

Nevarez Residence

Equipment Relocation/ Site Improvements

901 W 43rd Ct,
Miami Beach, FL 33140


REINES & STRAZ, LLC
975 41st Street, Suite 407
Miami Beach, Florida 33140
Tel: 305.397.8779
Fax: 305.675.8502
www.reines-straz.com
AA26002849

The Copyrights to all designs and drawings are the property of Reines & Straz, LLC. Reproduction or use for any purpose other than that authorized by Reines & Straz, LLC is forbidden.

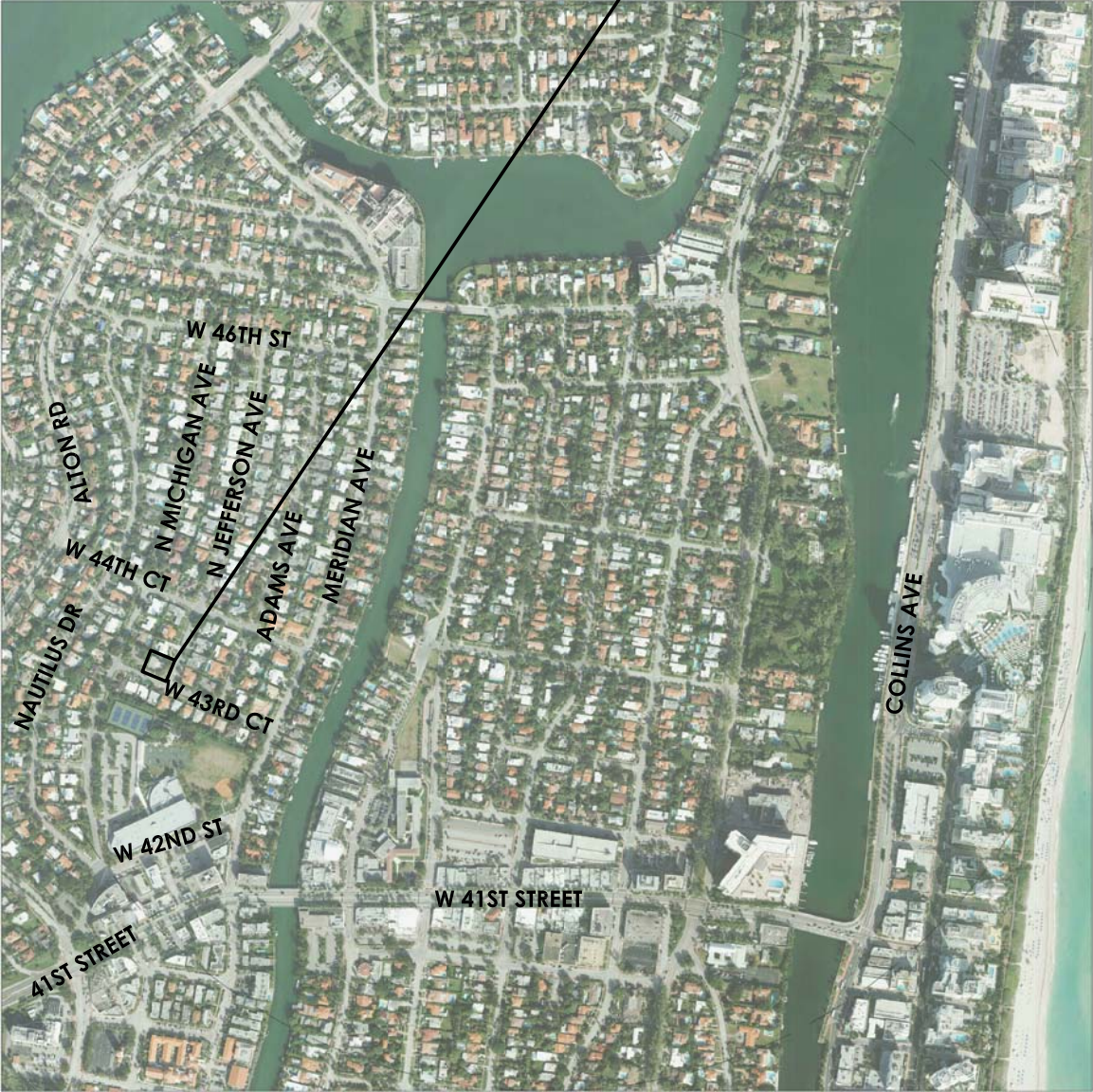


BOARD OF ADJUSTMENTS FINAL SUBMITTAL 05/25/2016

LOCATION MAP



PROJECT LOCATION



- SHEET LIST**
- COVER SHEET
 - A1.0 OVERALL SITE PLAN
 - A1A SITE PLAN SETBACK STUDY
 - A2.0 OPEN SPACE PLANS
 - A3.0 ENLARGED PLANS
 - A4.0 EXIST. BUILDING PHOTOS
 - A4A EXIST. ELEVATIONS
 - A4B EXIST. ELEVATIONS
 - A5.0 PROPOSED ELEVATIONS
 - A6.0 PHOTOS
 - A7.0 PHOTOS
 - LA-1 EXIST. TREE DISPOSITION PLAN
 - LA-2 EXIST. TREE DISPOSITION LIST
 - LA-3 PROP. PLANTING PLAN
 - LA-4 LANDSCAPE SPECS. & PLANT LIST
 - LA-5 LANDSCAPE SPECS & SOIL PREP NOTE
 - LA-6 SHRUB PLANTING DETAILS
 - LA-7 SHRUB PLANTING DETAILS
 - LA-8 SHRUB PLANTING DETAILS

