



City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139, www.miamibeachfl.gov

PUBLIC WORKS DEPARTMENT
Tel: 305-673-7080 , Fax: 305-673-7028

February 12, 2015

David Solomon
P.O. Box 402572
Miami Beach, Florida, 33139

Re: Sidewalk Elevation
11 Star Island
Miami Beach, Florida

Dear David Solomon,

Pursuant to Section 114-1 of the City Code, and in the absence of a sidewalk, the grade at the above referenced property is calculated to be 4.05ft. **N.A.V.D. 1988**. However, in the near future the proposed grade elevation is intended to increase significantly.

Please call (305) 673-7080 if you should have any further questions or need additional information.

Sincerely,

Bruce Mowry, PhD., P.E.
City Engineer

cc: Tom Mooney

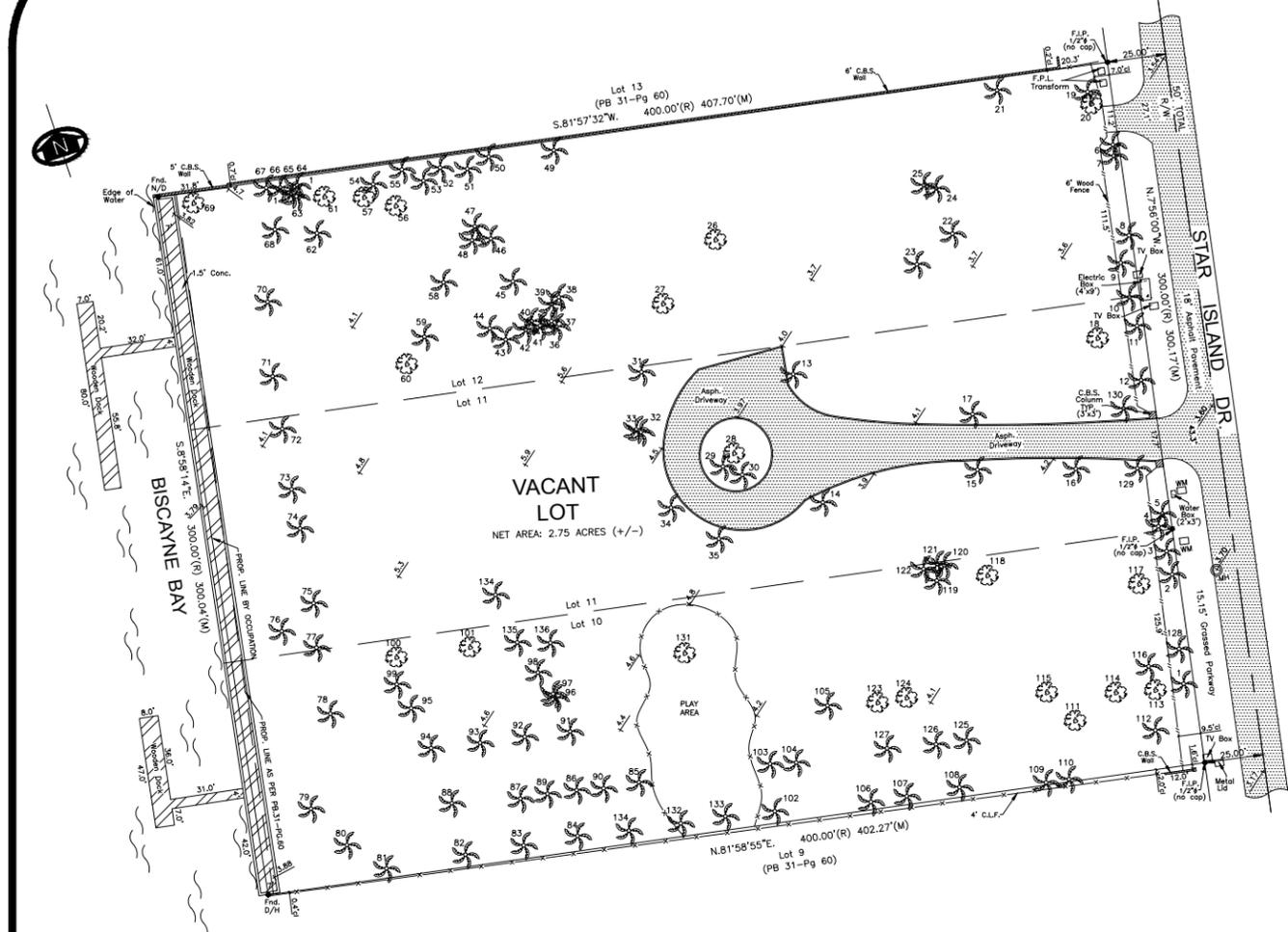
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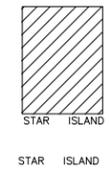
We are committed to providing excellent public service and safety to all who live, work, and play in our vibrant, tropical, historic community.

SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 30'



LOCATION MAP



SITE PICTURE

N:\AMERICAN\PHOTOS FOR ELEVATIONS\2015\15-113.png

SITE ADDRESS: 10, 11 AND 12 STAR ISLAND DRIVE, MIAMI BEACH, FL. 33139
 JOB NUMBER: 15-113
 DATE OF SURVEY: JANUARY 14, 2015 / APRIL 20, 2016
 FOLIO NUMBER: 02-4204-001-010 and 02-4204-001-011

ENCROACHMENTS AND OTHER POINTS OF INTEREST:
 -THERE ARE NO VISIBLE ENCROACHMENTS OF THE SUBJECT PROPERTY
 -THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
 -THERE ARE NOT PLATTED UTIL. EASEMENT ON THE SUBJECT PROPERTY

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. **120651-0319L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 10.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **120,000 SF (+/-) 2.75 ACRES (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. E-03**, WITH AN ELEVATION OF **9.47 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.07°56'00"W, BEING THE RECORDED BEARING FOR THE CENTERLINE OF STAR ISLAND DR., AS SHOWN ON PLAT BOOK 31 AT PAGE 60 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY FLORIDA.

GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.
 SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.
 UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.
 THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 61G17-6 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/8" FOOT FOR NATURAL GROUND SURFACES AND 1/16" FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.
 ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:
 LOTS 10, 11 AND 12, OF CORRECTED PLAT STAR ISLAND, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31 AT PAGE 60, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

I HEREBY CERTIFY THAT THE ATTACHED SKETCH OF "BOUNDARY SURVEY" AND THE SURVEY MAP RESULTING THEREFROM OF THE ABOVE DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A FIELD SURVEY MADE UNDER MY DIRECTION AND MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA" PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTED LAW, CHAPTER 472.027, OF THE FLORIDA STATUTES.

THIS DRAWING IS THE PROPERTY OF AMERICAN SERVICES OF MIAMI, CORP. AND SHALL NOT BE USED OR REPRODUCED, IN WHOLE, OR IN PART, WITHOUT PERMISSION OF AMERICAN SERVICES OF MIAMI, CORP.

NOTHING HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED.

TREE LIST

No.	TREE NAME	BOTANICAL NAME	WIDTH	HEIGHT	SPREAD
1	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	25'
2-5	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	25'
6-7	ROYAL PALM	ROYSTONIA ELATA	2.0'	50'	30'
8-9	CHINESE PALM	LIVISTONIA CHINENSIS	1.0'	25'	15'
10-12	ROYAL PALM	ROYSTONIA ELATA	1.5'	60'	30'
13	ROYAL PALM	ROYSTONIA ELATA	1.2'	45'	30'
14-17	ROYAL PALM	ROYSTONIA ELATA	1.5'	60'	40'
18	ROYAL PONCIANA	DELONIX REGIA	1.5'	30'	12'
19	ROYAL PALM	ROYSTONIA ELATA	1.5'	40'	30'
20	LIVE OAK	QUERCUS VIRGINIANA	2.0'	30'	25'
21-23	CHINESE PALM	LIVISTONIA CHINENSIS	1.2'	35'	12'
24-26	ROYAL PALM	ROYSTONIA ELATA	1.4'	50'	25'
27	UNKNOWN		2.0'	30'	30'
28	LIVE OAK	QUERCUS VIRGINIANA	3.0'	30'	30'
29-30	ROYAL PALM	ROYSTONIA ELATA	1.3'	45'	25'
31-32	ROYAL PALM	ROYSTONIA ELATA	1.5'	40'	30'
33-43	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.5'	30'	15'
44	MEXICAN PALM	WASHINGTONIA ROBUSTA	0.6'	12'	12'
45	ALEXANDER PALM	PTYCHOSPERMA ELEGANS	0.5'	25'	8'
46-48	RECLINATA DATE PALM	PHOENIX RECLINATA	0.7'	12'	6'

