BEILINSON GOMEZ



409-41115THSTREET, MIAMI BEACH, FL

VARIANCE FROM SECTION 142-1302(1)(A) OF THE CODE REQUIRING A MINIMUM OF 30 SEATS FOR THE SALE AND CONSUMPTION OF BEER AND WINE ON THE PREMISES

TACO RICO MIAMI BEACH, FL

DATE REVISION

DWG. TITLE

COVER SHEET

SCALE

VARIES

PROJECT NO.

2016-08

DATE

05-05-2016

SHEET NUMBER

A-000

F.S.

FT.

FTG.

FUT.

F.V.

F.V.C.

FURR.

FULL SIZE

FOOTING

**FURRING** 

**FUTURE** 

FOOT OR FEET

FIELD VERIFY

FIRE VALVE CABINET

ABBREVIATIONS

RISER

**RADIUS** 

ROOF

REGISTER

REQUIRED

RESILIENT

REDWOOD

ROOM

SOUTH

BLANKETS

**SCHEDULE** 

**SECTION** 

SHOWER

SIMILAR

SQUARE

STATION

STEEL

TREAD

STANDARD

STORAGE

SUSPEND

STRUCTURAL

SYMMETRICAL

**TOWEL BAR** 

**TELEPHONE** 

**TEMPERED** 

**TELEVISION** 

**TYPICAL** 

TOP OF WALL

TOP OF BEAM

TOP OF SLAB

UNFINISHED

**URINAL** 

TOP OF CONCRETE

THICK

**TOILET** 

TOP OF CURB

**TONGUE AND GROOVE** 

**TOILET PAPER DISPENSER** 

**UNLESS OTHERWISE NOTED** 

**UNDERWRITERS LAB** 

**VERIFY IN FIELD** 

VAPOR BARRIER

WATER CLOSET

WATERPROOF

VERTICAL

VINYL TILE

**VESTIBULE** 

WEST

WITH

WEIGHT

WOOD

WITHOUT

WAINSCOT

TOP OF PAVEMENT

DISPENSER

RECEPTACLE

SERVICE SINK

**SPECIFICATION** 

STAINLESS STEEL

SHEET

SHELF

SOAP DISPENSER

SANITARY NAPKIN

SANITARY NAPKIN

SOLID CORE

REINFORCED

**ROUGH OPENING** 

RAIN WATER LEADER

SOUND ATTENUATION FIRE

SEAT COVER DISPENSER

**ROOF DRAIN** 

**REFERENCE** 

REFLECTED

REFRIGERATOR

RAD.

REFL.

REFR.

**RGTR** 

**REINF** 

REQ.

RESIL.

RM.

R.O.

RWD.

R.W.L

SABF

S.C.

S.D.

SH.

SHR.

SHT.

SIM.

S.N.D.

S.N.R.

SPEC

SQ.

S.ST.

S.SK.

STA.

STD.

STL.

STOR

STRL.

SUSP.

SYM.

TRD.

T.B.

T.C.

TEL.

TEMP

T. & G.

THK.

TOIL.

T.P.D.

T.V.

T.W.

TYP.

T.O.B.

T.O.C.

T.O.S.

UNF.

UR.

VERT.

VEST.

V.T.

V.B.

WT.

W.C.

W/O

WP.

**QUARRY TILE** 

WSCT.

W/

U.O.N.

T.P.

SECT.

S.C.D.

SCHED.

RF.

MATERIAL LEGENI

insulation

rigid

wood

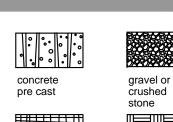
blocking

insulation concrete blanket pre cast

large scale

marble

blocking

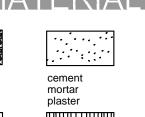


earth

large scale

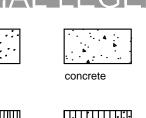
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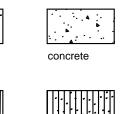
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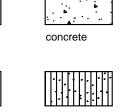


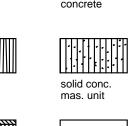
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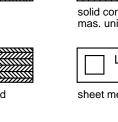
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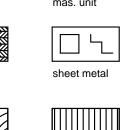


