

Exhibit A

MIAMIBEACH

PLANNING DEPARTMENT

City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139

Tel: (305) 673-7550, Fax: (305) 673-7559

February 21, 2018

George Lindemann
2300 Bay Avenue
Miami Beach, FL 33140

Re: **DRB File No. 22911 - 2300 Bay Avenue
Enforcement of Conditions of Final Order**

Dear Mr. Lindemann:

This letter is in reference to the above noted matter. On September 2, 2014, the Design Review Board (DRB) approved an application for revisions to a previously issued Design Review approval for the construction of a new two-story single family home ("Final Order"). The Final Order authorizing these revisions included the following condition:

4. This Order, and the prior Order adopted September 4, 2012 for DRB file number 22911, and any construction authorized by or permits issued pursuant to either order, are subject to the adjudication of the boundary dispute between the applicant and its neighbor by courts of competent jurisdiction or other resolution of such dispute.

As you are aware, on February 7, 2018, the Third District Court of Appeals, under case number 3D17-169, affirmed the Circuit Court decision pertaining to the boundary dispute, which found in favor of your immediate neighbor at 2324 Bay Avenue. As a result of the Court Order the single family home at 2300 Bay Avenue violates the maximum unit size and minimum setback requirements of the Land Development Regulations of the City of Miami Beach.

In light of the apparent finality of this court decision, the City must now enforce the aforementioned condition of the Final Order.

As such, if the illegal attributes at 2300 Bay Avenue are not remedied by March 30, 2018, the City shall commence enforcement proceedings to compel compliance with the conditions of DRB Final Order 22911. Additionally, the subject property has an active Temporary Certificate of Occupancy (TCO), which is set to expire on April 5th, 2018. Such TCO shall not be renewed without compliance actions.

If you have any questions regarding this matter, or if you need any further information or clarifications, please feel free to contact me, or Eve Boutsis in the City Attorneys Office.

Sincerely,



Thomas R. Mooney, AICP
Planning Director

C: Jimmy L. Morales, City Manager
Susanne M. Torriente, Assistant City Manager
Ana Salgueiro, Building Official
Raul Aguila, City Attorney
Eve Boutsis, Chief Deputy City Attorney

Exhibit B

Barshel, Nicholas (Assoc-Mia)

From: Boutsis, Eve <EveBoutsis@miamibeachfl.gov>
Sent: Friday, April 20, 2018 12:44 PM
To: Barshel, Nicholas (Assoc-Mia); Mooney, Thomas; Saca, Paul; Kallergis, Nick
Cc: Kasdin, Neisen (Ptnr-Mia); Armstrong Coffey, Joni (Ptnr-Mia); BdelaFuente@Lehtinen-Schultz.com
Subject: RE: 2300 Bay Ave - BOA Appeal and TCO

The ten additional days is acceptable to the City. My earlier comments remain.

Paul: recalculate new due dates.

MIAMIBEACH

Eve A. Boutsis, *Chief Deputy City Attorney*

OFFICE OF THE CITY ATTORNEY
1700 Convention Center Drive, Miami Beach, FL 33139
Tel: 305-673-7470 Ext 6471 / Fax # 305-673-7002

www.miamibeachfl.gov

We are committed to providing excellent public service and safety to all who live, work and play in our vibrant, tropical, historic community.

From: nicholas.barshel@akerman.com [mailto:nicholas.barshel@akerman.com]
Sent: Friday, April 20, 2018 11:51 AM
To: Mooney, Thomas
Cc: neisen.kasdin@akerman.com; joni.armstrong.coffey@akerman.com; BdelaFuente@Lehtinen-Schultz.com; Boutsis, Eve
Subject: RE: 2300 Bay Ave - BOA Appeal and TCO

Hello Tom, following up on the below regarding your deadlines to submit applications to the BOA for our administrative appeal and to the DRB for modification of the order/potential variances. After our initial appeal materials were submitted, you and Eve provided a new deadline of April 24th (14 business days) to submit an amended appeal and other applications for the land use board hearings. At this time, we must request an extension of time to file the applications because our updated as-built survey is not complete.

We are diligently proceeding in good faith to submit the application for the BOA hearing and exploring potential variances. However, as discussed this requires a new as-built survey of the home in accordance with the 62 page court order on the boundary dispute. We originally reached out to Schwebke-Shiskin & Associates on March 29th to complete this survey but it is not yet complete. The original provided due date was April 13th. Although we cannot complete the amended appeal without this survey, we have undertaken other steps in the land use board process for the BOA hearing. We attended a pre-application meeting on April 12th and a BOA file was opened for the appeal (File No. 18-0070). Applicant has also already paid the initial BOA application fee in good faith (\$2,500.00). We fully intend to proceed with this appeal as soon as the as-built survey is complete. At that time we can also fully analyze potential variance requests.

Thus, we are requesting an extension of these deadlines by an additional 10 business days (until May 8th) to ensure we have enough time to submit complete land use board applications. This will not affect the board hearing cycles we are currently tracking for in any way. Thank you,

Nicholas Barshel

Associate

Akerman LLP | 98 Southeast Seventh Street, Suite 1100 | Miami, FL 33131

D: 305 982 5538

nicholas.barshel@akerman.com

From: Mooney, Thomas <ThomasMooney@miamibeachfl.gov>

Sent: Thursday, April 5, 2018 9:26 AM

To: Barshel, Nicholas (Assoc-Mia) <nicholas.barshel@akerman.com>

Cc: Kasdin, Neisen (Ptnr-Mia) <neisen.kasdin@akerman.com>; Armstrong Coffey, Joni (Ptnr-Mia)

<joni.armstrong.coffey@akerman.com>; Bob de la Fuente (BdeLaFuente@Lehtinen-Schultz.com)

<BdeLaFuente@Lehtinen-Schultz.com>; Boutsis, Eve <EveBoutsis@miamibeachfl.gov>

Subject: 2300 Bay Ave - BOA Appeal and TCO

Importance: High

Good Morning Nicholas

In furtherance of the e-mail below, the following is noted:

1. The TCO for the subject property, which was set to expire on April 5, 2018, will only be extended to May 5, 2018.
2. Your appeal documentation, pertaining to unit size and lot coverage, will need to be amended to reflect the permit drawings associated with Permit No. **BREV150272**, which is the permit set of record for 2300 Bay Avenue. The plans referenced in your March 23, 2018 appeal letter (DRB approved plans) were modified by your client for permitting. Additionally, these plans will need to be reviewed in accordance with the **Court Ordered Survey** for the property.
3. If you are going to seek a variance regarding any non-conforming setbacks, such variance request shall be based upon the **Court Ordered Survey**. Additionally, an amendment to the original DRB Order shall be required, as such DRB Order prohibits any variance requests. Within 14 business days of the date of this letter, you are required to submit a complete application for the land development board hearings pertaining to: i. the amendment to the DRB Order to remove the prohibition on variances; and ii the request for variances. This shall include meeting all applicable submittal and exhibit requirements, including all required pre-application meetings, as well as payment of all required fees. If this 14 day deadline is not met, the City will re-commence enforcement proceedings. If additional time is needed, you will need to request that time prior to the expiration of the 14 business days.

Please advise if you have any questions, or require additional information.

Tom

MIAMIBEACH

Thomas R. Mooney, AICP

Planning Director

PLANNING DEPARTMENT

1700 Convention Center Drive, Miami Beach, FL 33139

Tel: 305-673-7000 ext. 6191 / Fax: 305-673-7559 / www.miamibeachfl.gov

It's easy being Green! Please consider our environment before printing this email.

-----Original Message-----

From: Boutsis, Eve

Sent: Wednesday, April 04, 2018 4:32 PM

To: 'nicholas.barshel@akerman.com'; Mooney, Thomas; neisen.kasdin@akerman.com

Cc: BdelaFuente@Lehtinen-Schultz.com; jeni.armstrong.coffey@akerman.com; diana.perez-gata@akerman.com

Subject: RE: 2300 Bay Ave - BOA Appeal

Good afternoon:

In order for the City to process your appeal, and in order to schedule the appeal for hearing by the Board of Adjustment, please be advised of the following next steps.

1. Within 14 business days of the date of this letter, you are required to submit a complete application for a land development board hearing; provide the City with copies of any documents you intend to rely on in your appeal; pay all required fees so that your appeal may be considered (if not already done); and provide the City with all other documents required by the Planning Department. I understand Planning requires additional documents and information. If this deadline is not met, your appeal will be dismissed. If additional time is needed, you will need to request that time prior to the expiration of the 14 business days.
2. Once the Planning Department certifies in writing that you have complied with the requirements in item no. 1, above, the City shall have 20 days to file its response to your appeal.
3. Within ten (10) days of the City's response, you may file a written rebuttal.

If you have any questions regarding your appeal, you may contact me at the above email address, or by phone at (305) 673-7470, or Mr. Mooney, or by phone at (305) 673-7550.

Thank you.

Eve A. Boutsis, Chief Deputy City Attorney OFFICE OF THE CITY ATTORNEY

1700 Convention Center Drive, Miami Beach, FL 33139

Tel: 305-673-7470 Ext 6471 / Fax # 305-673-7002 www.miamibeachfl.gov We are committed to providing excellent public service and safety to all who live, work and play in our vibrant, tropical, historic community.

-----Original Message-----

From: nicholas.barshel@akerman.com [mailto:nicholas.barshel@akerman.com]

Sent: Tuesday, March 27, 2018 4:25 PM

To: Mooney, Thomas; neisen.kasdin@akerman.com

Cc: BdelaFuente@Lehtinen-Schultz.com; Boutsis, Eve; jeni.armstrong.coffey@akerman.com; diana.perez-gata@akerman.com

Subject: RE: 2300 Bay Ave - BOA Appeal

Hello Tom, please find attached electronic copies of the appeal letter and application form. Below is a link to download the full set of the exhibits package:

<https://www.sendthisfile.com/juSgGGnGf0MKV2Gdvr2RQUM0>

Please let us know if you have any questions. Thanks,

Nicholas Barshel
Associate
Akerman LLP | 98 Southeast Seventh Street, Suite 1100 | Miami, FL 33131
D: 305 982 5538
nicholas.barshel@akerman.com

www.akerman.com

CONFIDENTIALITY NOTE: The information contained in this transmission may be privileged and confidential, and is intended only for the use of the individual or entity named above. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this transmission in error, please immediately reply to the sender that you have received this communication in error and then delete it. Thank you.

-----Original Message-----

From: Mooney, Thomas [mailto:ThomasMooney@miamibeachfl.gov]
Sent: Tuesday, March 27, 2018 3:47 PM
To: Kasdin, Neisen (Ptnr-Mia) <neisen.kasdin@akerman.com>
Cc: Perez-Gata, Diana (LAA-Mia) <diana.perez-gata@akerman.com>; Crowley, Spencer (Ptnr-Mia) <spencer.crowley@akerman.com>; BdeLaFuente@Lehtinen-Schultz.com; Boutsis, Eve <EveBoutsis@miamibeachfl.gov>; Barshel, Nicholas (Assoc-Mia) <nicholas.barshel@akerman.com>; Armstrong Coffey, Joni (Ptnr-Mia) <joni.armstrong.coffey@akerman.com>
Subject: Re: 2300 Bay Ave - BOA Appeal

TY. Please include the exhibits in digital form as well.

Tom

Sent from my iPad

> On Mar 27, 2018, at 15:39, "neisen.kasdin@akerman.com" <neisen.kasdin@akerman.com> wrote:
>
> yes. Diana, please send Eve digital copy of our appeal
>
>> On Mar 27, 2018, at 3:34 PM, Mooney, Thomas <ThomasMooney@miamibeachfl.gov> wrote:
>>
>> Hi Neisen
>> I received your appeal documents submitted late last Friday (23 March 2018). Can you send me a digital copy of all the exhibits you submitted (Letter, binder and application).
>> Thanks, Tom
>>
>>
>> Sent from my iPad
>
> www.akerman.com
>
> CONFIDENTIALITY NOTE: The information contained in this transmission
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> please immediately reply to the sender that you have received this
> communication in error and then delete it. Thank you.
>

Exhibit C

Prepared by and return to:
Balzli and Associates
1111 Lincoln Road Suite 400
Miami Beach, FL 33139
(305) 538-1765

File No.: 12-0104

WARRANTY DEED

This indenture made on February 27, 2012, by

Reinfeld, Howard, an unmarried individual

whose address is: 2300 Bay Avenue , Miami Beach, FL 33140
hereinafter called "Grantor", to

George L. Lindemann, Jr., Trustee of the George L. Lindemann, Jr., Declaration of Trust of 2004

whose address is: 4500 Biscayne Blvd. Suite 320, Miami, FL 33137
hereinafter called "Grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that Grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee, all that certain land situate in Miami-Dade County, Florida, to-wit:

The part of Lot 12, Block 3-H of Island No. 3, of SUNSET ISLANDS, in accordance with the third revised Plat of SUNSET ISLANDS, recorded in Plat Book 40, Page 8, Public Records of Miami-Dade County, Florida, more particularly described as follows: Beginning at a point on Bay Avenue where the Northerly line of Lot 11, Block 3-H, of Island No. 3 of Sunset Islands intersects said Avenue; thence run Southwesterly along the Northerly line of Lot 11 to the waters of Biscayne Bay, a distance of 182.25 feet; thence Northwesterly along a curve, the radius of which is 210 feet the central angle of which is 17°24'16.54" and chord distance is 63.55 feet; thence continue Northwesterly on a tangent for a distance of 48.95 feet; thence run Northeasterly for a distance of 175.45 feet to the Westerly line of Bay Avenue; thence Southeasterly along the Westerly line of Bay Avenue for a distance of 30.54 feet to the beginning of a curve, the radius of which is 75 feet; thence along said curve a chord distance of 32.45 feet to a Point of Beginning.

Being otherwise described as All of said Lot 12, Block 3-H Island No. 3 as per plat aforesaid, except a triangular part thereof, described as follows:

Begin at point of intersection of the line dividing Lots 12 and 13, Block 3-H aforesaid and the line which separates said lots from the Street adjoining them; from said point run along said line dividing said lots to the intersection

of said line with the waters of Biscayne Bay; thence run 12.5 feet along the common boundary of said Lot 12 and the waters of Biscayne Bay; thence Northeasterly in a straight line to Point of Beginning. LESS a portion thereof, being more particularly described as follows: Begin at the Northeasterly corner of Lot 12 in Block 3-H of the aforesaid subdivision; thence run Southeasterly along the Westerly line of Bay Avenue a distance of 5.00 feet to a point; thence run Westerly in a straight line to a point located on the shore line of Biscayne Bay, said point being 12 1/2 feet Southwesterly from the Northwesterly corner of said Lot 12 in Block 3-H of the aforesaid subdivision; thence run Northeasterly in a straight line to the Point of Beginning.

Parcel Identification Number: 02-3228-001-1760

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to January 1st, 2012

In Witness Whereof, Grantor has hereunto set their hand(s) and seal(s) the day and year first above written.



Reinfeld, Howard

Signed, sealed and delivered in our presence:

Witness Signature

Print Name:

STEPHEN J. ROSENTHAL



Witness Signature

Print Name:

MARK D. BALZLI

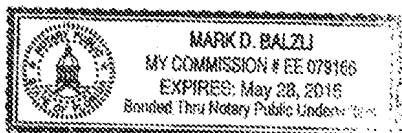
State of

Florida

County of

Dade

Sworn To, Subscribed and Acknowledged before me on 2/27/2012 by Reinfeld Howard who is/are personally known to me or who has/have produced a valid driver's license as identification.



Notary Public

Printed Name of Notary

My Commission Expires:

MARK D. BALZLI

5/28/2015

Sunset Islands 3 & 4 Property Owners, Inc.
Application for Membership and Agreement

The undersigned desiring to become an owner of property located on Sunset Island 3, Miami Beach, Florida, hereby makes application for membership in the Sunset Islands 3 & 4 Property Owners, Inc., a non-profit Florida Corporation, and agrees to abide by the Charter, By-Laws, Rules and Regulation and other governing documents of such Corporation as same may be amended from time to time (the "Governing Documents"). The sum of \$1000.00 submitted with this application is in payment of this application fee, which sum is non refundable. The undersigned agrees to continue membership in this Corporation and to pay the annual dues incident to such membership as fixed by its Board of Directors from time to time so long as the undersigned owns property on either of these Islands, and further agrees that any unpaid dues, together with interest at the rate set forth in the Governing Documents if not timely paid, shall constitute a lien on the following described real property:

Sunset Island Property Address: 2300 Bay Avenue Miami Beach, FL 33140
Legal Description: SUNSET ISLAND NO 3 PB 40-8

Applicant/Owners Name: George L. Lindemann, Jr., Trustee of
The George L. Lindemann, Jr. Declaration
of Trust of 2004

This lien may be enforced and foreclosed in the manner provided by law. Any unpaid assessments due this Corporation shall be enforceable against the Owner and the Property described above. This document shall constitute a contract that shall be binding upon the undersigned and the heirs, personal representatives, successors and assigns of the undersigned and shall run with the property.

DATED THIS 23 DAY OF Feb 20 12

WITNESSES

[Signature]
SIGNATURE 1st WITNESS

AQUEDA M. GRONER
PRINT NAME 1st WITNESS

[Signature]
SIGNATURE 2nd WITNESS

Yand Greenberg
PRINT NAME 2nd WITNESS

[Signature]
SIGNATURE OF OWNER

George L. Lindemann
PRINT NAME - OWNER

[Signature]
SIGNATURE OF OWNER

[Signature]
PRINT NAME - OWNER

Applicant's Current Address: 4500 Biscayne Blvd
Suite # 520, Miami FL 33137

Phone Number: 305 573-1626

Email: aggie.grauper@yahoo.com

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

I HERBY CERTIFY that on the 23 day of Feb 2012, an officer duly sworn in the State aforesaid and in the County aforesaid to take acknowledgements, personally appeared George L. Lindemann executed the foregoing instrument and who acknowledged to and before me that he/she is voluntarily and for the purpose set forth herein and who produced _____ as identification.

[Signature]
Notary Public, State of Florida

Name: Ava Alexis Bonvini

Commission No. DP 763350

My Commission Expires Feb 28, 2012

[Notary Seal]

ACCEPTED AND APPROVED this 24 day of January 20 12

NOTARY PUBLIC STATE OF FLORIDA
Ava Alexis Bonvini
Commission #DD763350
Expires: FEB 28, 2012
[Signature]

SUNSET ISLANDS 3 & 4 PROPERTY OWNERS, INC. By: [Signature]

Exhibit A.

Exhibit D



CFN 2012R0709135
OR Bk 28300 Pgs 4249 - 4255; (7pgs)
RECORDED 10/04/2012 15:34:08
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: September 4, 2012

FILE NO: 22911

PROPERTY: 2300 Bay Avenue

LEGAL: The part of Lot 12, Block 3-H, of Island No. 3 of Sunset Islands, except a triangular portion thereof, According to the Plat Thereof, as Recorded in Plat Book 40, Page 8, of the Public Records of Miami-Dade County, Florida.

