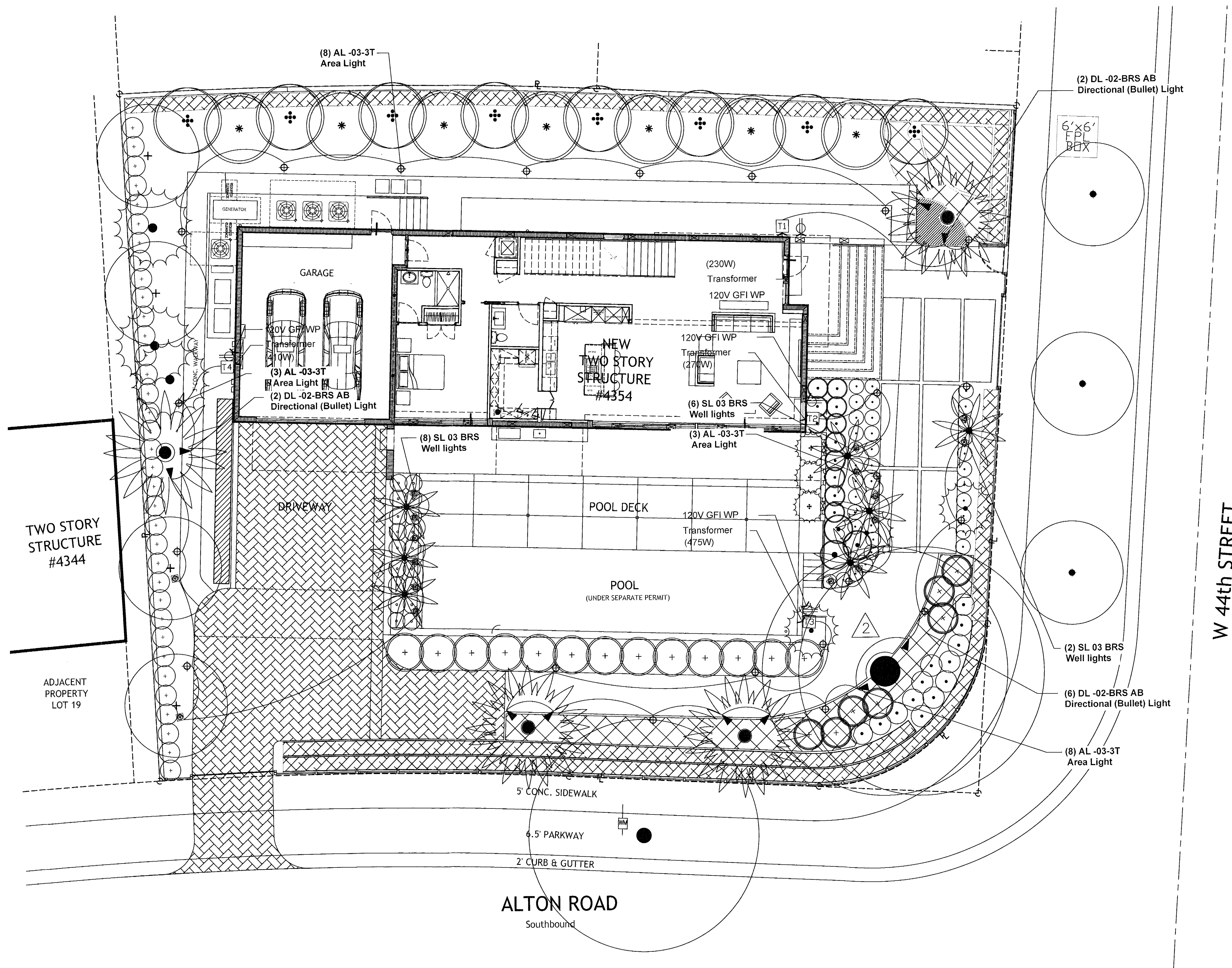
Landscape Lighting Components by Focus Lighting

- 10  DIRECTIONAL (Bullet) LIGHT
DL- 02-BRS w/ 35W MR-16 Ultra Bulb
W/ FA-03 Black 9" ABS Stake threaded 1/2" NPS
- 16  WELL LIGHT
SL- 03-BRS w/ 35 W MR-16 Ultra Bulb
- 21  AREA LIGHT
AL- 03-3T w/ 20 W-H Bulb
- T1 T2 TRANSFORMER
WT-12-300. Wall mounted, weatherproof
- T3 T4 TRANSFORMER
WT-12-600. Wall mounted, weatherproof

Landscape Lighting Contractor to provide
2" PVC (electrical rated) under all paved
& sodded areas.