No.	TREE NAME	BOTANICAL NAME	WIDTH	HEIGHT	SPREAD
49-50	ROYAL PALM	ROYSTONIA ELATA	1.3'	40'	18'
51	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	30'
52-56	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	30'
57-58	LIVE OAK	QUERCUS VIRGINIANA	1.0'	25'	15'
59	MEXICAN PALM	WASHINGTONIA ROBUSTA	1.0'	15'	8'
60	LIVE OAK	QUERCUS VIRGINIANA	3.0'	35'	40'
61	LIVE OAK	QUERCUS VIRGINIANA	2.0'	25'	20'
62	COCONUT	COCCOS NUCIFERA	1.5'	50'	25'
63	COCONUT	COCCOS NUCIFERA	0.8'	40'	20'
64-68	ROYAL PALM	ROYSTONIA ELATA	1.5'	20'	20'
69	SEA GRAPE TREE	COCOLOBA UVIFERA	1.2'	20'	20'
70	COCONUT	COCCOS NUCIFERA	0.8'	35'	18'
71-72	ROYAL PALM	ROYSTONIA ELATA	1.8'	60'	30'
73	COCONUT	COCCOS NUCIFERA	0.8'	30'	20'
74	ROYAL PALM	ROYSTONIA ELATA	3.0'	30'	40'
75-80	COCONUT	COCCOS NUCIFERA	0.3'	25'	20'
81	ROYAL PALM	ROYSTONIA ELATA	1.5'	20'	20'
82-84	ROYAL PALM	ROYSTONIA ELATA	1.0'	35'	30'
85-88	COCONUT	COCCOS NUCIFERA	1.0'	50'	40'
89-90	ROYAL PALM	ROYSTONIA ELATA	1.5'	45'	30'
91-96	ROYAL PALM	ROYSTONIA ELATA	1.5'	25'	18'

No.	TREE NAME	BOTANICAL NAME	WIDTH	HEIGHT	SPREAD
97-98	SMALL LEAFED CLUSIA	CLUSIA GUTTIFERA	1.3'	40'	18'
99-101	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	30'
102	ROYAL PALM	ROYSTONIA ELATA	1.7'	30'	20'
103-108	RECLINATA DATE PALM	PHOENIX RECLINATA	1.2'	25'	15'
109-110	ROYAL PALM	ROYSTONIA ELATA	1.5'	35'	20'
111	GLUMBO LIMBO	BUSERA SMARULIBA	1.3'	75'	18'
112	RECLINATA DATE PALM	PHOENIX RECLINATA	2.0'	30'	15'
113	MANGO TREE	MANGIFERA INDICA	10'	25'	18'
114	EAR LEAF ACACIA	ACACIA AURICULIFORMIS	0.7'	25'	12'
115	FRANGIPANI PLUMERIA	PLUMERIA ACUMINATA	0.7'	12'	8'
116	COCONUT	COCCOS NUCIFERA	1.0'	35'	18'
117-118	LIVE OAK	QUERCUS VIRGINIANA	3.0'	40'	50'
119-122	ROYAL PALM	ROYSTONIA ELATA	1.7'	60'	40'
123	FRANGIPANI PLUMERIA	PLUMERIA ACUMINATA	0.6'	12'	10'
124	UNKNOWN		3.0'	25'	6'
125	RECLINATA DATE PALM	PHOENIX RECLINATA	1.5'	25'	18'
126	ROYAL PALM	ROYSTONIA ELATA	1.7'	50'	30'
127	CHINESE PALM	LIVISTONIA CHINENSIS	0.7'	45'	15'
128	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	25'
129	ROYAL PALM	ROYSTONIA ELATA	1.3'	50'	20'
130	ROYAL PALM	ROYSTONIA ELATA	1.3'	50'	20'
131	WEEPING FIG	FICUS BENJAMINA	1.3'	50'	20'
132-136	ROYAL PALM	ROYSTONIA ELATA	1.3'	50'	20'