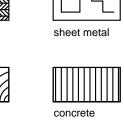


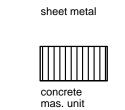




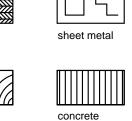


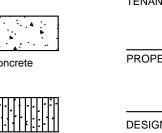


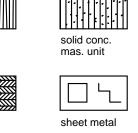


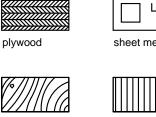




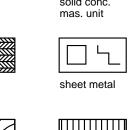


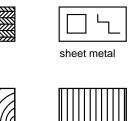




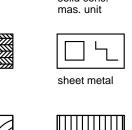


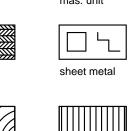
SYMBOL LEGENI

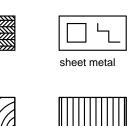


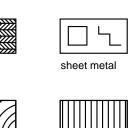




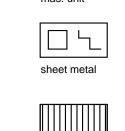


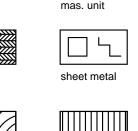


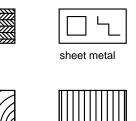


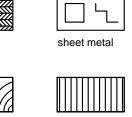


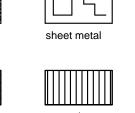


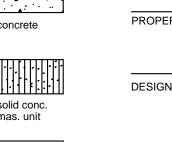


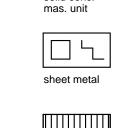


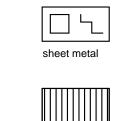






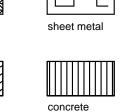








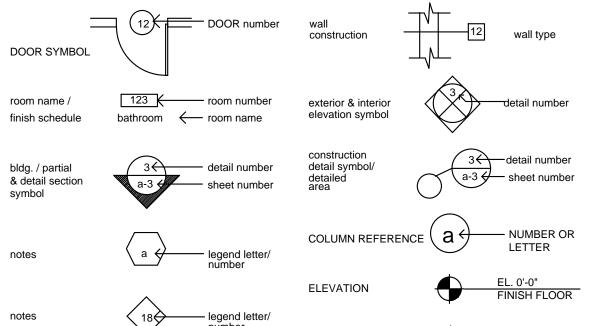
sheet metal	





CONSULTING ENGINEERING PE 12151 SW 128th Court Suite 104 FAX. (305) 969-9453 MEP ENGINEER: CREDO CONSULTING ENGINEERS IRINA GOLDBERG, P.E. 800 EAST BROWARD BLVD. SUITE 601 FORT LAUDERDALE,FL 33301

APPLICABLE CODES



CITY OF MIAMI, FLORIDA CODE OF ORDINANCE GOVERNING ZONING CODE: FLORIDA BUILDING CODE 2010

TEL. 954-763-2246 FAX. 954-763-2247

TACO RICO LLC XXXX LANE

1261 20 STREET

MIAMI BEACH, FL 33138

TEL. (305) XXX-XXXX

1500 WASHINGTON, LLC

MIAMI BEACH, FL 33139

PROJECT TEAM

**BUILDING CODE:** EXISTING BUILDING: FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2010 STRUCTURAL: FLORIDA BUILDING CODE 2010 PLUMBING:

MECHANICAL: FLORIDA BUILDING CODE 2010 - MECHANICAL ELECTRICAL FLORIDA BUILDING CODE - 2010 EDITION FLORIDA BUILDING CODE 2010 - ACCESIBILITY

ACCESSIBILITY: FIRE PROTECTION: FLORIDA FIRE PREVENTION CODE - 2010 EDITION

FLORIDA BUILDING CODE 2010 - PLUMBING

A-000

A-001

SURV.

PH-001

PH-002

PH-003

D-001

A-002

A-003

EXIST-001

COVER SHEET

SITE PHOTOS

SURVEY

**GENERAL PROJECT INFORMATION** 

LOCATION AND SITE PHOTOS

ADJACENT BUILDING PHOTOS

DEMO PLAN & DETAILS

ROOF PLAN & SECTION

**EXISTING PLAN AND ELEVATION** 

PROPOSED FLOOR PLAN & ELEVATION

DRAWING INDEX

**ARCHITECTURAL** 

## PROJECT INFORMATION

DRAWING REVISION

VARIANCE FROM SECTION 142-1302(1)(A) OF THE CODE REQUIRING A MINIMUM OF 30 SEATS FOR THE SALE AND CONSUMPTION OF BEER AND WINE ON THE PREMISES

## LEGAL DESCRIPTION

REVISION NUMBER

LOT 1 BLK 58, OF PINE RIDGE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 155. AT PAGE 2. OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING SUMMARY

409-411 15TH STREET. MIAMI BEACH, FL. 33139 PROJECT ADDRESS: FOLIO: 02-3234-006-0080 ZONING DISTRICT: CD-2 COMMERCIAL PRESENT OCCUPANCY: VACANT SHELL PROPOSED OCCUPANCY: MERCANTILE GROUND FLOOR SQ. FT: 1,081 SQUARE FEET EXISTING / PROPOSED AREA....