Landscape Lighting Contractor to coordinate
GFI & transformer locations w/ electrical
subcontractor.

Note: Bottom of wall mtd. transformers to be
a minimum of 24" above adjacent grade.



DRAWN BY:
REVISIONS:
1 8-14-15
2 11-25-15

AA0003569
ANTHONY LEON
0016752

DESIGN
ARCHITECTURE

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H.L. Martin, Landscape Architect, P.A.
Lic. #0001722
1985 SW 36th Street, Miami, Florida 33135
305.790.4372, hmartin@hmartinla.com
Herbert L. Martin, Landscape Architect

NEW RESIDENCE
AT:
4354 ALTON ROAD
MIAMI BEACH, FL 33139

 LANDSCAPE LIGHTING PLAN
SCALE: 1/8" = 1'-0"

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LA 1.2
LANDSCAPE
LIGHTING PLAN

LAYOUT

LAYOUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE ALL NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS PRIOR TO EXCAVATING TRENCHES

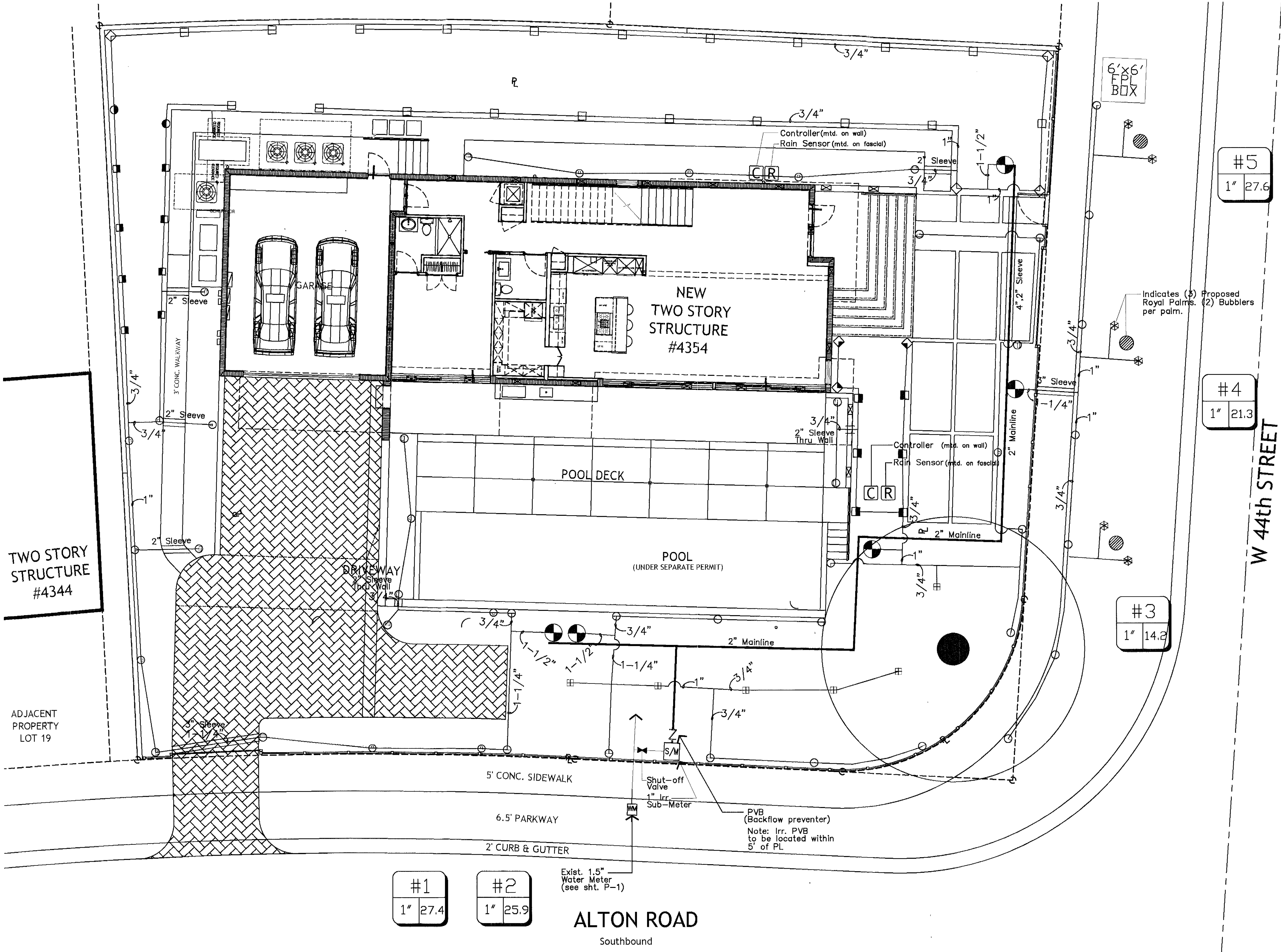
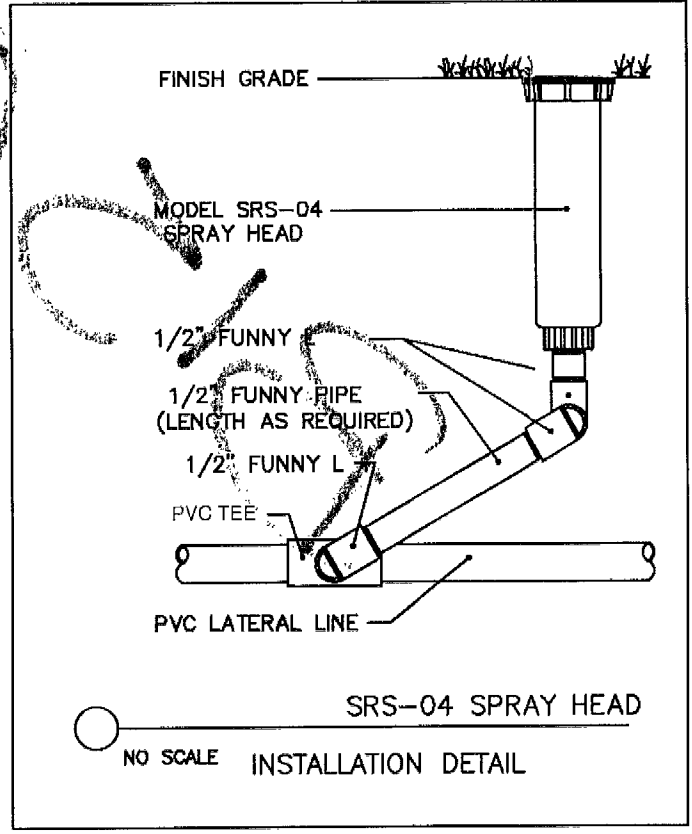
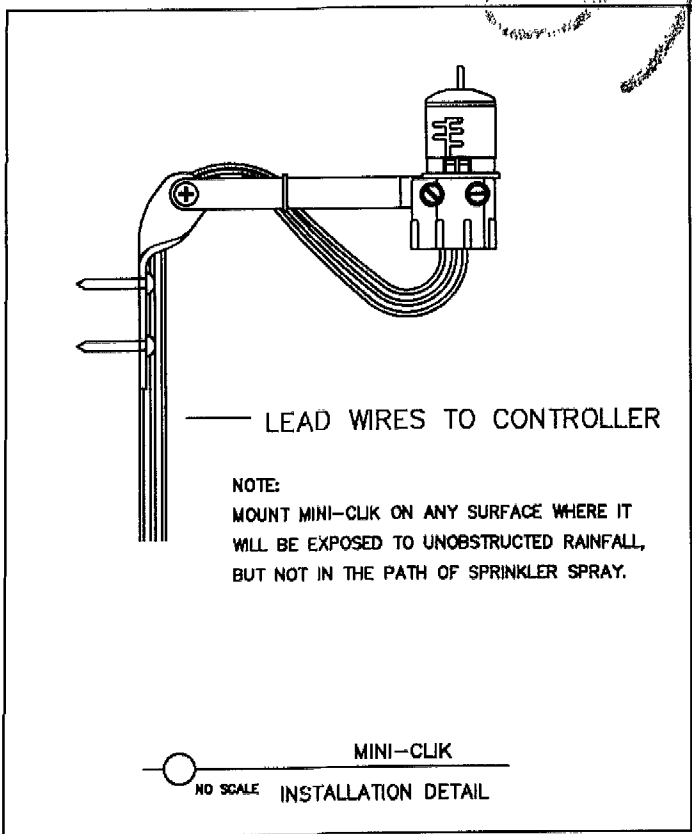
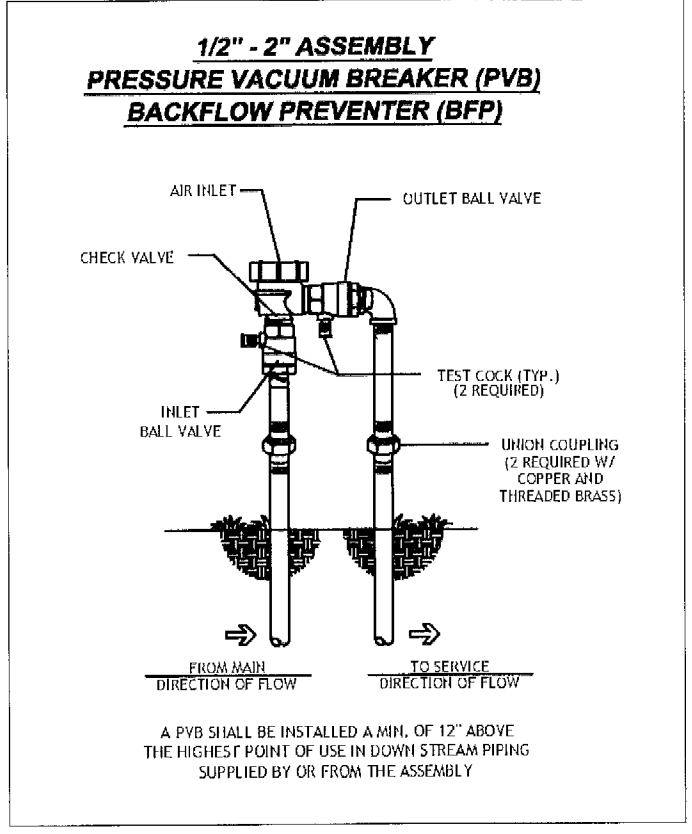
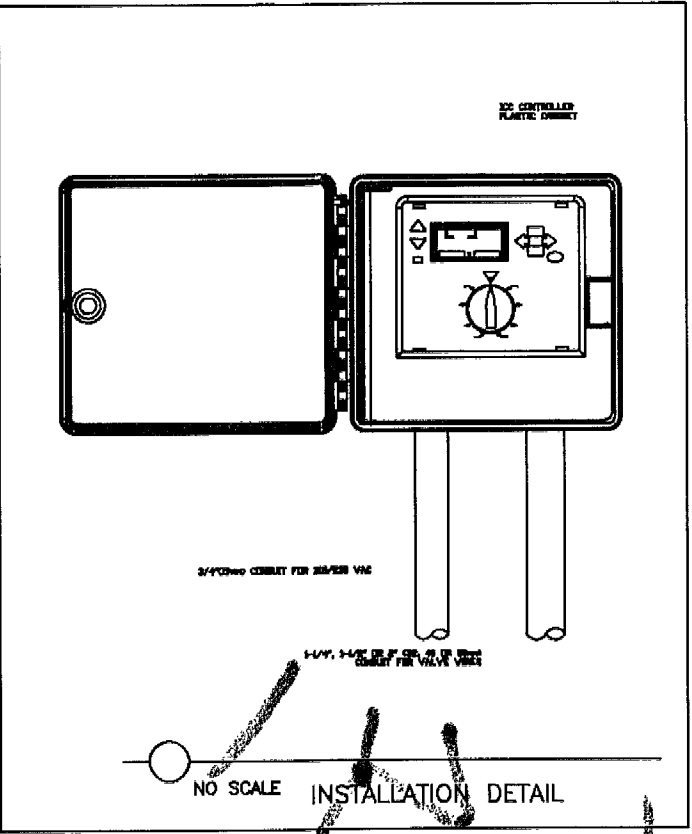
FLAG ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES ETC. REQUIRED TO INSURE 100% COVERAGE.