PROJECT DATA

LEGAL DESCRIPTION: 22 53 42 NAUTILUS EXT 4TH PB 40-68 LOT 5 BLK 25 LOT SIZE 96.660 X 110 OR 14428-2906 0190 1

ZONING: RS-4

LAND USE: SINGLE FAMILY RESIDENCE

APPLICABLE CODES:
FLORIDA BUILDING CODE RESIDENTIAL 2014 EDITION
ZONING AND OTHER APPLICABLE MUNICIPAL REQUIREMENTS

SCOPE OF WORK

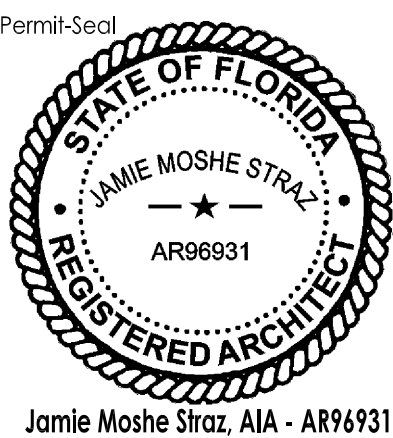
- RELOCATION OF MECHANICAL EQUIPMENT TO EAST YARD
- NEW GENERATOR LOCATED IN EAST YARD
- NEW FENCE TO REPLACE EXISTING LOCATED AT EAST YARD
- NEW LANDSCAPING FOR SCOPE OF WORK AREA

ZONING DATA

SEE SHEETS A1.0 & A2.0

THE EXISTING CONDITIONS REPRESENTED IN THESE DOCUMENTS ARE AS PER 61G15-30.002:

- THESE DOCUMENTS ARE A COMPILED REPRESENTATION OF THE CONSTRUCTED PROJECT
- THE DOCUMENTS ARE BELIEVED TO BE CORRECT TO THE BEST OF THE ARCHITECTS/ENGINEER'S KNOWLEDGE AND THAT THE ACCURACY OF THE INFORMATION CANNOT BE GUARANTEED



RELEVANT ZONING DATA

FRONT SETBACK: JEFFERSON AVE
SIDE SETBACK: W 43RD CT

REQUIRED FRONT SETBACK: 20'
EXISTING FRONT SETBACK: 22'-6"

REQUIRED SIDE STREET SETBACK: 15'
EXISTING SIDE STREET SETBACK: 22.54'

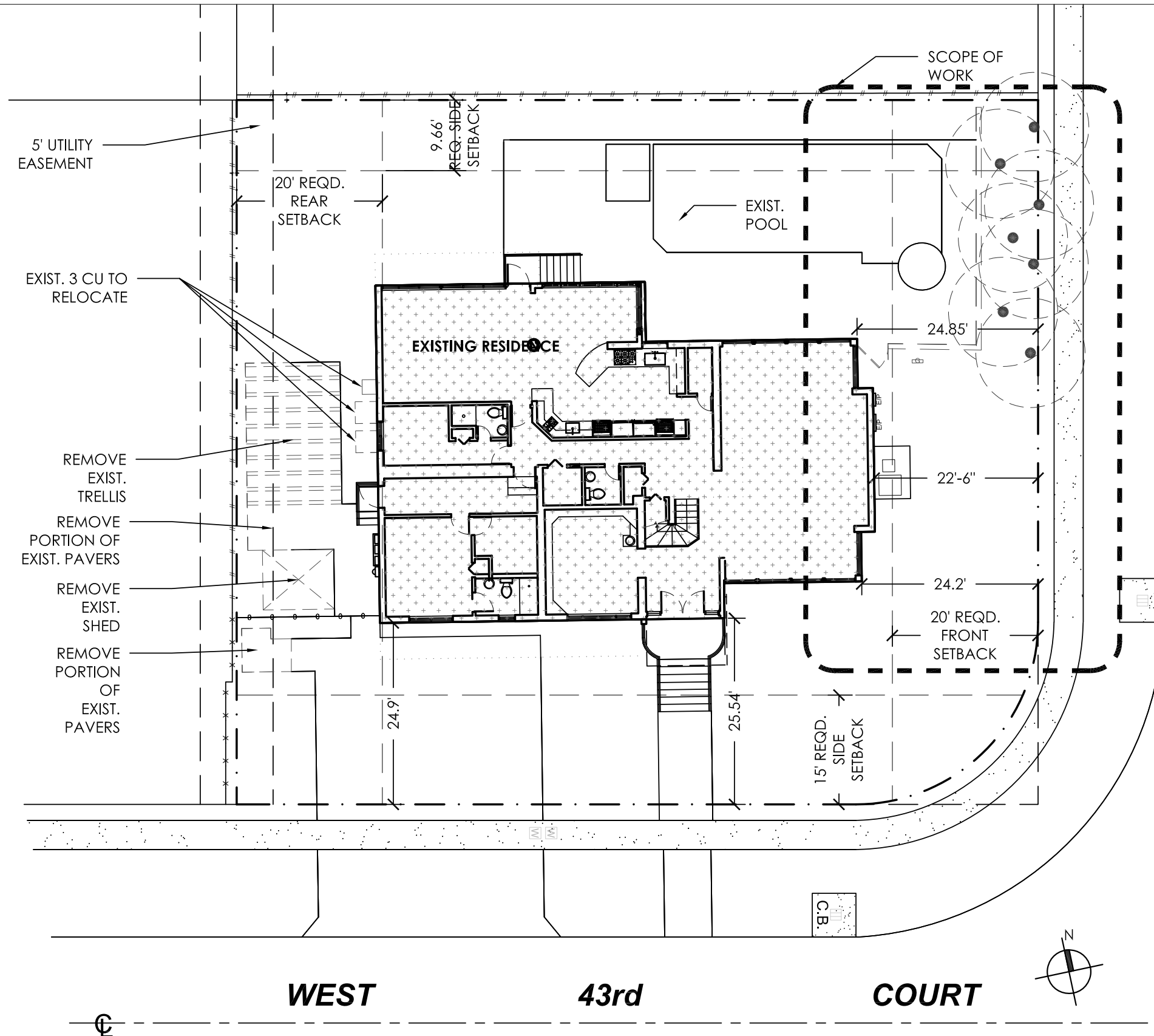
GRADE (AS DEFINED BY PUBLIC WORKS): 5.26' NGVD

