




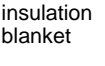

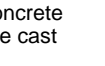
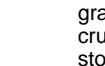
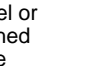





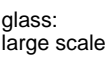

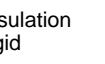
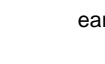



DRAWING INDEX

ARCHITECTS *pa*

				
insulation blanket	concrete pre cast	gravel or crushed stone	cement mortar plaster	concrete
				
glass: large scale	insulation rigid	earth	tile	solid conc. mas. unit
				
marble	steel small scale	steel large scale	plywood	sheet metal
				
wood blocking continuous	wood blocking intermittent	brick large scale	wood finished	concrete mas. unit

APPLICABLE CODES

GOVERNING ZONING CODE:	CITY OF MIAMI, FLORIDA CODE OF ORDINANCE
BUILDING CODE:	FLORIDA BUILDING CODE 2010
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2010
STRUCTURAL:	FLORIDA BUILDING CODE 2010
PLUMBING:	FLORIDA BUILDING CODE 2010 - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2010 - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2010 EDITION
ACCESSIBILITY:	FLORIDA BUILDING CODE 2010 - ACCESSIBILITY
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2010 EDITION

GENERAL NOTES

1. ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BID.
2. ALL WORK TO BE DONE IN COMPLIANCE WITH THE REQUIREMENTS OF AND ACCEPTABLE TO THE CITY OF MIAMI BUILDING DEPARTMENT
3. ALL MATERIALS SHALL CONFORM WITH ALL PREVAILING CODES. MANUFACTURERS SHALL PROVIDE DATE CODE/ APPROVAL CODES FOR ALL REQUIRED ASSEMBLIES.
4. CONTRACTOR SHALL GUARANTEE IN WRITING ALL MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL AT HIS/ HER OWN COST REPAIR OR REPLACE ALL DAMAGED DURING REPAIR FOR THE PERIOD OF THE GUARANTEE.

5. COORDINATE ALL STRUCTURAL WORK WITH ARCHITECTURAL, MECHANICAL AND ELECTRICAL DWG/S. FOR VERIFICATION OF LOCATIONS AND DIMENSIONS OF ALL PROJECT REQUIREMENTS.
6. SUBMIT MINIMUM 5 SETS SHOP DWGS. FOR ARCHITECTS REVIEW OF ALL ITEM REQUIRING FABRICATION. DO NOT FABRICATE UNTIL REVIEWED.
7. ALL MATERIALS AND FIXTURES MUST BE BRAND NEW.
8. INFORMATION SHOWN ON THE DWGS. AS TO THE LOCATION OF THE EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE DATA AVAILABLE TO THE A/E. HOWEVER, THIS INFORMATION IS NOT GUARANTEED. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION, CHARACTER AND DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL ASSIST THE UTILITY COMPANIES, BY EVERY MEANS POSSIBLE, TO DETERMINE SAID LOCATIONS AND THE LOCATIONS OF RECENT ADDITIONS OR MODIFICATIONS TO THE SYSTEMS. NOT SHOWN. EXTREME CAUTION SHALL BE EXERCISED BY THE CONTRACTOR TO ELIMINATE ANY POSSIBILITY OF ANY DAMAGE TO EXISTING UTILITIES. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED AND THE PROJECT REPRESENTATIVE NOTIFIED OF ANY CONFLICT OR DISCREPANCIES WHICH MAY OCCUR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING WHICH CONDITIONS WILL NEED SHORING DURING EXCAVATION AND SHALL PROVIDE SUCH SHORING AND SUPPORT AS REQUIRED.
9. NOT USED.
10. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
11. EXISTING PAVEMENT, SIDEWALKS, SOD, CURB OR OTHER EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED DURING CONSTRUCTION PERFORMED BY THE CONTRACTOR SHALL BE REPAIRED TO ORIGINAL PRE-CONSTRUCTION CONDITION AT NO ADDITIONAL COST TO OWNER.

