

ALLISON ISLAND SOUTH RESIDENCE

6431 ALLISON ROAD | MIAMI BEACH, FLORIDA 33141
FOLIO: 02-3211-003-0100



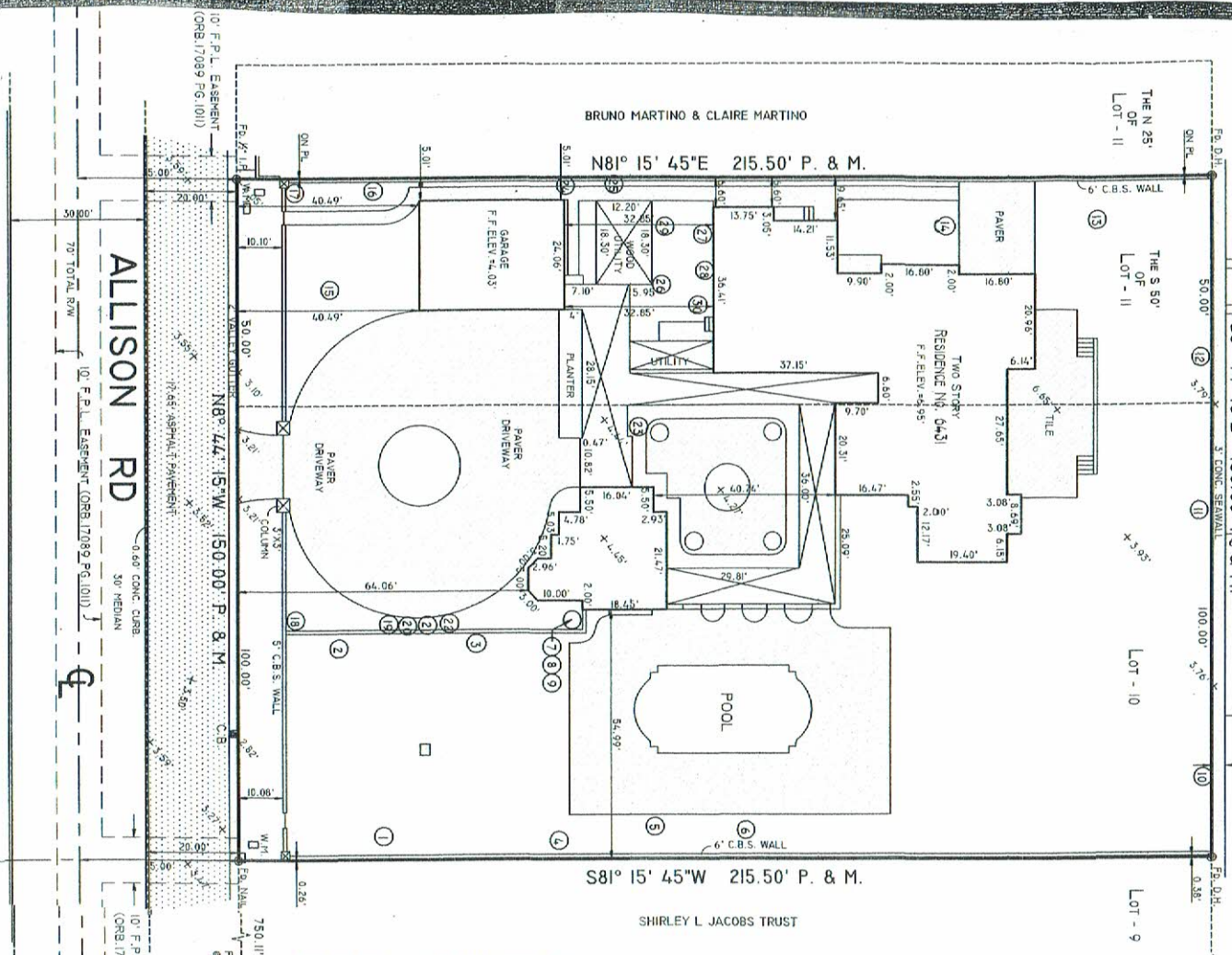
FINAL SUBMITTAL: NOV DRB
SEPTEMBER 07, 2018