OCCUPANCY CLASIFICATION

**ALTERATION CLASSIFICATION** 

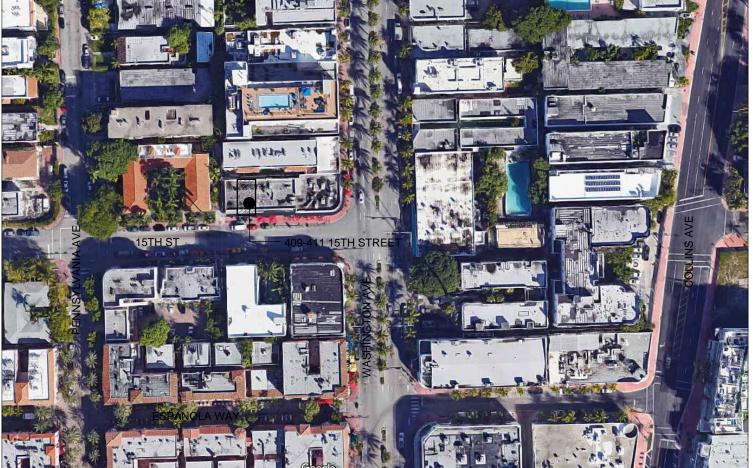
ALTERATION LEVEL 2 - (AS PER FBC 2014 CHAPTER 5)

ASSEMBLY - GROUP -A2

OCCUPANT INFORMATION THE SHELL SPACE WILL BE OCCUPIED WITH ONE RESTAURANT WITH AN OCCUPANCY LOAD OF 47 OCCUPANTS. AUTOMATIC SPRINKLER SYSTEM

THIS BUILDING IS PROTECTED WITH A FIRE SPRINKLER SYSTEM. NOT REQUIRED PER FBC: BUILDING 907.2.7 THIS BUILDING IS PROTECTED BY A FIRE ALARM SYSTEM. PER FFPA 5TH EDITION (& NFPA 101), MERCANTILE OCCUPANCY IS NOT CLASS A AS IT LESS THAN 30,000FT2

**LOCATION MAP** 



1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL 23. CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER TO REVIEW, DESIGN, AND SEAL

3. ALL MATERIALS SHALL CONFORM WITH ALL PREVAILING CODES. MANUFACTURERS SHALL PROVIDE DADE COUNTY APPROVAL CODES FOR ALL REQUIRED ASSEMBLIES.

4. CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL AT HIS NOTIFY THE OWNER'S REPRESENTATIVE, CONSTRUCTION MANAGER, AND THE ARCHITECT OWN COST REPAIR OR REPLACE ALL DAMAGED DURING REPAIR FOR THE PERIOD OF THE GUARANTEE.

VERIFICATION OF LOCATIONS AND DIMENSIONS OF ALL PROJECT REQUIREMENTS. 6. SUBMIT MINIMUM 5 SETS SHOP DWGS. FOR ARCHITECTS REVIEW OF ALL ITEM REQUIRING FABRICATION. DO NOT FABRICATE UNTIL REVIEWED.

## 7. ALL MATERIALS AND FIXTURES MUST BE BRAND NEW.

8. INFORMATION SHOWN ON THE DWGS. AS TO THE LOCATION OF THE EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE A/E. HOWEVER, THIS INFORMATION IS NOT GARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS OR MODIFICATIONS TO THE SYSTEMS NOT SHOWN. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF ANY DAMAGE TO UTILIIES DURING CONSTRUCTION. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED AND THE PROJECT REPRESENTATIVE NOTIFIED OF ANY CONFLICT OR DISCREPANCIES WHICH MAY OCCUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHICH CONDITIONS WILL NEED SHORING DURING EXCAVATION AND SHALL PROVIDE SUCH SHORING AND SUPPORT AS REQUIRED.