ABBREVIATION (IF ANY APPLIED)

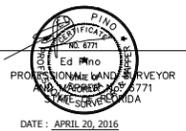
A = CURVE	P/W = PARKWAY	RES. = RESIDENCE
A/C = AIR CONDITIONING UNIT	P.O.B. = POINT OF BEGINNING	P/W = RIGHT OF WAY
ASPH. = ASPHALT	P.O.C. = POINT OF COMMENCEMENT	SEC. = SECTION
B.M. = BENCH MARK	P.O. = POINT OF CURVATURE	S.D/H = SET DRILL HOLE
BLK/CORNER = BLOCK CORNER	P.I. = POINT OF INTERSECTION	S.H/O = SET NAIL AND DISC
CALC(C) = CALCULATED	P.L. = PROPERTY LINE	S.I.P. = SET IRON PIPE
CB = CATCH BASIN	P.M. = PERMANENT REFERENCE MONUMENT	S.R.B. = SET REBAR
C.B.S. = CONCRETE BLOCK STRUCTURE	P.T. = POINT OF TANGENCY	STY = STORY
CL = CLEAR	RAD. = RADIAL	SWK = SIDEWALK
CLC = CONCRETE	R.E. = RECORD	T.O.P. = TOP OF BANK
D.M.E. = DRAINAGE MAINT. EASEMENT	REC. (R) = RECORDED	U.E. = UTIL. EASEMENT
D = DIAMETER		W.P. = WOODEN POLE
		W = SECTION LINE

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE	CATCH BASIN	WOOD DECK/DOCK
STRUCTURE (BLDG.)	MANHOLE	ASPHALTED AREAS
CONCRETE BLOCK WALL	O.E. OVERHEAD ELECT.	CONCRETE
METAL FENCE	POWER POLE	BRICKS OR PAVERS
WOODEN FENCE	LIGHT POLE	ROOFED AREAS
CHAIN LINK FENCE		WATER (EDGE OF WATER)

LEGEND

BOUNDARY LINE	CATCH BASIN	WOOD DECK/DOCK	HANDICAP SPACE
STRUCTURE (BLDG.)	MANHOLE	ASPHALTED AREAS	HANDICAP SPACE
CONCRETE BLOCK WALL	O.E. OVERHEAD ELECT.	CONCRETE	EASEMENT LINE
METAL FENCE	POWER POLE	BRICKS OR PAVERS	WATER VALVE
WOODEN FENCE	LIGHT POLE	ROOFED AREAS	TV-CABLE BOX
CHAIN LINK FENCE		WATER (EDGE OF WATER)	WM WATER METER



