- 1. APPLICABLE CODES
- 1.1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARD AND SPECIFICATIONS OF THE CITY OF MIAMI BEACH AND ALL OTHER LOCAL. STATE AND NATIONAL CODES WHERE APPLICABLE EXCEPT WITHIN DEPARTMENT OF TRANSPORTATION (D.O.T.) R/W WHERIN FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T) GOVERNS.
- 1.2. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- 1.3. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM 1929, (NGVD) UNLESS OTHERWISE NOTED.
- 1.4. THE CITY OF MIAMI BEACH WATER AND SEWER DEPARTMENT WATER AND SEWER SPECIFICATIONS SHALL DICTATE WHEN IN CONFLICT WITH ANY OF THE FOLLOWING SPECIFICA TIONS.
- 1.5. ALL MATERIALS AND CONSTRUCTION WITHIN THE D.O.T. R/W SHALL CONFORM TO THE D.O.T. "DESIGN STANDARDS" (2015) AND "STANDARD SPECIFICATIONS" (2015).
- 1.6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MAINTENANCE OF TRAFFIC (M.O.T) PLAN PRIOR TO CONSTRUCTION. THE CONSULTANT'S ENGINEER SHALL ENSURE THAT THE M.O.T PLAN FOR THE PROJECT CONFORMS WITH STANDARD INDEX SERIES 600, APPLICABLE INDEX FOR WORK BEING PERFORMED. THE CONTRACTOR SHALL ENSURE THE M.O.T. PLAN IS IMPLEMENTED EXACTLY AS APPROVED.
- 2. PRECONSTRUCTION RESPONSIBILITIES
- 2.5. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
- 2.6. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL OF FLORIDA, INC. CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION, CALL 1-800-432-4770.

2.7. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED).

- 2.8. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. THE CONTRACTOR SHALL VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.
- 2.9. THE CONTRACTOR MUST CALL THE CITY OF MIAMI BEACH AT LEAST 48 HOURS BEFORE ANY EXCAVATION WITHIN THE R/W TO DETERMINE THE LOCATION TO OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLE.
- 3. INSPECTIONS
- 3.1. THE CONTRACTOR SHALL NOTIFY THE CITY OF MIAMI BEACH, AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
  - 3.1.1. CLEARING AND FILLING 3.1.2. STORM DRAINAGE SYSTEM
  - 3.1.3. SANITARY SEWER SYSTEM 3.1.4. WATER DISTRIBUTION SYSTEM
  - 3.1.5. SUBGRADE 3.1.6. LIMEROCK BASE
  - 3.1.7. ASPHALTIC CONCRETE 3.1.8. SIDEWALK

3.1.9. FINAL

- 4. SHOP DRAWINGS
- 4.1. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF MIAMI BEACH FOR THE FOLLOWING: SANITARY MANHOLES, STORM DRAIN MANHOLES. CATCH BASINS. FIRE HYDRANTS. PIPING. VALVES AND AL ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- 5. TEMPORARY FACILITIES
- 5.1. TEMPORARY FACILITIES:
  - 5.1.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
- 5.2. TRAFFIC REGULATION:
  - 5.2.1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH MANUAL TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
  - 5.2.2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
  - 5.2.3. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF MIAMI BEACH.
  - 5.2.4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE.
- STORM DRAINAGE
- 6.1. GENERAL:

9/6/18

9/6/18

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DAT

9/6/18

9/6/18

DATE

DESIGNED BY

DRAWN BY

CHECKED BY

APPROVED BY

6.1.1. DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES. 6.2. MATERIALS:

- 6.2.1. HIGH-DENSITY POLYETHYLENE (H.D.P.E.) SHALL MEET THE REQUIREMENTS OF ASTM F2619 / F2619M, LATEST REVISION.
- 6.2.2. REINFORCED CONCRETE PIPE (R.C.P.) SHALL MEET THE REQUIREMENTS OF ASTM C-76. LATEST REVISION. RUBBER GASKETS OR OTHER MANUFACTURER SUPPLIED JOINT SEALER SHALL BE USED.
- 6.2.3. CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE HELICAL TYPE, CONFORMING TO ASTM B209 AND AASHTO M196, AS MANUFACTURED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL. THE CORRUGATION PATTERN AND GAUGE SHALL BE AS FOLLOWS:

<u>DIA.</u>	<u>CORRUGA TION</u>	<u>GAUGE</u>
12" to 21"	2 2/3" x 1/2"	16
24" to 27"	2 2/3" x 1/2"	16
30"	2 2/3" x 1/2"	14
36" to 54"	3" x 1"	14
60" to 78"	3" x 1"	12

6.2.4. PIPE COUPLINGS FOR C.A.P. SHALL BE 12" WIDE (MINIMUM) 24" FOR 60" DIAMETER OR LARGER. SPLIT BANDS OF THE SAME ALLOY AS THE PIPE MAY BE ONE GAUGE LIGHTER THAN THE PIPE. POLYURETHANE OR OTHER MANUFACTURER SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS. 6.2.5. FIELD JOINTS IN THE PIPE SHALL BE MADE WITH ALUMINUM SPIRAL RIB PIPE FORMED FROM COILED ALUMINUM SHEETS AND SHALL CONFORM TO ASTM B2-09 AND AASHTO M196, AS APPROVED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL. 6.2.6. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, UNLESS OTHERWISE NOTED ON THE PLANS. BLOCK CATCH BASINS WILL BE

6.3. INSTALLATION:

- 6.3.1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
- 6.3.2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE
- 6.3.3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- 6.3.4. THE CONTRACTOR SHALL NOTIFY THE CITY OF MIAMI BEACH ENGINEERING DIVISION AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.
- PAVING AND SIDEWALKS
- 7.1. GENI

7.1.	GENERA	L:
	7.1.1.	ALL MUCK AND YIELDING MATERIAL WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL WHICH SHALL BE COMPACTED AND SHAPED TO CONFORM TO THE REQUIRED SECTION. COMPACTED AREAS, AS SHOWN ON THE PLANS AND OR AS DETERMINED BY THE ENGINEER, SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE, AS DETERMINED BY AASHTO T-180, LATEST REVISION. AREAS TO BE STABILIZED, AS DETERMINED BY THE ENGINEER, SHALL HAVE A MINIMUM LBR-40.
	7.1.2.	ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
	7.1.3.	ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
	7.1.4.	WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
7.2.	MATERIA	ALS:
	7.2.1.	BASE COURSE SHALL BE CRUSHED LIMEROCK WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM.
	7.2.2.	ASPHALT SURFACES SHALL BE TYPE S-III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, TWO (2) SHALL BE A MINIMUM OF 1–1/2" THICK, A AND SHALL BE APPLIED IN (2) 3/4" LIFTS.
	7.2.3.	MINIMUM SIDEWALK CONSTRUCTION SHALL BE 4 INCH THICK CONCRETE, MINIMUM 3000psi COMPRESSIVE STRENGTH AT 28 DAYS. SAWCUT CONSTRUCTION JOINTS 5 FOOT O.C. WITHIN 48 HOURS OF PLACING, EXPANSION JOINTS SHALL BE 20 FOOT O.C.
	7.2.4.	CURBS AND GUTTERS: CONCRETE 3000psi COMPRESSIVE STRENGTH AT 28 DAYS, SAWCUT CONSTRUCTION JOINTS 10 FOOT O.C. WITHIN 48 HOURS OF PLACING.
	<i>7.2.5</i> .	REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" × 6" NO. 10 GAUGE WIRE MESH.
7.3.	INSTALL.	A TION:
	7.3.1.	SUBGRADE FOR PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T—99(c)), AND SHALL HAVE A MINIMUM LBR 40.
	7.3.2.	BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE AS SHOWN ON PLANS FOR VARIOUS LOCATIONS.
	<i>7.3.3</i> .	BASE COURSE MATERIAL FOR CURBS AND GUTTERS SHALL BE A MINIMUM THICKNESS OF 6 INCH.
	7.3.4.	BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T—180 AND SHALL HAVE A MINIMUM LBR OF 100.
	7. <i>3.5</i> .	INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S—3 ASPHALTIC CONCRETE.
7.4.	TESTING:	
	7.4.1.	THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
	7.4.2.	DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
	7.4.3.	ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
	7.4.4.	DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND APPROVED BEFORE ANY LIMEROCK BASE IS CONSTRUCTED.