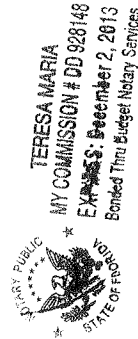
IN RE: The Application for Design Review Approval for the construction of a new 2-story home, to replace an existing pre-1942 architecturally significant 2-story home, to be demolished.

ORDER

The applicant, George Lindemann, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is not consistent with Design Review Criteria No. 2, 3, 4, 8 & 10 in Section 118-251 of the Miami Beach Code.
- B. The project would remain consistent with the criteria and requirements of section 118-251 if the following conditions are met:
 - 1. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
 - a. A habitable roof-top deck shall not be permitted.



CERTIFICATION
THIS IS TO CERTIFY THAT THE ATTACHED DOCUMENT
IS A TRUE AND ACCURATE COPY OF THE ORIGINAL ON
FILE IN THE OFFICE OF THE PLANNING DEPARTMENT.
CITY OF MIAMI BEACH
(Signature of Planning Director or Designee) *[Signature]* 9-18-12 (Date)
Personally appeared before me, Notary Public, State of Florida at Large,
Printed Name: *Teresa Maria*
My Commission Expires. (Seal) 10-2-13
This document contains 7 pages.

- b. Details for the main entrance and the garage shall be differentiated in order to highlight the entrance and create a more defined sense of entry, in a manner to be reviewed and approved by staff.
 - c. High ribbon windows shall be introduced in the garage and laundry areas, in order to help mitigate the impact of this long 2-story elevation on the neighboring property, subject to the review and approval of staff.
 - d. Additional fenestration in the form of vertical windows, shall be incorporated into the south elevation of the family room at the east and west ends, in a manner to be reviewed and approved by staff.
 - e. The applicant shall not seek any setback variances.
 - f. A green roof shall be incorporated into the garage, in a manner to be reviewed and approved by staff.
 - g. The final details of all exterior louvers shall be provided, including materials, finishes, and method of operation, subject to the review and approval of staff.
 - h. Manufacturer's drawings and Dade County product approval numbers for all new windows, doors and glass shall be required, prior to the issuance of a building permit.
 - i. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view, in a manner to be approved by staff.
 - j. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
2. A revised landscape plan, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:
- a. A comprehensive detailed plan for the relocation of the existing oak tree near the front of the property, along with all proposed landscaping and hardscaping within the newly created courtyard along the north side of the site, where the existing tree is proposed to be relocated, shall be provided, in a manner to be reviewed and approved by the Planning Department and the City's Urban Forester. Any redesign of the courtyard area, including reduction of hardscaping shall be at the sole discretion of the Planning Department and the City's Urban Forester. If for any reason the relocated tree dies within 2 years of its relocation, the applicant shall return to the Board for the review and approval of any replacement mitigation plan.



- b. The width of the driveway at the property line shall not exceed 22'-0" in width.
- c. Street trees shall be required within the swale at the front of the property if not in conflict with existing utilities, in a manner to be reviewed and approved by staff.
- d. The landscaping proposed within the right-of-way at the front of the property shall be relocated to private property, in the area of the 'zen gravel', subject to the review and approval of staff.
- e. Any hedge material along the north and south property lines within the required rear yard shall not naturally (without trimming) exceed a height of ten (10') feet, subject to the review and approval of staff.
- f. Any walkway along the north side of the property shall not exceed three (3') feet in width, subject to the review and approval of staff.
- g. The applicant shall increase the landscape buffer along the northern property line, in a manner to be reviewed and approved by staff.
- h. The applicant shall protect in place the currently existing vegetation along the northern property line, including specifically trees, against damage during the course of construction.
- i. Any fence or gate at the front of the property shall be designed in a manner consistent with the home's architecture, subject to the review and approval of staff.
- j. Any existing plant material within the public right-of-way may be required to be removed, at the discretion of staff.
- k. The use of sod within the sideyards of the home shall be reduced, in a manner to be reviewed and approved by staff.
- l. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.
- m. The utilization of root barriers and/or structural soil, as applicable, shall be clearly delineated on the revised landscape plan.
- n. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures; such fixtures and devices shall not be permitted within any required yard or any area fronting a street or sidewalk. The location of backflow preventors, siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.

-

- h. Provide flood barrier ramps to underground parking or minimum slab elevation to be at highest adjacent crown road elevation plus 8".
 - i. Right-of-way permit must be obtained from Public Works.
 - j. All right-of-way encroachments must be removed.
 - k. All planting/landscaping in the public right-of-way must be approved by the Public Works and Parks Departments.
- 7. The project shall comply with any landscaping or other sidewalk/street improvement standards as may be prescribed by a relevant Urban Design Master Plan approved prior to the completion of the project and the issuance of a Certificate of Occupancy, in a manner to be reviewed and coordinated by staff.
- 8. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
- 9. At the time of completion of the project, only a **Final** Certificate of Occupancy (CO) or **Final** Certificate of Completion (CC) may be applied for; the staging and scheduling of the construction on site shall take this into account. All work on site must be completed in accordance with the plans approved herein, as well as any modifications approved or required by the Building, Fire, Planning, CIP and Public Works Departments, inclusive of all conditions imposed herein, and by other Development Review Boards, and any modifications required pursuant to field inspections, prior to the issuance of a CO or CC. This shall not prohibit the issuance of a Partial or Temporary CO, or a Partial or Temporary CC.
- 10. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
- 11. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
- 12. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph B of the Findings of Fact (Condition Nos. 1-12, inclusive) hereof, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Design Review Board, as determined by staff, entitled "Lindemann Residence", as prepared by

Shulman + Associates, dated 8-13-12, modified in accordance with the conditions set forth in this Order and staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of Design Review Approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Design Review Approval was granted, the Design Review Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. If the Full Building Permit should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Design Review Approval will expire and become null and void.

In accordance with Section 118-264 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code.

Dated this 12th day of SEPTEMBER, 2012.


DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: 

THOMAS R. MOONEY, AICP
DESIGN AND PRESERVATION MANAGER
FOR THE CHAIR


STATE OF FLORIDA)
)SS
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 12th day of September 2012 by Thomas R. Mooney, Design and Preservation Manager, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.






TERESA MARIA
MY COMMISSION # DD 928148
EXPIRES: December 2, 2013
Bonded Thru Budget Notary Services



NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 12-2-13

Approved As To Form: _____
Legal Department:  (9-12-12)

Filed with the Clerk of the Design Review Board on 09/17/12 ()

F:\PLAN\SDRB\DRB12\SepDRB12\22911.Sep2012.FO.docx



DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: September 02, 2014

FILE NO: 22911

PROPERTY: 2300 Bay Avenue

LEGAL: The part of Lot 12, Block 3-H, of Island No. 3 of Sunset Islands, except a triangular portion thereof, According to the Plat Thereof, as Recorded in Plat Book 40, Page 8, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for the modification to a previously issued Design Review approval for the construction of a new two-story single family home to replace an existing one-story home, to be demolished. Specifically, the applicant is requesting design modifications to the exterior elevations.

S U P P L E M E N T A L O R D E R

The applicant, George L. Lindemann Jr. Trust, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with Design Review Criteria in Section 118-251 of the Miami Beach Code.
- B. The project would remain consistent with the criteria and requirements of section 118-251 if the following conditions are met:
 - 1. The following conditions are pursuant to the materials, details, and design for the further modifications to the plans approved by the Design Review Board on



September 02, 2014 (The prior conditions pursuant to Design Review Board Order No. 22991, remain in full force and effect except as modified herein).

2. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
 - a. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
 - b. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.
3. The final design details of the decorative wall tiling system shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
4. This Order, and the prior Order adopted September 4, 2012 for DRB file number 22911, and any construction authorized by or permits issued pursuant to either order, are subject to the adjudication of the boundary dispute between the applicant and its neighbor by courts of competent jurisdiction or other resolution of such dispute.
5. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code.
6. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
6. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy; a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted Planning Departmental approval.
7. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
8. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
9. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff



recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph B of the Findings of Fact (Condition Nos. 1-9, inclusive) hereof, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Design Review Board, as determined by staff, entitled "2300 Bay Avenue", as prepared by **Shulman + Associates** signed and sealed June 22, 2014 and revised sheets date June 26, 2014, modified in accordance with the conditions set forth in this Order and staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of Design Review Approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

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In accordance with Section 118-264 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code.

Dated this 7th day of SEPTEMBER, 2014.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

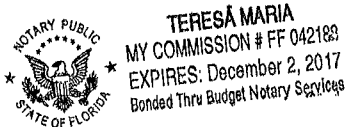
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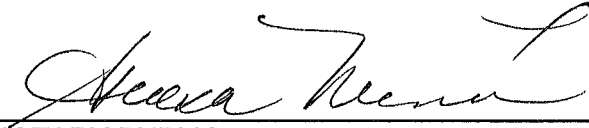

THOMAS R. MOONEY, AICP
PLANNING DIRECTOR
FOR THE CHAIR



STATE OF FLORIDA)
)SS
COUNTY OF MIAMI-DADE)


The foregoing instrument was acknowledged before me this 7th day of September 2014 by Thomas R. Mooney, Planning Director, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.





NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 12-2-17

Approved As To Form:

City Attorney's Office:  (9-5-14)

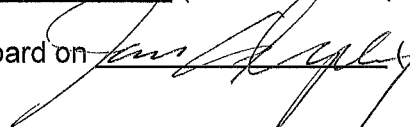
Filed with the Clerk of the Design Review Board on  (9-9-14)



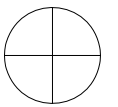
Exhibit E

THE PROPOSED SINGLE FAMILY RESIDENCE PROJECT IS LOCATED AT 2300 BAY BAY AVENUE, SUNSET ISLAND 3, MIAMI BEACH, FL. 33140. THE SCOPE OF WORK ENTAILS COMPLETE DEMOLITION OF AN EXISTING RESIDENTIAL STRUCTURE.

FLORIDA BUILDING CODE 2010 RESIDENTIAL, R-3 (SINGLE FAMILY)
FIRE RESISTANCE RATING REQUIRED BY 2010 FBC TABLE 601= 0 HRS
FLORIDA BUILDING TYPE - V (UNPROTECTED) 2 STORIES (2010 FBC
TABLE 503)



NOT TO SCALE



- FLOOD ELEVATION 8.00' N.G.V.
- GRADE 4.12' N.G.V.
 $3.88' / 2 = 1.94'$

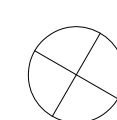
ADJUSTED GRADE = 4.12' + 1.94' = 6.06' N.G.V.D.

MAX (FLAT) ROOF HEIGHT = 32.16' + 4.12' = 36.28' N.G.V.D.

FLOOR ELEVATION = 5' - 6" = 9.54 N.G.V.D.

ROADWAY TO BE RAISED 9" TO 1'-0" IN THE UPCOMING YEARS,
PUBLIC WORKS TO DETERMINE UPDATED GRADE AND ADJUSTED
GRADE ELEVATION

1. REFER TO LANDSCAPE DWGS. FOR HARDSCAPE & PLANTING
2. REFER TO LANDSCAPE DWGS. FOR PERMEABLE AREA CALCULATIONS
3. REFER TO CIVIL DWGS. FOR DRAINAGE
4. GC TO PROVIDE SHOP DRAWINGS FOR AUTOMATED GATE FOR ARCHITECT
ENGINEER APPROVAL. GATE DESIGN TO INCORPORATE PROPERTY AREA
NUMBERS AND TO BE ON SEPARATE PERMIT.



~~1 SITE PLAN~~
G-1.02 1/8" = 1'-0"

[illegible]

PERMIT SET

G-1.02

GRAPHIC LEGEND

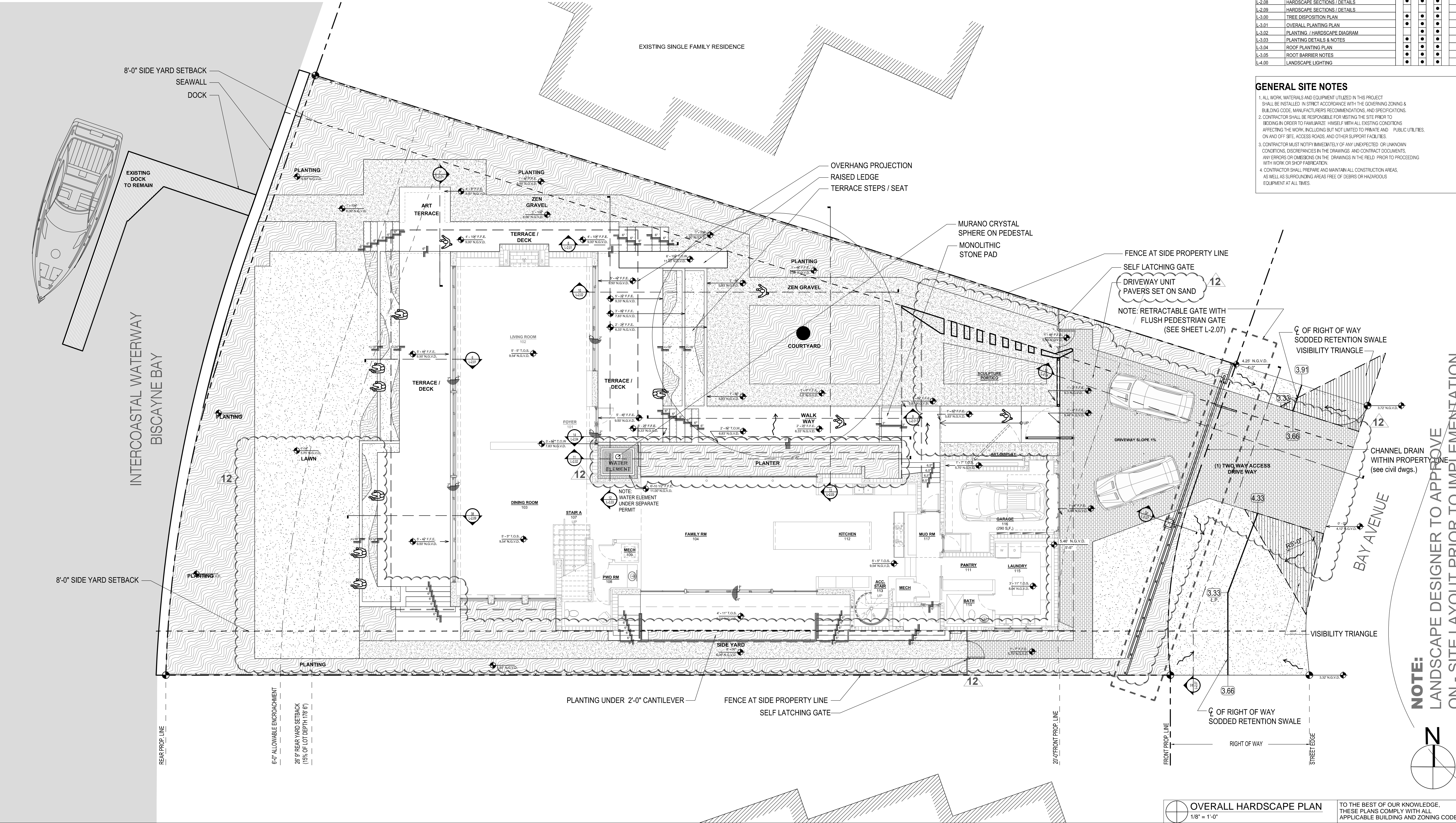
PLANTING LAWN GRAVEL RIVER ROCK DRIVEWAY PAVEMENT POOL

SLOPE OF SURFACE DRAINAGE PROPOSED CONTOURS PROPOSED SPOT ELEVATIONS

SHEET #	SHEET TITLE
L-1.00	HARDSCAPE PLAN
L-1.01	HARDSCAPE LAYOUT PLAN
L-1.02	HARDSCAPE LAYOUT PLAN
L-2.00	HARDSCAPE SECTIONS / DETAILS
L-2.01	HARDSCAPE SECTIONS / DETAILS
L-2.02	HARDSCAPE SECTIONS / DETAILS
L-2.03	HARDSCAPE SECTIONS / DETAILS
L-2.04	HARDSCAPE SECTIONS / DETAILS
L-2.05	HARDSCAPE SECTIONS / DETAILS
L-2.06	HARDSCAPE SECTIONS / DETAILS
L-2.07	HARDSCAPE SECTIONS / DETAILS
L-2.08	HARDSCAPE SECTIONS / DETAILS
L-2.09	HARDSCAPE SECTIONS / DETAILS
L-3.00	TREE DISPOSITION PLAN
L-3.01	OVERALL PLANTING PLAN
L-3.02	PLANTING / HARDSCAPE DIAGRAM
L-3.03	PLANTING DETAILS & NOTES
L-3.04	ROOF PLANTING PLAN
L-3.05	ROOT BARRIER NOTES
L-4.00	LANDSCAPE LIGHTING

GENERAL SITE NOTES

1. ALL WORK, MATERIALS AND EQUIPMENT UTILIZED IN THIS PROJECT SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE GOVERNING ZONING & BUILDING CODE, MANUFACTURERS RECOMMENDATIONS, AND SPECIFICATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO BIDDING IN ORDER TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT LIMITED TO PRIVATE AND PUBLIC UTILITIES, ON AND OFF SITE, ACCESS ROADS, AND OTHER SUPPORT FACILITIES.
3. CONTRACTOR MUST NOTIFY IMMEDIATELY OF ANY UNEXPECTED OR UNKNOWN CONDITIONS, DISCREPANCIES IN THE DRAWINGS, AND CONTRACT DOCUMENTS. ANY ERRORS OR OMISSIONS ON THE DRAWINGS IN THE FIELD, PRIOR TO PROCEEDING WITH WORK OR SHOP FABRICATION.
4. CONTRACTOR SHALL PREPARE AND MAINTAIN ALL CONSTRUCTION AREAS, AS WELL AS SURROUNDING AREAS FREE OF DEBRIS OR HAZARDOUS EQUIPMENT AT ALL TIMES.



