
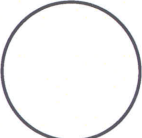


PB18-0223 - PLANNING BOARD MODIFICATION OF FILE 2052 - 1155 COLLINS AVENUE
Clarify and permit after midnight use for 24/7 operation of previously-approved parking garage with mechanical lifts, including off-site valet storage of vehicles
FINAL SUBMITTAL - 8/24/2018 NOTE: Previously-approved plans.



Charles H. Benson & Associates Architects

DIGITAL CARROT

<p>These drawings and copies thereof furnished by the architect are his property they are not to be used on other work and are to be returned upon demand at the completion of work. If this drawing or any part thereof is used in any manner without the consent of the architect the user thereof becomes indebted to the architect for full compensation.</p>	<p>NEW RETAIL/PARKING BUILDING FOR: SURFSTYLE 1155 Collins Ave. Miami Beach, FL 33139</p>	<p> CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A. architect planner interiors 1685 WASHINGTON AVE. 2nd. FLOOR, MIAMI BEACH, FLORIDA 33139 Ph: 305-532-6161 * Fax: 305-532-6151 ARCHITECTURE LICENSE # AR14022 NCARB CERTIFICATE # 42,136</p>	<p>DRAWN BY Charles H. Benson</p>	<p>PROJECT NUMBER 21315</p>	<p>A-0 OF 11</p>	
			<p>SCALE AS SHOWN</p>	<p>DATE 10-28-13</p>		

BPPV 161441

LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION:
Lots 13 and 14, Block 16, of "OCEAN BEACH ADDITION NO. 2", according to Plat Book 2 of Page 56, of the Public Records of Miami-Dade County, Florida.
Floor Zone: AC BTE: +6.0' N.G.V.D. as per FEMA.
COMMUNITY PANEL NUMBER 120651, PANEL No 0317, SUFFIX J, REVISED DATE: 9/11/2009
Lowest FFE of Habitable space: +7.75'
Lowest Grade Elev. adj. to top: +7.65'
Highest Grade Elev. adj. to top: +7.67'
Lowest Elev. of Equip. serving bldg: +9.0'
CLASSIFICATION OF STRUCTURE FOR FLOOD RESISTANT DESIGN AND CONSTRUCTION ASCE TABLE 1-1:
CATEGORY II
ELEVATION OF LOWEST FLOOR: BFE + 1 FT
Dry Floodproofing Requirement: BFE + 1 FT
*Wet/dry of flood panels are on 2nd level on west end, wall of west staircase.
*Flooded coped waterproofing to exterior where block & slabs indicated and interior where solid concrete walls indicated.

PROJECT INFORMATION

SCOPE OF WORK FOR B.L.C.:
THIS IS A NEW RETAIL/PARKING BUILDING ON VACANT SPACE

CONSTRUCTION TYPE: FBC 402.1 **CONSTRUCTION TYPE:** I-B

OCCUPANCY CLASSIFICATION: **MERCANTILE M**
STORAGE (PARKING) 52

CODE REVIEW INFORMATION:
APPLICABLE CODES:
ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA OF THE LANDLORD, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. (ALL GOVERNING BODIES INCLUDES ANY AMENDMENTS TO THE CONTRACT WORK REQUIRED BY) OR AUTHORITIES SHALL BE PERFORMED BY CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR(S). APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
APPLICABLE BUILDING CODES:
BUILDING & STRUCTURAL: 2010 - FLORIDA BUILDING CODE
PLUMBING: 2010 - FLORIDA PLUMBING CODE
MECHANICAL: 2010 - FLORIDA MECHANICAL CODE
ELECTRICAL: 2008 - FLORIDA ELECTRICAL CODE
ACCESSIBILITY: 2010 - FLORIDA ADA COMPLIANCE CODE
ENERGY: 2010 - FLORIDA ENERGY CODE