[STRANG] DESIGN

FIRM LICENSE NO. AA26001123
2900 SW 28th TERRACE, STE 301 MIAMI, FL 33133
PH:305.373.4990 FAX: 305.373.4991
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TREE TABULATION				
NUMBER	COMMON NAME	DIAMETER	HEIGHT	CANOPY
①	Unknown	3'	30'	25'
②	Pumeria Tree	1'	16'	13'
③	Plumeria Tree	1'	20'	20'
④	Arborbite	1'	13'	10'
⑤	Palmetto Palm	1'	12'	11'
⑥	Arborbite	1.30'	18'	20'
⑦	Palm	0.70'	23'	6'
⑧	Palm	0.70'	22'	6'
⑨	Palm	0.80'	24'	6'
⑩	COCONUT PALM	0.90'	30'	20'
⑪	ROYAL PALM	1.10'	33'	11'
⑫	ROYAL PALM	1.20'	35'	10'
⑬	Black olive	0.75'	12'	12'
⑭	Black olive	1'	15'	10'
⑮	Black olive	1'	13'	12'
⑯	Mahogany	1.40'	25'	25'
⑰	MAMEY	1'	25'	20'
⑱	Unknown	1.20'	25'	25'
⑲	Cypress	0.50'	18'	4'
⑳	Cypress	0.45'	16'	4'
㉑	Cypress	0.50'	20'	4'
㉒	Cypress	0.50'	20'	4'
㉓	YUCA	1.20'	15'	4'
㉔	Gumbo Limbo	1'	25'	20'
㉕	Unknown	0.45'	18'	6'
㉖	PLUM	0.95'	16'	15'
㉗	Gumbo Limbo	1'	25'	20'
㉘	Gumbo Limbo	1'	30'	25'
㉙	GUAVA	0.60'	12'	10'
㉚	Gumbo Limbo	1.20'	34'	30'

PROPERTY ADDRESS: 6431 ALLISON RD., MIAMI BEACH, FL. 33141.

CERTIFIED TO: JAMES CURNIN AND/OR ASSIGNS; BELOFF LAW, PA; CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 7A, 7B, 8, 9 AND 11A OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 11TH, 2018.

SURVEY DONE ACCORDING TO CHICAGO TITLE INSURANCE COMPANY ORDER NO.: 7013948

- SCHEDULE B-II TITLE EXCEPTION #13 AFFECTS THE PROPERTY AND IS PLOTTED HEREON.
- ALL OTHER SCHEDULE B-II TITLE EXCEPTIONS ARE BLANKET IN NATURE AND NOT PLOTTABLE.

LEGAL DESCRIPTION: LOT 10 AND THE SOUTH 50 FEET OF LOT 11, INDIAN CREEK SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 75, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

LOT AREA = 32,325 SQ. FT.

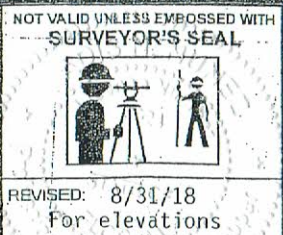
ABBREVIATIONS:
SWK=SIDEWALK, CBS=CONCRETE BLOCK STRUCTURE, CLF=CHAIN LINK FENCE, PL=PROPERTY LINE, DUE=DRAINAGE UTILITY EASEMENT, IP=IRON PIPE, F=FOUND, AC=AIR CONDITIONER PAD, PVC=PROPERTY CORNER, DH=DRILLED HOLE, WF=WOODEN FENCE, RES=RESIDENCE, CL=CLEAR, RB=REBAR, UE=UTILITY EASEMENT, CONC=CONCRETE SLAB, R/W=RIGHT OF WAY, DE=DRAINAGE EASEMENT, CL=CENTER LINE, O=DIAMETER, TYP=TYPICAL, M=MEASURED, R=RECORDED, ENCR=ENCROACHMENT, COMP=COMPUTER, ASH=ASPHALT, N/D=NAIL & DISC, S=SET, FEE=FINISH FLOOR ELEVATION, O/S=OFFSET, PIP=POWER POLE, OHP=OVERHEAD POWERLINE, WM=WATER METER, WOOD FENCE=MASONRY WALL, CONC=CONCRETE, MAINTENANCE & DRAINAGE EASEMENT=M & D.E.