REVISED

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 FIELD BOOK No.
 PAGE No. 1

ORDER No. 15-113
 SHEET No. 1

LOCATION PLAN





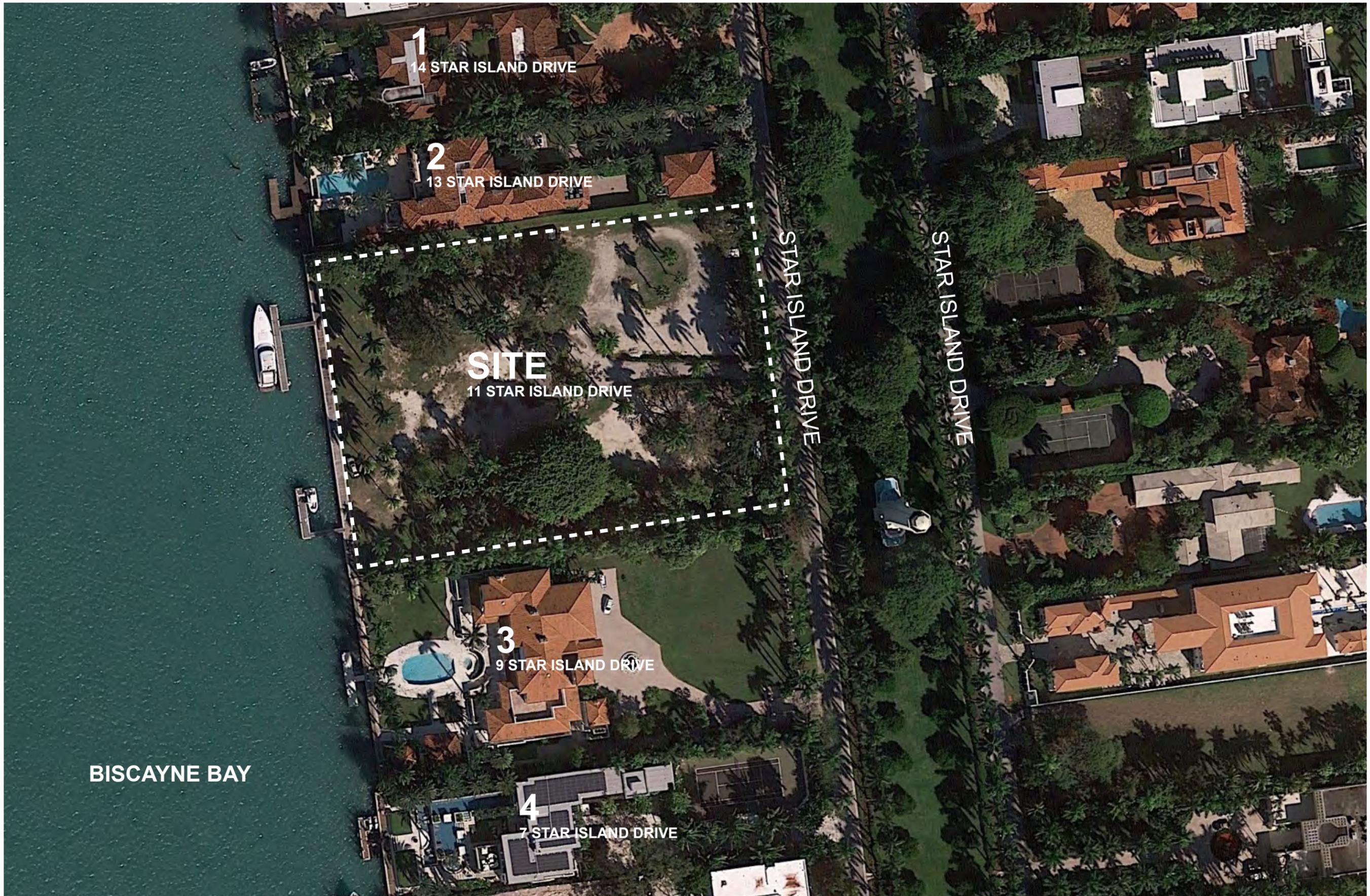
NEIGHBORHOOD ANALYSIS - STREETSCAPE



NEIGHBORHOOD ANALYSIS - STREETSCAPE



NEIGHBORHOOD ANALYSIS - KEY PLAN



BISCAYNE BAY

1
14 STAR ISLAND DRIVE

2
13 STAR ISLAND DRIVE

SITE
11 STAR ISLAND DRIVE

3
9 STAR ISLAND DRIVE

4
7 STAR ISLAND DRIVE

STAR ISLAND DRIVE

STAR ISLAND DRIVE

NEIGHBORHOOD ANALYSIS - EXISTING RESIDENCE



NEIGHBORHOOD ANALYSIS - EXISTING RESIDENCE



NEIGHBORHOOD ANALYSIS - CONTEXT



04 - 7 STAR ISLAND DR



03 - 9 STAR ISLAND DRIVE



02 - 13 STAR ISLAND DRIVE



01 - 14 STAR ISLAND DRIVE