BFE: 7.00' NGVD

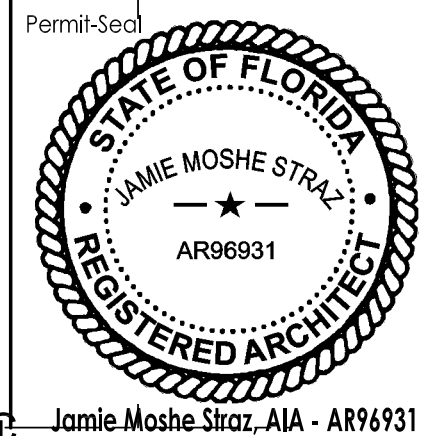
ADJUSTED GRADE: 6.13' NGVD

NO NEW BUILDING ADDITION TO SITE

OPEN SPACE REQUIRED:
SEE NEXT PAGE



JEFFERSON
AVENUE



REINES & STRAZ, LLC
975 41st Street, Suite 407
Miami Beach, Florida 33140
Tel: 305.397.8779
Fax: 305.675.8502
www.reines-straz.com
AA26002849

Consultants

Nevarez Residence

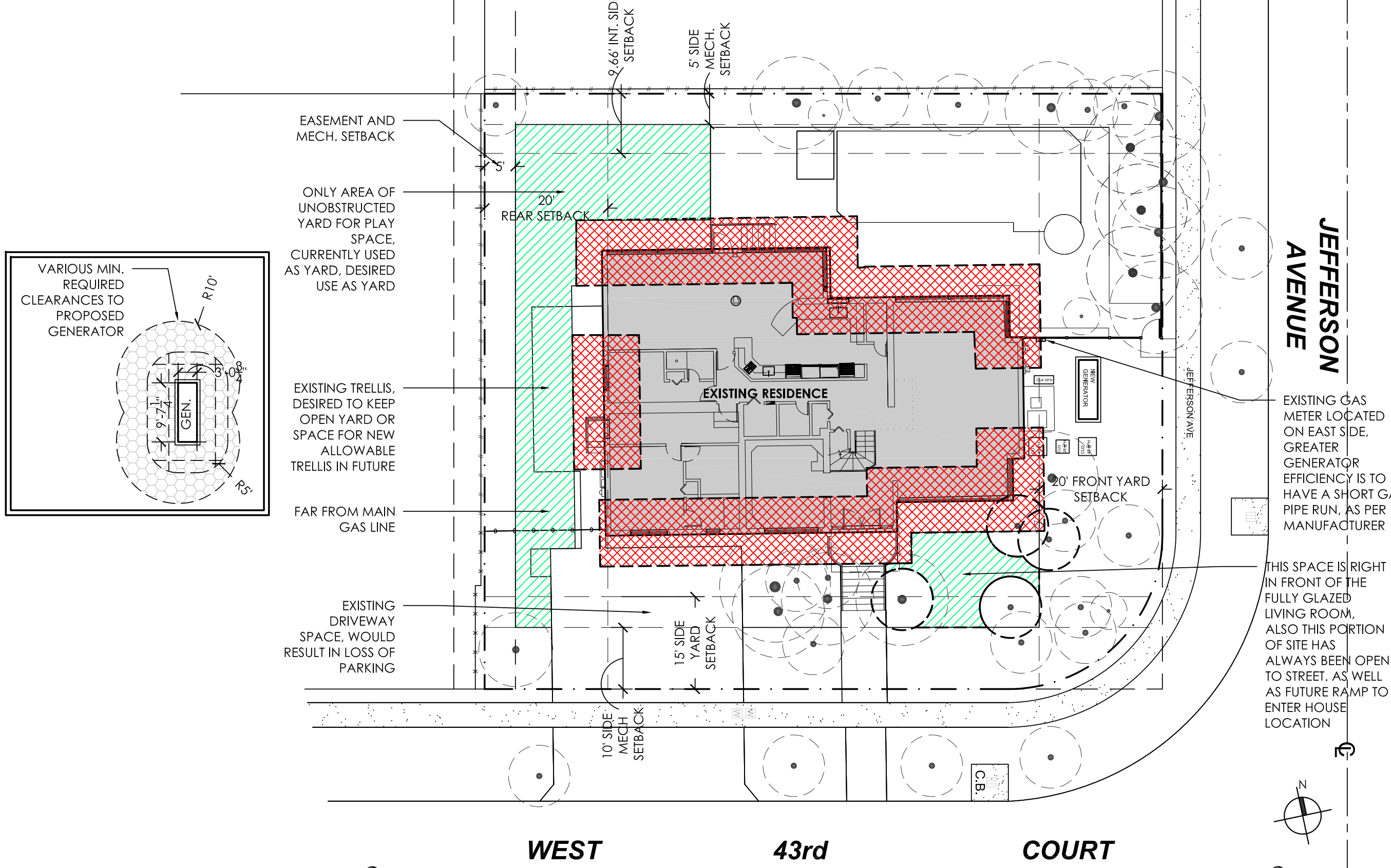
Equip. Relocation & Site Improvements
901 W 43rd Ct, Miami
Beach, FL 33140

