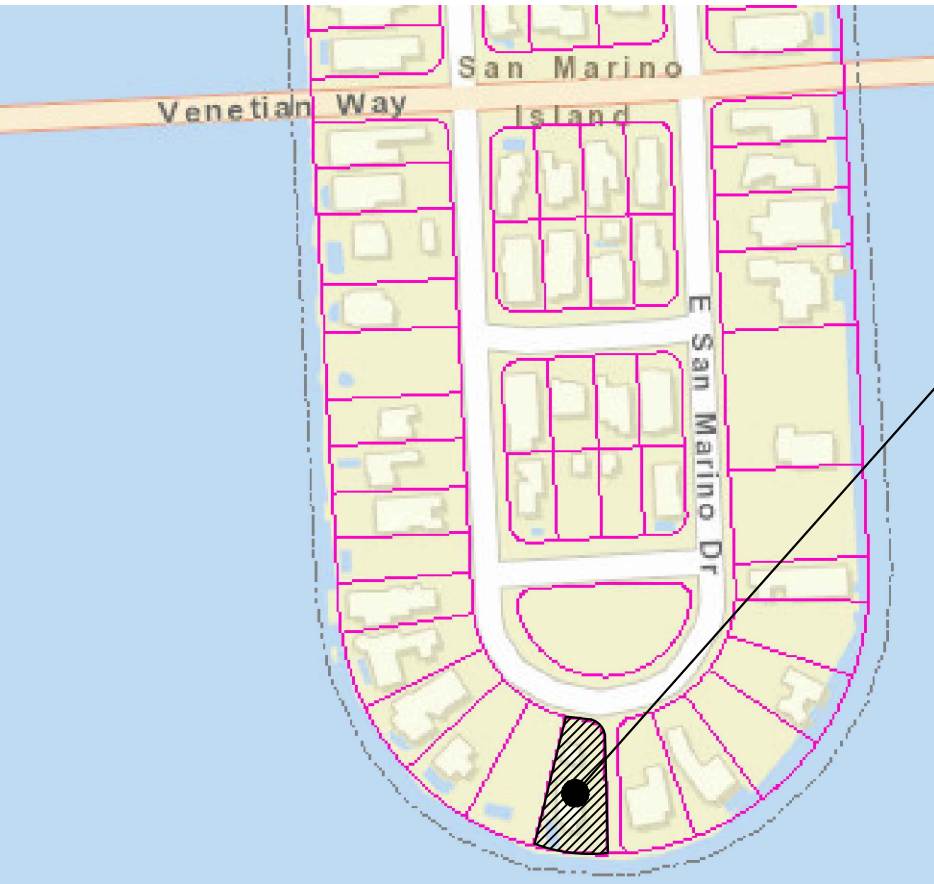
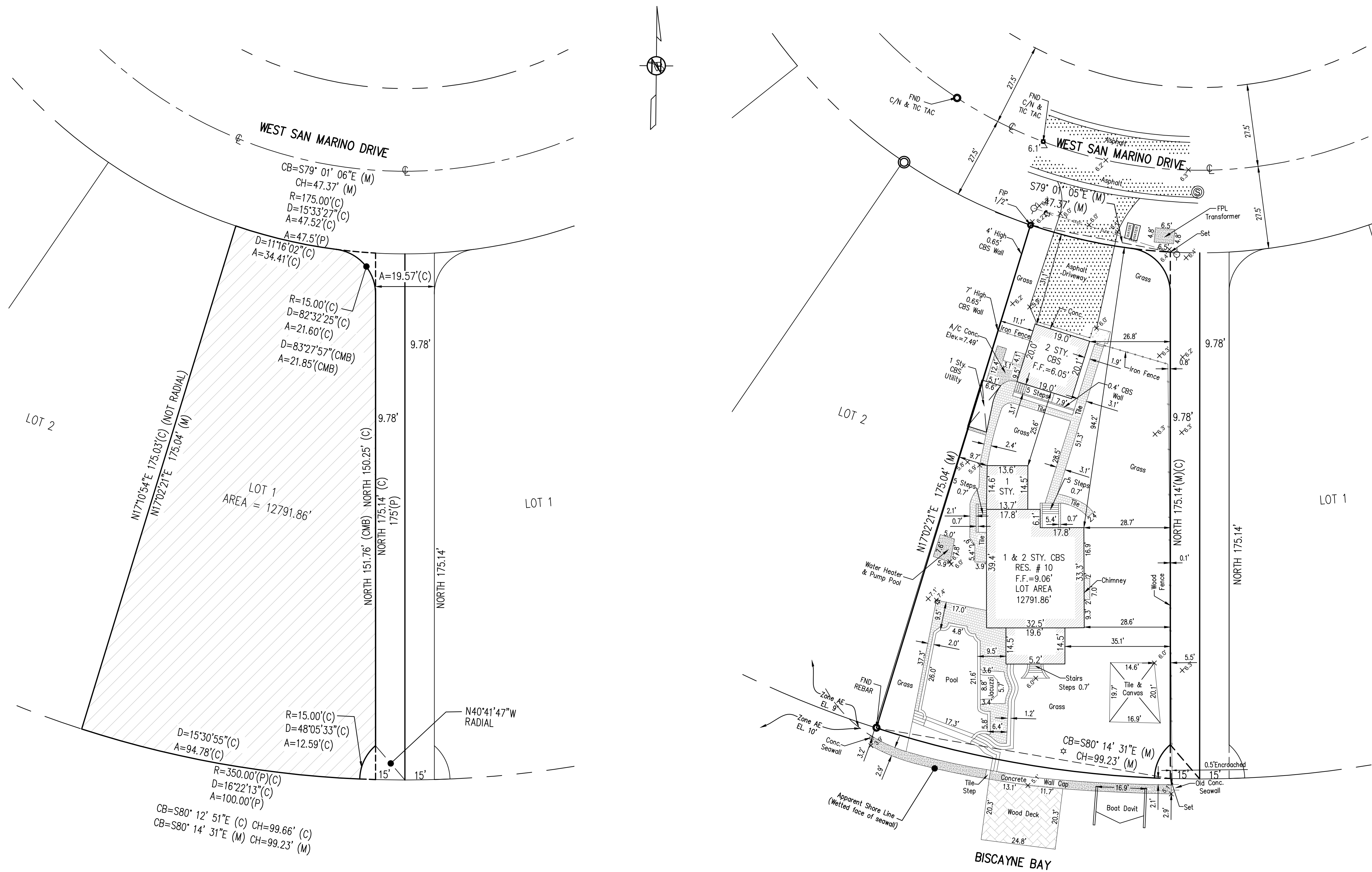