SHULMAN + ASSOCIATES

100 NE 38th Street, Space 2
Miami, FL 33137
T 305 438 0609 F 305 438 0170
www.shulman-design.com
AA 26001090

LANDSCAPE DESIGNER:
NATURALFICIAL, INC.
Andres Arcila
129 N.W. South River Drive, Space B
Miami, FL 33128
p: 305.321.2341
www.naturalficial.com

LANDSCAPE ARCHITECT:
MARSH KRIPLEN
129 N.W. South River Drive, Space B
Miami, FL 33128
p: 305.322.2896
FL# 6667007

LANDSCAPE ARCHITECT
LA 6667007

NO	DESCRIPTION	DATE
1	Permit Comments	2013.04.05
2	Urban Forester Comments	2013.04.18
3	Client Requested Revisions	2013.05.06
4	Client Requested Revisions	2013.05.17
5	Construction Set	2013.05.28
6	Architect Comments	2013.08.06
7	Architect Comments	2013.08.14
8	Architecture Revisions	2013.10.28
9	Revision	2013.11.08
11	Owner Requested Revisions	2014.03.14
12	Owner Requested Revisions	2014.05.07

LINDEMANN RESIDENCE

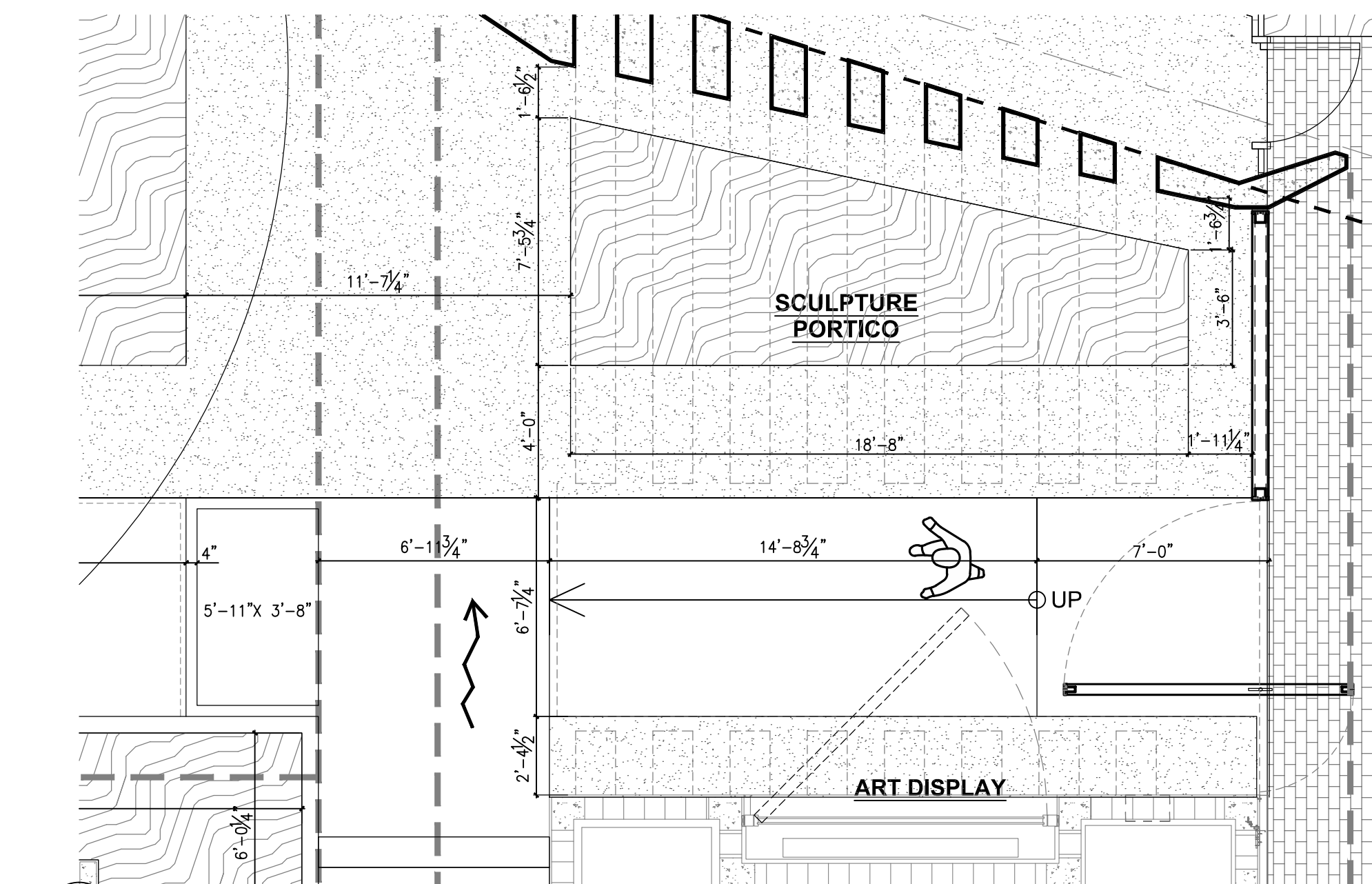
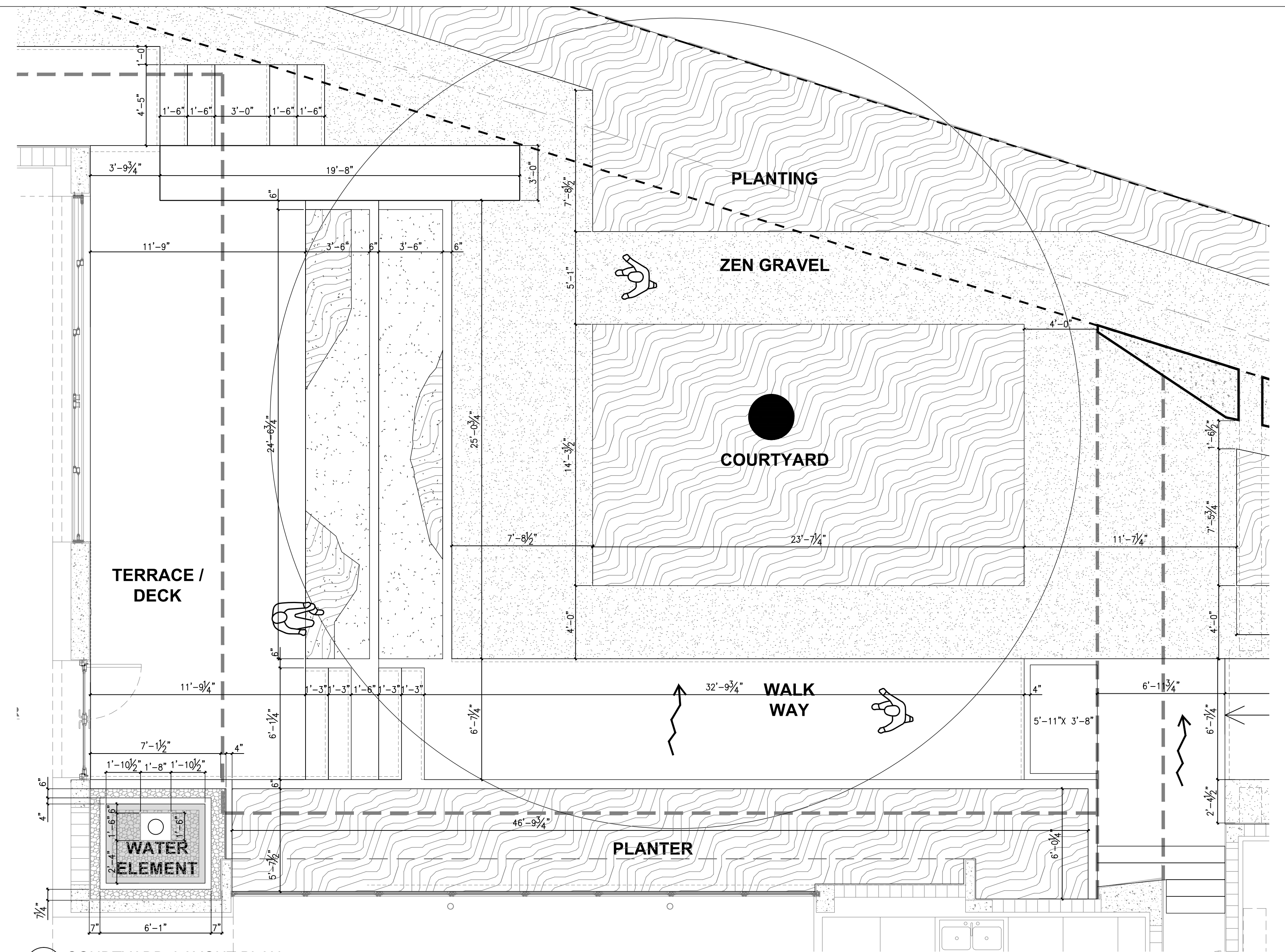
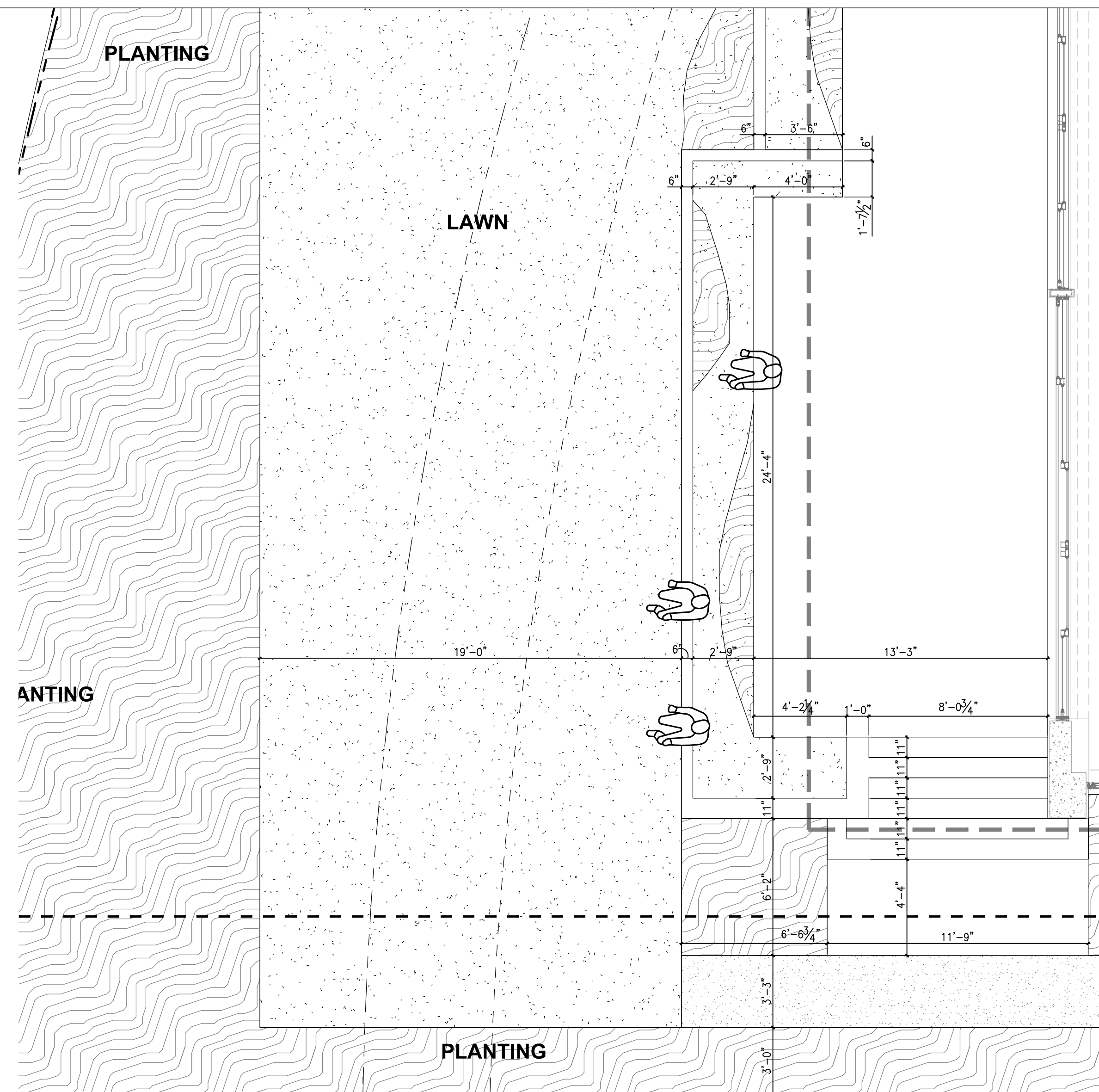
2300 BAY AVENUE MIAMI BEACH, FL 33140

PERMIT SET

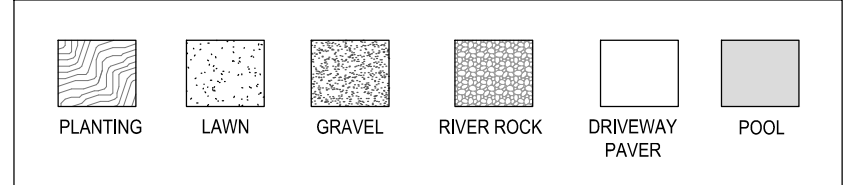
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05/07/14
12002
Project Number

NOTE:
LANDSCAPE DESIGNER TO APPROVE
ON - SITE LAYOUT PRIOR TO IMPLEMENTATION



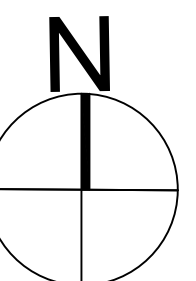
GRAPHIC LEGEND



PARTIAL HARDSCAPE PLAN

TO THE BEST OF OUR KNOWLEDGE,
THESE PLANS COMPLY WITH ALL
APPLICABLE BUILDING AND ZONING CODES.

NOTE:
LANDSCAPE DESIGNER TO APPROVE
ON - SITE LAYOUT PRIOR TO IMPLEMENTATION



S+A

SHULMAN + ASSOCIATES

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LANDSCAPE ARCHITECT
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12	Owner Requested Revisions	2014.05.07

LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

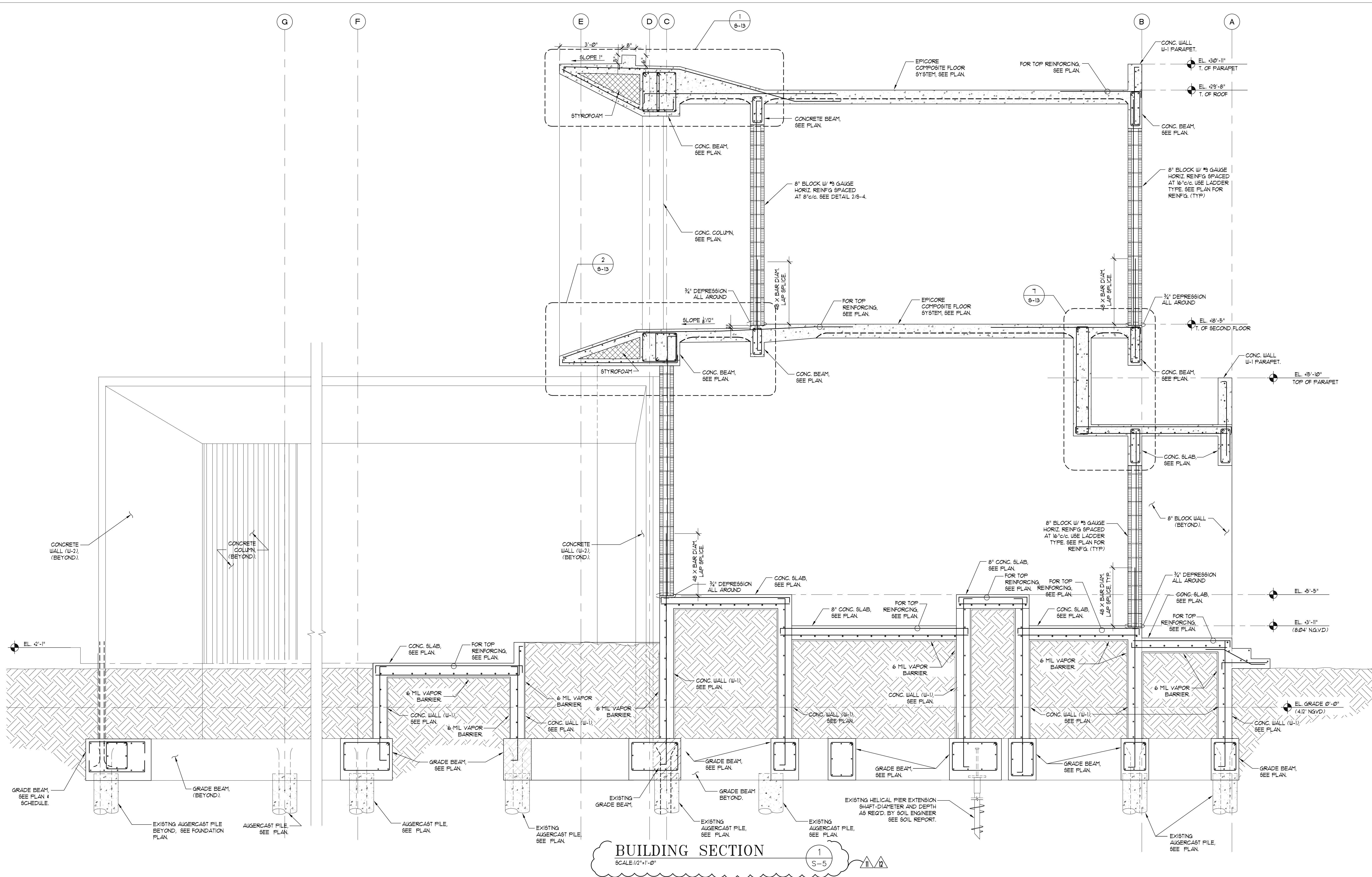
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JUAN FERNANDEZ-BARQUIN, P.E.
STRUCTURAL ENGINEER
P.E. # 40114
THRESHOLD INSPECTOR # 0947
2520 N.W. 97th AVENUE, SUITE #240
DORAL, FLORIDA 33172
PHONE: 786-336-0801,
FAX: 786-336-0884
E-MAIL: jfbeng@bellsouth.net