PIPE

PIPE LOCATIONS SHOWN ON PLAN ARE SCHEMATIC ONLY AND SHALL BE ADJUSTED IN THE FIELD. WHEN LAYING-OUT MAINS AND LATRALS, LOCATE PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHENEVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS. PIPING UNDER HARDSCAPES SUCH AS ROADS, WALKS, AND PATIOS ARE TO BE SLEEVED USING SCH. 40 PIPE.

FLUSHING

PRIOR TO PLACEMENT OF HEADS FLUSH ALL LINES UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS.



IRRIGATION PLAN EQUIPMENT TABLE	
◇	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 8' qtr.
■	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 8' half
●	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 10' half
◇	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 12' qtr.
□	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 12' half
⊕	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 12' full
○	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 15' qtr.
⊙	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 15' half
⊖	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 15' Strip Series-End,
⊗	6" Spray Head Rainbird 1800 Series w/ MPR Nozzle, 15' Strip Series-Center,
*	Bubbler, 1300 AF by Rainbird
⊕	1.5" / 1" Valves by Irritrol, In Carson Valve Box
—	2" Mainline, Schedule 40 PVC
—	Sleeves, Schedule 40 PVC
—	Lateral Lines, Schedule 160 pvc
ⓐ	Controller, ESP Modular Series 4 Stations
ⓑ	Rain Sensor, by Miniclik
ⓓ	PVB - Pressure Vacuum Breaker by Watts - Watts 800M-4
Ⓜ	Exist. 1.5" Water Meter, refer to Plumbing Plans, P-1.
Ⓜ	Prop. 1" Irrigation Sub Meter

IRRIGATION PLAN
SCALE: 1/8" = 1'-0"

City of Miami Beach
Planning Department
Landscape Review
APPROVED
EW 10/20/15

DRAWN BY:
REVISIONS:
6-16-15

AA0003569
ANTHONY LEON
0016752

3 DESIGN
ARCHITECTURE
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305.750-4372, hmartin@hmartin.com
H. L. Martin, Landscape Architect

NEW RESIDENCE
AT
4354 ALTON ROAD
MIAMI BEACH, FL 33139

THESE PLANS ARE FOR BUILDING
DEPARTMENT REVIEW ONLY. THEY ARE NOT
TO BE CONSIDERED AS CONSTRUCTION
DOCUMENTS UNTIL ALL BUILDING
DEPARTMENT APPROVALS ARE OBTAINED.

IR 1.0
IRRIGATION PLAN

The figure consists of two parts, (a) and (b), each showing a 3x3 grid of circles. In part (a), the circles are arranged in a 3x3 grid, with the top row having 3 circles, the middle row having 3 circles, and the bottom row having 3 circles. In part (b), the circles are arranged in a 3x3 grid, with the top row having 3 circles, the middle row having 3 circles, and the bottom row having 3 circles.