No.	Description	Date

Existing Overall Site Plan

Project number NEV-901W43CT
Date 05.25.2015

A-1

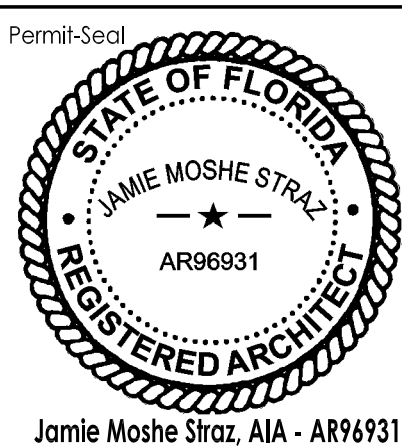


NOTE:
AREA IN RED IS THE 5'
MINIMUM CLEARANCE
REQUIRED FOR GAS
GENERATOR

AREA IN GREEN ARE
ALLOWABLE BY CODE
SPACES FOR
GENERATOR. PLEASE
SEE NOTES IN EACH
LOCATION WHY THERE
IS HARDSHIP AT THAT
SPOT.

EXISTING GAS
METER LOCATED
ON EAST SIDE,
GREATER
GENERATOR
EFFICIENCY IS TO
HAVE A SHORT GAS
PIPE RUN, AS PER
MANUFACTURER

THIS SPACE IS RIGHT
IN FRONT OF THE
FULLY GLAZED
LIVING ROOM,
ALSO THIS PORTION
OF SITE HAS
ALWAYS BEEN OPEN
TO STREET, AS WELL
AS FUTURE RAMP TO
ENTER HOUSE
LOCATION



REINES & STRAZ, LLC
975 41st Street, Suite 407
Miami Beach, Florida 33140
Tel: 305.397.8779
Fax: 305.675.8502
www.reines-straz.com
AA26002849

Consultants

Nevarez Residence

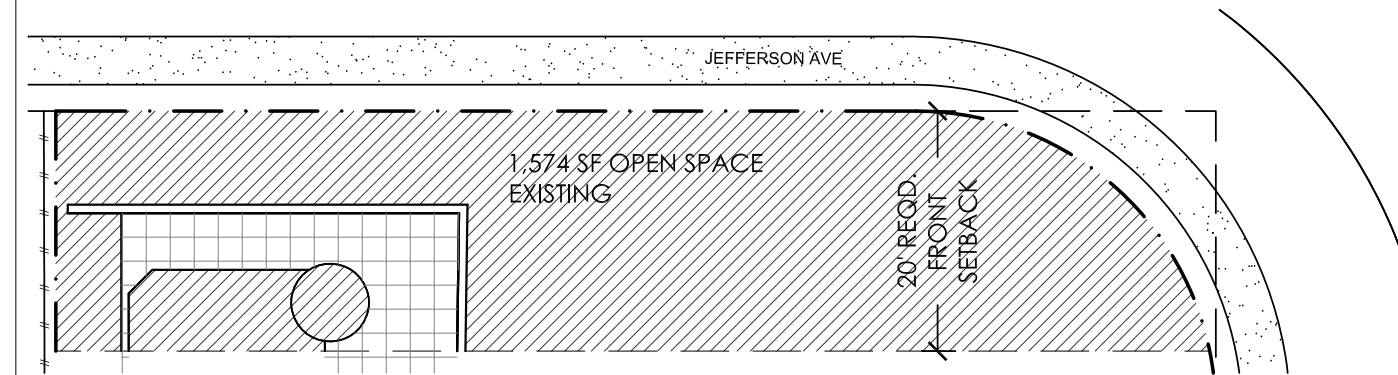
Equip. Relocation & Site Improvements
901 W 43rd Ct, Miami
Beach, FL 33140