BUILDING DATA

LOT ANALYSIS:
LOT AREA: 12,894 S.F.
ZONING: M1 - MIXED USE
REQUIRED: 12,894 S.F.
BUILDING HEIGHT: 30'-0"
FLOOR AREA RATIO: (2.25/88 S.F.)
REQUIRED: 10,569 S.F.
SETBACKS:
FRONT: 10'-0" 10'-0"
REAR: 0'-0" 1'-0"
SIDE STREET: 5'-0" 5'-0"
SIDE W: 5'-0" 5'-0"
PARKING:
RETAIL (gross): 7,880/300 S.F. = 26.27
OFFICE: 1,037/400 S.F. = 2.59
RETAIL (net): 1,672/300 S.F. = 5.57
SECOND LEVEL: 58 SPACES
THIRD LEVEL: 61 SPACES
ROOF LEVEL: 29 SPACES
TOTAL: 148 SPACES

SCHEDULE OF AREAS

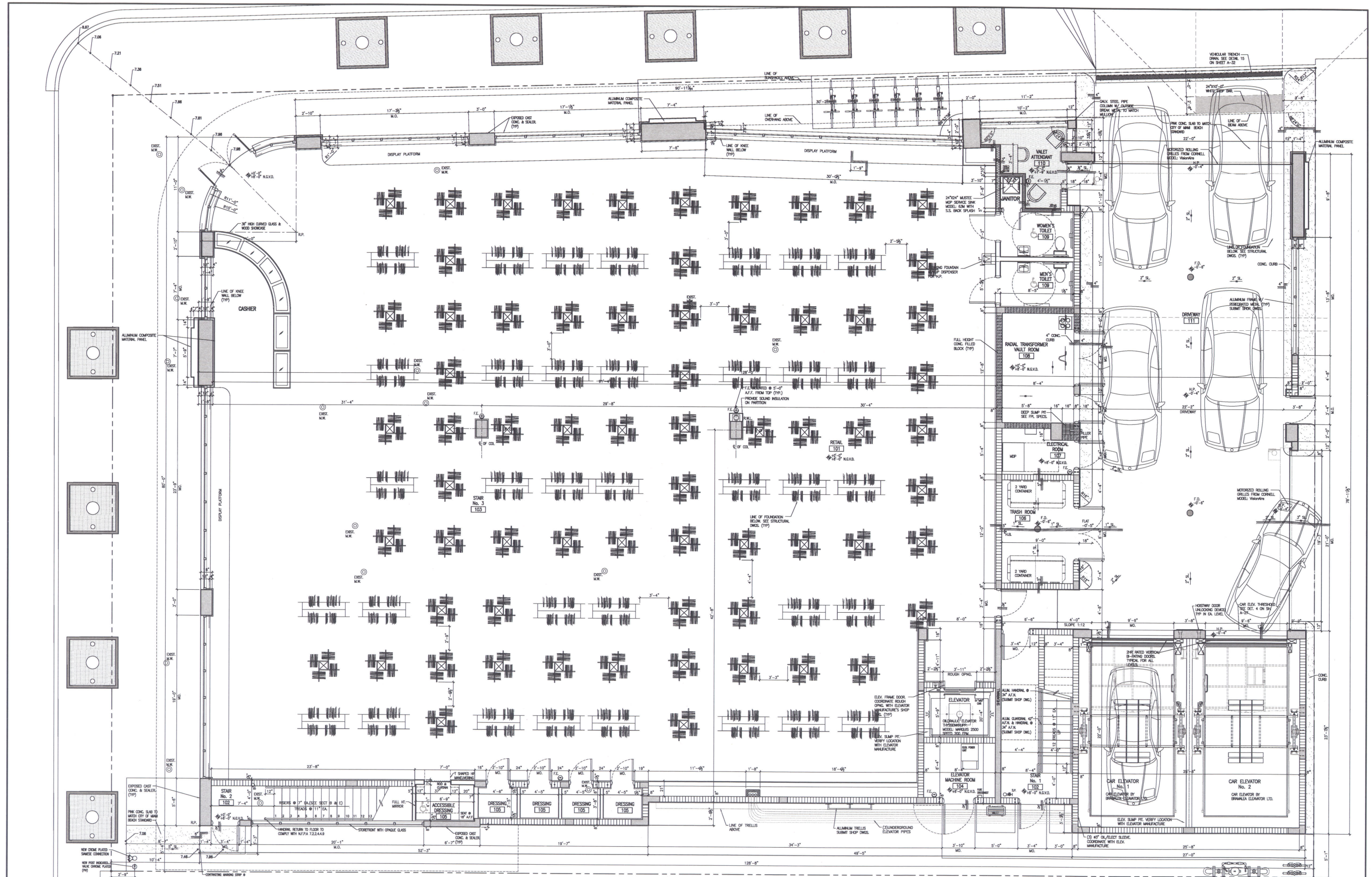
FLOOR AREA RATIO CALCULATION
GROUND LEVEL (RETAIL) 7,880 S.F.
MEZZANINE LEVEL (OFFICE/STORAGE) 2,709 S.F.
SECOND LEVEL (PARKING) 0 S.F.
THIRD LEVEL (PARKING) 0 S.F.
ROOF LEVEL (PARKING) 10,569 S.F. (24-13%)