- 7.4.5. DENSITY TESTS AND AS-BUILTS ON THE FINISHED LIMEROCK BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.
- PROJECT CLOSEOUT
- 8.1. CLEANING UP:
  - 8.1.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN. 8.1.2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EMPLOYEES, TO A CONDITION AT FOUIPMENT. OR LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THAT END, THE CONTRACTOR SHALL DO, AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK
  - AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

PRIVATE RESIDENCE 15 E SAN MARINO DR MIAMI BEACH, FL 33139

- ALLOWED ONLY WITH APPROVAL OF THE ENGINEER.
- PLANS. TAMPING TO BE DONE IN LAYERS NOT TO EXCEED 12 INCHES.
  - THE LIMITS OF CONSTRUCTION CLEAN FILL MATERIAL WHICH CONFORM TO THE REQUIRED ON THE PLANS AND OR AS COMPACTED TO NOT LESS UM MOISTURE, AS DETERMINED REAS TO BE STABILIZED, AS E A MINIMUM LBR-40.
  - BE COMPLETED PRIOR TO ED BY CONSTRUCTION, SHALL TOR'S EXPENSE.
  - BE CONNECTED TO EXISTING NT SHALL BE SAW CUT.
  - ASPHALTIC CONCRETE, UNLESS (2) SHALL BE A MINIMUM OF (2) 3/4" LIFTS. BE 4 INCH THICK CONCRETE, TH AT 28 DAYS. SAWCUT
  - HIN 48 HOURS OF PLACING, COMPRESSIVE STRENGTH AT 10 FOOT O.C. WITHIN 48
  - CONSTRUCTED OF CLASS I 3,000 PSI AND SHALL BE WIRE MESH.
  - E COMPACTED TO A MINIMUM T-99(c)), AND SHALL HAVE AS SHALL BE AS SHOWN ON GUTTERS SHALL BE A MINIMUM 8% OF THE MAXIMUM DENSITY MINIMUM LBR OF 100.
  - SHALL CONFORM WITH THE PECIFICATIONS FOR TYPE S-3
  - COURSE AND THAT OF THE ORE THAN 1/4" FROM THE DING THIS LIMIT SHALL BE AN INDEPENDENT TESTING FLORIDA, WHERE DIRECTED BY
  - ID FOR BY THE CONTRACTOR. RADE SHALL BE SUPPLIED TO BEFORE ANY LIMEROCK BASE

- 8.1.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAS BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- 8.2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 8.3. ALL UNPAVED SURFACES DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.
- 9. ENGINEER'S AS-BUILT REQUIREMENTS
- 9.1. AS-BUILTS OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION: 9.1.1. TOP OF PIPE ELEVATIONS EVERY 100 LF.
- 9.1.2. LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS, TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, ETC.
- 9.1.3. ALL TIE INS TO EXISTING LINES SHALL BE AS-BUILT.
- 9.1.4. THE ENDS OF ALL WATER SERVICES AT THE BUILDINGS OR HOMES SHALL BE AS-BUILT OR WHERE THE WATER SERVICE TERMINATES. 9.2. AS-BUILTS OF ALL GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE
- FOLLOWING INFORMATION: 9.2.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AS WELL AS SLOPES.
- 9.2.2. THE STUB ENDS OF ALL SEWER LATERALS SHALL BE LOCATED AND IF THERE ARE ANY CLEANOUTS INSTALLED ON THE SEWER LATERALS THEN THE INVERT ELEVATION OF THESE CLEANOUTS SHALL BE OBTAINED.
- 9.2.3. LIFT STATION AS-BUILTS SHALL CONSIST OF TOP OF WET WELL ELEVATION, INVERT ELEVATION OF THE INCOMING LINE, BOTTOM OF THE WET WELL AND AS-BUILTS OF THE COMPOUND AREA.
- 9.3. AS-BUILTS OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION: 9.3.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AND WEIR ELEVATIONS IF APPLICABLE.
  - 9.3.2. THE SIZE OF THE PIPING SHALL BE VERIFIED BY THE SURVEY CREW AT THE TIME OF AS-BUILT.
  - 9.3.3. DRAINAGE WELL STRUCTURE AS-BUILTS SHALL INCLUDE, BUT NOT BE LIMITED TO, TOP OF CASING ELEVATION, TOP AND BOTTOM ELEVATIONS OF THE BAFFLE WALLS, RIM ELEVATIONS AND INVERTS OF PIPING.
- 9.4. ALL ROCK AS-BUILTS FOR PARKING LOT AREAS SHALL CONSIST OF THE FOLLOWING: 9.4.1. ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH
  - INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY. 9.4.2. ROCK AS-BUILTS SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS
- A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS. 9.4.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS SHALL BE SHOWN.
- 9.4.4. ELEVATIONS AROUND ISLAND AREAS WILL ALSO BE REQUIRED.
- 9.4.5. WHERE CONCRETE IS TO BE USED AS A FINISHED PRODUCT FOR THE ROADWAY OR PARKING LOT ROCK AS-BUILTS WILL BE REQUIRED AS INDICTED ABOVE AS WELL AS AS-BUILTS ON THE FINISHED CONCRETE AT LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS. F AS-BUILTS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, PRIOR TO PLACEMENT OF ASPHALT OR TOPSOIL/SOD, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS.
- 9.5. RETENTION AREA AS-BUILT ELEVATIONS SHALL BE TAKEN AT THE BOTTOM OF THE RETENTION AREA AND AT THE TOP OF BANK. IF THERE ARE CONTOURS INDICATED ON THE DESIGN PLANS, THEN THEY SHALL BE AS-BUILTED AS WELL.
- 9.6. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS, "AS-BUILTS", ON FULL SIZE, 24" X 36" REPRODUCIBLE MATERIAL WHERE WATER AND SEWER INFORMATION ARE ON THE SAME PAGE THE WATER LINE SHALL BE AS-BUILT BY STATION AND OFFSET UTILIZING THE SANITARY SEWER SYSTEM AS THE BASE LINE. IF IT IS NOT PRACTICAL TO UTILIZE THE SEWER SYSTEM AS A BASE LINE THEN THE SURVEYOR SHALL CONTACT THE ENGINEER OF RECORD SO THAT A SUBSTITUTE BASELINE MAY BE CHOSEN. ALL RECORD DRAWING, "AS-BUILT", INFORMATION SHALL BE PUT ON THE LATEST ENGINEERING DRAWINGS. ONE (1) SET OF REPRODUCIBLE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED ALONG WITH EIGHT (8) SETS OF BLUE OR BI ACKLINE DRAWINGS. THESE DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR. ADDITIONALLY, AN ELECTRONIC COPY OF THESE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2014.



3325 S. UNIVERSITY DRIVE, SUITE 111 DAVIE, FLORIDA 33328 (954)318-0624 (954)358-0190 FAX CERTIFICATE OF AUTHORIZATION No. 9808

## GENERAL NOTES AND SPECIFICATIONS

#### Calculation of Minimum and Maximum Yards

#### PROPERTY CONDITIONS

Waterfront Lot (Yes/No)
Corner property (Yes/No)
Sidewalk (yes/no)
Sidewalk elevation at the centerline
of the front of the property
Crown of road at center of property
(if no sidwalk exists or is proposed)
Flood Elevation
Freeboard (provided)

#### INTERIOR SIDEYARD CONDITIONS

Inidcate yes only for the

condition that applies

	Default Condion unless one of the below applies
Yes	Maximum Yard Elevation
	Is the average grade of adjacent lot along the
	abutting side yard equal or greater than adjusted grade?
	Is the abutting property vacant?
	Is their a joint agreement between abutting properties,
	for a higher elevation, not to exceed flood elevation?

### REAR YARD CONDITIONS

Inidcate yes only for the condition that applies

	Default Condion unless one of the below applies
Yes	Maximum Yard Elevation
	Is the average grade of adjacent lot along the
	abutting side yard equal or greater than adjusted grade?
	Is the abutting property vacant?
	Is their a joint agreement between abutting properties,
	for a higher elevation, not to exceed flood elevation?

#### RESULTS

Grade	6.17
Adjusted Grade	7.585
30" above Grade	8.67
Future Crown of Road	5.25
Future Adjusted Grade	7.625
Minimum Freeboard Elev.	10.000
Maximum Freeboard Elev.	14.000
Minimum Yard Elevation	6.56
Min. Garage elevation (for a	
detached or attached garage,	
not under the house	7.585
Minimum garage ceiling	
elevation	18.000

MR	9/6/18				_
DESIGNED BY	DATE				
MG	9/6/18				PRIVATE RESIDE
DRAWN BY	DATE				
MR	9/6/18				15 E SAN MARINO Miami Beach, FL 33
CHECKED BY	DATE				
RR	9/6/18				
APPROVED BY	DATE	No.	DATE	REVISIONS	

						Waterfront
YES						Minimum Y
NO						Maximum Y
NO						
6.170						
9.000						
4.670						
Max. Yard Elevation						
8.670						
10.085						
10.085						
10.085				0	0	
9.000				6.56	8.67	
				ion:	tion:	
				levat	leva	
Max. Yard Elevation			ard	Minimum Yard Elevation: 6.560	Maximum Yard Elevation:8.670	
Max. Faru Elevation			Interior Side Yard	n Ya	ш Х	
8.670			r Sid	imur	ximu	
10.085			terio	Min	Max	
			<u>ב</u>			
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3325 S. UNIVERSITY DRIVE, SUITE 111 DAVIE, FLORIDA 33328 (954)318–0624 (954)358–0190 FAX CERTIFICATE OF AUTHORIZATION No. 9808