9. NOT USED.

10. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.

11. EXISTING PAVEMENT, SIDEWALKS, SOD, CURB OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED DURING CONSTRUCTION PERFORMED UNDER THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL

13. NOT USED.

14. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.

5. THIRD PARTY BENEFICIARIES: NOTHING CONTAINED IN THESE DRAWINGS SHALL CREATE A CONTRACTUAL RELATIONSHIP WITH OR A CAUSE OF ACTION IN FAVOR OF A THIRD PARTY AGAINST EITHER THE CLIENT OR THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL'S SERVICES UNDER WHICH THESE DRAWINGS WERE PREPARED, ARE BEING PERFORMED SOLELY FOR THE CLIENT'S BENEFIT, AND NO OTHER ENTITY SHALL HAVE ANY CLAIM AGAINST THE DESIGN PROFESSIONAL BECAUSE OF THESE DRAWINGS OR THE PERFORMANCE OR NONPERFORMANCE OF SERVICES HEREUNDER.

16. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWING SCALE.

17. CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR HAVING COMPLETE KNOWLEDGE OF ALL CONSTRUCTION DOCUMENTS AND THE RELEVANCE TO THE WORK FAILURE TO BE ACQUAINTED WITH THIS KNOWLEDGE DOES NOT RELIEVE RESPONSIBILITY FOR PERFORMING ALL WORK PROPERLY, ADDITIONAL COMPENSATION SHALL NOT BE ALLOWED DUE TO THE FAILURE TO BECOME FAMILIAR WITH THE ENTIRE CONSTRUCTION DOCUMENT PACKAGE.

18. NOT USED.

22. NOT USED.

9. CONTRACTOR SHALL INSPECT ALL EXISTING FIRE PROOFING OF STRUCTURAL ELEMENTS, DEMISING WALLS, AND FLOOR CEILING ASSEMBLIES WHICH ARE REQUIRED TO BE FIRE PROTECTED BY GOVERNING CODES, CONTRACTOR SHALL PATCH AND REPAIR ALL DAMAGED FIREPROOFING. CONTRACTOR SHALL MAINTAIN THE EXISTING FIRE RATINGS OF ALL ELEMENTS AND SHALL PATCH AND REPAIR ANY DAMAGED OR REMOVED ELEMENTS AS REQUIRED TO MAINTAIN ALL FIRE RATINGS.

20. CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL TRADE PERMITS AND OTHER PERMITS AS MAY REQUIRED BY THE JURISDICTIONS HAVING AUTHORITY OVER THE PROJECT.

21. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING ANY REVISIONS TO THE APPROVED PERMIT DOCUMENTS AND PROCESSING THE APPROVAL OF THE REVISED DOCUMENTS WITH THE JURISDICTIONS HAVING GENERAL

ALL CHANGES NECESSARY TO THE BUILDING STRUCTURE FOR THE INSTALLATION OF OR REVISION OF ALL CONTRACTOR INSTALLED MECHANICAL UNITS OR OTHER CONTRACTOR 2. ALL WORK TO BE DONE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO THE CITY OF MIAMI INSTALLED ELEMENTS SUPPORTED BY OR ANCHORED TO THE EXISTING STRUCTURE THE ENGINEER SHALL SUBSTANTIATE THE DESIGN MODIFICATIONS NECESSARY TO MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING STRUCTURE.

24. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR SHALL IMMEDIATELY OF RECORD. IN WRITING OF THE CONCERNS AND/OR SUSPICIONS.

5. COORDINATE ALL STRUCTURAL WORK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DWG'S. FOR 25. A WEATHER RESISTANT JOB SITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL BE PROVIDE PRODUCT USED, IDENTIFY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED, TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