BUILDING SLAB AREA (EXCLUDING ATRUM & DOUBLE HEIGHT SPACES)
GROUND LEVEL 10,160 S.F.
MEZZANINE LEVEL 2,011 S.F.
SECOND LEVEL (PARKING) 10,571 S.F.
THIRD LEVEL (PARKING) 10,571 S.F.
ROOF LEVEL 9,704 S.F.
TOTAL: 43,761 S.F.

SHOP DRAWINGS/SUBMITTALS
1. GENERAL CONTRACTOR SHALL SUBMIT 5 COPIES OF FABRICATION SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION.
2. THE GENERAL CONTRACTOR SHALL SUBMIT MANUFACTURER'S CUTS FOR ALL FIXTURES AND EQUIPMENT CALLED FOR ON THE CONSTRUCTION DOCUMENTS TO ARCHITECT INCLUDING, BUT NOT LIMITED TO LIGHT FIXTURES, HANGWARE, PLUMBING FIXTURES, KITCHEN EQUIPMENT, ETC.
3. BY SUBMITTING SHOP DRAWINGS AND PRODUCT DATA, THE CONTRACTOR REPRESENTS THAT HE/SHE HAS VERIFIED FIELD CONDITIONS, DIMENSIONS, AND RELATED CONSTRUCTION AND HAS COORDINATED THE SUBMISSION CONSTRUCTION WITH THE REQUIREMENTS OF ALL OTHER RELATED WORK IN THE CONSTRUCTION DOCUMENTS.

FIRE RESISTANCE RATING
BASED ON TABLE 601 & 602 F.B.C. 2010

STRUCTURAL ELEMENT TYPE (1)
1. PRIMARY STRUCTURAL FRAME: 2
2. SECONDARY STRUCTURAL FRAME: 3
3. EXTERIOR WALLS: 3
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GROUND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