ROBERT J. ROSS, P.E. FLORIDA P.E. No. 59485 DATE:9/6/2018

SCALE:

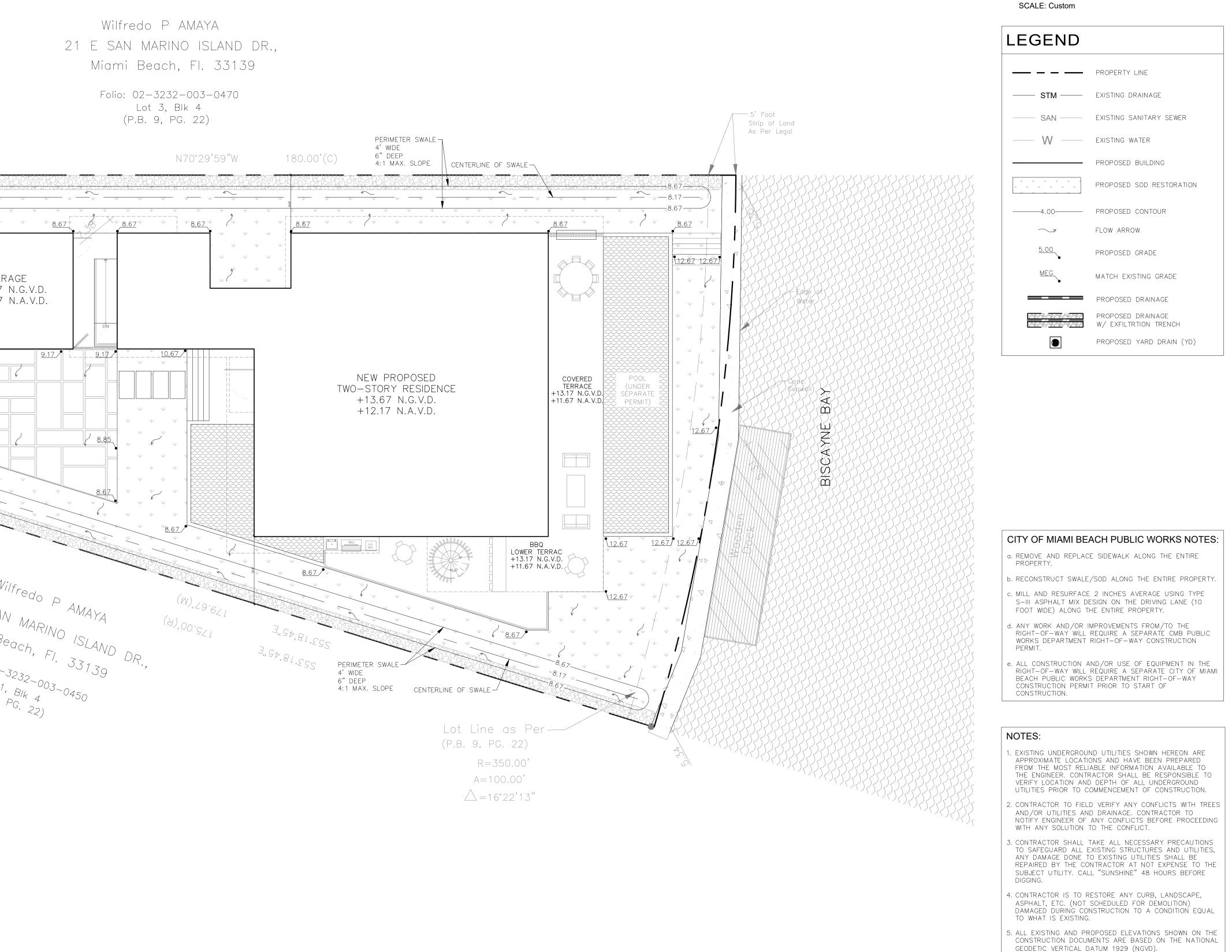
nt um Yard Elevation: 13.670	Interior Side	Minimum Yard Elevation: 6.560	Maximum Yard Elevation:8.670		
r <b>d</b> um Yard Elevation: 6.560 um Yard Elevation: 8.670					
GRADE TABULA CITY OI				) B/	<b>^</b>

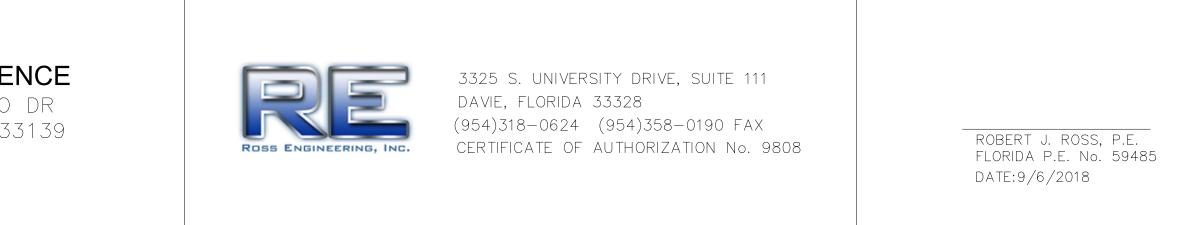
SHEET No. C1.1

		HW - 1	ALLE OF 15" HDPE (TOTAL) ALLE OF 15" SOLID HDPE & 34 LF OF 15" SOLID HDPE & 34 LF OF 15" PERFORATED HDPE 34 LF OF 4' WDE EXFILTRATION THE BEROP. 15 LF OF TRE 5" NDS PRO OR EQU R.E.=7.00 W/ BOTTOM OUTLET HE G V BOTTOM OUTLET HE G V D HE G V D HE G V D HE G V D V D V D V D V D V D V D V D	AT RENCH OH OH OH OH OH OH OH OH OH OH OH OH OH	A=47.50' =15°33'11" R.E 7.00 7.00 7.00 4 4 4 4 4 4 4 4 4 4 4 4 4	8.17
MR DESIGNED BY MG DRAWN BY MR CHECKED BY RR	9/6/18 DATE 9/6/18 DATE 9/6/18 DATE 9/6/18					<b>PRIVATE RESIDE</b> 15 E SAN MARINO MIAMI BEACH, FL 3

# Wilfredo P AMAYA

Lot 3, Blk 4





## PAVING GRADING AND DRAINAGE PLAN

Sunshine

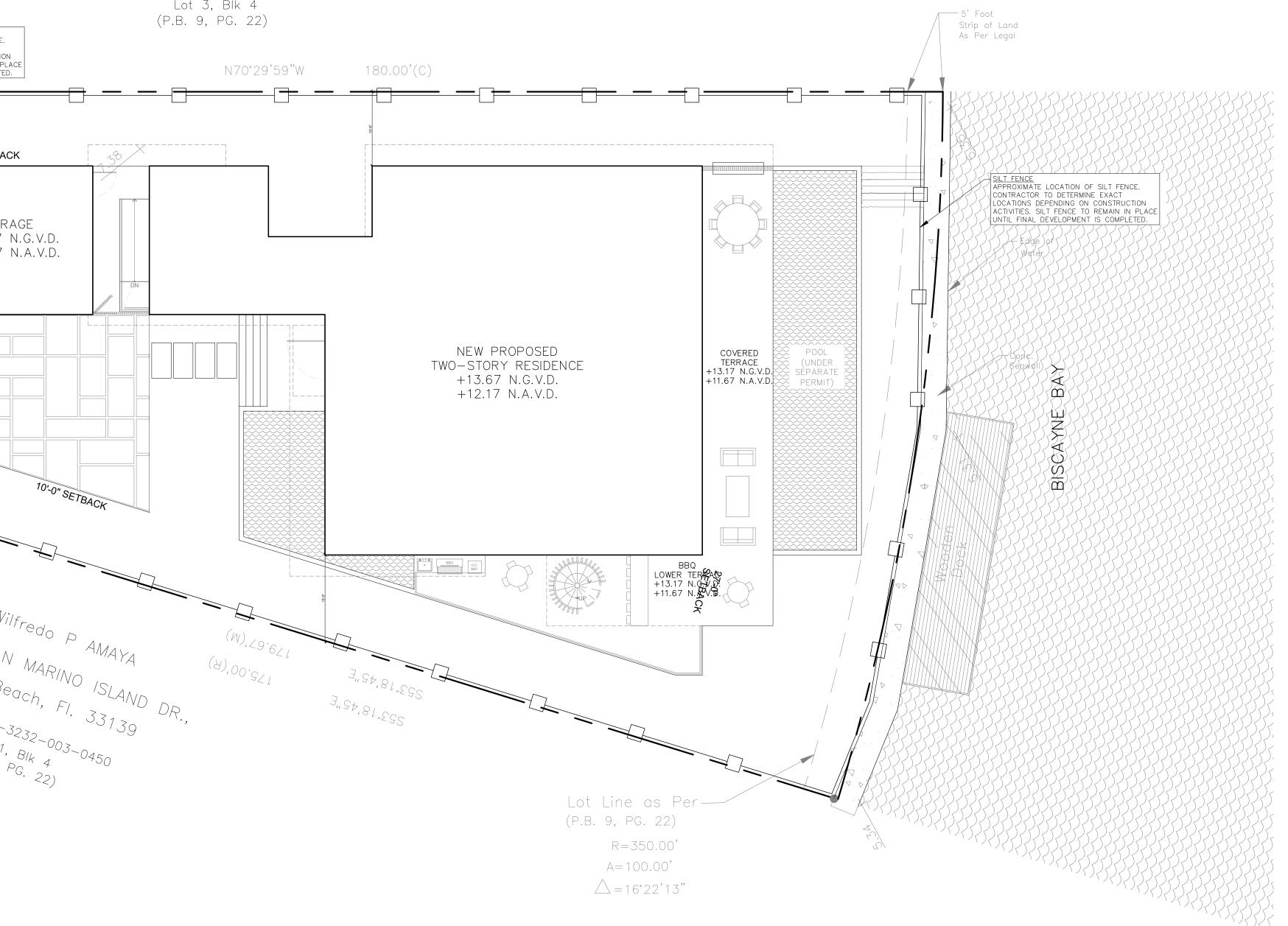
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked. Check positive response codes before you dig!