12. NOT USED.

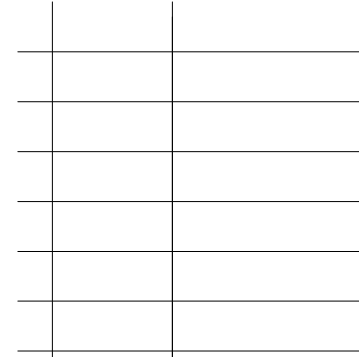
13. NOT USED.

14. ALL EXISTING UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.

15. THIRD PARTY BENEFICIARIES: NOTHING CONTAINED IN THESE DRAWINGS SHALL CREATE A CONTRACTUAL RELATIONSHIP OUT OR A LIABILITY IN FAVOR OF A THIRD PARTY AGAINST EITHER THE CLIENT OR THE DESIGN PROFESSIONAL. THE DESIGN PROFESSIONAL'S SERVICES UNDER WHICH THESE DRAWINGS WERE PREPARED, ARE BEING PERFORMED SOLELY FOR THE CLIENT'S BENEFIT, AND NO OTHER ENTITY SHALL HAVE ANY CLAIM AGAINST THE DESIGN PROFESSIONAL BECAUSE OF THESE DRAWINGS OR THE PERFORMANCE OR NONPERFORMANCE OF SERVICES HEREUNDER.