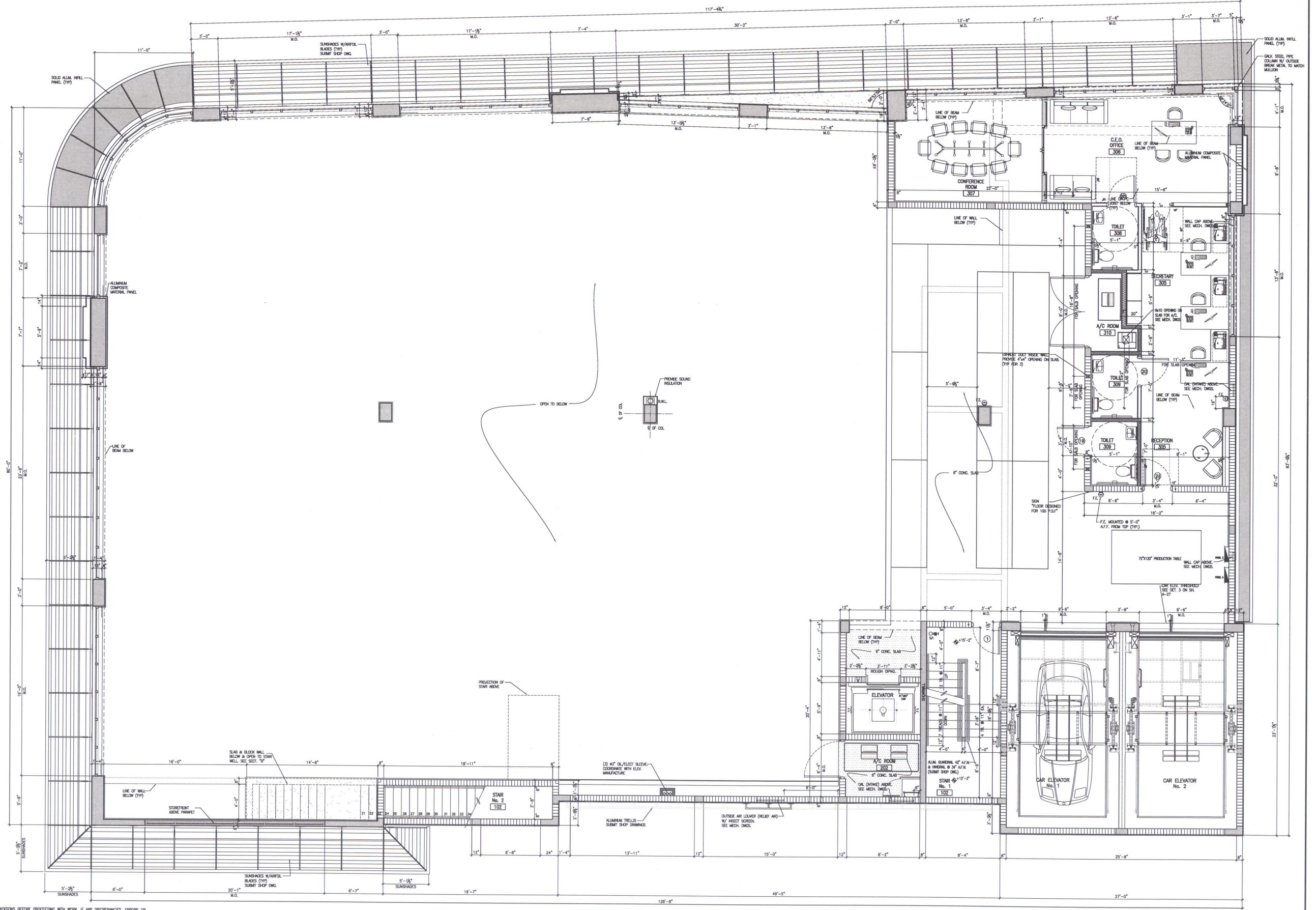
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architect planner interiors
1665 WASHINGTON AVE. 2nd. FLOOR, MIAMI BEACH, FLORIDA 33139
ARCHITECTURE LICENSE # AR14022

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NCARB CERTIFICATE # 42,136

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SCALE AS SHOWN	DATE 10-28-13			