	STORE AND STORE	MH 6.14	CONSTRUCTION BEST MANAGE GRAVEL) TO E THROUGHOUT PREVENT ANY ONTO THE PU	HENT PRACTICES (U BE USED AT ALL TIM CONSTRUCTION IN O SOILS FROM BEING BLIC RIGHT OF WAY.	A=	CONTRACTOR TO DE LOCATIONS DEPENDI ACTIVITIES. SILT FEN	SETBACK SETBACK	N ACE D.	ING ON CONSTRUCTION NCE TO REMAIN IN F DPMENT IS COMPLET	ACK
MG DR MR CH RR	SIGNED BY DATE 9/6/18 AWN BY DATE 9/6/18 ECKED BY DATE		DATE REVISI					15 E	<b>ATE RES</b> San Ma Beach, I	RINO

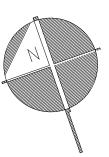
Wilfredo P AMAYA

21 E SAN MARINO ISLAND DR., Miami Beach, Fl. 33139

> Folio: 02-3232-003-0470 Lot 3, Blk 4







## Sunshine

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked. Check positive response codes before you dig!

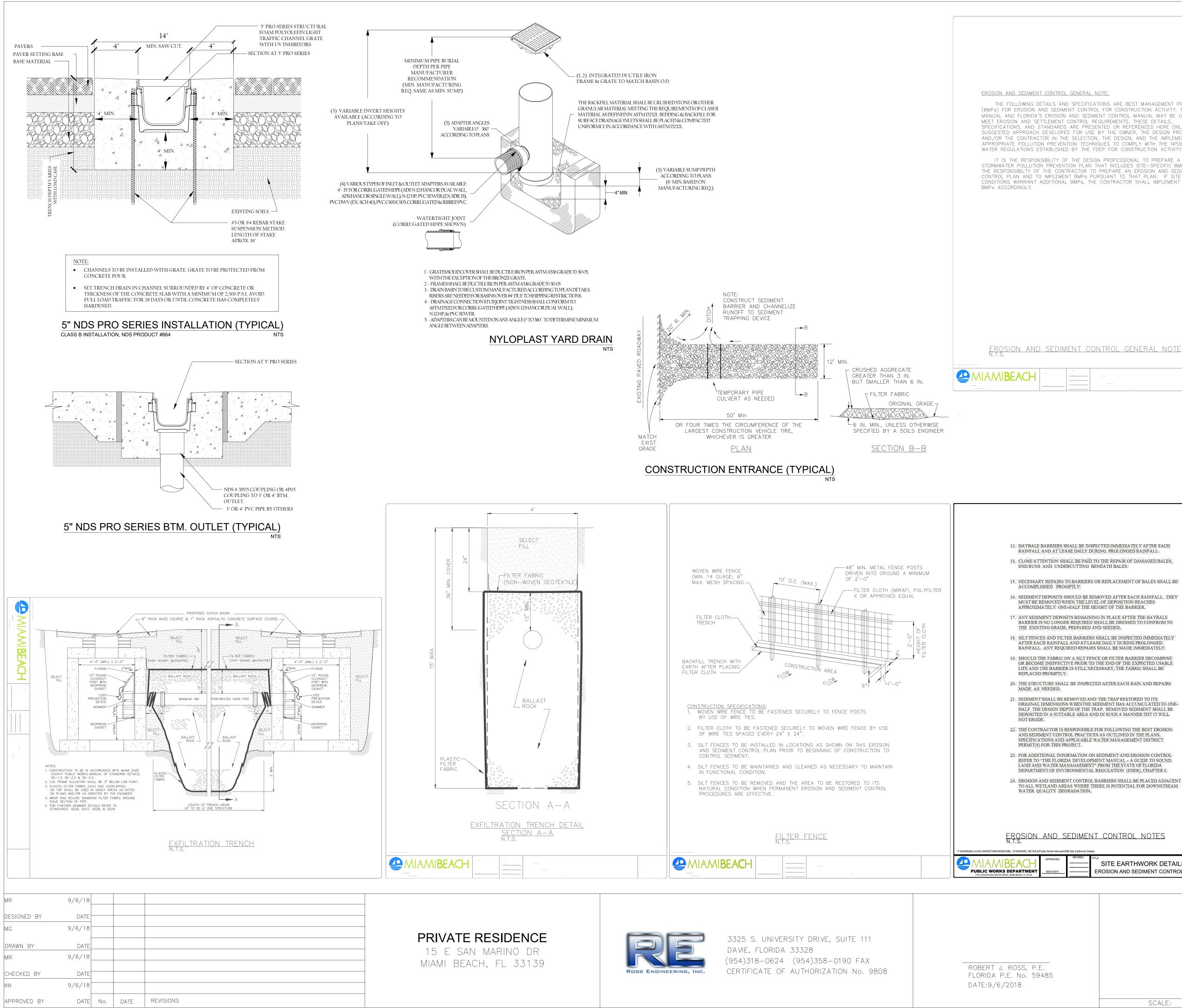
SCALE: 1"=10'

## LEGEND

----- EXISTING PROPERTY LINE 

CONSTRUCTION ENTRANCE (GRAVEL)

## POLLUTION PREVENTION CONTROL PLAN



G	SENERAL DETAILS
SITE EARTHWORK DETAILS NO.3 SES15b EROSION AND SEDIMENT CONTROL NOTES	Image: Street and the second proved in the second proved prove
ENT CONTROL NOTES	EROSION AND SEDIMENT CONTROL NOTES N.T.S. F:WORKI\$ALLICAD-DWGI\$TANDARD_DETAILSIPublic Works Manual/CMB Site Earthwork Details
RE THERE IS POTENTIAL FOR DOWNSTREAM	<ul> <li>IF SEAGRASSES ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM.</li> <li>THE FLOATING TURBIDITY BARRIERS SHALL BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTANGLEMENT.</li> <li>37. SILT FENCES OR HAYBALES WILL BE USED ALONG BOTH SIDES OF LIMITS OF CONSTRUCTION TO MINIMIZE OFFSITE SILTATION MIGRATION.</li> </ul>
N ON SEDIMENT AND EROSION CONTROL LOPMENT MANUAL – A GUIDE TO SOUND LENT" FROM THE STATE OF FLORIDA TAL REGULATION (FDER), CHAPTER 6. ROL BARRIERS SHALL BE PLACED ADJACENT	<ul><li>35. A MINIMUM OF ONE OF THE EROSION CONTROL MEASURE OPTIONS SHOWN FOR ALL DROP INLETS WILL BE USED BY THE CONTRACTOR.</li><li>36. FLOATING TURBIDITY BARRIERS WILL BE PLACED AT ALL OUTFALL LOCATIONS.</li></ul>
BLE FOR FOLLOWING THE BEST EROSION TICES AS OUTLINED IN THE PLANS, BLE WATER MANAGEMENT DISTRICT	34. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
AND THE TRAP RESTORED TO ITS HE SEDIMENT HAS ACCUMULATED TO ONE- HE TRAP, REMOVED SEDIMENT SHALL BE A AND IN SUCH A MANNER THT IT WILL	IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE. 33. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ANY SEDIMENT THAT LEAVES THE SITE AND CHANGES ANY DOWNSTREAM CONDITIONS BY RAISING CHANNEL BOTTOMS AND/OR CLOGGING OUTFALL CULVERTS.
PECTED AFTER EACH RAIN AND REPAIRS	CONTROLLED AND REROUTED THROUGH HAY FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION
R TO THE END OF THE EXPECTED USABLE NECESSARY, THE FABRIC SHALL BE	GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS. 32. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE
FENCE OR FILTER BARRIER DECOMPOSE	FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY

	<ul> <li>11: EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.</li> <li>12: LOOSE STRAW SHOULD BE WEDGED BETWEEN BALE STO PREVENT WATER FROM ENTERING BETWEEN BALES.</li> </ul>
	<ul> <li>ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.</li> <li>9. BALES SHALL BE PLACED LENGTHWISE IN SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.</li> <li>10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET AND WIDTH OF A BALE TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STACKED. THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.</li> </ul>
SIGN PROFESSIONAL TO PREPARE A N THAT INCLUDES SITE-SPECIFIC BMPS. IT IS TO PREPARE AN EROSION AND SEDIMENT PURSUANT TO THAT PLAN. IF SITE THE CONTRACTOR SHALL IMPLEMENT THOSE	<ul> <li>6. FDOT NO.1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH. AS INDICATED ON DETAIL. THE DEPTH OF STONE SHALL BE AT LEASE 12. INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEASE 18 INCHES ON ALL SIDES.</li> <li>7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE INLET. CLEANED AND REPLACED.</li> <li>8. BALE SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS</li> </ul>
CATIONS ARE BEST MANAGEMENT PRACTICES TOL FOR CONSTRUCTION ACTIVITY. THE FDOT DIMENT CONTROL MANUAL MAY BE UTILIZED TO REQUIREMENTS. THESE DETAILS, ESENTED OR REFERENCED HERE ONLY AS A SE BY THE OWNER, THE DESIGN PROFESSIONAL, ION, THE DESIGN, AND THE IMPLEMENTATION OF HNIQUES TO COMPLY WITH THE NPDES STORM TOR FOR CONSTRUCTION ACTIVITY.	<ol> <li>CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC, ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.</li> <li>WIRE MESH SHALL BE LAID OVER THE TOP DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 12 INCH OPENING SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.</li> </ol>
_ NOTE:	<ul> <li>STRUCTION AND ONLY WHEN AREAS HAVE BEEN STABLIZED.</li> <li>ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNFORSEEN CONDITIONS OR ACCIDENTS.</li> </ul>
	<ol> <li>THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.</li> <li>THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETIONOF CON-</li> </ol>

25. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.

27. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND

28. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER

29. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT

SCREENS, HAYBALES AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO

30. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE

31. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL

AFTER COMPLETION OF CONSTRUCTION AND BE REMOVED OLY WHEN AREAS

CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.

26 .SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE

MAINTAINED.

MANAGEMENT DISTRICT.

RECEIVE STAKED SOLID SOD.

HAVE BEEN STABILIZED.

1		2			3	
	Г					
	-	GENERAL LAN	NDSCAPE NO	DTES		
				BUILDING, AND ZONING I	NFORMATION. d utilities prior to digging in	anv area.
		companies 48 hours m	ninimum prior to dig	ging for verification of all	underground utilities, irrigati ccording to the best informati	ion and all
				•	enance of new and relocated	
		4. All planting materials			drawings and field conditions ecified in Grades and Standa	
					ions prior to initiating plantin	
					Il construction phases unless ctors and with the general co	
		prior to commencing la	indscape trade const	truction.	ctor shall provide schedule o	
			all portions of existi		or all planting beds as speci ape areas damaged while co	
				•	etc. associated with the worl soil tests with recommendation	
		Nursery Plants", publis	hed by the Florida D	epartment of Agriculture a	d strict accordance to Florida and Consumer Services, the requirements for the project.	project mar
		10. Landscape Contra Landscape Architect.	ctor shall field stake	e the location of all plant	material prior to initiating ins	stallation fo
		-	-	•	as necessary to avoid dama tractor's expense and shall b	•
		delivery of plants. All pl	lants will be subject		by the Landscape Architect of Architect and/or Owner befo unities.	
		13. Contractor shall replanting instructions.	fer to the landscape	e planting details, general	notes and the project manua	al and/or sp
				e all planting work with per plement irrigation watering	rmanent or temporary irrigati g and rainfall.	ion work. La
		15. Landscape Contrac	ctor shall be respons	ible for hand watering in al	ll planting areas, regardless o	of the status
		•			ch working day. Rubbish and fashion as directed by the O	
					emoval, relocation and/or ins ged by plant removal, relocat	
		18. Guying I staking pra shall be replaced at the			c. , to penetrate outer surface	of tree or p
		19. Burlap material, wir (1/3) of root ball.	re cages, plastic stra	ps, etc. , must be cut and r	removed from top one - third	
				type material are not allow	ed.	
		<ul><li>21. Plant size specifica</li><li>22. Contractor to verify</li></ul>			ner and/or Landscape Archite	ect.
					urface 2in. avg. using type S- reguire a separate CMB Pub	
		24. The locations of ha	ardscape and landsc	ape, as shown in these pl	ans, are approximate. The fi ting unsafe sight conditions,	inal location
					s compiled from base inform ccepts no responsibility for e	
					ntractor to provide a detailed his shall be verified and appr	
			•		s points provided on the surve	•
		28. The contractor sha immediately.	all verity all existing o	conditions prior to the com	mencement of work. Any dis	screpancies
					state and federal regulations and, if applicable, civil (c) dra	
		31. All notes and dimer		,		wing sets.
				. ,	rwise noted. The contractor s r of conditions uncovered in t	•
		33. The contractor shal	Il take every precaut	ion to prevent damage to a	all utilities (both above and be	elow ground
			•		ctor, at his expense, to condi n and/or installation procedu	
		-	· · ·	• • • •	al by owner's representative ractor at no additional cost to	
			• •	ng the site clean of miscella therwise indicated on the p	aneous debris throughout the plans.	e constructi
		36. Contractor is resp accumulated sediment		•	e basins (new and existing	3), manhole
			rk of this contract. Al		elated work necessary for the with shall be considered to be	
				·	rials to landscape architect a	·
		39. All installation shal immediately.	iii comply with Brow	ard County ordinances as	s stated in Section 47-21.9.	All discrep

1

ea. The Contractor shall notify all necessary utility all other obstructions and coordinate with Owner's lable at the time of preparing these documents.

s during the warranty period.

wner immediately.

lursery Plants and Part II, Palms and Trees, current

isting site furnishings, paving, landscape and other se noted.

on of the project in order not to impede the progress r works two weeks in advance, beginning two weeks

to planting relocated material. Contractor shall be planting installation with same grass or materials

luded in the specifications. Prior to commencement e installation area.

grade, according to the "Grades and Standards for anual and/or specifications. Plant material in some

for the review and approval of the Owner and/or

existing underground utilities and/or existing above nated with the Owner and the Landscape Architect.

prior to modification of the contract, purchasing and ng can begin. All plant materials will not include any

specifications for further and complete landscape

. Landscape Contractor shall be responsible for all

tus of existing or proposed irrigation.

hall be collected and deposited off-site daily.

work. Landscape Contractor shall replace (by equal /or installation work.

r palm. Trees or palms rejected due to this practice

alt mix design on the driving lane. Any work and/or as Department ROW Construction Permit.

ions may be adjusted to accommodate unforeseen herwise directed by or approved by the landscape

plied by the surveyor and architect. The contractor pographic and existing site information.

and strategy for the transplanting, staging and reuse the landscape architect.

cies shall be reported to the owner's representative

I obtain all necessary permits for this project.

ify the owner/owner's representative immediately in which are not reflected in the plans.

und) within the project area. Damage to any utilities ual to or better than before the damage was done.

re to be restored to original (or better) condition by sting grassed areas not adequately protected and

ction period. All waste material is to be disposed of

oles and/or other drainage features which have

tion and control of dust resulting from operations in led in the various unit and/or lump sum prices bid for

ed within the detail drawings and notes.

epancies shall be notified to Landscape Architect

## SAN MARINO RESIDENCE

## 15 E SAN MARINO DR. Miami Beach, FL 33140

CITY OF MIAMI BEACH LANDSCAPE LEGEND

ZONING DISTRICT: RS-3 LOT AREA 0.17 Acres	13,406 s.f.	]
R	EQUIRED	PROVIDED
OPEN SPACE		
A. Square feet of required Open Space as indicated on site plan: Lot Area = <u>13,406</u> s.f. X <u>70</u> % =	9384.2	9,384.2
B. Square feet of parking lot open space required as indicated on sit plan: Number of parking spaces       0    x 10 s.f. parking space =	0	0
C. Total square feet of landscaped open space required: A+B =	9384.2	9,384.2
LAWN AREA CALCULATION		
A. Square feet of landscaped open space required: 50% of Lot Area =	6,703	9,384
B. Maximum lawn area (sod) permitted50 % x6,703s.f	3,352	1,058
TREES		
A. Number of trees required, less existing number of trees (12' high / 2" cal min) meeting minimum requirements =		
13 trees1 existing=	13	12 + 1 existing
B. % Native trees required: Number of required trees x 30% =	4	13
C. % Drought tolerant and low maintenance: Number of required trees x 50% =	7	13
D. Street Trees (maximum average spacing of 20' o.c.):         47.5         linear feet along street /         20	3	3
E. Street trees located directly beneath power lines: (maximum average spacing of 20' o.c.): linear feet along street / 20 =	NA	NA
F. Tree Diversity (based on number of required trees)	4	4
G. Trees in Energy Conservation Zone	2	3
<u>SHRUBS</u>		
A. Number of shrubs required (18" min height): (No. of required trees + No. of street trees) x 12 =	192	973
B. % Native shrubs required: Number of required shrubs x 50% =	96	649
LARGE SHRUBS OR SMALL TREES		
A. Number of large shrubs required (min 6' high installed, 10' high once mature, 50% min native) Number of required shrubs x 10%=	20	20
B. % Native large shrubs or small trees required: Number of large shrubs provided x 50%		