ALTERATION CLASSIFICATION

LOCATION MAP

DWG. TITLE

SCALE

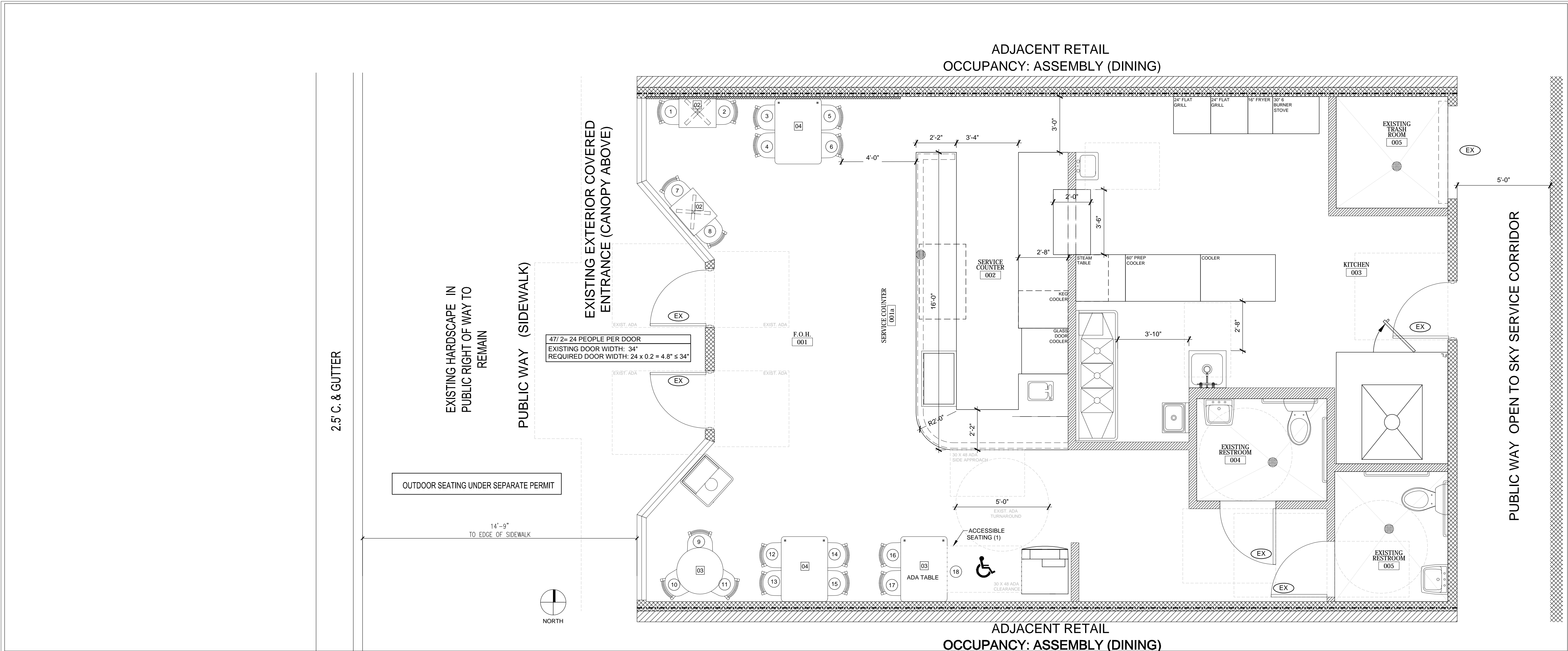
VARIES

2016-08

05-2016

SHEET NUMBER

A-001



C1 PROPOSED FLOOR PLAN

SCALE: $3/8"=1'-0"$

OCCUPANT LOAD CALCULATION									
NOTE: BASED ON NFPA 101 2010 F.F.P.C. TBL. 7.3.1.2 AND 2010 F.B.C. TABLE 1004.1.1 HIGHEST OCCUPANCY FACTOR WAS USED TO DETERMINED HIGHEST OCCUPANCY LOAD									
LABEL	ROOM NAME	FUNCTION OF SPACE as per table 1004.1.1 F.B.C.	AREA (LENGTH IN BENCHES)	FBC 2010			FFPC NFPA 101		
				FLOOR AREA IN S.F. PER OCCUPANT	# OF OCCUPANTS	TOTAL OF OCCUPANTS	FLOOR AREA IN S.F. PER OCCUPANT	# OF OCCUPANTS	TOTAL OF OCCUPANTS
001	FRONT OF HOUSE	UNCONCENTRATED) ASSEMBLY	463 SF	15 net	30.8	31	15 net	30.8	31
001a	SERVICE COUNTER	CONCENTRATED)	16 L.F. X 4 = 64 SF	7 net	9.1	10	7 net	9.1	10
002	SERVICE COUNTER	REGISTER	136 SF	200 gross	0.68	1	100 gross	1.36	2
003	KITCHEN	KITCHEN	320 SF	200 gross	1.6	2	100 gross	3.2	4
TOTAL # OCCUPANTS						44	47		

TOTAL S.F. AT GROUND FLOOR= 1,192 SQ. FT.

SEAT COUNTER GROUND FLOOR:

RESTAURANT :18 SEATS
(31 OCCUP. ALLOWED)