No.	Description	Date

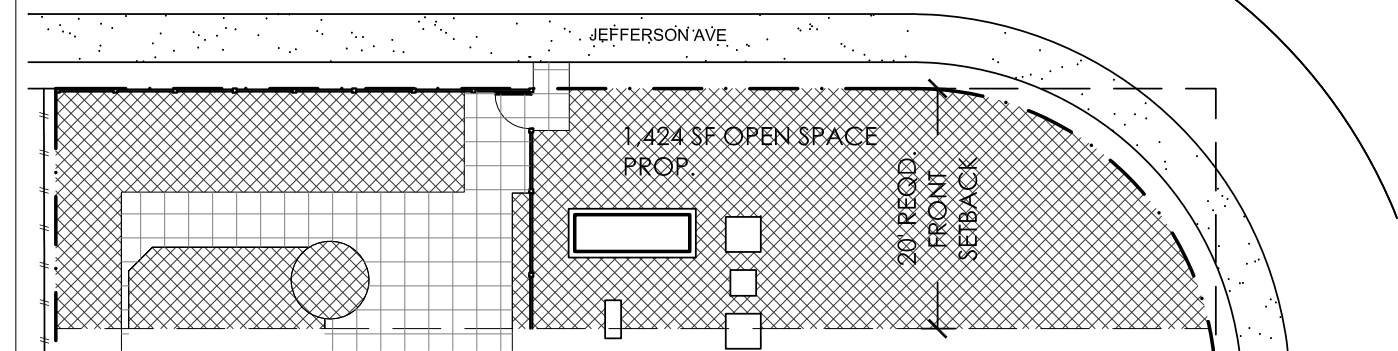
Site Plan Setback Study

Project number NEV-901W43CT
Date 06.03.2016

A-1a



1 EXISTING FRONT OPEN SPACE PLAN
1/16" = 1'-0"



2 PROPOSED FRONT OPEN SPACE PLAN
1/16" = 1'-0"

RELEVANT ZONING DATA
OPEN SPACE REQUIRED:

FRONT YARD:

EXISTING FRONT YARD AREA: 1,799 SF
50% OF FRONT YARD: 899.5 SF MINIMUM
EXISTING OPEN SPACE: 1,574 SF (87.49%)
PROPOSED OPEN SPACE: 1,421 SF (78.98%)

REAR YARD:

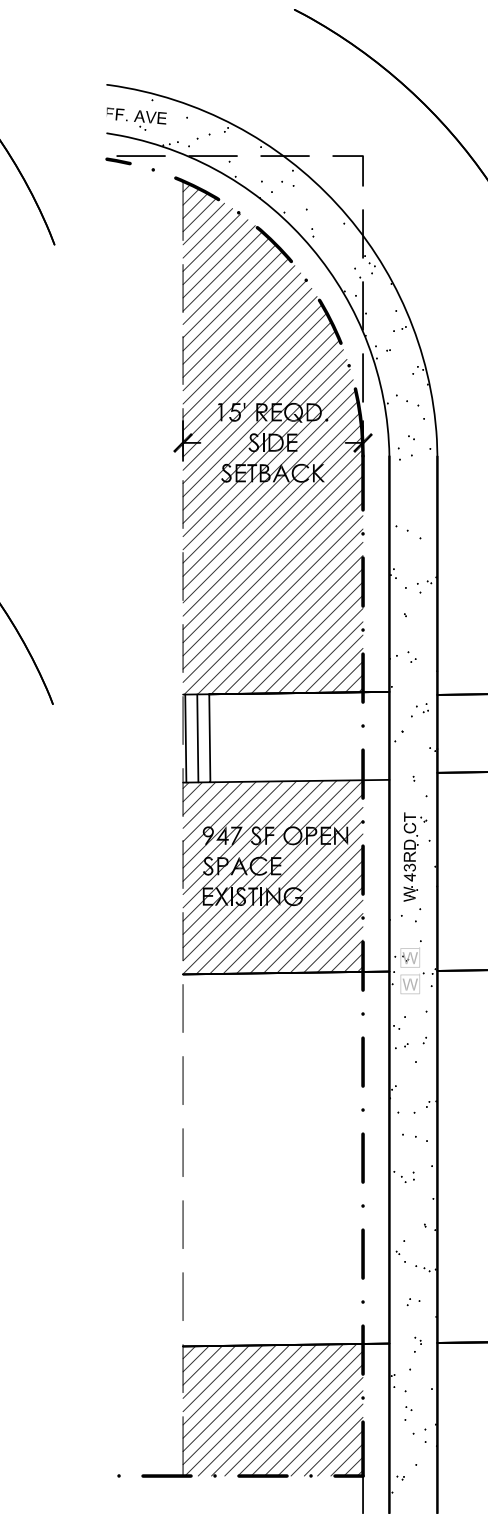
EXISTING REAR YARD AREA: 1,933 SF
70% OF REAR YARD: 1,353 SF MINIMUM
EXISTING OPEN SPACE: 1,115 SF (57.7%)
PROPOSED OPEN SPACE: 1,355 SF (70%)

SIDE YARD FACING STREET:

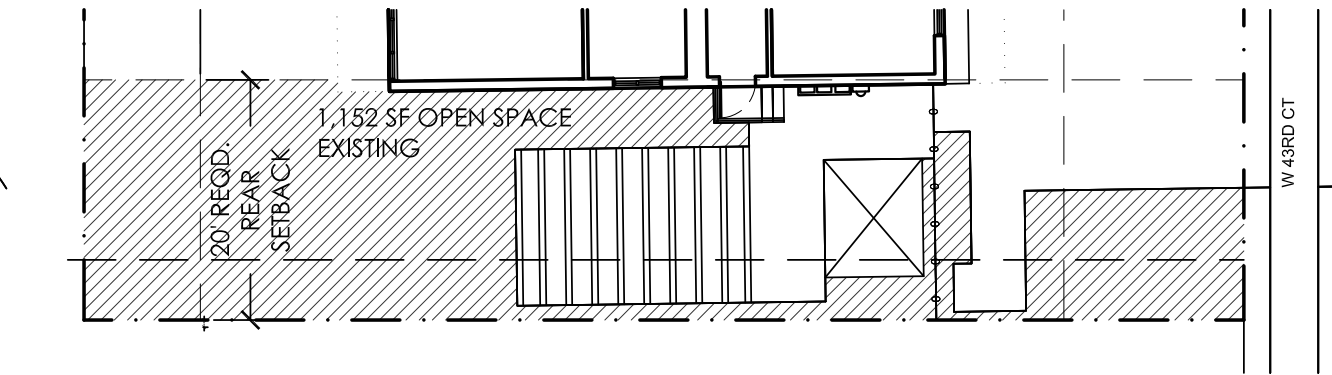
EXISTING SIDE YARD AREA: 1,522 SF
50% OF SIDE YARD: 761 SF MINIMUM
EXISTING OPEN SPACE: 947 SF (62.2%)

NOTE:

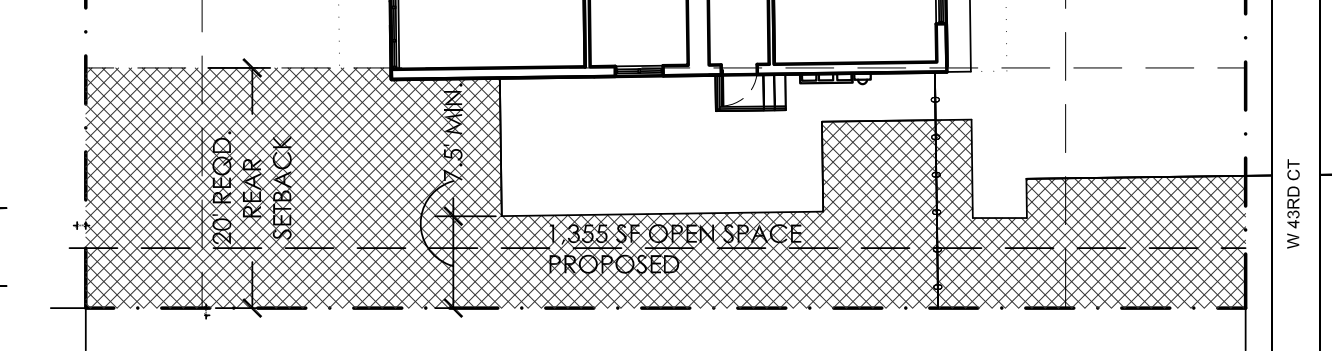
FINAL PAVING DESIGN WILL BE DONE AT PERMITTING STAGE OF PROJECT, WILL BE IN COMPLIANCE WITH CODE. THESE DIAGRAMS TO ILLUSTRATE COMPLIANCE IN THE OTHER YARDS WITH POSSIBLE PROPOSED DESIGN SOLUTIONS



3 EXISTING SIDE OPEN SPACE PLAN
1/16" = 1'-0"

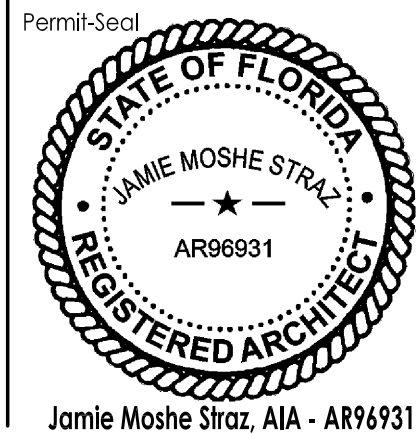
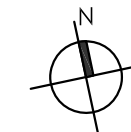


4 EXISTING REAR OPEN SPACE PLAN
1/16" = 1'-0"



5 PROPOSED REAR OPEN SPACE PLAN
1/16" = 1'-0"

NOTE:
ONLY EXIST. SHOWN FOR
SIDE YARD FACING
STREET, NO PROPOSED
CHANGES IN PAVING IN
SETBACK



REINES & STRAZ
REINES & STRAZ, LLC
975 41st Street, Suite 407
Miami Beach, Florida 33140
Tel: 305.397.8779
Fax: 305.675.8502
www.reines-straz.com
AA26002849