NO	DESCRIPTION	DATE
1	OWNER REQ. CHANGES	03-31-2014
2	REVISION	05-07-2014

03/31/2014

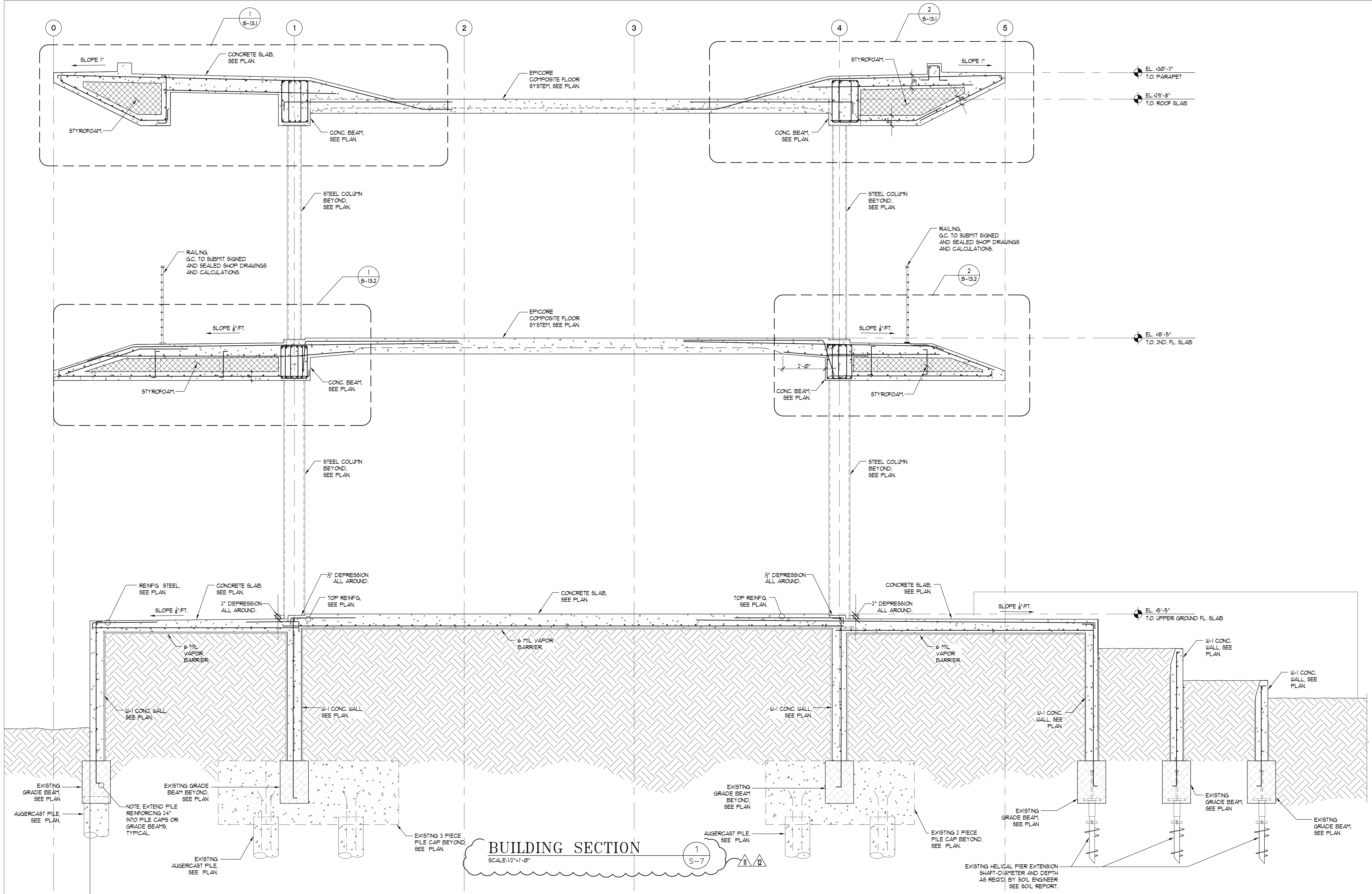
LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

BUILDING SECTIONS

S-5

C:\SHULMAN + ASSOCIATES\2300 BAY AVENUE (LINDEMANN RES)\STRUCTURE\S-5 SECTION.dwg



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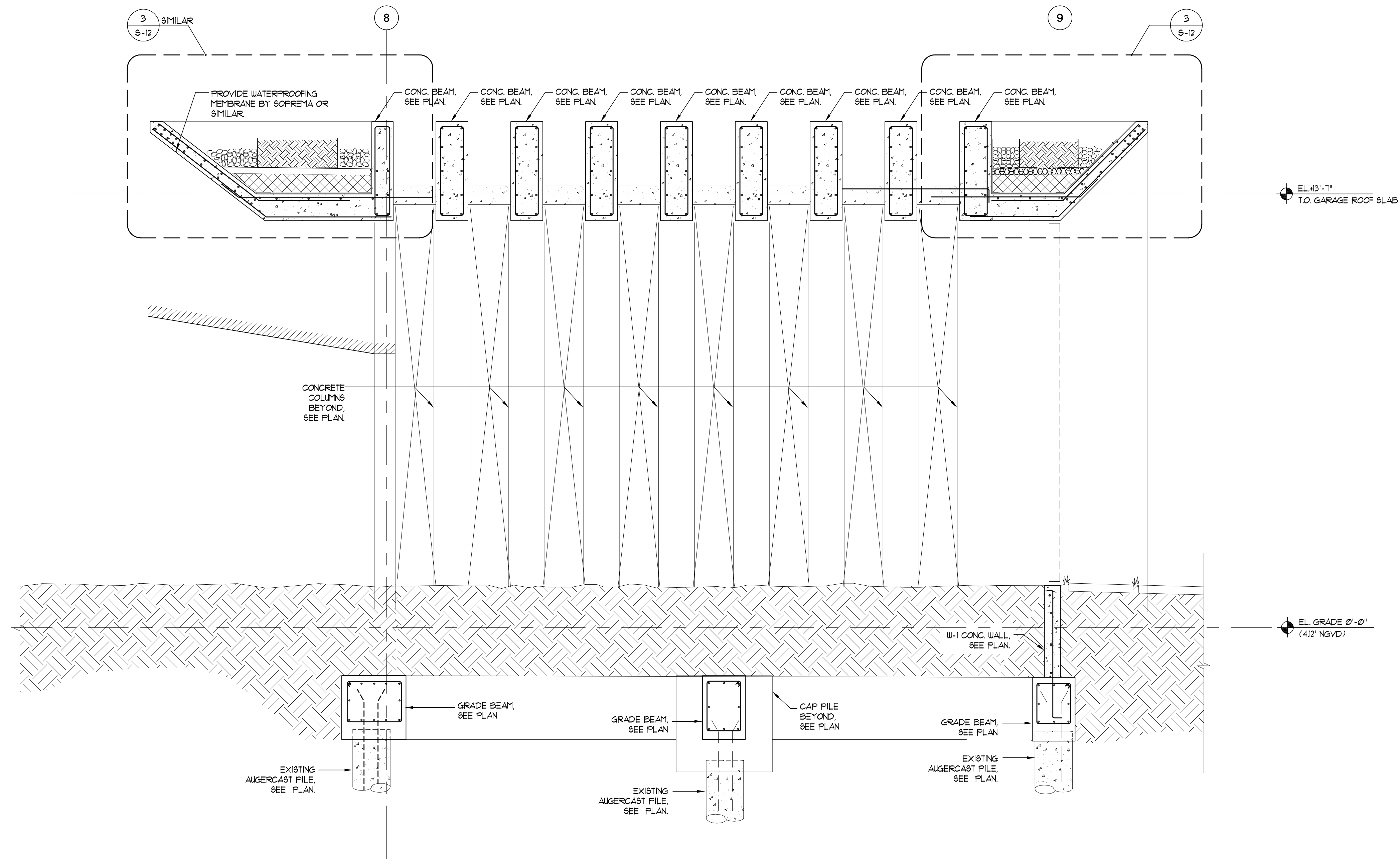
03/31/2014

LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

BUILDING SECTIONS

S-7



BUILDING SECTION
SCALE: 1/2"=1'-0"
1
S-7.1



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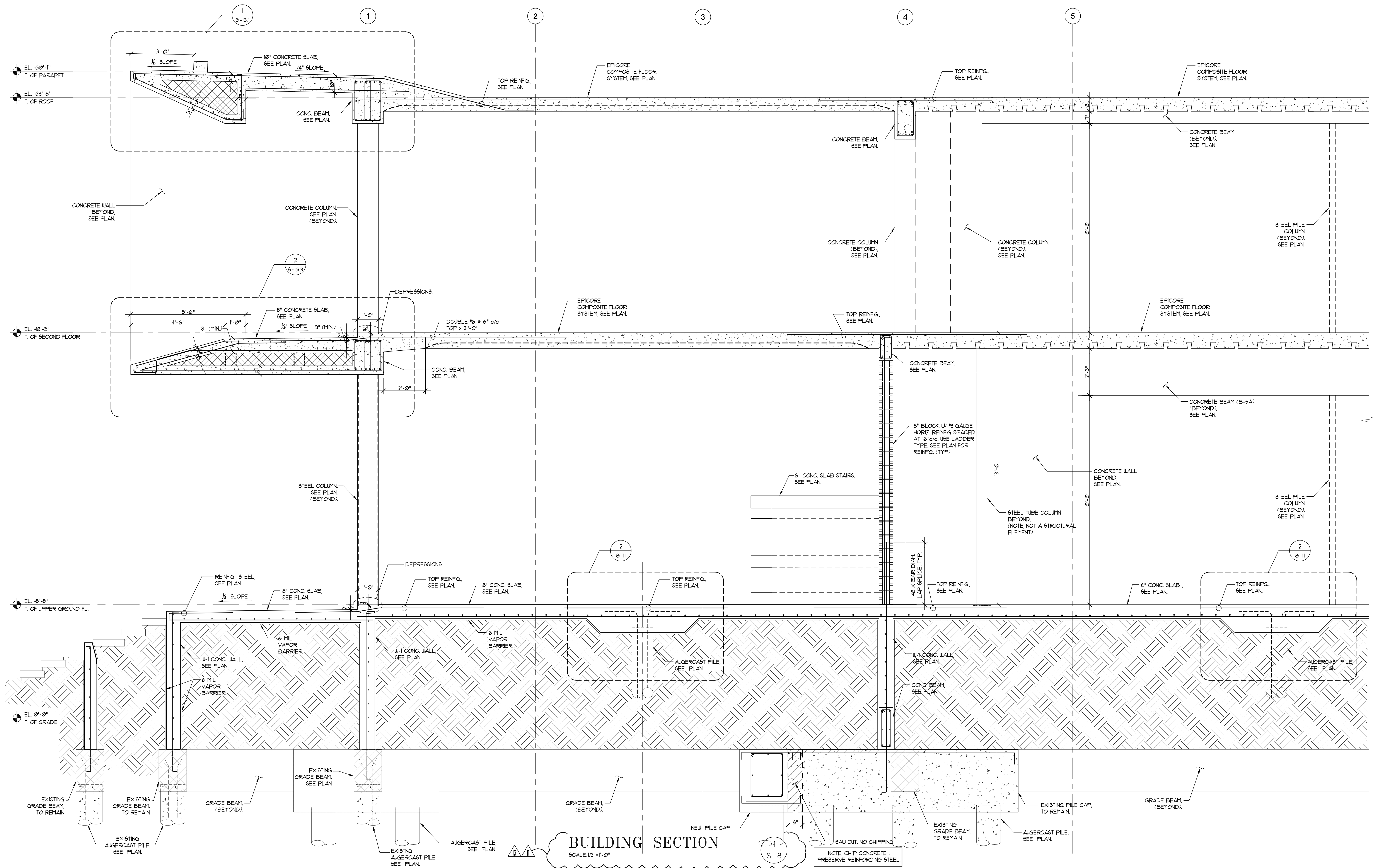
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LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

BUILDING SECTIONS

S-7.1



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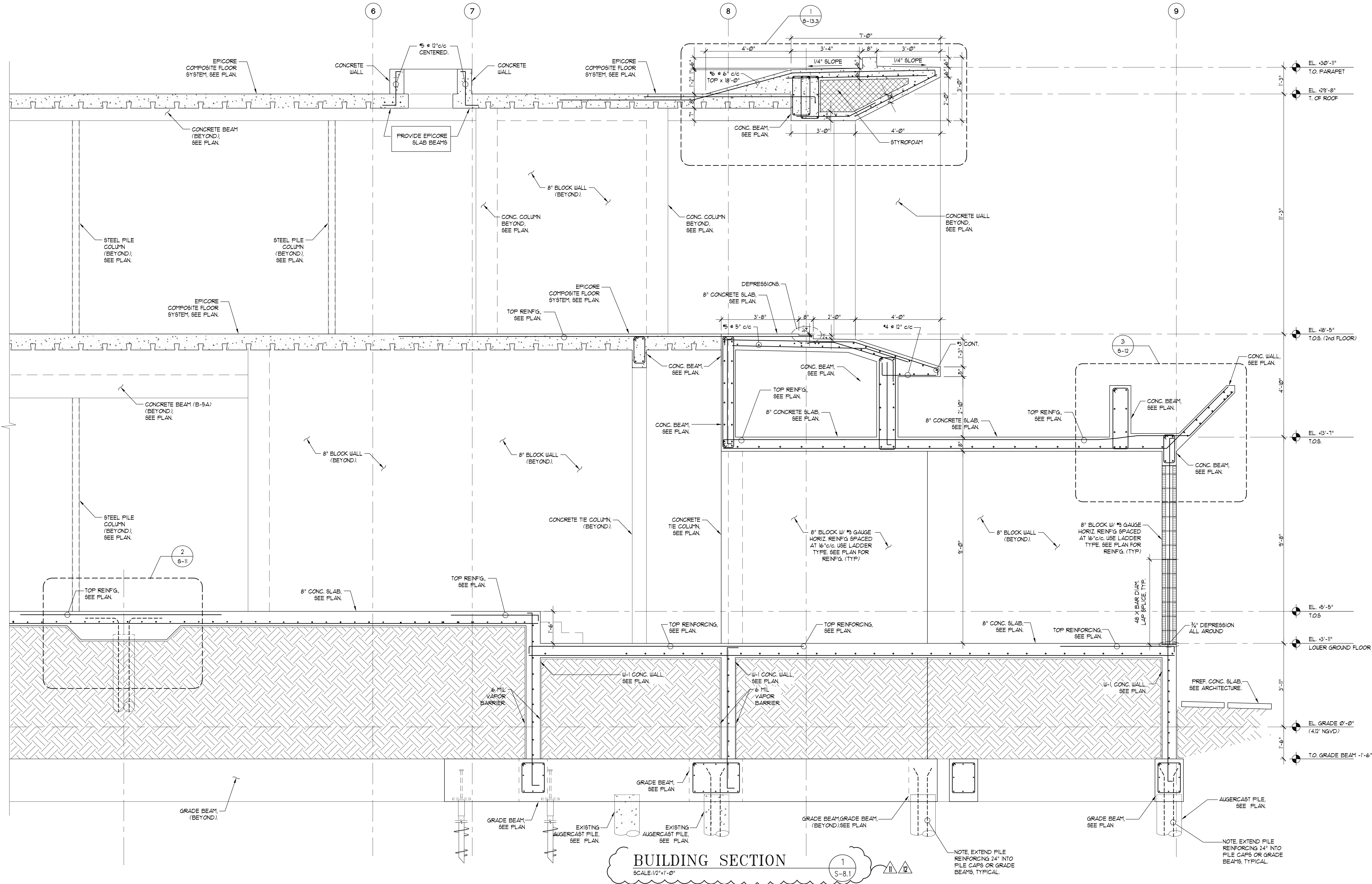
LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

BUILDING SECTIONS

S-8

C:\SHULMAN + ASSOCIATES\2300 BAY AVENUE (LINDEMANN RES)\STRUCTURE\S-8 SECTION (2).dwg



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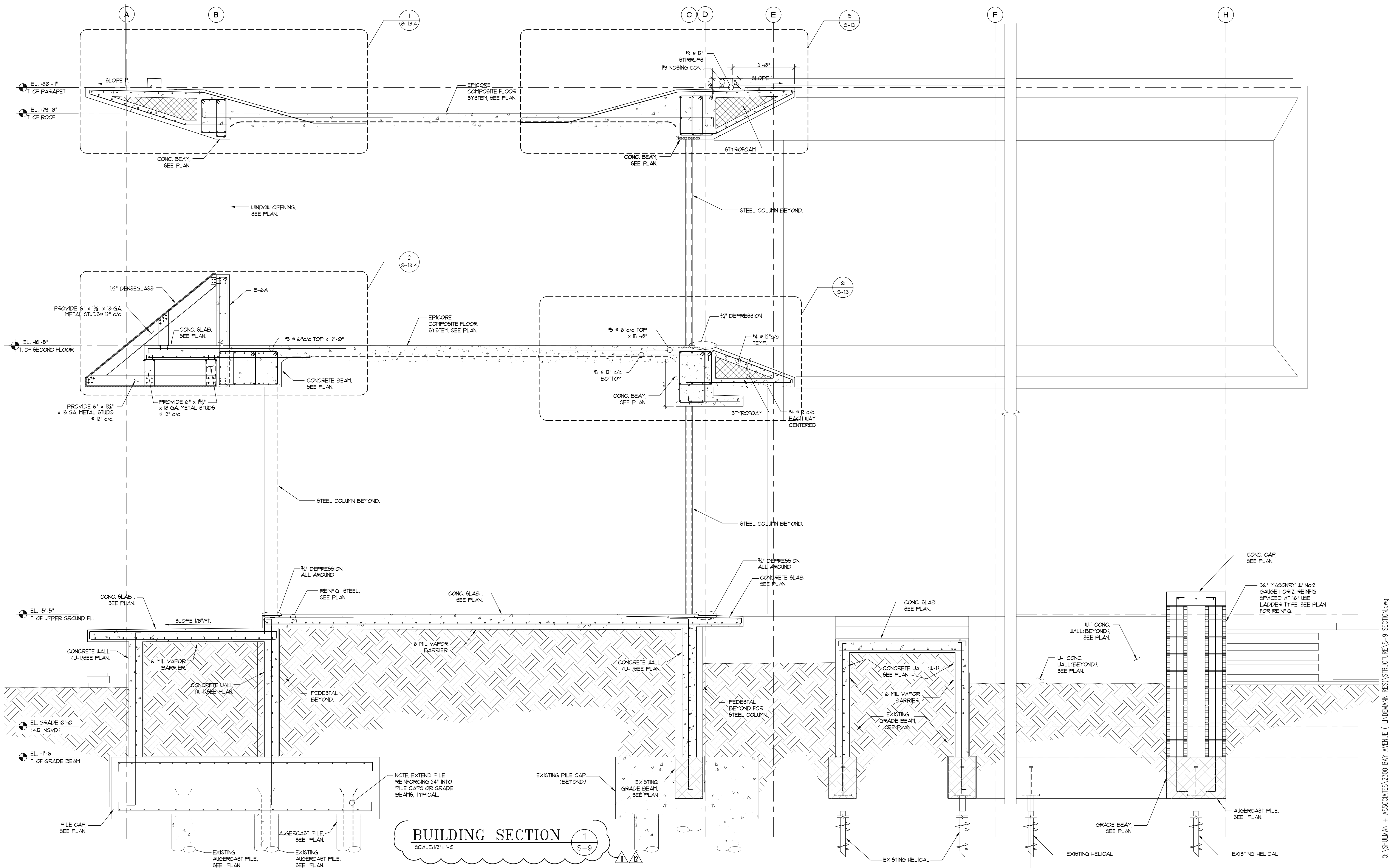
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LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

BUILDING SECTIONS

S-8.1



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LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

BUILDING SECTIONS

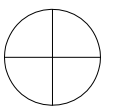
S-9

THE PROPOSED SINGLE FAMILY RESIDENCE PROJECT IS LOCATED AT 2300 BAY BAY AVENUE, SUNSET ISLAND 3, MIAMI BEACH, FL. 33140. THE SCOPE OF WORK ENTAILS COMPLETE DEMOLITION OF AN EXISTING RESIDENTIAL STRUCTURE.