05/06/17

PERMIT #	COMP_TYPE	SUB_TYPE	APPLIED	APPROVED	EXPIRED
BA913979	AUTOPROJ	OTH	06-Dec-89	06-Dec-89	04-Jun-90
BA901035	AUTOPROJ	OTH	17-Nov-89	17-Nov-89	02-Dec-89
BC910158	BCOMPL	OTH	27-Feb-91	27-Feb-91	01-Mar-91
BD040169	BDEMO	PARTIAL	15-Jun-04	26-Jul-04	22-Jan-05
BD070070	BDEMO	PARTIAL	28-Dec-06	08-Feb-08	
BD060142	BDEMOPRJ	PARTIAL	16-May-06		
BD140089	BDEMOPRJ	ALL	11-Dec-13	02-May-14	29-Oct-14
BE042522	BELEC	DEMO	20-Jul-04	20-Jul-04	08-Apr-06
BMS51258	BMISC	OTH	08-Aug-95	08-Aug-95	
BMS0400064	BMISC	RESEARCH	06-Oct-03		
BMS0505616	BMISC	DOC HIST	29-Sep-05		
BMS1601710	BMISC	DOC HIST	08-Apr-16		
BP920502	BPLUM	OTH	10-Mar-92	10-Mar-92	02-Feb-93
BP920964	BPLUM	OTH	17-Jul-92	17-Jul-92	03-Feb-93
BP041426	BPLUM	DEMO	23-Jul-04	23-Jul-04	19-Jan-05
B1403916	BSBUILD	FENCE-R	13-May-14	13-May-14	09-Nov-14
B9802610	BSBUILD	OTH	04-Jun-98	04-Jun-98	01-Dec-98
B0500165	BSBUILD	RPR-R	12-Oct-04	26-Apr-05	14-Jan-07
B0604117	BSBUILD	AWNING	23-May-06		
B1501641	BUILD	NCONST-R	26-Dec-14		
B0702848	BUILD	ALTRMD-R	01-Mar-07		
BV13000424	BVIO	UNSAFE	14-Feb-13	14-Feb-13	20-Feb-13
BV14000627	BVIO	UNSAFE	08-Apr-14	08-Apr-14	06-Jun-14
BS890360	SBUIL	OTH	06-Dec-89	06-Dec-89	04-Jun-90

STATUS
CLOSED
CLOSED
CLOSED
CLOSED
VOID
VOID
FINAL
CLOSED
CLOSED
CLOSED
CLOSED
APPLIED
FINAL
FINAL
CLOSED
FINAL
VOID
VOID
VOID
APPLIED
VOID
CLOSED
CLOSED
FINAL

DESCRIPTION
PAINT INT. & REPLACE 3 WINDOWS
MULTI-FAMILY
CONSTRUCTION W/O PERMIT
INTERIOR DEMOLITION, FLOOR , CEILING, NON-STRUCTURAL WALLS, ETC.
RENEWAL OF PERMIT BD040169.INTERIOR DEMOLITION, FLOOR, CEILING, NON STRUCTURAL WALLS, ETC
PARTIAL DEMOLITION OF ILEGAL ROOM IN BACK OF THE HOUSE.
Total Demolition of single family home (4500sq ft)
ELECTRICAL DEMOLITION (
TWO MICROFILM COPIES
permit research
4 COPIES MICROFILM
1 Cd
GAS PIPING
REPLACE WATER HEATER
DEMO, SEWER CAP
BD140089---->Chain link fence around property vacant land
REMOVE 113LF. WALL & PATCHING
FOUNDATION AT THE PERIMETER LOAD BEARING WALLS.
Install temporary shade umbrella in backyard.
New construction SFR.
Int & Ext rpr, struc rprs, nw hvac sys, nw wndw & doors, nw ele, plum, kitchen cabinets, finishes, int & ext paint
NOTICE OF VIOLATION ISSUED.
PROPERTY OPEN AND ABANDON, NEED TO SECURE THE PROPERTY.
NOTICE OF VIOLATION ISSUED.
Property with Extension failure of foundation, reinforced concrete elements corroded, property has been unoccupied for an extended period of time, cracks in walls and, roof caved in,
As per Florida Building Code and Miami-Dade County chapter 8-5 (6) Physical criteria (2) building is unsafe.
Emergency demolition must occur.
Compliance must be obtained by the due date an additional penalty of \$500.00 fees will be imposed.
PAINT INT. & REPLACE 3 WINDOWS

[illegible]