ELEVATION BASED ON LOC. # 3222 NE
CBM# a-33 ELV. 8.23' TYPE OF SURVEY: BOUNDARY SURVEY

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) UNDERGROUND ENCROACHMENTS NOT LOCATED. 4) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. 5) OWNERSHIP OF FENCES ARE UNKNOWN. 6) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 7) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 8) PROPERTY HAS DIRECT VEHICULAR ACCESS TO A PUBLICLY DEDICATED RIGHT-OF-WAY

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB 31 PAGE 75



I HEREBY CERTIFY That the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes.

There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

Adis N. Nunez
ADIS N. NUNEZ
REGISTERED LAND SURVEYOR
STATE OF FLORIDA #5924

SINCE 1987

BLANCO SURVEYORS INC.

Engineers • Land Surveyors • Planners • LB # 0007059

555 NORTH SHORE DRIVE
MIAMI BEACH, FL 33141

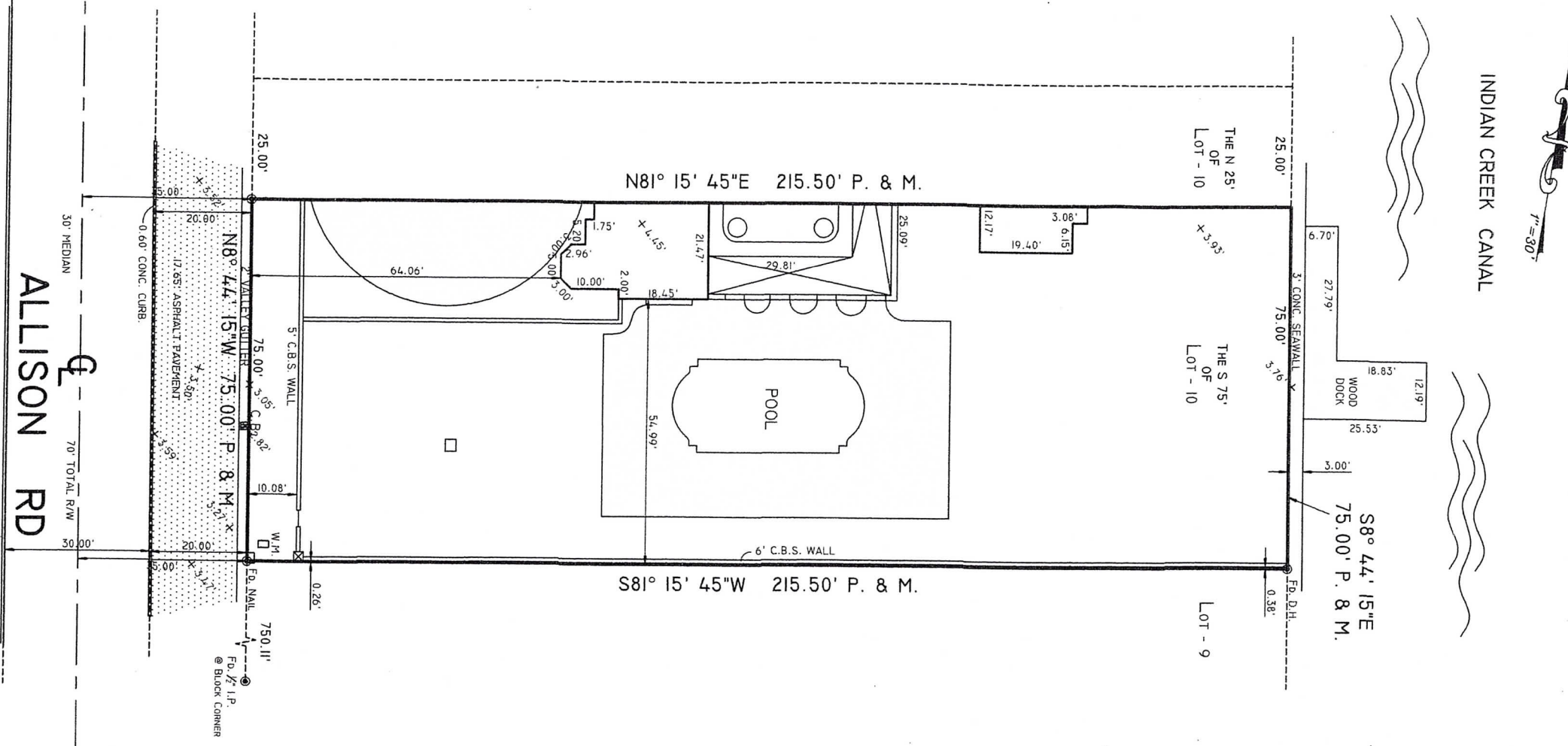
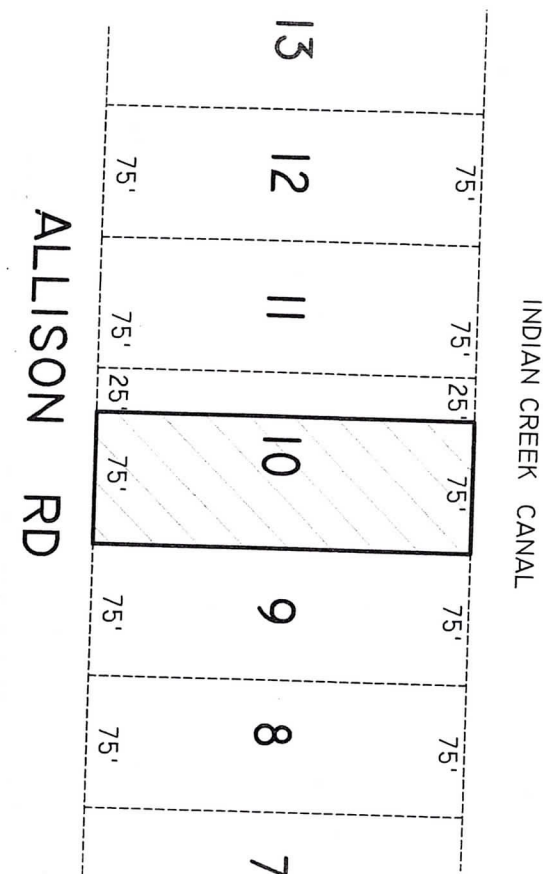
(305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