MEZZANINE LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

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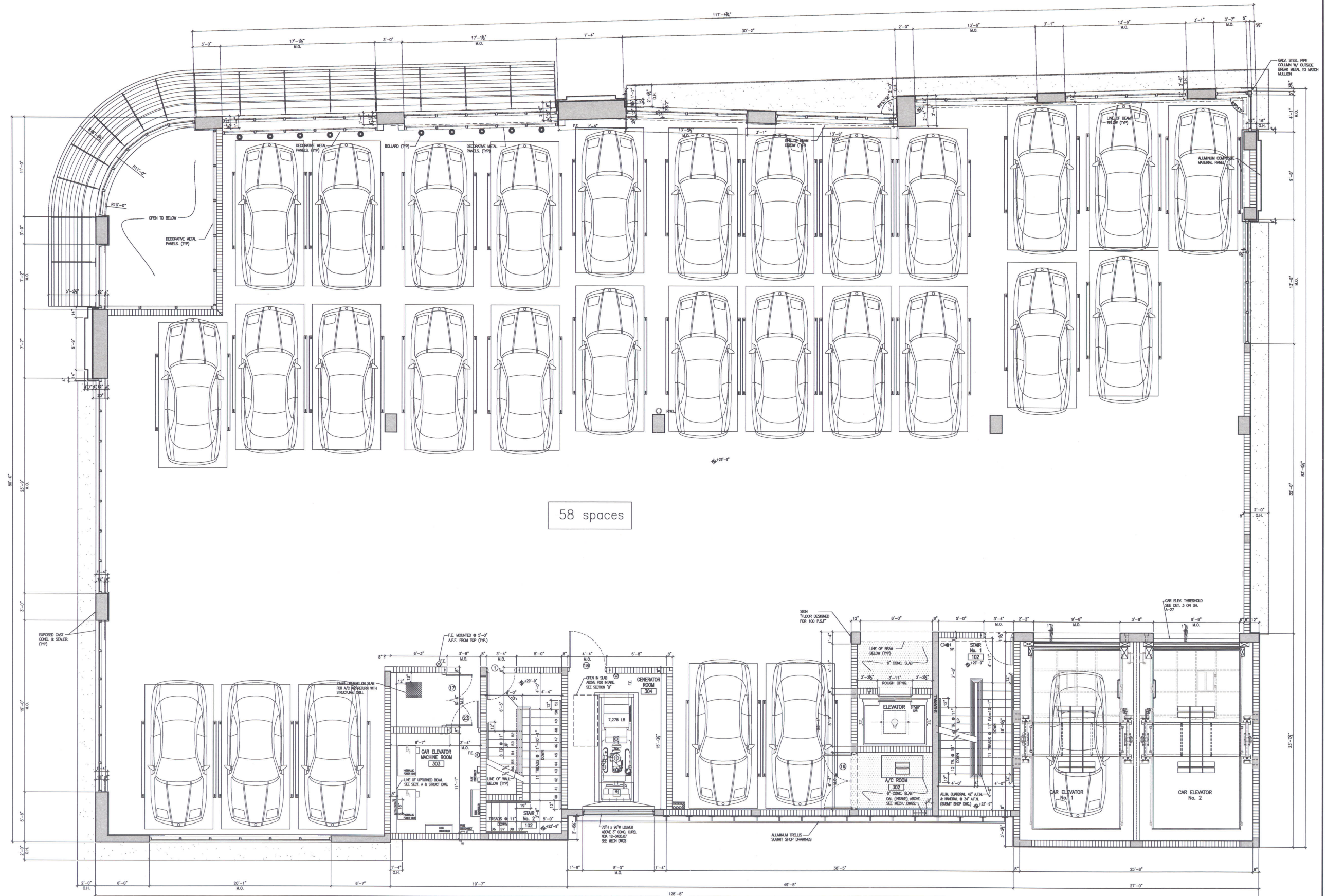
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OF
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METAL FINISH DETAILS