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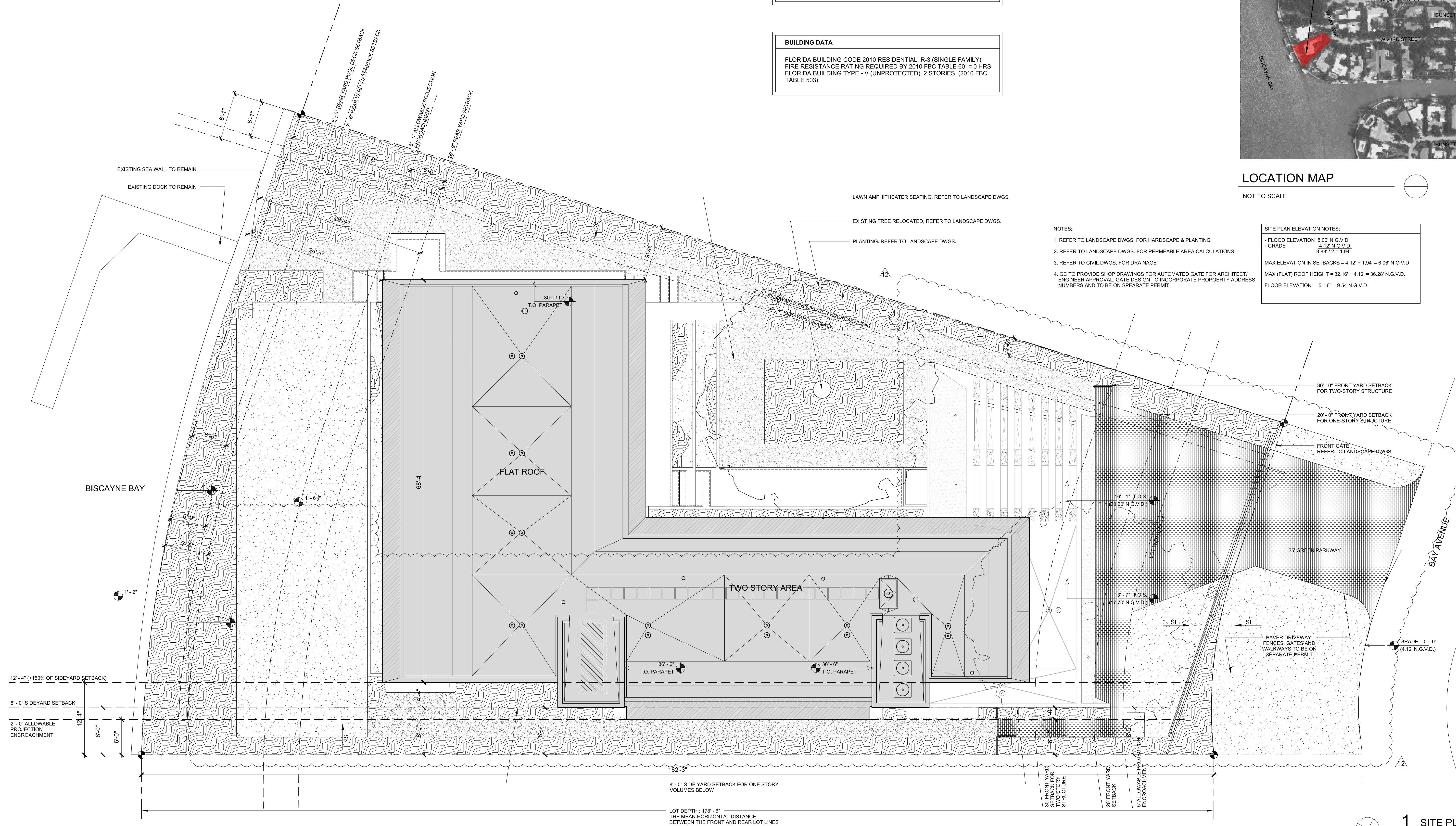
NOT TO SCALE



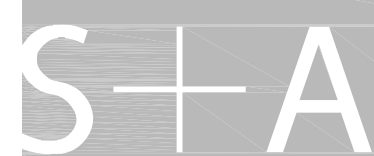
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 - GRADE 4.12' N.G.V.D.
 $3.88' / 2 = 1.94'$

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2. REFER TO LANDSCAPE DWGS. FOR PERMEABLE AREA CALCULATIONS
3. REFER TO CIVIL DWGS. FOR DRAINAGE
4. GC TO PROVIDE SHOP DRAWINGS FOR AUTOMATED GATE FOR ARCHITECT/ENGINEER APPROVAL. GATE DESIGN TO INCORPORATE PROPERTY ADDRESS NUMBERS AND TO BE ON SEPARATE PERMIT.



1 SITE PLAN
G-1.02 1/8" = 1'-0"



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AR 0012763

NO	DESCRIPTION	DATE
1	BLDG. DEPT. COMMENTS	04.05.13
2	BLDG. DEPT. COMMENTS	05.01.13
3	BLDG. DEPT. COMMENTS	05.31.13
11	OWNER REQ. CHANGES	03.31.14
12	OWNER REQ. CHANGES	05.07.14

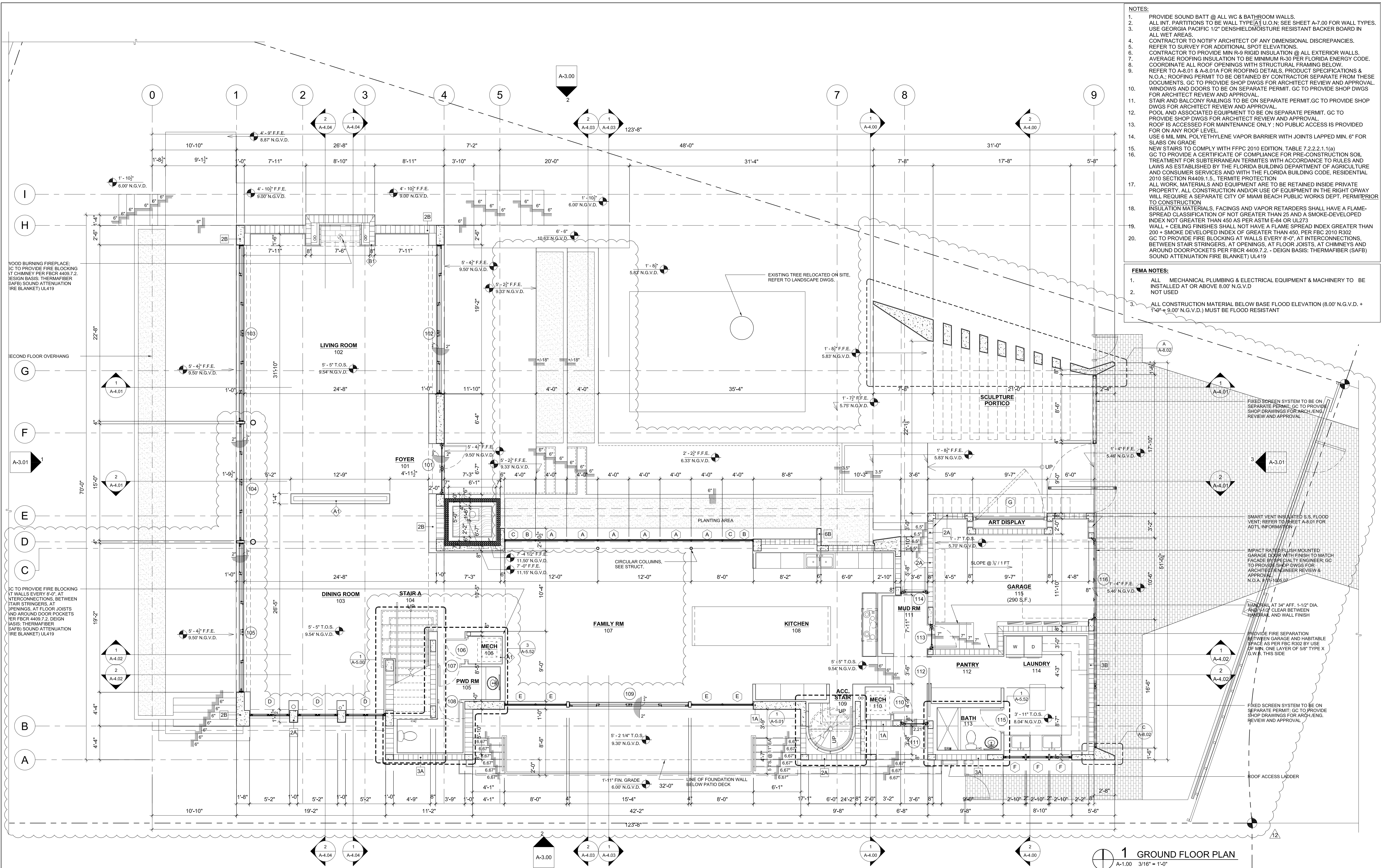
05/31/13
12002
Project Number

2300 BAY AVENUE MIAMI BEACH, FL 33140

PERMIT SET

SITE PLAN

G-1.02



- NOTES:
1. PROVIDE SOUND BATT @ ALL WC & BATHROOM WALLS.
 2. ALL INT. PARTITIONS TO BE WALL TYPE(A) U.O.A. SEE SHEET A-7.00 FOR WALL TYPES.
 3. USE GEORGIA PACIFIC 1/2" DENSHELD MOISTURE RESISTANT BACKER BOARD IN ALL WET AREAS.
 4. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES.
 5. REFER TO SURVEY FOR ADDITIONAL SPOT ELEVATIONS.
 6. CONTRACTOR TO PROVIDE MIN R-9 RIGID INSULATION @ ALL EXTERIOR WALLS.
 7. AVERAGE ROOFING INSULATION TO BE MINIMUM R-30 PER FLORIDA ENERGY CODE.
 8. COORDINATE ALL ROOF OPENINGS WITH STRUCTURAL FRAMING BELOW.
 9. REFER TO A-8.01 & A-8.01A FOR ROOFING DETAILS, PRODUCT SPECIFICATIONS & N.O.A. ROOFING PERMIT TO BE OBTAINED BY CONTRACTOR SEPARATE FROM THESE DOCUMENTS. GC TO PROVIDE SHOP DWGS FOR ARCHITECT REVIEW AND APPROVAL.
 10. NEW STAIRS TO COMPLY WITH FPFC 2010 EDITION, TABLE 7.2.2.1.1(a).
 11. GC TO PROVIDE A CERTIFICATE OF COMPLIANCE FOR PRE-CONSTRUCTION SOIL TREATMENT FOR SUBTERRANEAN TERMITES WITH ACCORDANCE TO RULES AND LAWS AS ESTABLISHED BY THE FLORIDA BUILDING DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AND WITH THE FLORIDA BUILDING CODE, RESIDENTIAL 2010 SECTION R409.1.5. TERMITES PROTECTION.
 12. ALL WORK, MATERIALS AND EQUIPMENT ARE TO BE RETAINED INSIDE PRIVATE PROPERTY. ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT OFWAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPT. PERMIT PRIOR TO CONSTRUCTION.
 13. INSULATION MATERIALS, FACINGS AND VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL273.
 14. WALL + CEILING FINISHES SHALL NOT HAVE A FLAME SPREAD INDEX GREATER THAN 200 + SMOKE DEVELOPED INDEX OF GREATER THAN 450, PER FBC 2010 R302.
 15. GC TO PROVIDE FIRE BLOCKING AT WALLS EVERY 8'-0". AT INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENINGS, AT FLOOR JOISTS, AT CHIMNEYS AND AROUND DOORPOCKETS PER FBC 4409.7.2. - DEIGN BASIS: THERMAFIBER (SAFB) SOUND ATTENUATION FIRE BLANKET) UL419.
- FEMA NOTES:
1. ALL MECHANICAL PLUMBING & ELECTRICAL EQUIPMENT & MACHINERY TO BE INSTALLED AT OR ABOVE 8.00' N.G.V.D.
 2. NOT USED
 3. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (8.00' N.G.V.D. + 1'-0" = 9.00' N.G.V.D.) MUST BE FLOOD RESISTANT

S+A

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NO	DESCRIPTION	DATE
1	BLDG. DEPT. COMMENTS	04.05.13
3	BLDG. DEPT. COMMENTS	05.31.13
4	BLDG. DEPT. COMMENTS	07.09.13
9	OWNER REQUEST REVISIONS	11.15.13
10	OWNER REQUEST REVISIONS	01.27.14
11	OWNER REQ. CHANGES	03.31.14
12	OWNER REQ. CHANGES	05.07.14

05/31/13
12002
Project Number

LINDEMANN RESIDENCE
2300 BAY AVENUE MIAMI BEACH, FL 33140
PERMIT SET

GROUND FLOOR PLAN
A-1.00

FIXED SCREEN SYSTEM TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL

IMPACT RESISTANT ALUMINUM OUTSWING DOOR; REFER TO SCHEDULE

IMPACT RESISTANT ALUMINUM SLIDING GLASS DOORS; REFER TO SCHEDULE

OPERABLE (BI-FOLD) SCREEN SYSTEM TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL

STAINLESS STEEL FLAT BAR GUARDRAIL BY SPECIALTY ENGINEER TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL

KENT LINEAR TRENCH DRAIN - MODEL: ECONOMY CHANNEL

GC TO PROVIDE FIRE BLOCKING AT WALLS EVERY 8'-0" AT INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENINGS, AT FLOOR JOISTS AND AROUND DOOR POCKETS PER FBOR 4409.7.2. DESIGN BASIS: THERMAFIBER (SAFB) SOUND ATTENUATION FIRE BLANKET) UL419

IMPACT RESISTANT ALUMINUM SLIDING GLASS DOORS; GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL; REFER TO SCHEDULE

KENT LINEAR TRENCH DRAIN - MODEL: ECONOMY CHANNEL

FIXED + OPERABLE (BI-FOLD) SCREEN SYSTEM TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL

- NOTES:
1. PROVIDE SOUND BATT @ ALL WC & BATHROOM WALLS.
 2. ALL INT. PARTITIONS TO BE WALL TYPE A1 U.O.N; SEE SHEET A-7.00 FOR WALL TYPES.
 3. USE GEORGIA PACIFIC 1/2" DENSHELD/STAINLESS STEEL BACKER BOARD IN ALL WET AREAS.
 4. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES.
 5. REFER TO SURVEY FOR ADDITIONAL SPOT ELEVATIONS.
 6. CONTRACTOR TO PROVIDE MIN R-9 RIGID INSULATION @ ALL EXTERIOR WALLS.
 7. AVERAGE ROOFING INSULATION TO BE MINIMUM R-30 PER FLORIDA ENERGY CODE.
 8. COORDINATE ALL ROOF OPENINGS WITH STRUCTURAL FRAMING BELOW.
 9. REFER TO A-8.01 & A-8.01A FOR ROOFING DETAILS. PRODUCT SPECIFICATIONS & N.O.A.; ROOFING PERMIT TO BE OBTAINED BY CONTRACTOR SEPARATE FROM THESE DOCUMENTS. GC TO PROVIDE SHOP DWGS FOR ARCHITECT REVIEW AND APPROVAL.
 10. WINDOWS AND DOORS TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DWGS FOR ARCHITECT REVIEW AND APPROVAL.
 11. STAIR AND BALCONY RAILINGS TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DWGS FOR ARCHITECT REVIEW AND APPROVAL.
 12. POOL AND ASSOCIATED EQUIPMENT TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DWGS FOR ARCHITECT REVIEW AND APPROVAL.
 13. ROOF IS ACCESSED FOR MAINTENANCE ONLY; NO PUBLIC ACCESS IS PROVIDED FOR ON ANY ROOF LEVEL.
 14. USE 6 MIL MIN. POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED MIN. 6" FOR SLABS ON GRADE.
 15. NEW STAIRS TO COMPLY WITH FFPC 2010 EDITION, TABLE 7.2.2.1.1(a).
 16. GC TO PROVIDE A CERTIFICATE OF COMPLIANCE FOR PRE-CONSTRUCTION SOIL TREATMENT FOR SUBTERRANEAN TERMITES WITH ACCORDANCE TO RULES AND LAWS AS ESTABLISHED BY THE FLORIDA BUILDING DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AND WITH THE FLORIDA BUILDING CODE, RESIDENTIAL 2010 SECTION R4409.1.5. TERMITE PROTECTION.
 17. ALL WORK, MATERIALS AND EQUIPMENT ARE TO BE RETAINED INSIDE PRIVATE PROPERTY. ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT OFWAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPT. PERMIT PRIOR TO CONSTRUCTION.
 18. INSULATION MATERIALS, FACINGS AND VAPOR RETARDERS SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 25 AND A SMOKE-DEVELOPED INDEX NOT GREATER THAN 450 AS PER ASTM E-84 OR UL723.
 19. WALL + CEILING FINISHES SHALL NOT HAVE A FLAME-SPREAD INDEX GREATER THAN 200 + SMOKE DEVELOPED INDEX OF GREATER THAN 450, PER FBC 2010 R302.
 20. GC TO PROVIDE FIRE BLOCKING AT WALLS EVERY 8'-0" AT INTERCONNECTIONS, BETWEEN STAIR STRINGERS, AT OPENINGS, AT FLOOR JOISTS, AT CHIMNEYS AND AROUND DOOR POCKETS PER FBOR 4409.7.2. - DESIGN BASIS: THERMAFIBER (SAFB) SOUND ATTENUATION FIRE BLANKET) UL419

FEMA NOTES:

1. ALL MECHANICAL PLUMBING & ELECTRICAL EQUIPMENT & MACHINERY TO BE INSTALLED AT OR ABOVE 8.00' N.G.V.D.
2. NOT USED
3. ALL CONSTRUCTION MATERIAL BELOW BASE FLOOD ELEVATION (8.00' N.G.V.D. + 1'-0" = 9.00' N.G.V.D.) MUST BE FLOOD RESISTANT

OPERABLE (BI-FOLD) SCREEN SYSTEM TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL

IMPACT RESISTANT ALUMINUM SLIDING GLASS DOORS; GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL; REFER TO SCHEDULE

IMPACT RESISTANT ALUM. + GLASS FIXED WINDOWS; REFER TO WINDOW SCHEDULE

GALV. TUBE STEEL COLUMN

KENT LINEAR TRENCH DRAIN - MODEL: ECONOMY CHANNEL

3/4" 3-COAT SMOOTH STUCCO, FLOAT FINISH, TYP.

STAINLESS STEEL FLATBAR GUARDRAIL BY SPECIALTY ENGINEER TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL

CUSTOM CEILING ACCESS PANEL. ACCESS PANEL SOLUTIONS: www.accesspanelsolutions.com MODEL: BAUCO PLUS II, CONCEALED HARDWARE AND GYPSUM BOARD INLAY

KENT LINEAR TRENCH DRAIN - MODEL: ECONOMY CHANNEL

FIXED + OPERABLE (BI-FOLD) SCREEN SYSTEM TO BE ON SEPARATE PERMIT. GC TO PROVIDE SHOP DRAWINGS FOR ARCHITECT/ENGINEER REVIEW AND APPROVAL

GREEN ROOF SYSTEM BY AMERICAN HYDROTECH. REFER TO SHEET A-8.05 FOR DETAILS

3/4" 3-COAT SMOOTH STUCCO, FLOAT FINISH, TYP.