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1621 Bay RD | Miami Beach FL, 33139 (786) 564 - 5337 www.ulustudio.com

ULU STUDIO LLC

IDENCI

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Sheet Index							
ID	Name						
L0.0	COVER SHEET						
L1.0	TREE DISPOSITION PLAN						
L2.0	PLANT PALETTE						
L2.1	PLANTING PLAN						
L3.0	PLANTING DETAILS						
L4.0	LIGHTING PLAN						

S SEAL RUDOLF UHLEMANN LA 6667213 ISSUE DATE: 09/07/18 **REVISIONS:** ID DATE DESCRIPTION DRAWN/CHECKED: RU DRB FINAL SUBMITTAL PROJECT NUMBER: 1804

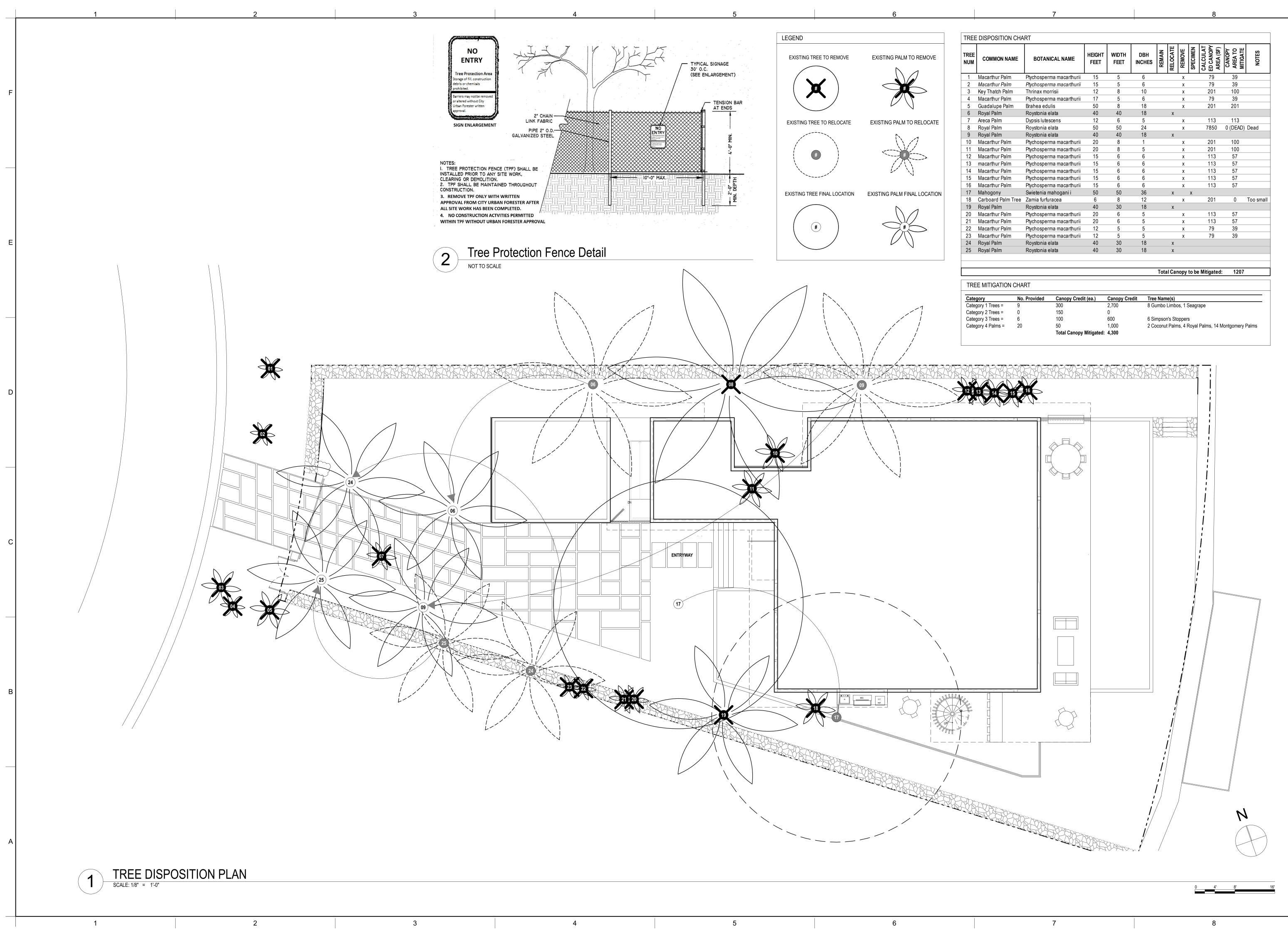
**COVER SHEET** 

L0.0

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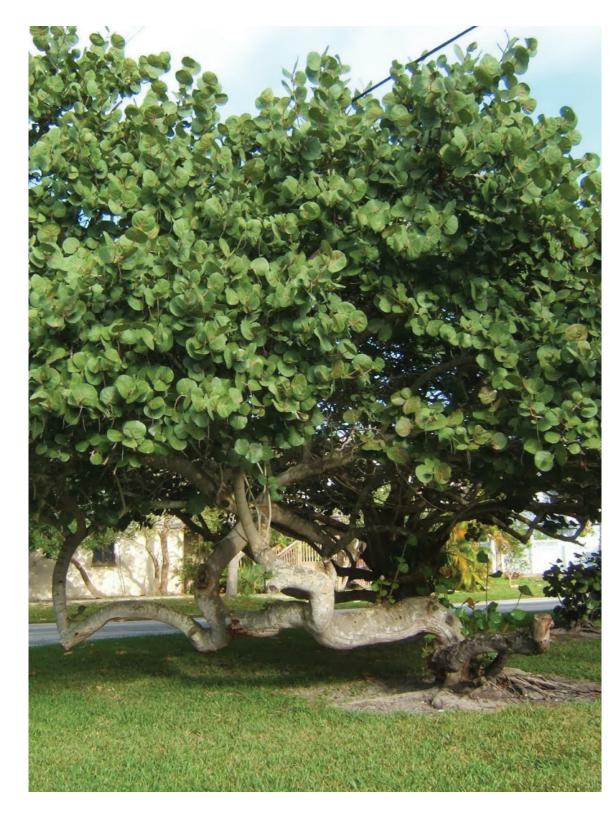


1621 Bay RD | Miami Beach FL, 33139 (786) 564 - 5337 www.ulustudio.com ULU STUDIO LLC

RESIDENCE ARINO DR , FL 33139 SAN MARINO I Beach, FL 331 **RINO** 15 E SAN MA Miami Beach, JI. Č A Σ Ζ

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SEAL
RUDOLF UHLEMANN LA 6667213
ISSUE DATE: 09/07/18
REVISIONS:
ID DATE DESCRIPTION
DRAWN/CHECKED: RU
DRB FINAL SUBMITTAL
PROJECT NUMBER: 1804
TREE
DISPOSITION
PLAN
110
L1.0





COCCOLOBA UVIFERA

**BURSERA SIMARUBA** 



STEPHANOTIS FLORIBUNDA



TRACHELOSPERMUM JASMINOIDES FICUS PUMILA





ERNODIA LITTORALIS

1



PHILODENDRON 'BURLE MARX'



AGAVE ATTENUATA

MYRCIANTHES FRAGRANS

VEITCHIA MONTGOMERYANA



ALCANTAREA 'ODORATA'



MONSTERA DELICIOSA



ALOCASIA ODORA 'CALIDORA'