FLOOD ZONE: ae SUFFIX: L DATE: 9/11/09 BASE: 8'

PANEL: 0326 COMMUNITY # 120651

DATE: 6/11/18 SCALE: 1" = 30' DWN. BY: F. Blanco JOB No: 18-394

LOCATION SKETCH SCALE: NTS



LOT AREA = 16,162.50 SQ. FT.

ABBREVIATIONS:

SVK=SIDEWALK, CBS=CONCRETE BLOCK STRUCTURE, CLF=CHAIN LINK FENCE, PL=PROPERTY LINE, DUE=DRAINAGE UTILITY EASEMENT, IP=IRON PIPE, F=FOUND, A/C=AIR CONDITIONER PAD, P/C=PROPERTY CORNER, D/H=DRILLED HOLE, W/F=WOODEN FENCE, RES=RESIDENCE, CL-CLEAR, RB=REBAR, UE=UTILITY EASEMENT, CONC=CONCRETE SLAB, R/W=RIGHT OF WAY, DE=DRAINAGE EASEMENT, C/L-CENTER LINE, O=DIAMETER, TYP=TYPICAL, M=MEASURED, R=RECORDED, ENCR=ENCROACHMENT, COMP=COMPUTER, ASH=ASPHALT, N/D=NAIL & DISC, S=SET, FEE=FINISH FLOOR ELEVATION, O/S-OFFSET, P/P=POWER POLE, OHP=OVERHEAD POWERLINE, VM=VALVE METER, WOOD FENCE=WOOD FENCE, MASONRY WALL=MASONRY WALL, CONCRETE=CONCRETE, MAINTENANCE & DRAINAGE EASEMENT=M & D.E.

ELEVATION BASED ON LOC. # 3222 NE
CBM# a-33 ELV. 8.23'

TYPE OF SURVEY: BOUNDARY SURVEY

SURVEYOR'S NOTES: 1) OWNERSHIP SUBJECT TO OPINION OF TITLE. 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE. 4) LEGAL DESCRIPTION PROVIDED BY CLIENT. 5) UNDERGROUND ENCROACHMENTS NOT LOCATED. 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929. 7) OWNERSHIP OF FENCES ARE UNKNOWN. 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION. 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.

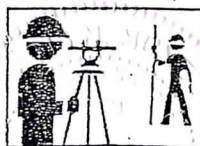
Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.

BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB 31 PAGE 75

Property Address: 6431 Allison Rd., Miami Beach, FL. 33141.

Legal Description: The South 75 feet of Lot 10, INDIAN CREEK SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 31, Page 75, of the Public Records of Miami-Dade County, Florida.

NOT VALID UNLESS EMBOSSED WITH
SURVEYOR'S SEAL



REVISED: 8/31/18
for elevations

I HEREBY CERTIFY that the survey represented thereon meets the minimum technical requirements adopted by the STATE OF FLORIDA Board of Land Surveyors pursuant to Section 472.027 Florida Statutes. There are no encroachments, overlaps, easements appearing on the plat or visible easements other than as shown hereon.

Adis N. Nunez
ADIS N. NUNEZ
REGISTERED LAND SURVEYOR
STATE OF FLORIDA #5924

SINCE 1987

BLANCO SURVEYORS INC.

Engineers • Land Surveyors • Planners • LB # 0007059

555 NORTH SHORE DRIVE

MIAMI BEACH, FL 33141

(305) 865-1200 Email: blancosurveyorsinc@yahoo.com Fax: (305) 865-7810

FLOOD ZONE: ae

PANEL: 0326

DATE: 6/11/18

SUFFIX: L

COMMUNITY # 120651

DWN. BY: F. Blanco

DATE: 9/11/09

JOB No

18-394

BASE: 8'

SCALE: 1" = 30'



4 EAST ELEVATION/REAR YARD
SCALE: NTS



3 SOUTH ELEVATION
SCALE: NTS



2 COURTYARD WEST ELEVATION
SCALE: NTS



1 WEST ELEVATION/FRONT DRIVE COURT
SCALE: NTS

[STRANG]

2900 SW 28TH TERRACE, SUITE 301
MIAMI, FLORIDA 33133
PH: 305-373-4990 | FX: 305-373-4991
FIRM LICENSE # AA26001123
WWW.STRANG.DESIGN

PROJECT LOCATION:
6431 ALLISON RD,
MIAMI BEACH, FL 33141

PROJECT CLIENT(S) / OWNER(S):
JAMES CURNIN

ARCHITECT:
MAX WILSON STRANG, FAIA
LICENSE # AR0017183
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

STRUCTURAL ENGINEERING:
-

MEP ENGINEERING:
-

LANDSCAPE ARCHITECT:
TRAVIS MICHAEL HARRISON, PLA
LICENSE # LA6667411
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

CIVIL ENGINEER:
-

PROJECT NAME:
ALLISON ISLAND SOUTH

PROFESSIONAL SEAL(S):

	09-07-2018	FINAL SUBMITTAL SET
No.	DATE	DESCRIPTION

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Sheet Title:
**EXISTING
CONDITIONS**

Sheet No:

A-004



2 SOUTH SIDE YARD
SCALE: NTS



1 SOUTH SIDE YARD
SCALE: NTS

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MIAMI, FL 33133

STRUCTURAL ENGINEERING:
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MEP ENGINEERING:
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LANDSCAPE ARCHITECT:
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LICENSE # LA6667411
2900 SW 28TH TERRACE, SUITE 301
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CIVIL ENGINEER:
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PROJECT NAME:
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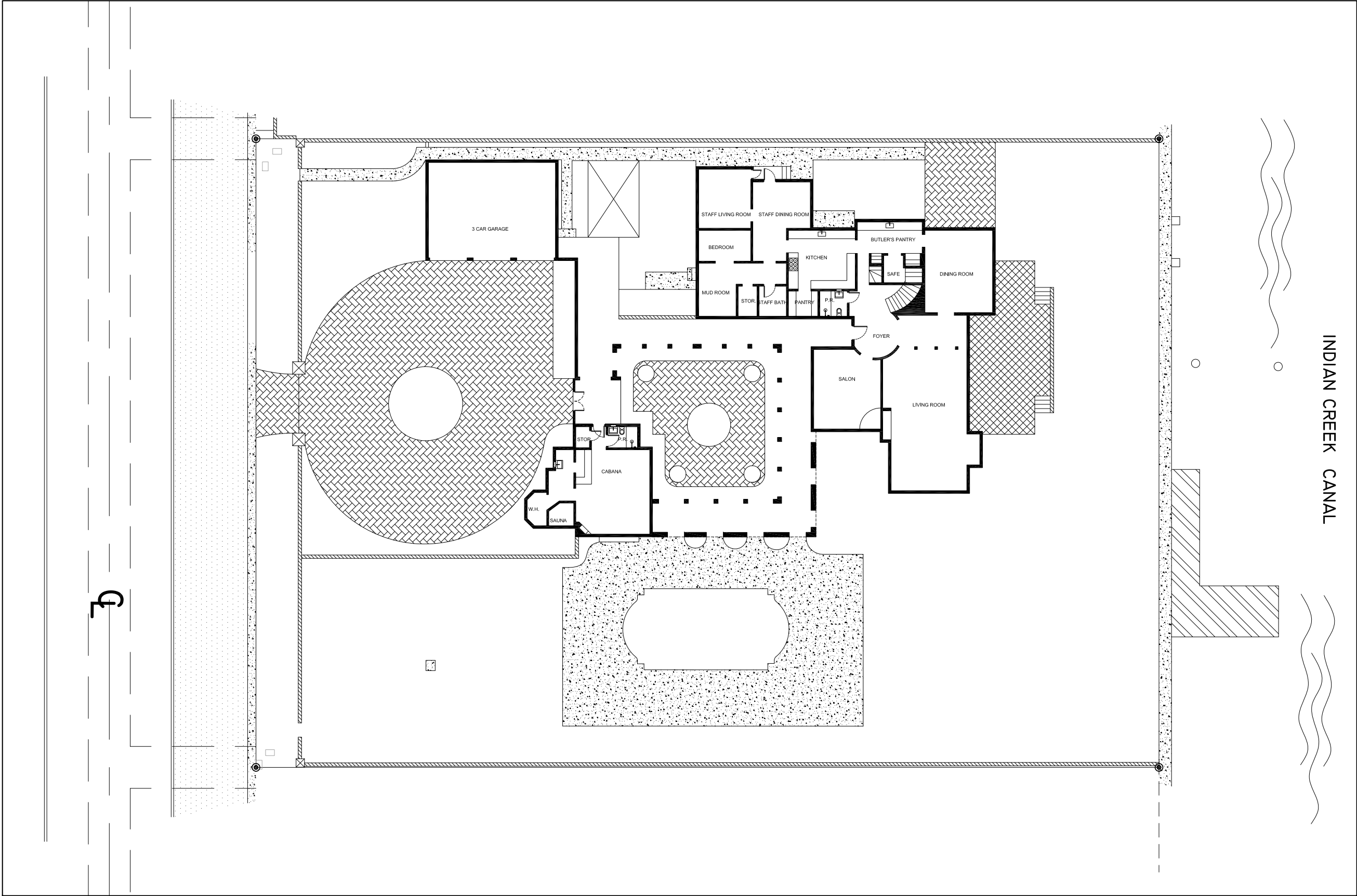
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EXISTING
CONDITIONS

Sheet No:
A-005



1 EXISTING FIRST FLOOR PLAN
SCALE: NTS

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PROJECT LOCATION:
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STRUCTURAL ENGINEERING:
-