BEILLINSON , , , , , GOME,Z,

**ARCHITECTURE AAC001062** 

JOSE L. GOMEZ AR0015416

8101 BISCAYNE BLVD.

MIAMI FL 33138-4664

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(305) 551.1740

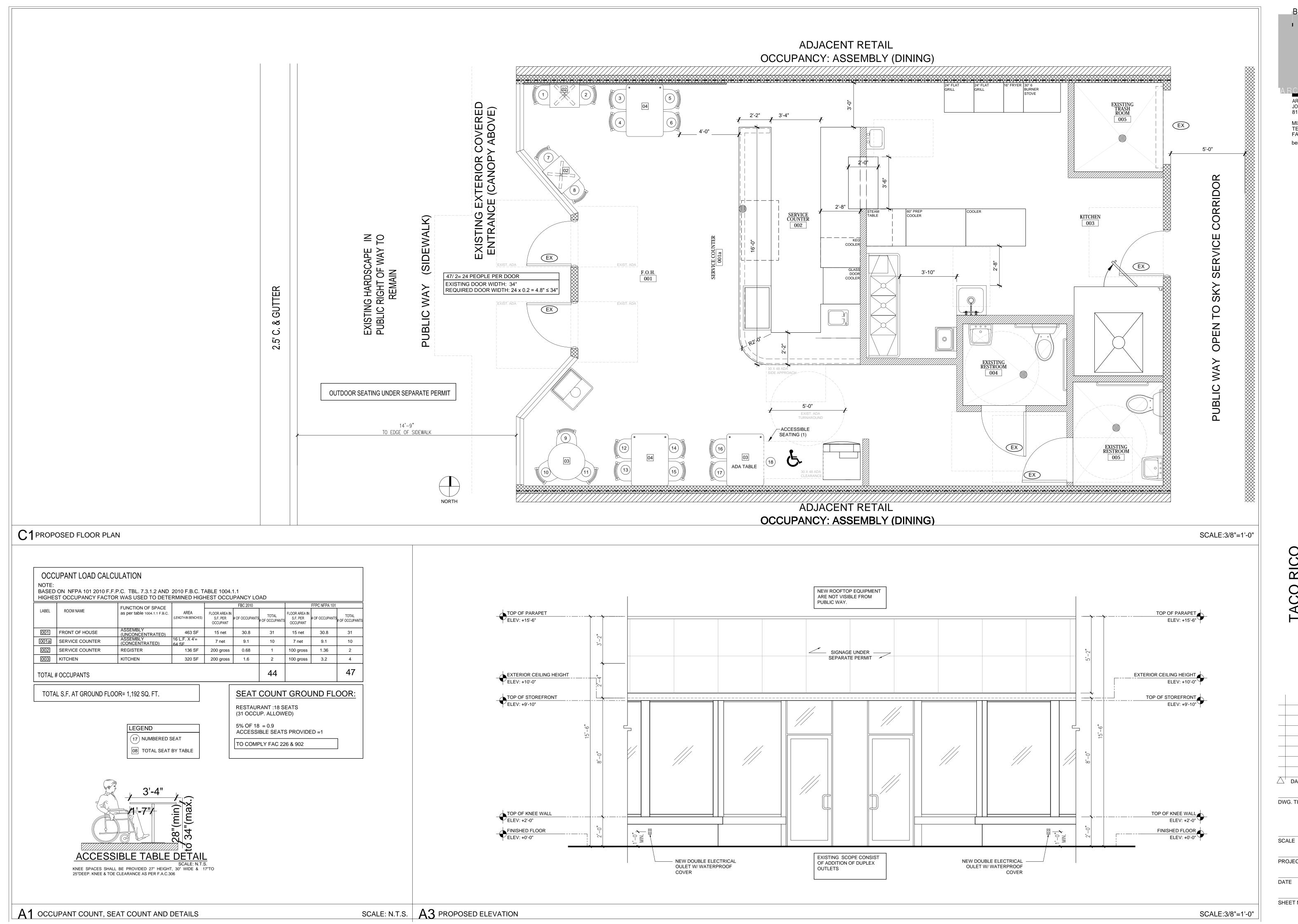
SUITE 309

REVISION

DWG. TITLE PROJEC<sup>\*</sup> INFORMATIOI SCALE **VARIES** PROJECT NO.

05-05-201 SHEET NUMBER

DATE



ARCHITECTURE AAC001062
JOSE L. GOMEZ AR0015416
8101 BISCAYNE BLVD.
SUITE 309
MIAMI FL. (305) 559.1250
FAX (305) 551.1740
beilinsonarchitectspa.com

TACO RICO

DATE REVISION

DWG. TITLE

FLOORPLAN & ELEVATION

VARIES
CT NO.

PROJECT NO.

2016-06

DATE

05.05.16

SHEET NUMBER

\$\Delta\_002\$