SKETCH OF BOUNDARY SURVEY



LOCATION MAP  
Not to Scale

10 West San Marino Drive  
Miami Beach, Florida

SYMBOL LEGEND

- Centerline
- Right of way
- Property line
- Electrical Pullbox
- Wood Pole
- Water Meter
- Light Pole
- Sanitary Manhole
- Iron Pipe
- Mail Box

LEGEND

- A/C Air Conditioner
- (M) Measured dimension
- (C) Calculated dimension
- sq. ft. Square feet
- F.I.P. Found Iron Pipe
- Elevation
- Electric Wire Overhang
- R. Radius
- A. Arc Length
- CB. Chord Bearing
- CH. Chord

LEGEND

- FND Found
- (CMB) City of Miami Beach
- (P) Plat dimension
- D. Delta
- El. Elevation

"BOUNDARY DETAIL"

**LEGAL DESCRIPTION:**  
Lot 1, Block 1, of SAN MARINO ISLAND, according to the plat thereof, as recorded in Plat Book 9 at Page 22, of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES:**

The client provided the legal description to the surveyor based on the Miami-Dade County Property Appraiser's Property Search Summary Report for Tax Folio No. 02-3232-003-0010 and the WARRANTY DEED recorded in Official Records Book 17122 at Page 1815, as evidenced thereon. No title search has been conducted by nor was a current title report provided to the surveyor. There is no roadway dedication statement, easements or setback restrictions neither noted on the said plat of SAN MARINO ISLAND nor are there any other plottable restriction noted thereon. There may be easements, rights of way and/or other encumbrances affecting the subject property not disclosed hereon that a title report would evidence.

Right of Way as shown is based on the recorded Plat and the record description. Any notorious evidence of occupation and/or use of the described parcel for Right-of-Way, Ingress or Egress are shown on this survey drawing. However, this survey does not purport to reflect any recorded instruments or Right-of-Way other than shown on the recorded plat or stated in the legal description, as it appears on this drawing. As noted herein the roadways depicted on the said plat of SAN MARINO ISLAND were not dedicated to the Public, by plat. Noting however, the Miami-Dade County Property Appraiser's Property Search Summary Report for Tax Folio No. 02-3232-003-0890, that all of SAN MARINO ISLAND, not included in the Lots and Blocks, less Venetian Way is owned by the City of Miami Beach. The additional geometrical detail along the East line of Lot 1, Block 1 is based on information, made known to the Surveyor, from the City of Miami Beach Public Works Department (CMB), and has not been abstracted by the Surveyor.

This SKETCH OF BOUNDARY SURVEY does not represent a Mean High Water Line Survey as defined under Chapter 5J-17.050(g) Florida Administrative Code nor does this Survey purport to determine the nature and/or limit of ownership interests to the submerged lands adjacent to the subject property. The subject parcel lies adjacent to a tidally influenced navigable waterway and may be subject to additional jurisdictional requirements for permitting process. The "Apparent Shore Line" as shown hereon represents the seaward face of the existing seawall and not necessarily the "Safe Upland Line" as defined in said code. There may be additional survey requirements necessary to address those specific permit processes in addition to the Mean High Water Line Survey.