MEP ENGINEERING:
-

LANDSCAPE ARCHITECT:
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LICENSE # LA6667411
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CIVIL ENGINEER:
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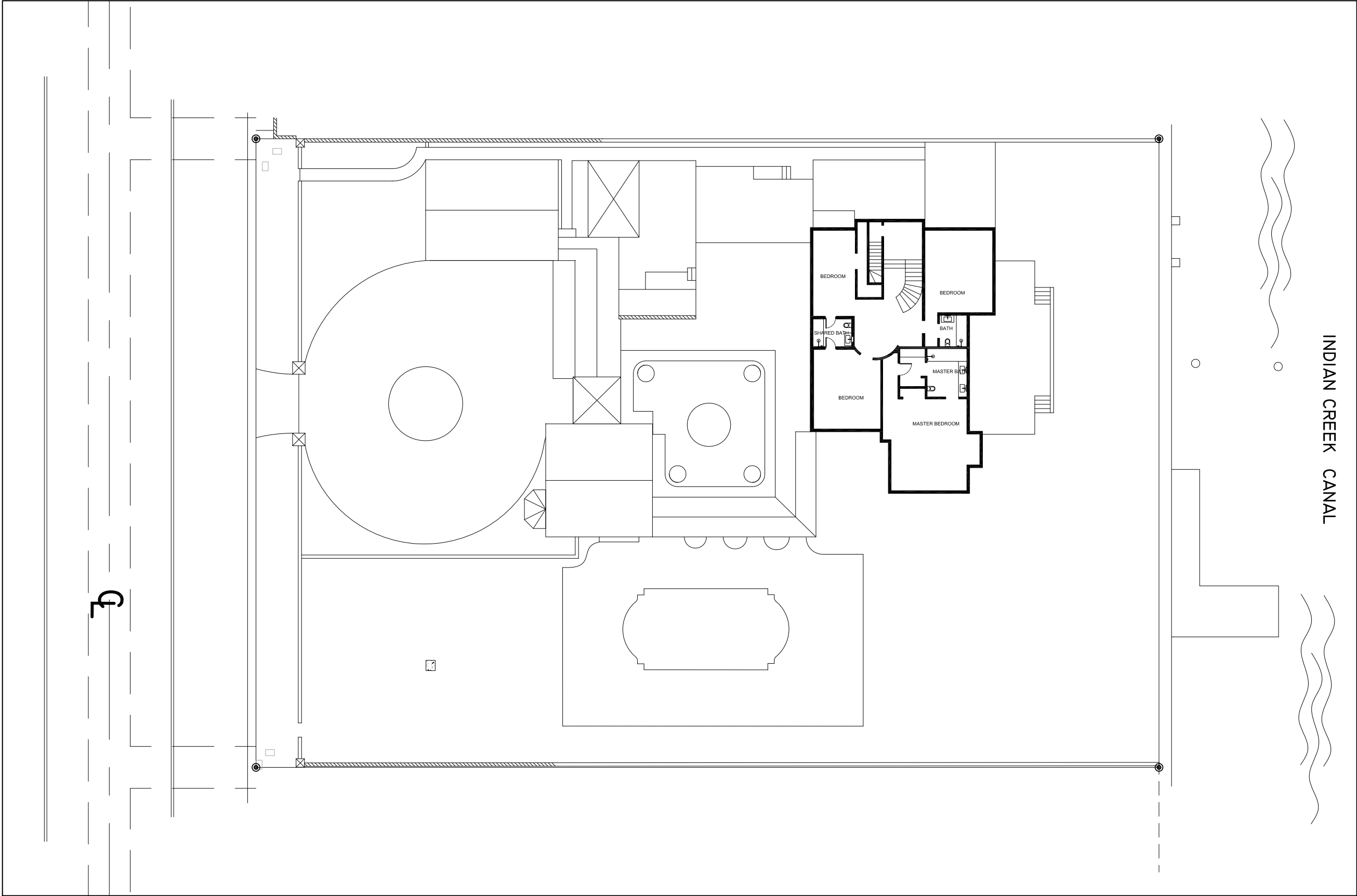
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Sheet Title:
EXISTING
PLANS

Sheet No:
A-006



1 EXISTING SECOND FLOOR PLAN
SCALE: NTS

INDIAN CREEK CANAL

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STRUCTURAL ENGINEERING:
-

MEP ENGINEERING:
-

LANDSCAPE ARCHITECT:
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LICENSE # LA6667411
2900 SW 28TH TERRACE, SUITE 301
MIAMI, FL 33133

CIVIL ENGINEER:
-

PROJECT NAME:
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PROFESSIONAL SEAL(S):

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Sheet Title:
**EXISTING
PLANS**

Sheet No:

A-007



C



B



A



1 SURROUNDING CONTEXT KEY
SCALE: NTS

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MIAMI, FLORIDA 33133
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STRUCTURAL ENGINEERING:
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MEP ENGINEERING:
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LANDSCAPE ARCHITECT:
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CIVIL ENGINEER:
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PROJECT NAME:
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**CONTEXT
PHOTOGRAPHS**

Sheet No:
A-008



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MIAMI, FL 33133

STRUCTURAL ENGINEERING:
-

MEP ENGINEERING:
-

LANDSCAPE ARCHITECT:
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CIVIL ENGINEER:
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Sheet Title:
LOCATION
PLAN

Sheet No:
A-009