PHILODENDRON XANADU



ZAMIA PUMILA



HYMENOCALLIS LATIFOLIA

COCOS NUCIFERA

COCCOLOBA UVIFERA

PODOCARPUS MACROPHYLLUS

ARACHIS GLABRATA

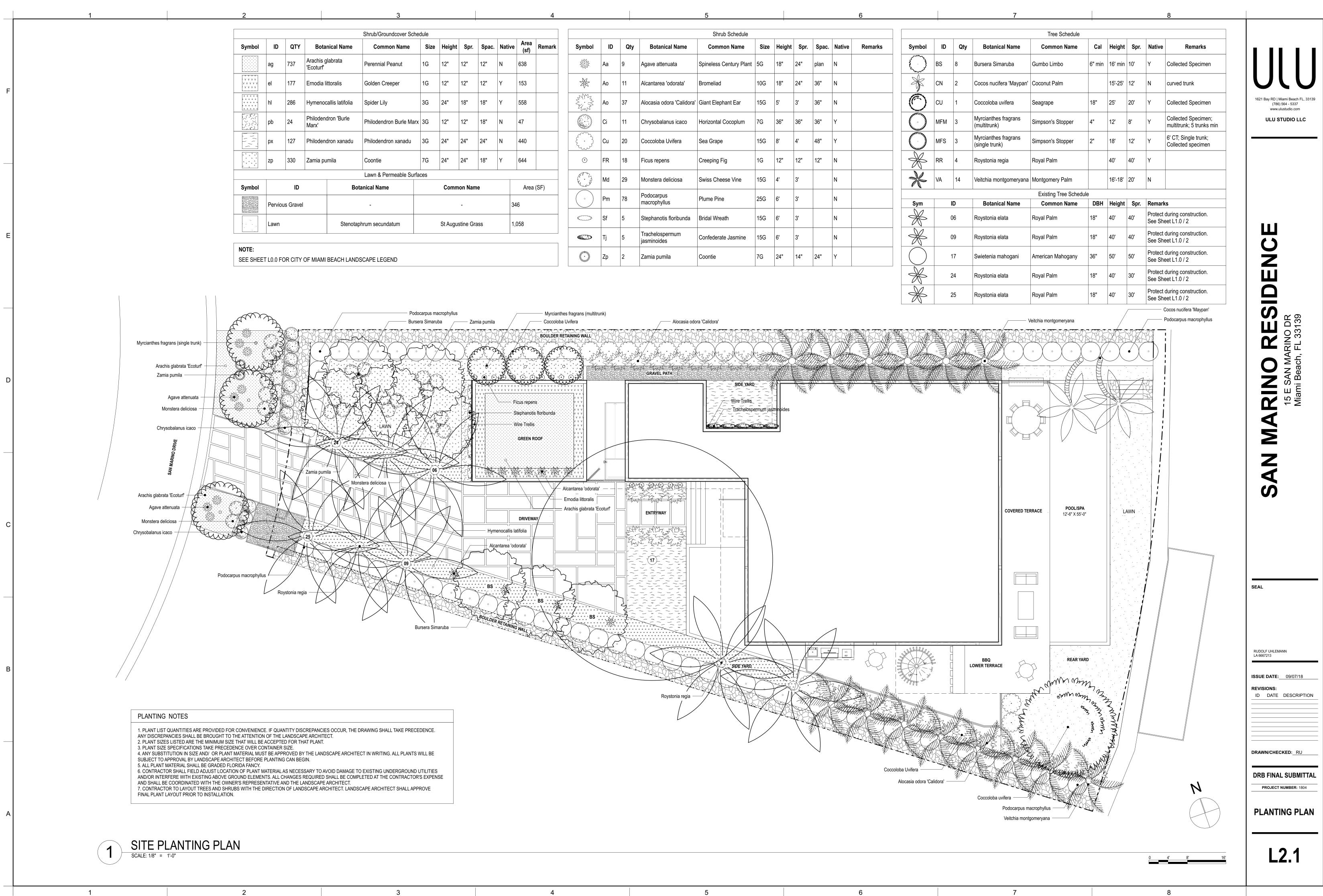
CHRYSOBALANUS ICACO



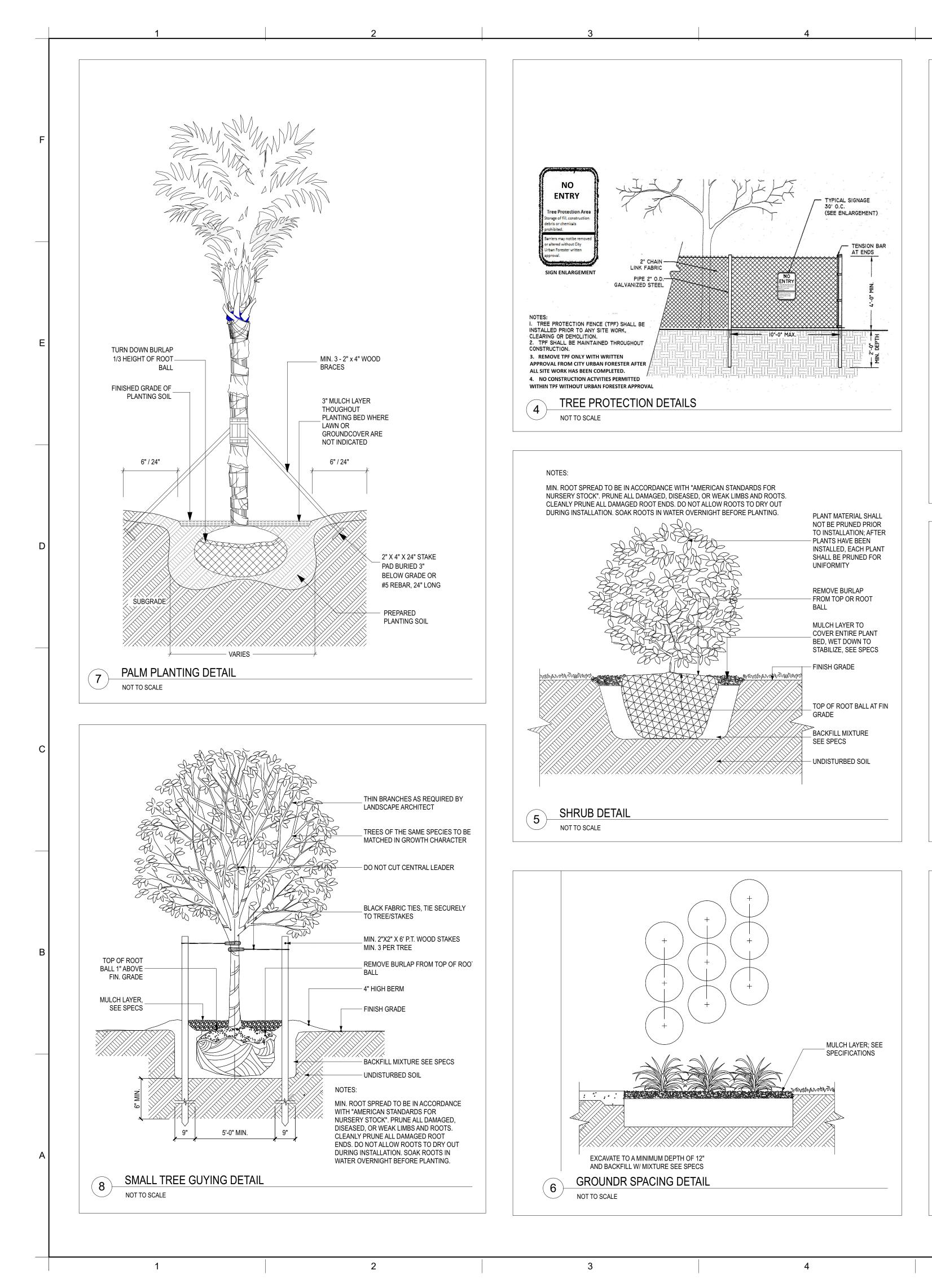
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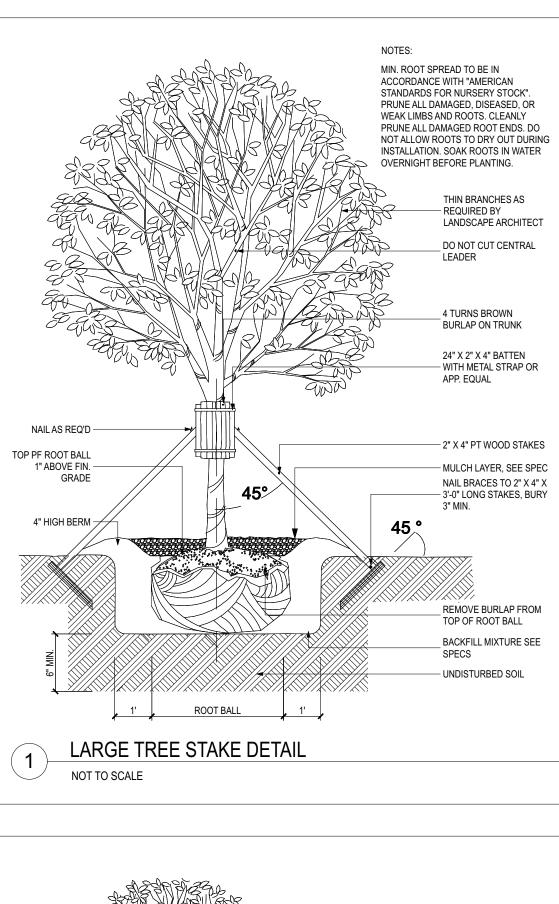
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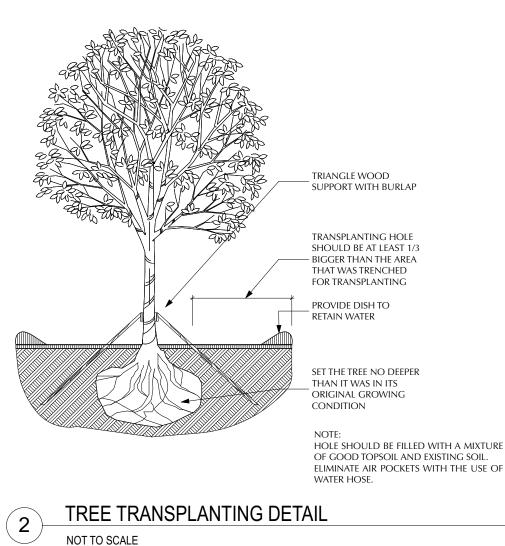
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RUDOLF UHLEMANN LA 6667213
ISSUE DATE: 09/07/18
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DRAWN/CHECKED: RU
DRB FINAL SUBMITTAL
PROJECT NUMBER: 1804
PLANT PALETTE
L2.0
LL.V