5% OF 18 = .99
ACCESSIBLE SEATS PROVIDED = 1

TO COMPLY FAC 226 & 902

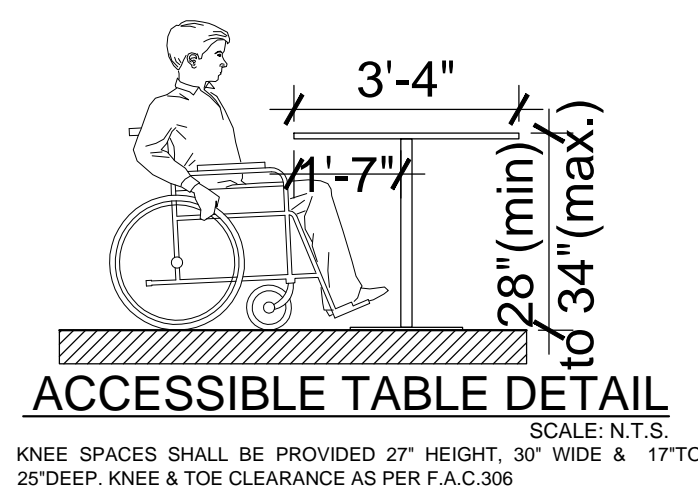
LEGEND

17

 NUMBERED SEAT

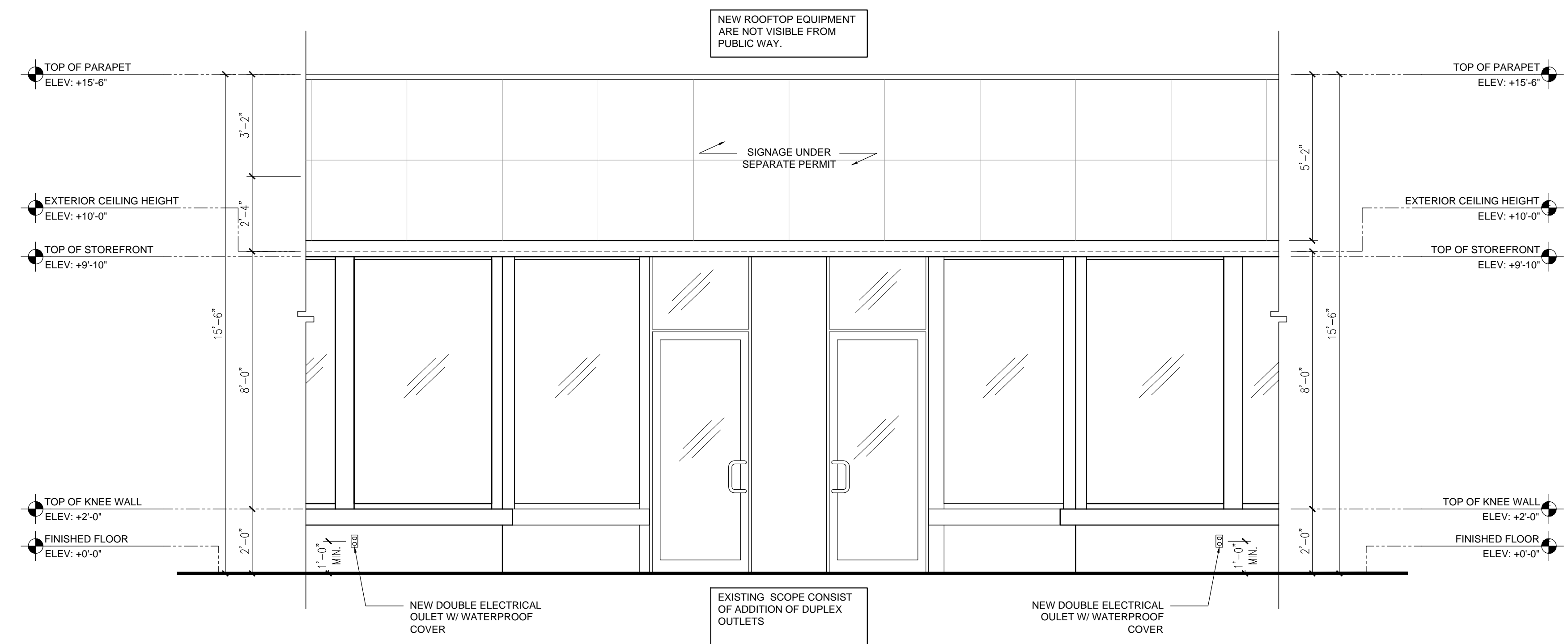
08

 TOTAL SEAT BY TABLE



A1 OCCUPANT COUNT, SEAT COUNT AND DETAILS

SCALE: N.T.S.



A3 PROPOSED ELEVATION

SCALE: $3/8" = 1'-0"$

[illegible]

PROJECT TITLE	<i>FLOORPLAN & ELEVATION</i>
SCALE	<i>VARIES</i>
PROJECT NO.	<i>2016-08</i>
DATE	<i>05.05.16</i>
SHEET NUMBER	

A circular compass rose with a vertical line pointing upwards, labeled "NORTH" below it.

DATE	REVISION	
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G. TITLE

ROOF PLAN AND SECTION

SALE	
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3/16"= 1'-0"

PROJECT NO.

2016-08

05.05.16

A-003 ■