1 SECOND FLOOR PLAN
A-1.00 3/16" = 1'-0"



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NO	DESCRIPTION	DATE
1	BLDG. DEPT. COMMENTS	04.05.13
3	BLDG. DEPT. COMMENTS	05.31.13
5	COORDINATION	08.19.13
9	OWNER REQUEST REVISIONS	11.15.13
11	OWNER REQ. CHANGES	03.31.14
12	OWNER REQ. CHANGES	05.07.14

05/31/13

12002
Project Number

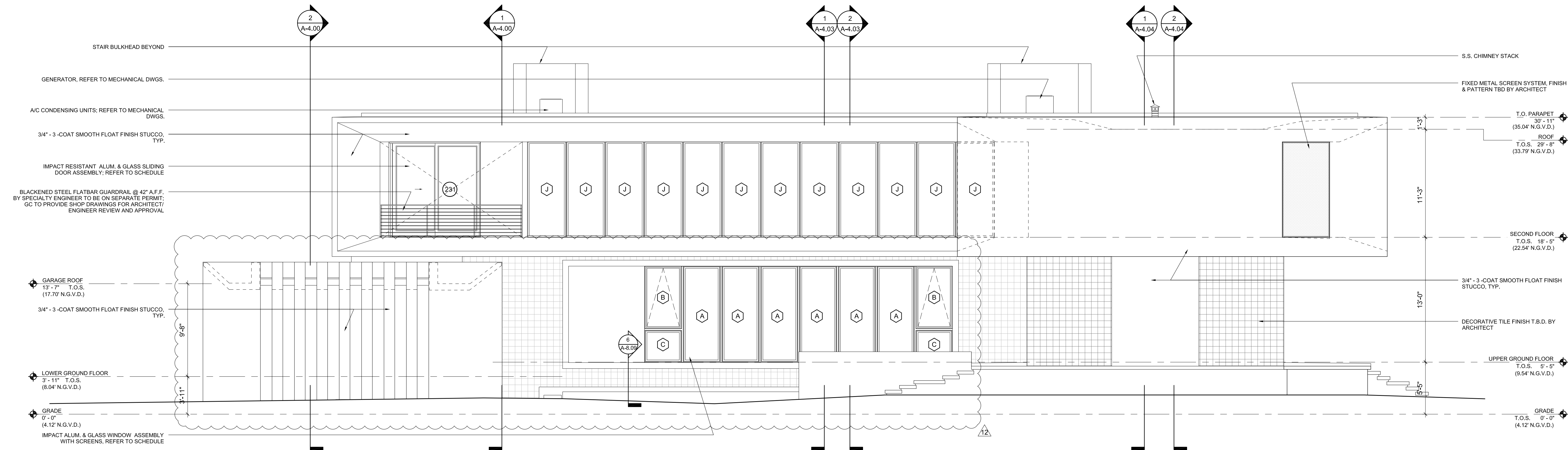
LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

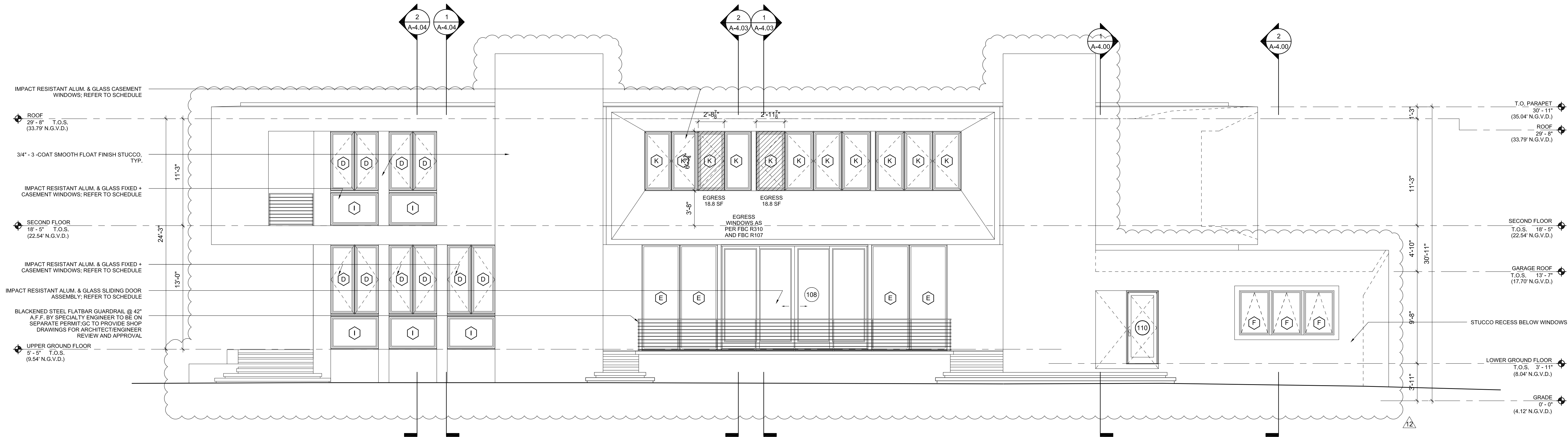
PERMIT SET

SECOND FLOOR PLAN

A-1.01



2 NORTH ELEVATION
A-3.00 3/16" = 1'-0"



1 SOUTH ELEVATION
A-3.00 3/16" = 1'-0"



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1	BLDG. DEPT. COMMENTS	04.05.13
3	BLDG. DEPT. COMMENTS	05.31.13
11	OWNER REQUESTED CHANGES	03.31.14
12	OWNER REQ. CHANGES	05.07.14

05/31/13

12002
Project Number

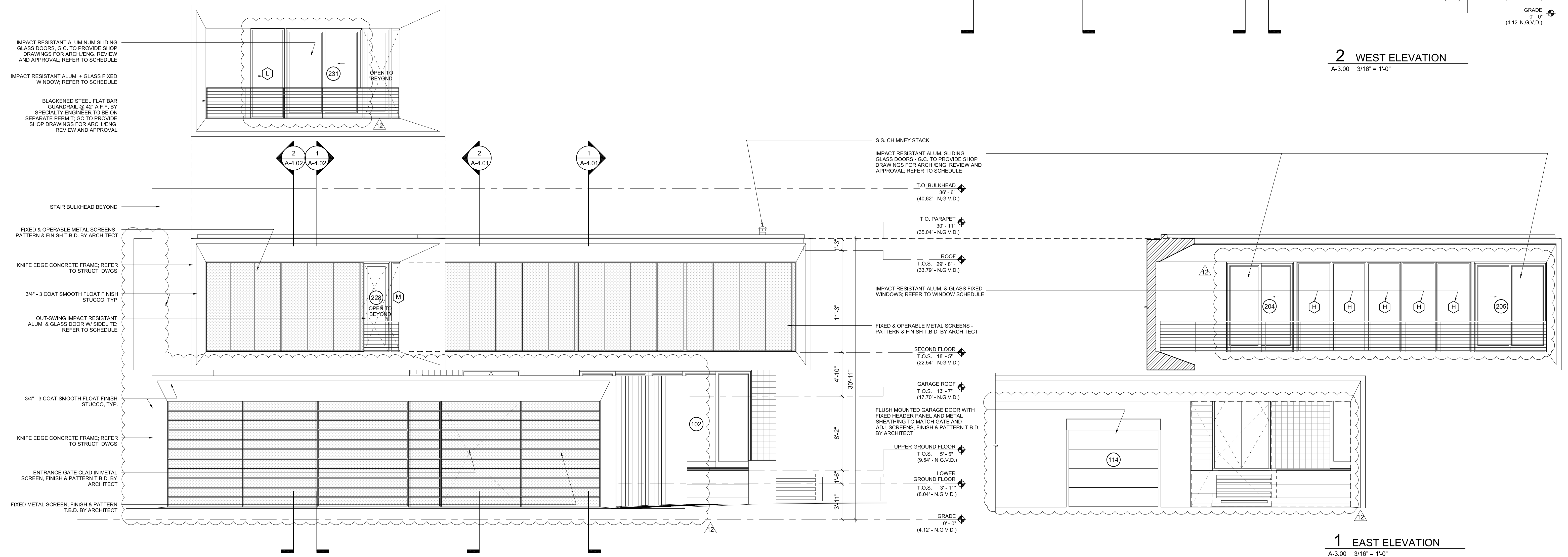
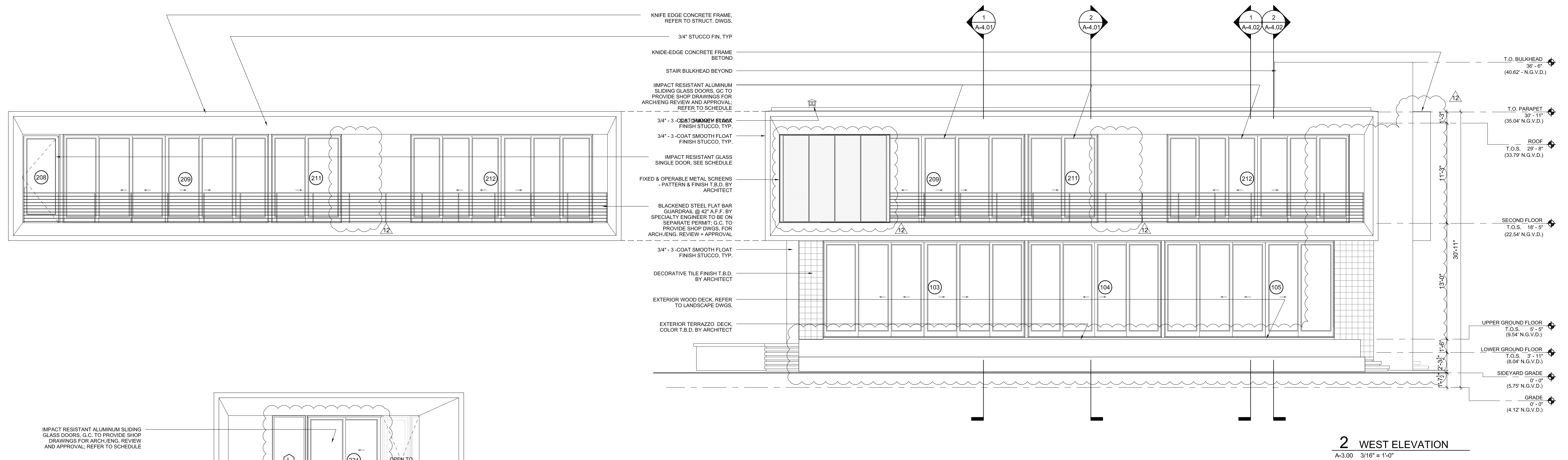
LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

PERMIT SET

BUILDING
ELEVATIONS

A-3.00



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[illegible]

05/31/13
12002
Project Number

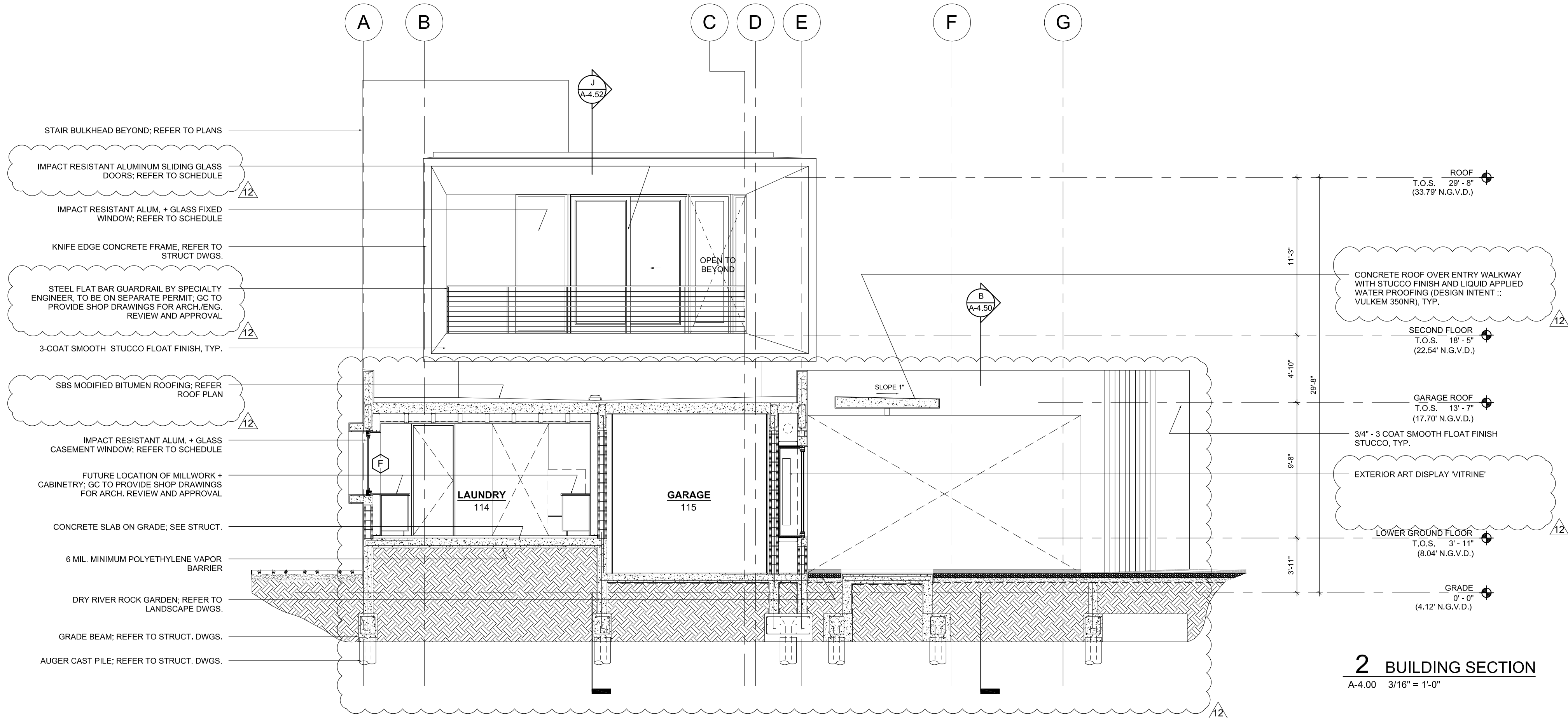
LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

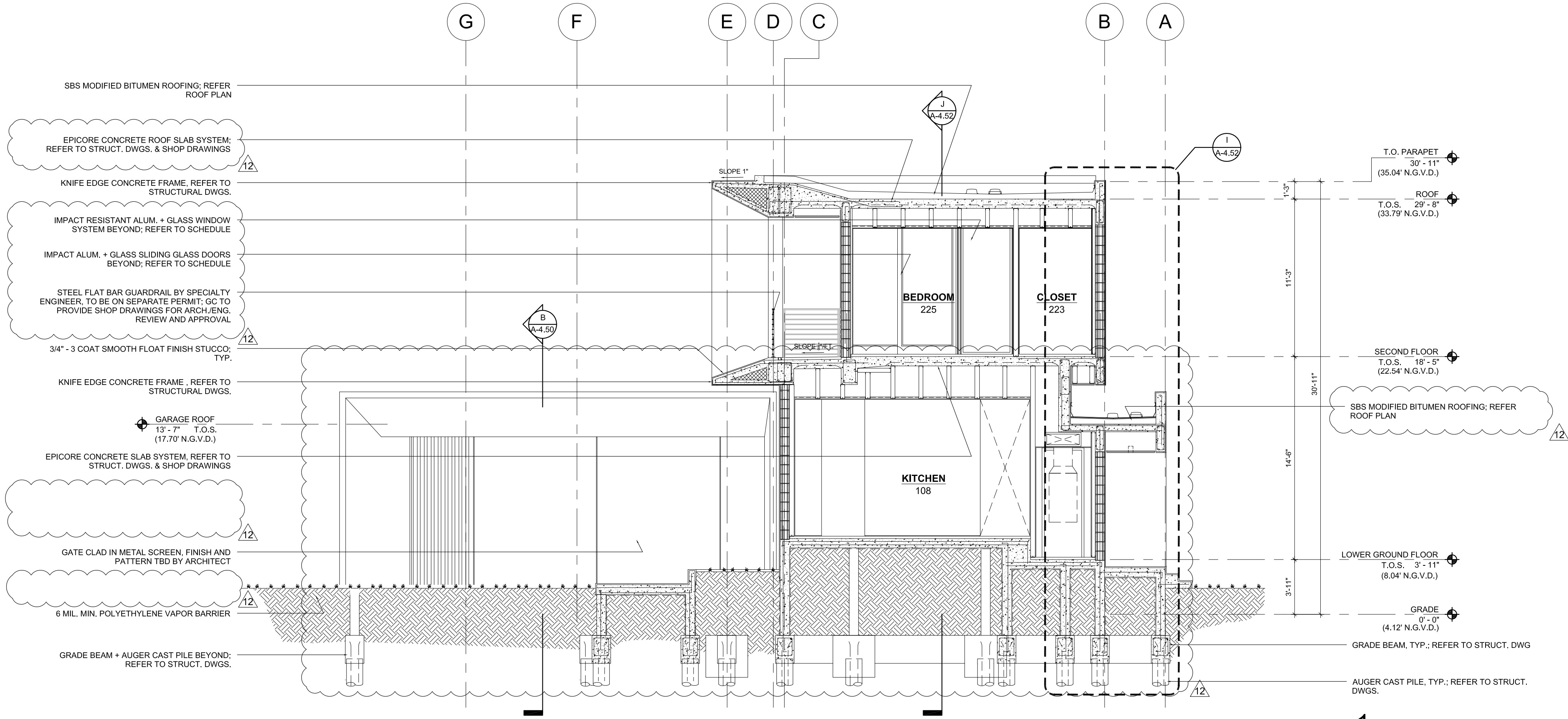
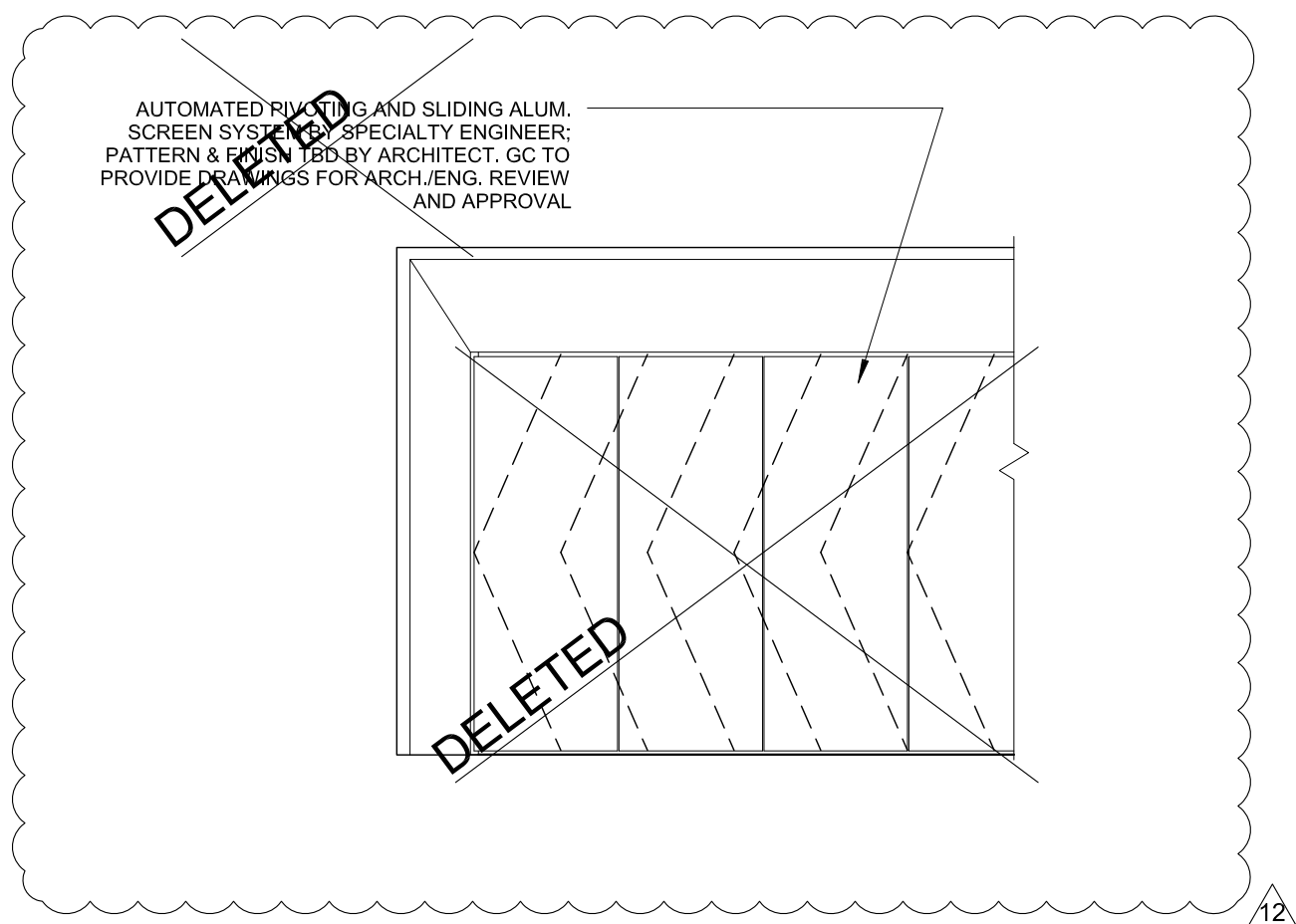
PERMIT SET