1

SILL TERMINATION

2

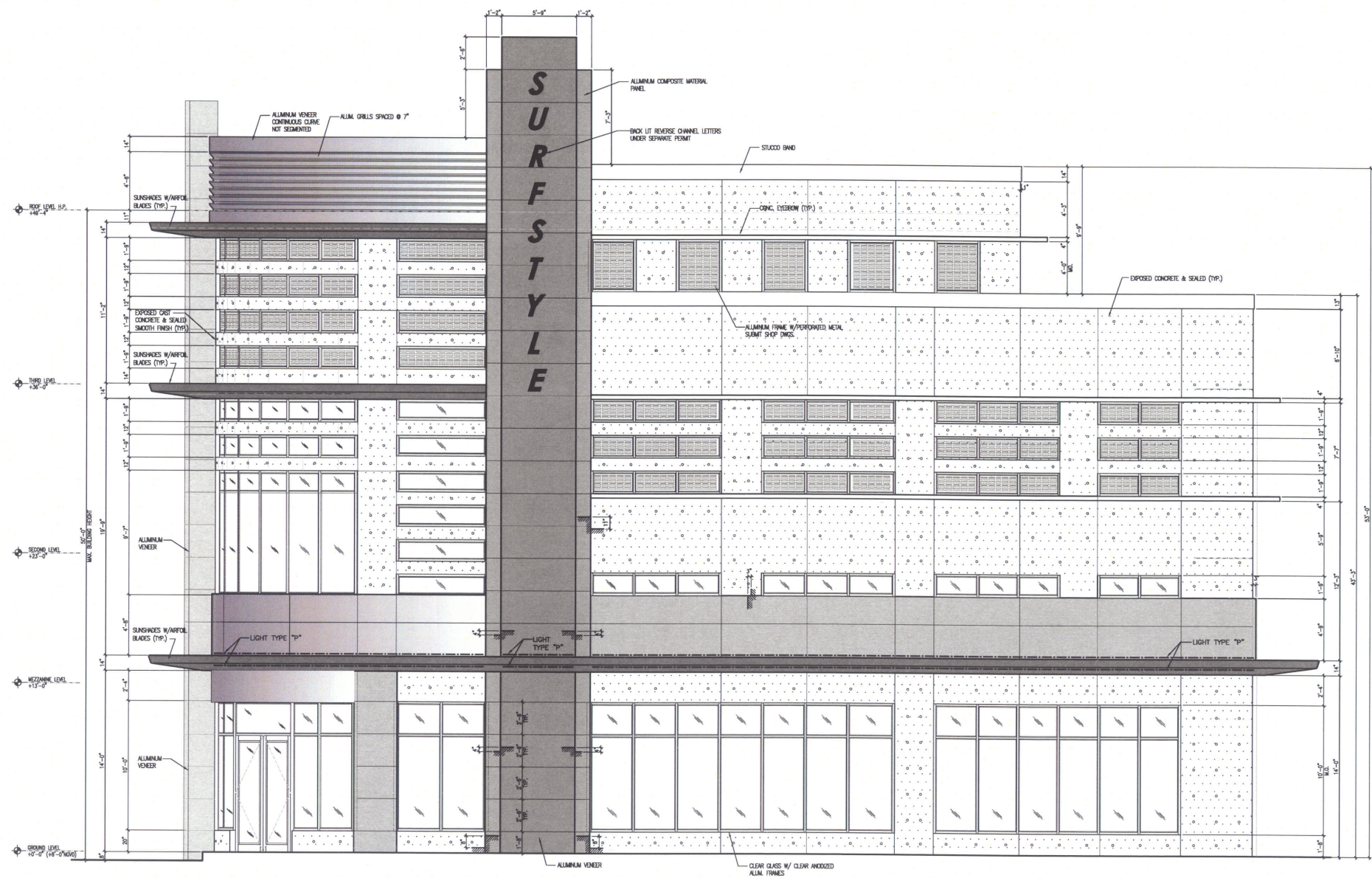
TYPICAL HORIZONTAL JOINT

3

TYPICAL VERTICAL JOINT

4

ALT. HEAD TERMINATION



WEST ELEVATION
SCALE: 1/8" = 1'-0"

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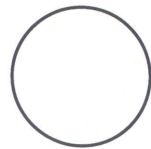