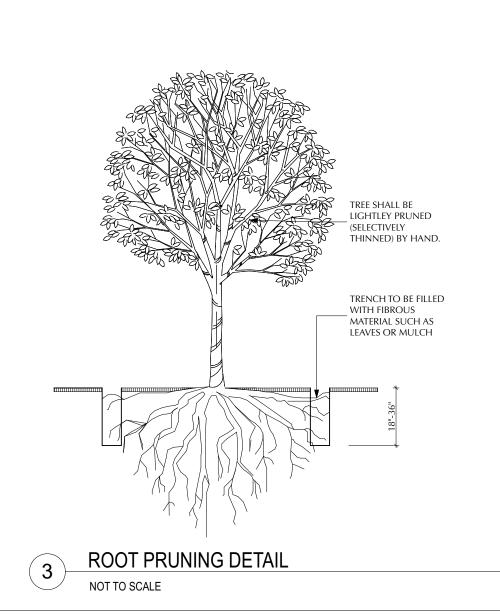


				4					5						6
							Shrub Schedule								
Height	Spr.	Spac.	Native	Area (sf) Remark	Symbo	I ID	Qty	Botanical Name	Common Name	Size	Height	Spr.	Spac.	Native	Remarks
12"	12"	12"	N	638		Aa	9	Agave attenuata	Spineless Century Plant	5G	18"	24"	plan	N	
12"	12"	12"	Y	153	×	Ao	11	Alcantarea 'odorata'	Bromeliad	10G	18"	24"	36"	N	
24"	18"	18"	Y	558	William Strain S	Ao	37	Alocasia odora 'Calidora'	Giant Elephant Ear	15G	5'	3'	36"	N	
12"	12"	18"	N	47		Ci	11	Chrysobalanus icaco	Horizontal Cocoplum	7G	36"	36"	36"	Y	
24"	24"	24"	N	440		Cu	20	Coccoloba Uvifera	Sea Grape	15G	8'	4'	48"	Y	
24"	24"	18"	Y	644	*	FR	18	Ficus repens	Creeping Fig	1G	12"	12"	12"	N	
Comm	ion Nam			Area (SF)	A Carry	Md	29	Monstera deliciosa	Swiss Cheese Vine	15G	4'	3'		N	
Comm	-		34		•	) Pm	78	Podocarpus macrophyllus	Plume Pine	25G	6'	3'		N	
St Augu	stine Gra	ass		058	Ę	Sf	5	Stephanotis floribunda	Bridal Wreath	15G	6'	3'		N	
			,			Tj	5	Trachelospermum jasminoides	Confederate Jasmine	15G	6'	3'		N	
					60000000000000000000000000000000000000	Zp	2	Zamia pumila	Coontie	7G	24"	14"	24"	Y	









PLANTING SPECIFICATIONS 1. The Contractor is responsible for maintaining, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) until the job is accepted, in full, by the Owner and/or Landscape Architect.

2. All root balls shall conform to the size standards set forth in "American Standards for Nursery Stock". 3. All plant material shall be protected during transport and delivery to final location with shade cloth or

5. Installation- All plant material shall be installed in a sound, workman- like manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.

6. There shall be no chains or cables used on trees or palms. Handle with two inch (2") minimum width nylon straps or equal.

7. Contractor shall assure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drain- age conditions.

8. Contractor to request final acceptance of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the Owner and the Landscape Architect shall declare the project substantially complete.

9. Contractor to replace rejected plant material within one (1) week of written notice.

10. Contractor shall mulch all plant material throughout and completely to a three inch (3") depth of loose, weed free, sterilized Melaleuca mulch.

2. Apply Roundup (manufactured by Monsanto Corp. or equal.) according to manufacturer's rate and specification within limits of all areas to be planted. Protect existing plants to remain from overspray or spray within root zone. Contractor to ensure total weed eradication from all areas to be planted.

3. Before replacing topsoil, rake subsoil surface clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material.

5. Contractor to apply "Surflan" or equal, or approved pre-emergent herbicide in accordance with manufacturer's rate and specifications.

7. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil. It shall be free of stones, lumps, live plants an their roots, sticks, and other extraneous matter. Spread topsoil mixture to minimum depth of three inches (3") throughout all lawn areas ...

9. Smooth all soil mixture to five inches (5") below top of surrounding pavement edges. This allows room for 3" of mulch and 2" clear space below top of pavement.

11. Topsoil shall not be extremely acid or alkaline, nor contain toxic substances which may be harmful to plant growth. The topsoil pH shall be in the range of pH 6.5 to 7.5. If necessary, the Contractor shall apply the appropriate soil amendments adjusting soil pH to assure a pH range of 6.5 to 7.5.

12. Finish grade all topsoil areas to a smooth, even surface, assuring positive drainage away from the structures and eliminate any low areas which may collect water.

13. Contractor shall assure percolation and drainage of all planting pits prior to planting. Contractor will be responsible for all plants lost due to the lack of percolation.

14. Contractor to remove debris and excess material daily from job site. Contractor shall remove all staking of trees and palms after twelve (12) months of substantial completion.

MULCH

6

#### PLANTING SPECIFICATIONS

other acceptable means of windburn prevention.

4. All trees must be guyed or staked as shown in the details.

11. Plant Material which is not installed at the direction of the landscape architect or owner will become the property of the contractor unless it becomes relocated on site. The Contractor shall provide the owner a credit for any plant material not installed on the site.

SOIL PREPARATION AND SOIL MIX

1. All shrub beds shall be provided with a minimum 30" depth of approved planting soil if existing soil is not acceptable to the Landscape Architect. Shrub beds shall be excavated to 30" depth and soil replaced as specified. Acceptable soil composition shall be 70% sand, 30% organic content with an overall pH range between 6.5 and 7.5.

4. Scarify subsoil to a depth of six inches (6").

6. Planting Soil Mixtures:

All plant material on grade with the exception of palms and beach material, shall be planted with the following soil mix:

Planting Soil Mixture A: a.) Weed free soil and consist of

70% clean silica sand,

30% everglades muck, and

b.) There must be a slight acidic reaction to the soil with no excess calcium or carbonate.

c.) Soil shall be delivered in a loose friable condition.

All palms + beach material on grade shall be planted with the following:

Planting Soil Mixture B:

a.) 80% clean sillca sand

b.) 20% everglades mack

8. Remove all rocks and other objects over one inches (1") in diameter.

10. Smooth topsoil mixture to two inches (2") below finish grade in areas to be sodded.

1. Mulch shall be shredded Florimulch (100% Melaleuca mulch). Planting areas not covered by lawn grass/sod shall be mulched to a minimum depth of 3", in order to present a finished appearance.

2. Any other mulch must be must be submitted to and approved.

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SEAL

RUDOLF UHLEMANN LA 6667213

**REVISIONS:** 

ISSUE DATE: 09/07/18

DRAWN/CHECKED: RU

DRB FINAL SUBMITTAL

PROJECT NUMBER: 1804

PLANTING

DETAILS

L3.0

ID DATE DESCRIPTION

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				Lighting s			Color				
Light Fixture Path Light	Quantity 8	Manufact Garden	Model	Voltage	Lamp	Watts 8 Watts	<b>Тетр</b> 3000 К	Material Solid Brass	<b>Finish</b> Brass	Notes	ш
Spot Light	27	Light LED Garden	V2	12V	LED	8 Watts	3000 K	Solid Brass	Brass		ENCE
Wall Washer	13	Light LED Garden Light LED	ww	12 vac	LED	20 watt	3000 K	Solid Brass	Brass		
		cc		ACE .	<b>POOL/SPA</b> 12'-6" X 55'-0"	Y	LAWN				SAN MARINO RES 15 E SAN MARINO DR Miami Beach, FL 33139
					REAR YARD						
		BBQ R TERRACE			m Mm mm mm <sup>33</sup> 2 W J	CULUM WIND C			N		RUDOLF UHLEMANN LA 6667213 ISSUE DATE: 09/07/18 REVISIONS: ID DATE DESCRIPTION DATE DESCRIPTION DATE DESCRIPTION DRAWN/CHECKED: RU DRB FINAL SUBMITTAL PROJECT NUMBER: 1804