BUILDING ELEVATIONS

A-3.01



- NOTES:
1. ALL GROUND LEVEL SLABS TO BE STRUCTURAL SLAB ON GRADE (NO CRAWL SPACES)
 2. GC TO PROVIDE A CERTIFICATE OF COMPLIANCE FOR PRE-CONSTRUCTION SOIL TREATMENT FOR SUBTERRANEAN TERMITES WITH ACCORDANCE TO RULES AND LAWS AS ESTABLISHED BY THE FLORIDA BUILDING DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AND WITH THE FLORIDA BUILDING CODE, RESIDENTIAL 2010 SECTION R409.1.5., TERMITE PROTECTION
 3. USE 6 MIL. MIN. POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED MIN. 6" FOR SLABS ON GRADE



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3	BLDG. DEPT. COMMENTS	05.31.13
11	OWNER REQ. CHANGES	03.31.14
12	OWNER REQ. CHANGES	05.07.14

05/31/13

12002
Project Number

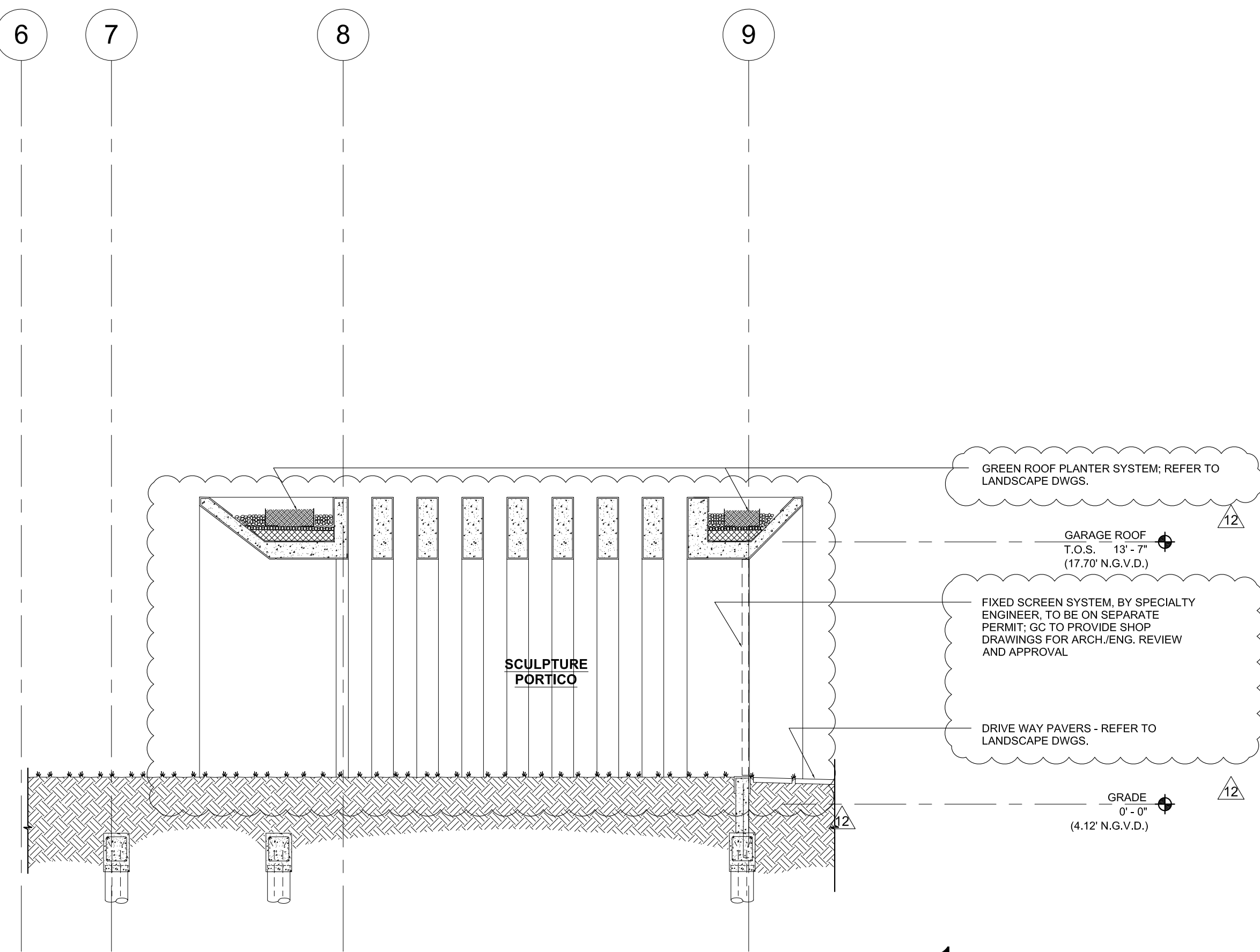
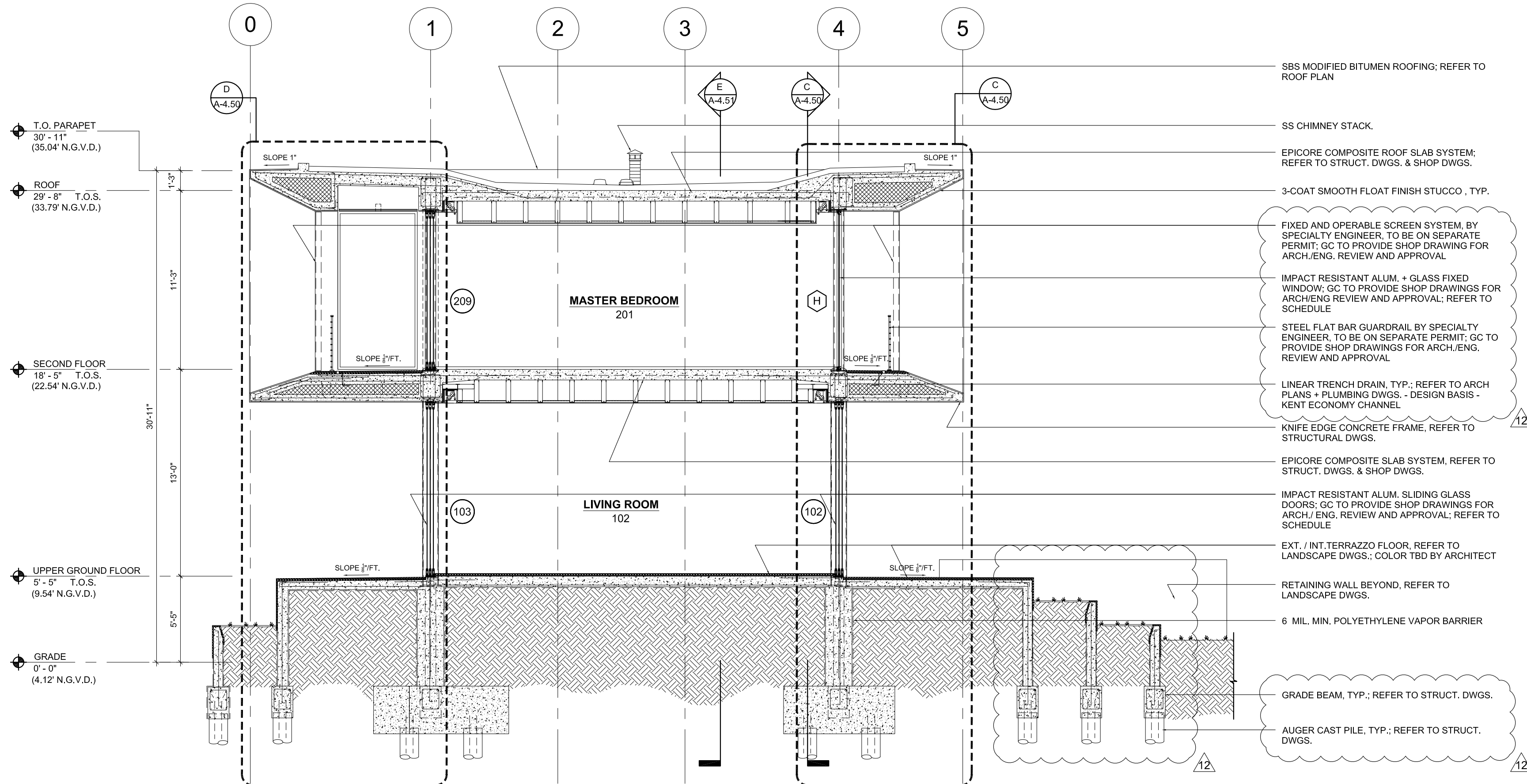
LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

PERMIT SET

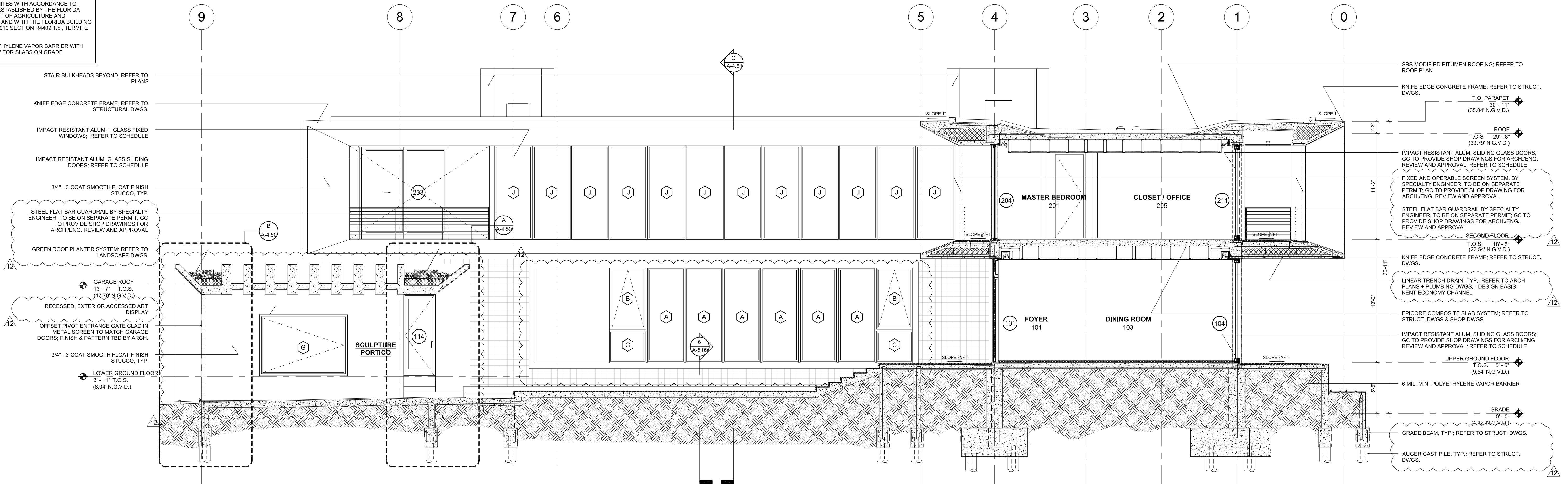
BUILDING SECTIONS

A-4.00



1 BUILDING SECTION
A-4.01 3/16" = 1'-0"

- NOTES:
1. ALL GROUND LEVEL SLABS TO BE STRUCTURAL SLAB ON GRADE (NO CRAWL SPACES)
 2. GC TO PROVIDE A CERTIFICATE OF COMPLIANCE FOR PRE-CONSTRUCTION SOIL TREATMENT FOR SUBTERRANEAN TERMITES WITH ACCORDANCE TO RULES AND LAWS AS ESTABLISHED BY THE FLORIDA BUILDING DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AND WITH THE FLORIDA BUILDING CODE, RESIDENTIAL 2010 SECTION R4409.1.5, TERMITE PROTECTION
 3. USE 6 MIL. MIN. POLYETHYLENE VAPOR BARRIER WITH JOINTS LAPPED MIN. 6" FOR SLABS ON GRADE



2 BUILDING SECTION
A-4.01 3/16" = 1'-0"

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3	BLDG. DEPT. COMMENTS	05.31.13
11	OWNER REQ. CHANGES	03.31.14
12	OWNER REQ. CHANGES	05.07.14

05/31/13
12002
Project Number

LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

PERMIT SET

BUILDING SECTIONS

A-4.01

Exhibit F

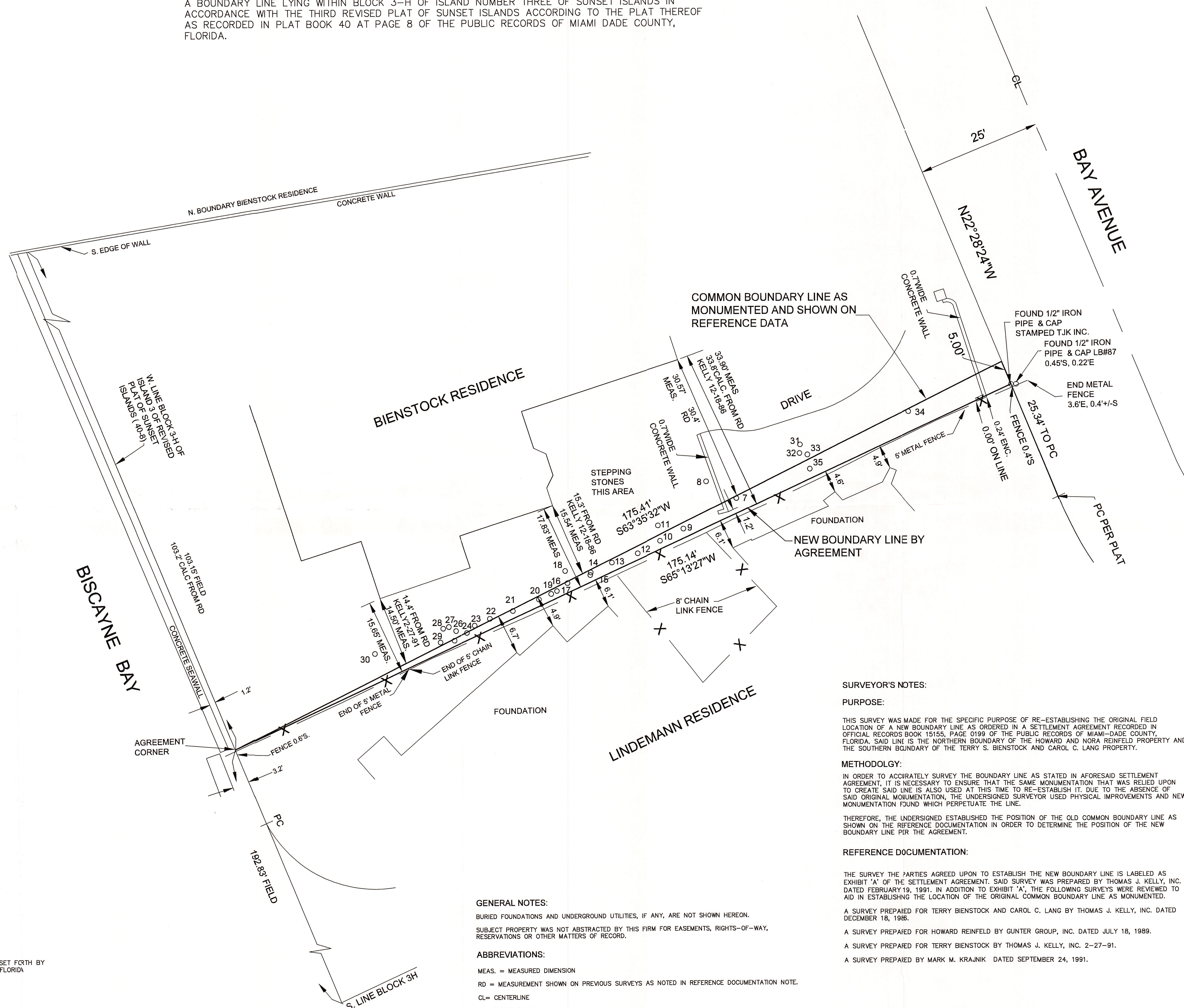
TREE TABLE

1	4" PALM
2	36" BOTTLEBRUSH
3	4" PALM
4	4" PALM
5	4" PALM
6	4" PALM
7	UNKNOWN 3"
8	10" PALM
9	UNKNOWN 3"
10	UNKNOWN 3"
11	14" PALM
12	UNKNOWN 3"
13	UNKNOWN 3"
14	UNKNOWN 3"
15	BANANA
16	BANANA
17	UNKNOWN 3"
18	BANANA
19	BANANA
20	UNKNOWN 36"
21	UNKNOWN 3"
22	UNKNOWN 3"
23	BANANA
24	UNKNOWN 3"
25	BANANA
26	BANANA
27	BANANA
28	BANANA
29	UNKNOWN 3"
30	6" SEAGRAPE
31	4" PALM
32	4" PALM
33	4" PALM
34	4" PALM
35	36" BOTTLEBRUSH

NOTE: X" = TRUNK DIAMETER IN INCHES

DESCRIPTION:

A BOUNDARY LINE LYING WITHIN BLOCK 3-H OF ISLAND NUMBER THREE OF SUNSET ISLANDS IN ACCORDANCE WITH THE THIRD REVISED PLAT OF SUNSET ISLANDS ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 40 AT PAGE 8 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.