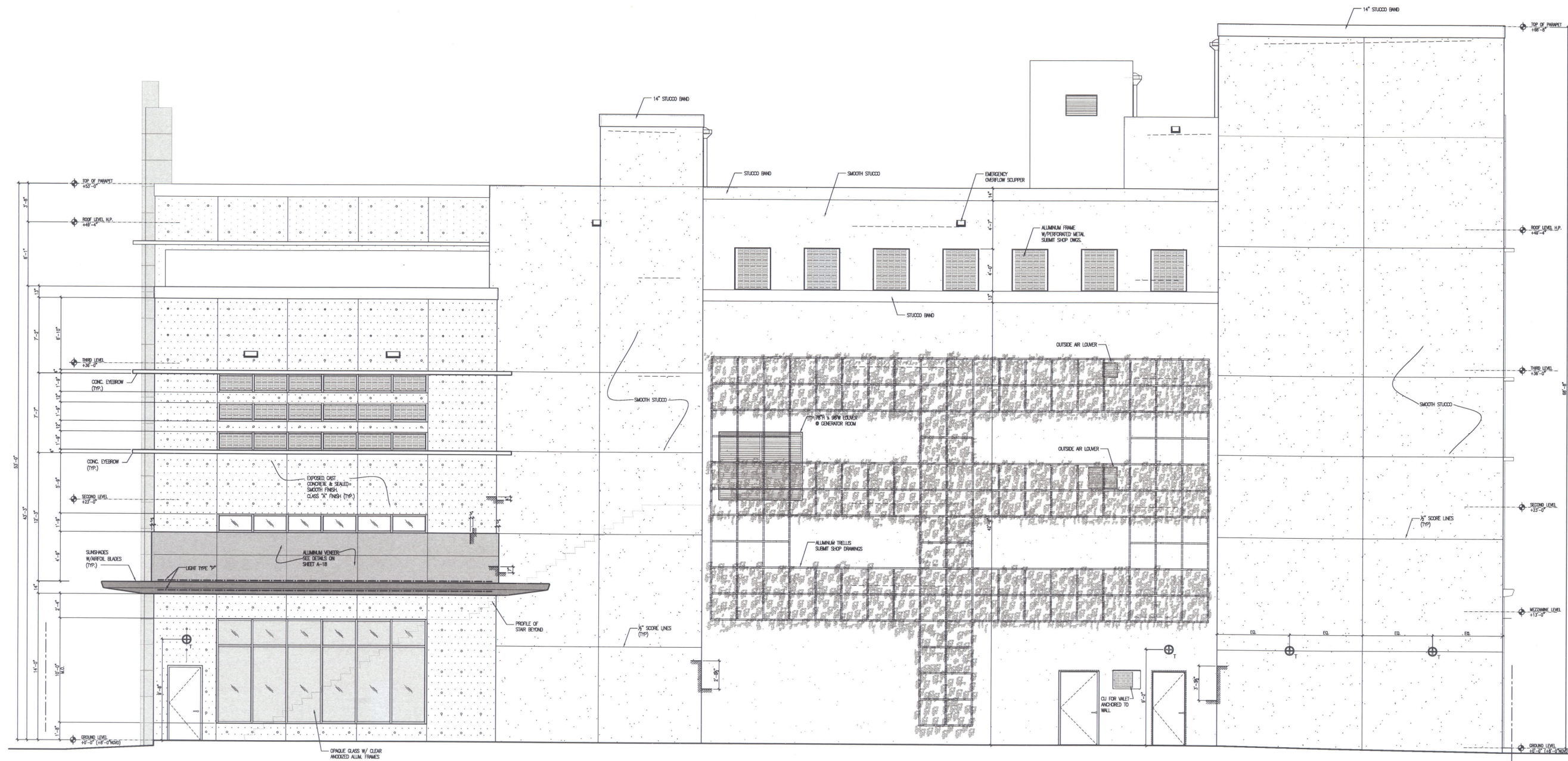
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SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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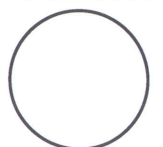
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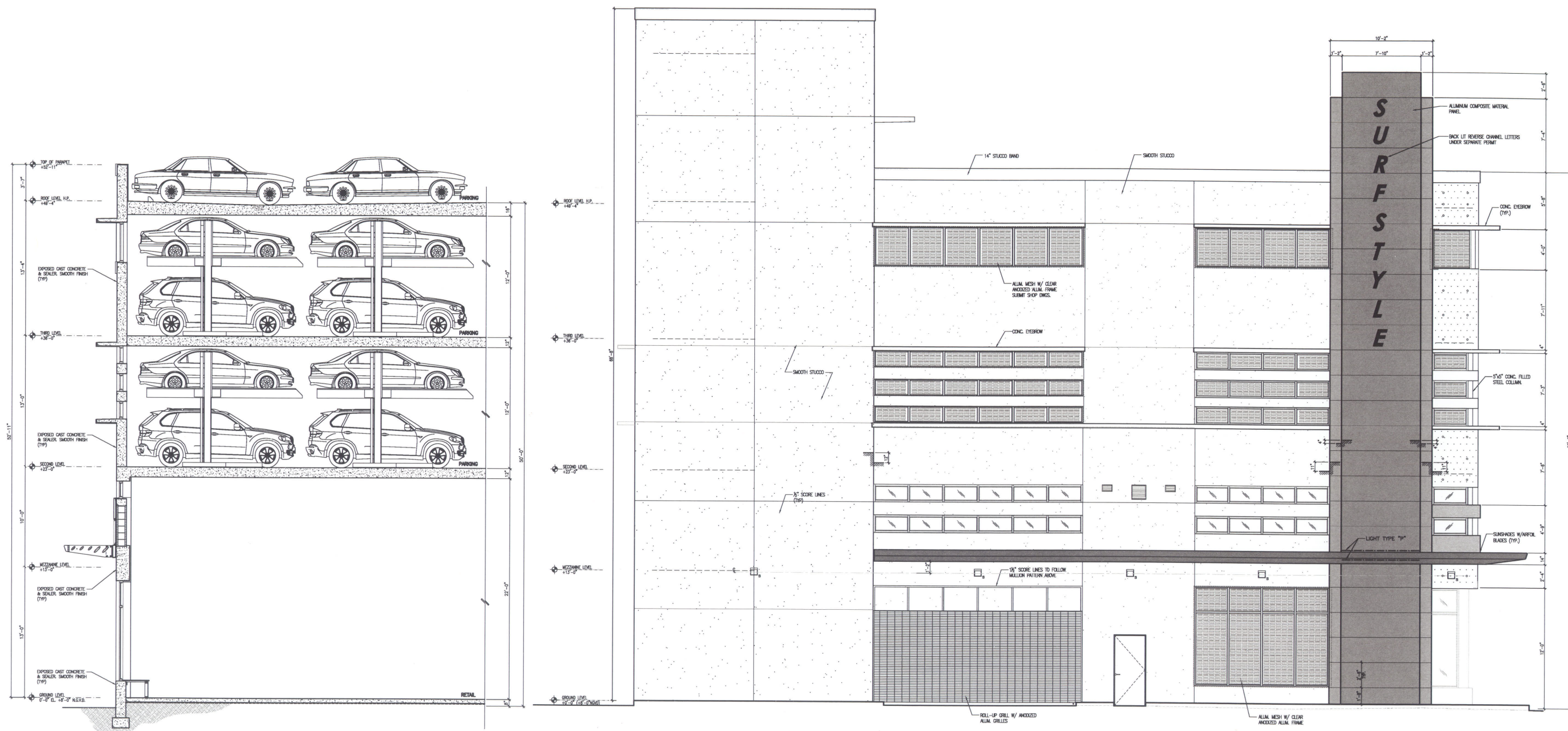