Bearings are based on an assumed meridian, where the center line of West San Marino Drive, bears North. All distances as shown are based on the US Survey foot.

Elevation are referred to National Geodetic Vertical Datum 1929 (NGVD 29) Elevation are based on a Miami-Dade County Bench Mark D-173 the same been a PK nail and brass washer set in the in the concrete sidewalk in the Northeast corner of the West bridge to San Marino Island, located 19 feet North of the centerline of Venetian Causeway, elevation 7.60 feet; AND on Miami-Dade County Bench Mark D-172 the same been a PK nail and brass washer set in the in the concrete sidewalk in the Southwest corner of the East bridge to San Marino Island, located 18 feet South of the centerline of Venetian Causeway, elevation 7.79 feet

The accuracy obtained for all horizontal control measurements and office calculations of closed geometric figures, verified by redundant measurements, meets or exceeds a linear closure of 1 foot in 7,500 feet for Suburban Areas. The elevations as shown are based on a closed level loop to the two benchmarks noted above, and meet or exceed a closure in feet of plus or minus 0.05 feet times the square root of the distance in miles.

This SKETCH OF BOUNDARY SURVEY is based on: (i) recovered monumentation; and (ii) the plat of SAN MARINO, also known as the plat of SAN MARINO ISLAND, recorded in Plat Book 9 at Page 22.

A comparison between measured, plat, record and calculated dimensions is delineated hereon. Measured dimensions (M) are based direct and indirect measurement of the recovered monumentation. Platted dimensions (P) are based on the said plat of SAN MARINO. Record dimensions (CMB) are based on the City of Miami Beach Public Works Department. Calculated dimensions (C) are based on a protraction of the aforementioned record plat of SAN MARINO ISLAND.

The Subject Property lies within a Special flood Hazard Area (SFHA), an area subject to inundation by the 1% annual chance flood, as shown on the National Flood Insurance Programs, Rate Map for Miami-Dade County, Florida and Incorporated Areas Map No. 12056C0316L, Community No. 120551 (City of Miami Beach), bearing an effective/revised date of September 11, 2009. Said map delineates the upland area within the "Surveyed Site" to be situated within Zone AE, where the Base Flood Elevation, the water surface elevation of the 1% annual chance flood, was determined to be Elevation 9 feet (NGVD29), the area sea ward at the seawall lies within Zone AE, BASE FLOOD ELEVATION 10.0 feet. The delineation between the Flood Zones is plotted hereon.

No encroachments were noted by this survey, except as shown hereon. The ownership of the fences and/or walls as shown hereon was not determined. Fence locations as shown are based on the recovered monumentation.

This sketch shown hereon in its graphic form is the record depiction of the surveyed lands described herein and will in no circumstances be supplanted in authority by any other graphic or digital format of this Survey. This map is intended to be displayed at a scale of 1"=20' or smaller.

**SURVEYOR'S CERTIFICATION:**

TO Ramin Design, LLC.

This is to certify to the herein named firm and/or persons, that in my professional opinion, this map or plat of the herein described property is true and correct as recently surveyed and platted under my direction. I further certify that this map or plat and the survey on which it is based meets the Standards of Practice, adopted by the Board of Professional Surveyors and Mappers, pursuant to Chapter 472.027 Florida Statutes, as set forth in Chapter 5J-17, Florida Administrative Code, under Sections 5J-17.051 and 5J-17.052 and is a "BOUNDARY SURVEY" as defined in Section 5J-17.050(2).

Dated: \_\_\_\_\_

E.R. BROWNELL & ASSOCIATES, INC.

Thomas Brownell, Executive Vice President  
Professional Land Surveyor # 2891  
State of Florida

The survey map and notes and/or report or the copies thereof are not valid without the original signature and raised seal of a Florida licensed surveyor and mapper. Any additions or deletions to the survey map and notes and/or report by other than the signing party or parties is prohibited without written consent of the signing party or parties.



**ER. BROWNELL & ASSOCIATES**  
CONSULTING ENGINEERS LAND PLANNERS SURVEYORS & MAPPERS

Miami, Florida, 33155  
4957 Southwest 74th Court  
305-860-3866 (PHONE) WWW.ERBROWNELL.COM 305-860-3870 (FAX)  
Drawn by: P.L. Ref. F.B. 1229-42 PLS/PSM No. 2891  
Date: 05/23/2018  
Scale: 1" = 20'  
Certification No. LB761

**BOUNDARY SURVEY**  
**10 W SAN MARINO DRIVE**

RAMIN DESIGN, LLC

No.	Date	Apd.	Job No.	Description
1	05/23/2018			
2	05/23/2018			
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Sheet: 1 OF 2  
J.N. 58196  
Sk. No.  
LS-3272