Owner Robert M. Gifford Mailing Address Permit No. 1072 Date Jan. 8-1925
Lot 20 & 21 Block 6 Subdivision Nautilus Address 4354 Alton Road
General Contractor Borg & Roller 13136 Address 3222-11R 143
Architect Borg & Roller Bond # 8 Address
Front 78'-0 Depth 50'-0 Height 28'-0 Stories 2 Use Residence -14 rm
Type of construction Ordinary Cost \$ 34,000.00 Foundation Piling and garage
Hollow tile Roof B--

Plumbing Contractor Dylbs & Company Address Date Mar. 3-1925
Plumbing Fixtures 17 Rough approved by H. Scheibll Date
Gas Stoves GAS - O K O'Neill 11/26/46
Gas Heaters John Stolpman 1 fixture Address Date
Feb. 30-1927 Final approved by Feb. 15-1927 Date
Sewer connection 1 Septic tank 1 Make Florida Septic Tank Date June 8-1925

Electrical Contractor Southern Electric Co. Address Date Mar. 27-1925
Switch Range 2 Motors Fans Temporary service
OUTLETS Light 75 HEATERS Water
Receptacles Space Centers of Distribution
Electrical Contractor Pullen & Zoll Electric Co. Address Date Nov. 27-1925
No. fixtures set 50 Final approved by Date
Date of service

Alterations or repairs # 9964- REMODELING and painting (new floors) \$2,000.00 Date June 14.-1937

BUILDING PERMIT #19340... Painting ... C. D. Hatter, painter \$ 1,100.. Nov. 14, 1944
PLUMBING PERMIT * # 20454 Gas Co. 1 Gas range. Nov. 20, 1946

Nuzzo - BUILDING PERMIT # 24571 Painting, outside - True Color Painting Co: \$1,100... May 22, 1947

ALTERATIONS & ADDITIONS

Building Permits: # 29442 Buffing off old paint & painting outside - Bailor Jim, contr. \$900..2/16/49
35304 Remodeling front porch- removing screen making square heads in head of circle heads- A. Velazquez, contr. \$ 300.... Mar n 6, 1951
#74139 Owner, M. A. Grandin: Repairs, paint, replace windows, etc. - \$3500 - 5/27/65 OK Brown 9/23/65
#82095 Owner Addn to Res. 18'6" x 27' 11" as per plan \$4640.00 3/21/69

#04329-Keyes Co.-Fro Sale Sign-\$5-10-16-73

07578-Owner-Garden house over garage-\$200-7-9-75

#89025-Scope Construction-Add pool, 14,334 gallons-\$6000-3-11-76

#09971-Owner-Add carport and a gate-\$150-10-11-76

1-10-81/#19563/exterior painting & patching cracks/Owner/\$2,000

#90829 3/9/83 owner building deck wood deck & trellis as per plans (double fee) \$700.

#25959 9/25/84 owner repair balcony floor \$300.

#26388 1/8/85 owner build stairway to exist deck on 2nd floor \$250.

Plumbing Permits:

#39111 Economy Plmbg: 1 4" Sewer - Feb. 18, 1957

#44812 Roy Loving: 2 sinks; 1 dish washing machine; 1 water service - 6/15/65

#53542-R & L Plumbing- 1 pool piping-3-16-76

#61707 5/14/84 - Seroja Plumb - replace heater + fine \$110.00

#61709 8/15/84 - Nicholas Lucenti - 1 clothes washer, remove 2 KS & CW, repair vent, repipe parlor bath \$132.25

Electrical Permits: # 36655 E.C. "Red" Cornelius, Inc.: 2 motors- June 2, 1952 -OK-HOR - 7-7-52

#62473 Fassbach Elec. Co.: partial permit - 7/1/65

#63153 Fassbach Elec. Co.: 4 switch outlets; 6 light outlets; 16 receptacles; 6 fixtures; 1 range outlet; 1 refrig.outlet; 1 fan outlet; 4 appliance outlets - 1/17/66

#66688 Fassbach Elect. Co. 200A Service Equipment 2/14/69

#79645 8/14/84 Ocean Elec remove violation \$10.00