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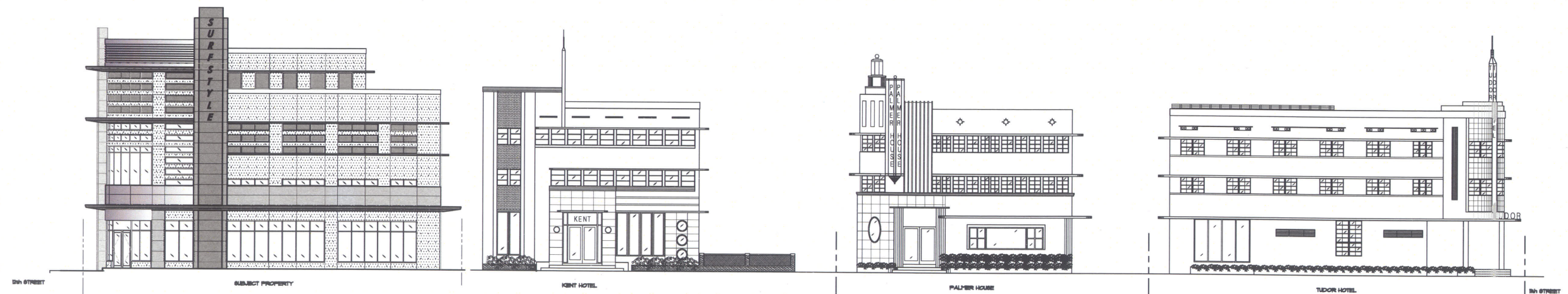
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NORTH ELEVATION
SCALE: $\frac{3}{8}" = 1'-0"$



WEST ELEVATION
SCALE: $\frac{3}{8}" = 1'-0"$

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