Consultants

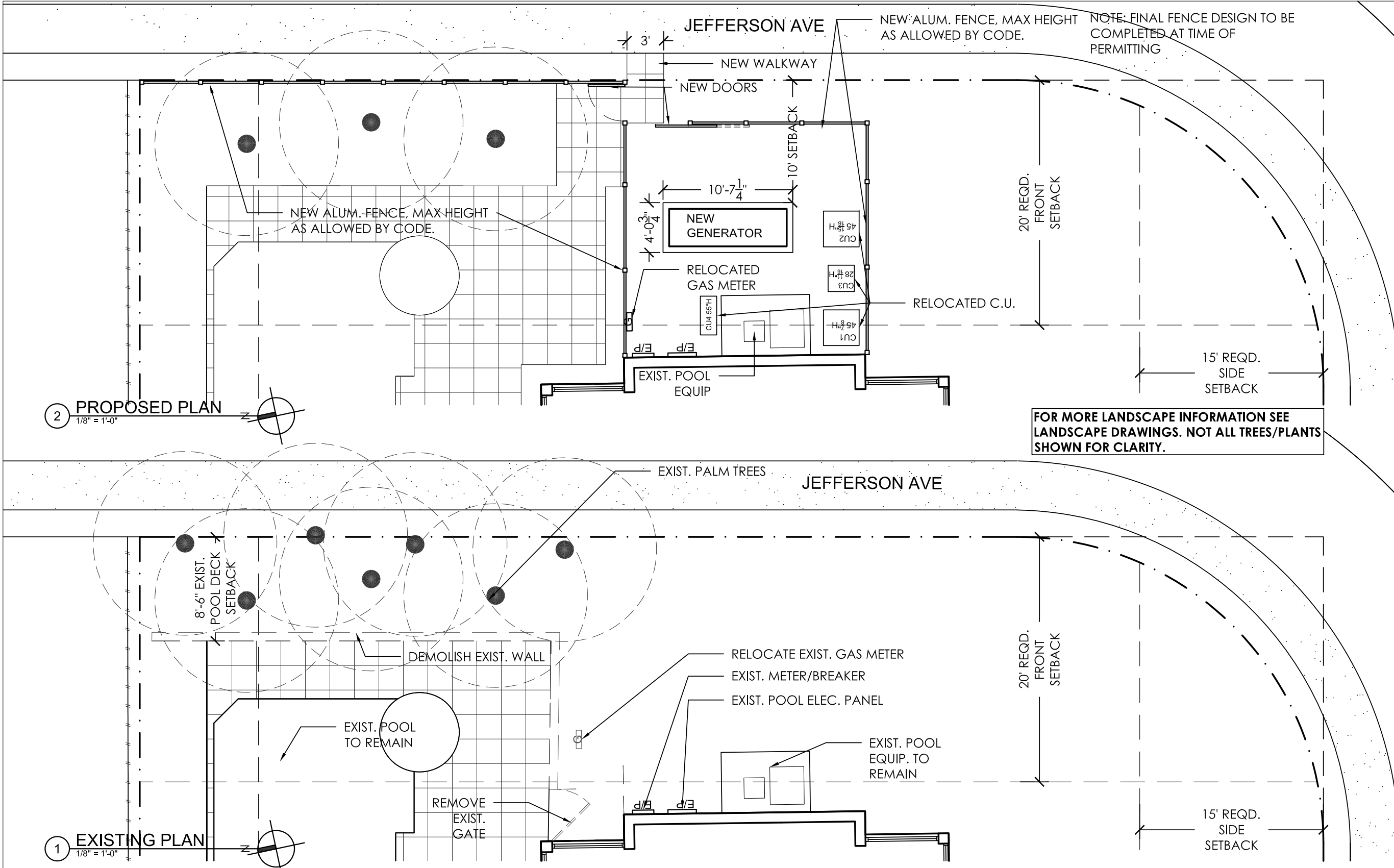
Nevarez Residence
Equip. Relocation & Site Improvements
901 W 43rd Ct, Miami
Beach, FL 33140

No.	Description	Date

OPEN SPACE PLANS

Project number NEV-901W43CT
Date 05.25.2015

The Copyrights to all designs and drawings are the property of Reines & Straz, LLC. Reproduction or use for any purpose other than that authorized by Reines & Straz, LLC is forbidden.



RELEVANT ZONING DATA
FRONT SETBACK: JEFFERSON AVE
SIDE SETBACK: W 43RD CT

REQUIRED FRONT SETBACK: 20'
NO EQUIPMENT ALLOWED IN FRONT YARD AS PER CODE

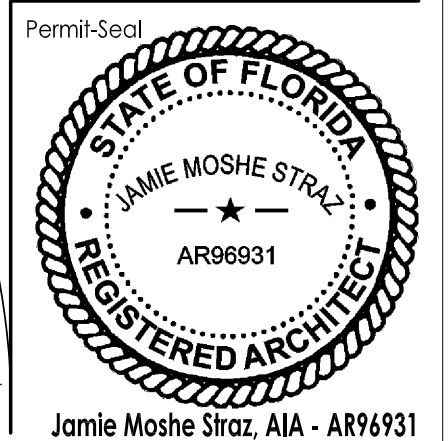
PROPOSED GENERATOR AND CONDENSING UNIT SETBACK: 10'

AS PER SEC. 142-1132(f)(1) CENTRAL AIR CONDITIONS, EMERGENCY GENERATORS AND OTHER MECH. EQUIPMENT ARE ALLOWED TO BE 10' SETBACK FROM SIDE LOT LINE FACING A STREET.

PROPOSED EQUIPMENT LOCATIONS ARE CONSISTENT WITH SIDE YARD SETBACK REQUIREMENTS

ALL EQUIPMENT ARE SCREENED WITH LANDSCAPING, SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION

NO OTHER LOCATION ON SITE FOR EQUIPMENT DUE TO CLEARANCE REQUIREMENTS FROM OPERABLE WINDOWS AND SETBACK REQUIREMENTS FOR PROPOSED GENERATOR. PROP. LOCATION IS ALSO FARTHER AWAY FROM NEIGHBORS. KEEPS EQUIP. AND LANDSCAPE CLOSE TO EXIST. CONDITIONS.