SURVEYOR'S NOTES:

PURPOSE:

THIS SURVEY WAS MADE FOR THE SPECIFIC PURPOSE OF RE-ESTABLISHING THE ORIGINAL FIELD LOCATION OF A NEW BOUNDARY LINE AS ORDERED IN A SETTLEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 15155, PAGE 0199 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. SAID LINE IS THE NORTHERN BOUNDARY OF THE HOWARD AND NORA REINFELD PROPERTY AND THE SOUTHERN BOUNDARY OF THE TERRY S. BIENSTOCK AND CAROL C. LANG PROPERTY.

METHODOLOGY:

IN ORDER TO ACCURATELY SURVEY THE BOUNDARY LINE AS STATED IN AFORESAID SETTLEMENT AGREEMENT, IT IS NECESSARY TO ENSURE THAT THE SAME MONUMENTATION THAT WAS RELIED UPON TO CREATE SAID LINE IS ALSO USED AT THIS TIME TO RE-ESTABLISH IT. DUE TO THE ABSENCE OF SAID ORIGINAL MONUMENTATION, THE UNDERSIGNED SURVEYOR USED PHYSICAL IMPROVEMENTS AND NEW MONUMENTATION FOUND WHICH PERPETUATE THE LINE.

THEREFORE, THE UNDERSIGNED ESTABLISHED THE POSITION OF THE OLD COMMON BOUNDARY LINE AS SHOWN ON THE REFERENCE DOCUMENTATION IN ORDER TO DETERMINE THE POSITION OF THE NEW BOUNDARY LINE PER THE AGREEMENT.

REFERENCE DOCUMENTATION:

THE SURVEY THE PARTIES AGREED UPON TO ESTABLISH THE NEW BOUNDARY LINE IS LABELED AS EXHIBIT 'A' OF THE SETTLEMENT AGREEMENT. SAID SURVEY WAS PREPARED BY THOMAS J. KELLY, INC. DATED FEBRUARY 19, 1991. IN ADDITION TO EXHIBIT 'A', THE FOLLOWING SURVEYS WERE REVIEWED TO AID IN ESTABLISHING THE LOCATION OF THE ORIGINAL COMMON BOUNDARY LINE AS MONUMENTED.

A SURVEY PREPARED FOR TERRY BIENSTOCK AND CAROL C. LANG BY THOMAS J. KELLY, INC. DATED DECEMBER 18, 1988.

A SURVEY PREPARED FOR HOWARD REINFELD BY GUNTER GROUP, INC. DATED JULY 18, 1989.

A SURVEY PREPARED FOR TERRY BIENSTOCK BY THOMAS J. KELLY, INC. 2-27-91.

A SURVEY PREPARED BY MARK M. KRAJNICK DATED SEPTEMBER 24, 1991.

GENERAL NOTES:

BURIED FOUNDATIONS AND UNDERGROUND UTILITIES, IF ANY, ARE NOT SHOWN HEREON.

SUBJECT PROPERTY WAS NOT ABSTRACTED BY THIS FIRM FOR EASEMENTS, RIGHTS-OF-WAY, RESERVATIONS OR OTHER MATTERS OF RECORD.

ABBREVIATIONS:

MEAS. = MEASURED DIMENSION

RD = MEASUREMENT SHOWN ON PREVIOUS SURVEYS AS NOTED IN REFERENCE DOCUMENTATION NOTE.

CL= CENTERLINE

PC= POINT OF CURVE

ENC.= ENCROACHMENT

I HEREBY CERTIFY THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027 FLORIDA STATUTES.

DATED THIS 3RD DAY OF OCTOBER, 2014 A.D.

WILLIAM M. LYNCH
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA REGISTRATION NO. 4068
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

SPECIFIC PURPOSE SURVEY FOR BIENSTOCK

PREPARED BY
LYNCH SURVEYING AND MAPPING
3630 S. State Road 7, #40
Miami, Florida 33133
954-604-3235

CERTIFICATE OF AUTHORIZATION NO. 8008

DATE	DRAWN	CHK.
DATE DRAWN		

Exhibit G

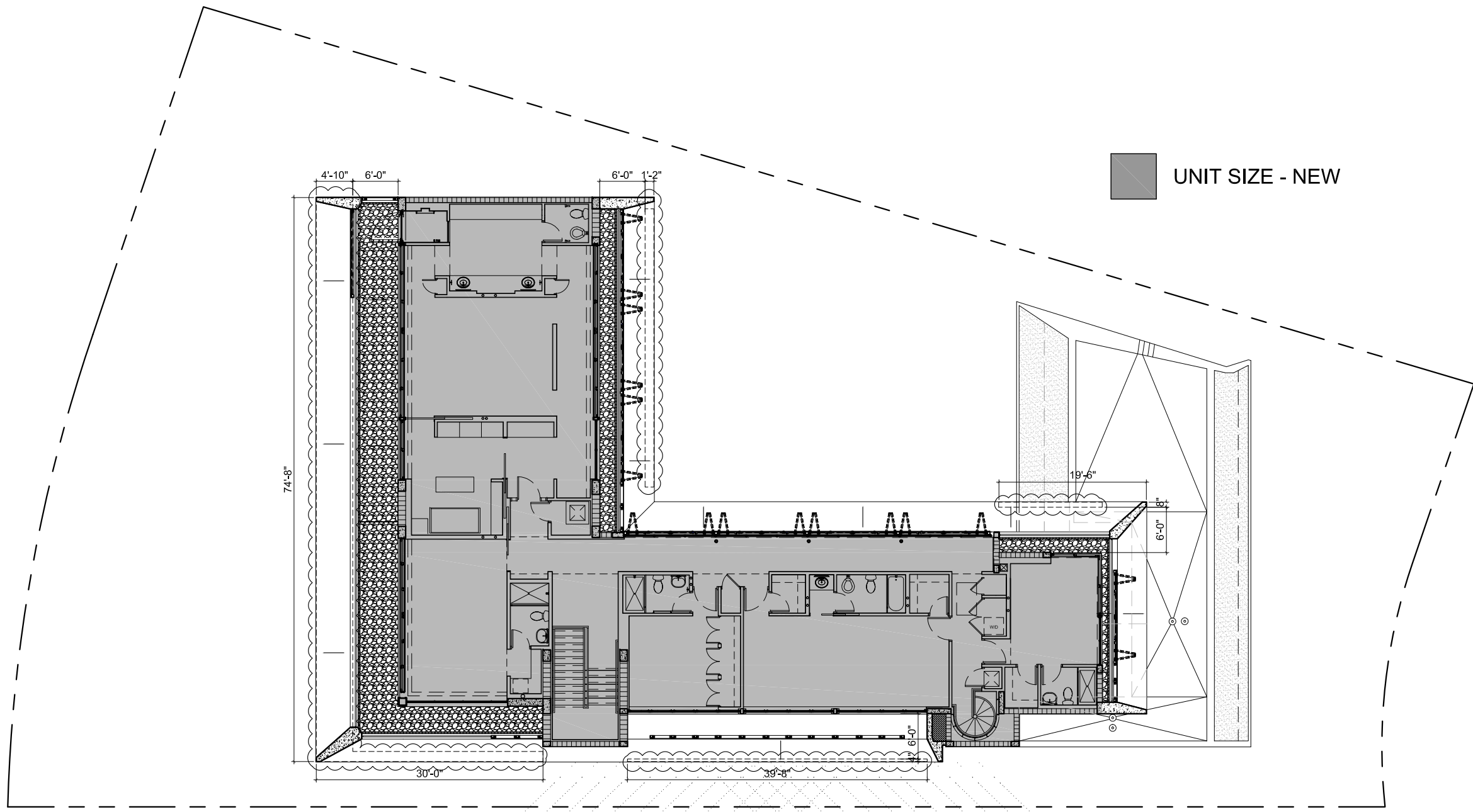
Exhibit H







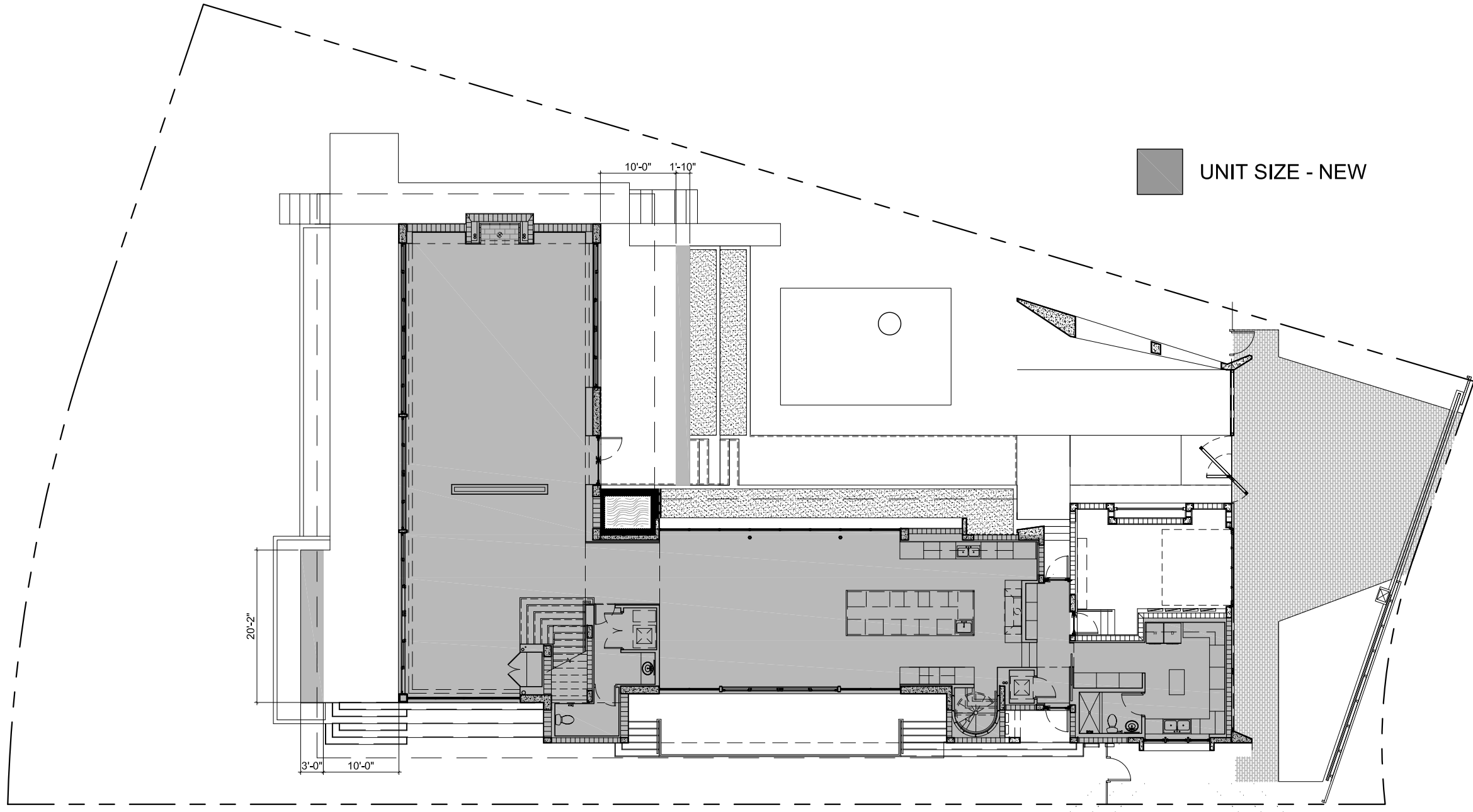
Exhibit I



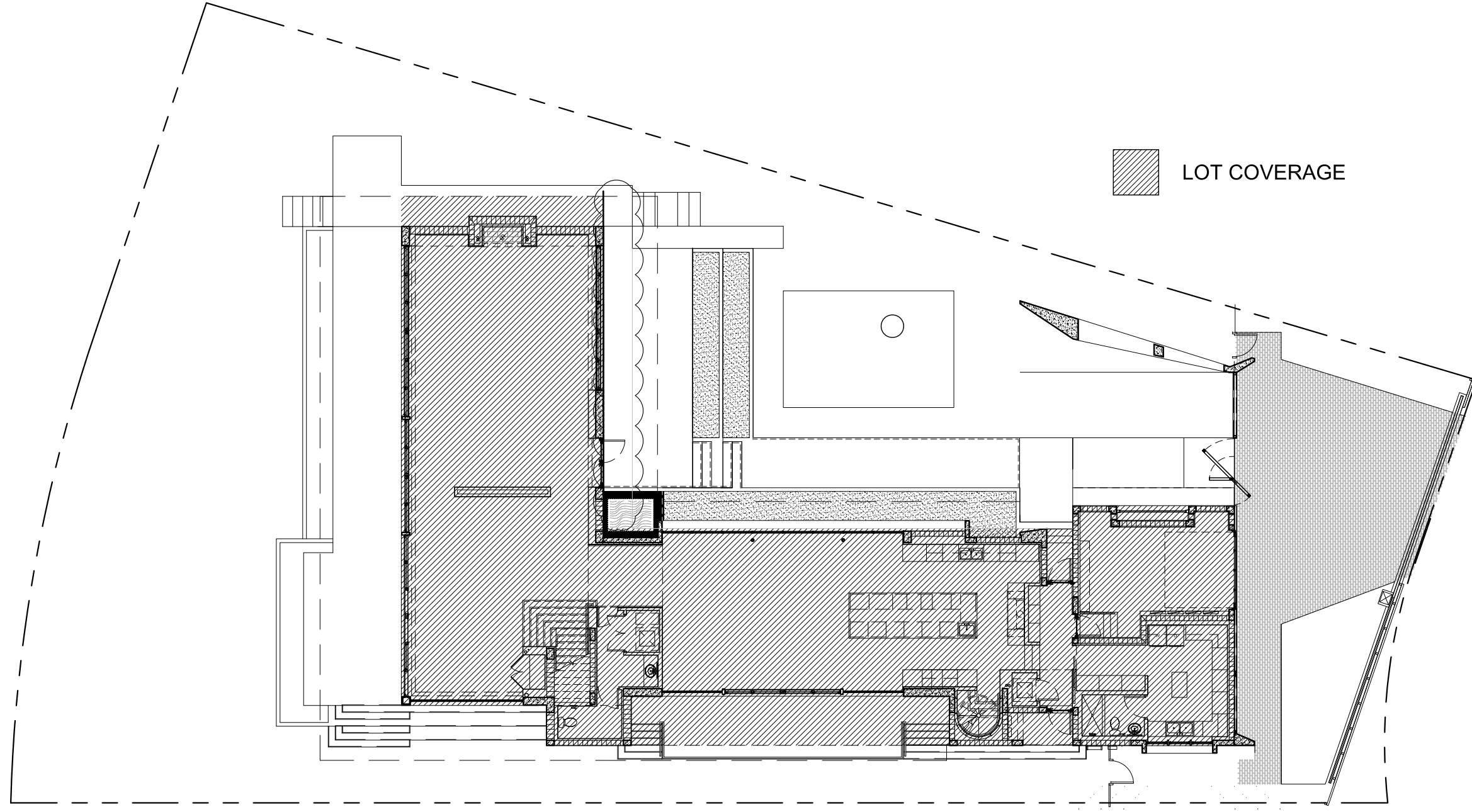
2 UNIT SIZE - SECOND FLOOR PLAN
G-1.03 1/16" = 1'-0"

FLOOR AREA
NEW GROUND FLOOR AREA: 3,600 SQ. FT.
NEW SECOND FLOOR AREA: 3,436 SQ. FT.
NEW ROOF AREA: 0 SQ. FT.
TOTAL F.A.R.: 7,036 SQ. FT.

LOT COVERAGE:
4,311 SQ. FT.
29.05% OF LOT



1 UNIT SIZE - GROUND FLOOR PLAN
G-1.03 1/16" = 1'-0"



3 LOT COVERAGE
G-1.03 1/16" = 1'-0"

PROJECT ZONING DATA - 2300 BAY AVE. MIAMI BEACH, FL. 33140			
GENERAL			
ZONING DISTRICT:	RESIDENTIAL - RS-3		
LOT WIDTH:	64' - 4"		
LOT DEPTH:	178' - 6"		
LOT AREA:	14,838 S.F.		
FLOOR AREA RATIO:	0.5 or 0.7 w/ DRB approval		
ALLOWABLE BUILDING AREA:	7,419 S.F.		
PROPOSED BUILDING AREA:	7,036 S.F. (47.4% Lot)		
EXISTING CONDITIONS			
EXISTING FLOOR AREA:			
FIRST:	3,008 S.F.		
SECOND:	1,875 S.F.		
TOTAL:	4,883 S.F.		
*EXISTING FLOOR AREAS BASED UPON MIAMIDADE.GOV PROPERTY APPRAISER AND SURVEY FURNISHED BY DELTA MAPPING AND SURVEYING			
PROPOSED FLOOR AREA			
	EXISTING TO REMAIN	PROPOSED ADDITION	TOTAL
BASEMENT STORAGE:	N/A	N/A	0 S.F.
LEVEL 1:	0 S.F.	3,600 S.F.	3,600 S.F.
LEVEL 2:	0 S.F.	3,436 S.F.	3,436 S.F.
ROOF DECK:	N/A	0 S.F.	0 S.F.
TOTAL:	0 S.F.	7,036 S.F.	7,036 S.F.
BUILDING HEIGHT			
	REQUIRED	PROVIDED	
MAXIMUM BUILDING HEIGHT:	30' - 0" FLAT ROOF; 33' - 0" PITCHED ROOF or UP TO 50% OF LOT WIDTH (32' - 2")	29' - 8"	
MAXIMUM NUMBER OF STORIES:	2	2	
LOT COVERAGE			
	MAX. ALLOWED	PROVIDED	
LOT COVERAGE RATIO:	30.00%	29.05%	
MINIMUM PARKING			
	MAX. ALLOWED	PROVIDED	
RESIDENTIAL:	2	2	
SETBACKS			
	REQUIRED	PROVIDED	
FRONT:	20' - 0" 30' - 0" FOR SECOND STORY STRUCTURES	20' - 0"	
SIDE INTERIOR:	8' - 1" NORTH SIDE; 8' - 0" SOUTH SIDE THE SUM OF WHICH EQUAL MORE THAN 25% OF THE LOT WIDTH	8' - 1" NORTH SIDE; 8' - 0" SOUTH SIDE	
REAR:	26' - 9" 15% OF THE LOT DEPTH	26' - 9"	



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NO	DESCRIPTION	DATE
12	OWNER REQ. CHANGES	05.07.14
16A	BLDG. DEPT. COMMENTS	06.25.15

05/31/13
12002
Project Number

LINDEMANN RESIDENCE

2300 BAY AVENUE MIAMI BEACH, FL 33140

PERMIT SET

ZONING & BUILDING
DATA

G-1.03

Exhibit J



Exhibit K





Exhibit L