REINES & STRAZ, LLC
975 41st Street, Suite 407
Miami Beach, Florida 33140
Tel: 305.397.8779
Fax: 305.675.8502
www.reines-straz.com
AA26002849

Consultants

Nevarez Residence

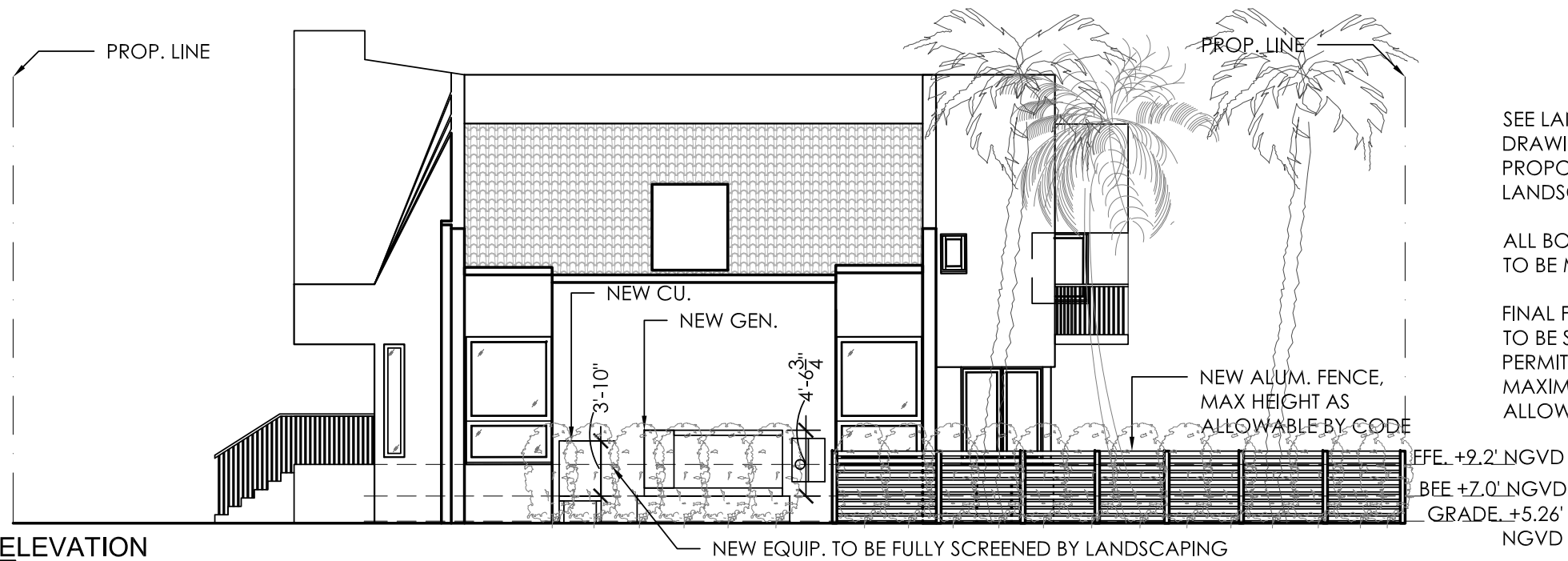
Equip. Relocation & Site Improvements
901 W 43rd Ct, Miami
Beach, FL 33140

No.	Description	Date

Enlarged Plans

Project number NEV-901W43CT
Date

A-3



SEE LANDSCAPE
DRAWINGS FOR FULL
PROPOSED
LANDSCAPING

ALL BOTTOM OF EQUIP.
TO BE MIN. BFE

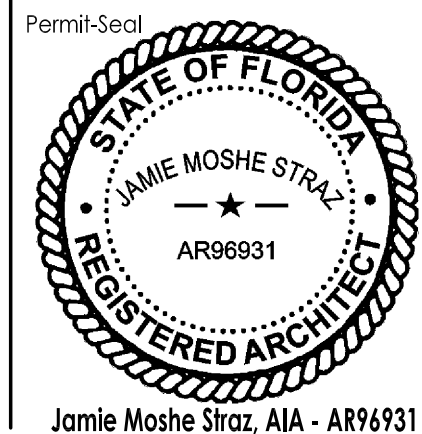
FINAL FENCE DESIGN
TO BE SUBMITTED AT
PERMITTING, TO HAVE
MAXIMUM HEIGHT AS
ALLOWED BY CODE

FFE. +9.2' NGVD
BEE +7.0' NGVD
GRADE +5.26'
NGVD

1 PROPOSED STREET ELEVATION
3/32" = 1'-0"



2 EXISTING STREET ELEVATION



REINES & STRAZ, LLC
975 41st Street, Suite 407
Miami Beach, Florida 33140
Tel: 305.397.8779
Fax: 305.675.8502
www.reines-sraz.com
AA26002849

The Copyrights to all designs and drawings are the property of Reines & Sraz, LLC. Reproduction or use for any purpose other than that authorized by Reines & Sraz, LLC is forbidden.

Nevarez Residence

Equip. Relocation & Site Improvements
901 W 43rd Ct, Miami
Beach, FL 33140

No.	Description	Date

EAST ELEVATIONS

Project number NEV-901W43CT
Date 05.25.2015

A-5