

# 835 ALTON ROAD

*835 Alton Road,  
Miami Beach, Florida 33139*

---

## *Historic Preservation Board Submittal Final Submittal*

*06 APRIL / 2018*



333 SE 2ND AVE  
MIAMI, FL 33131  
Tel: 786.218.5335  
License #AA 26002467

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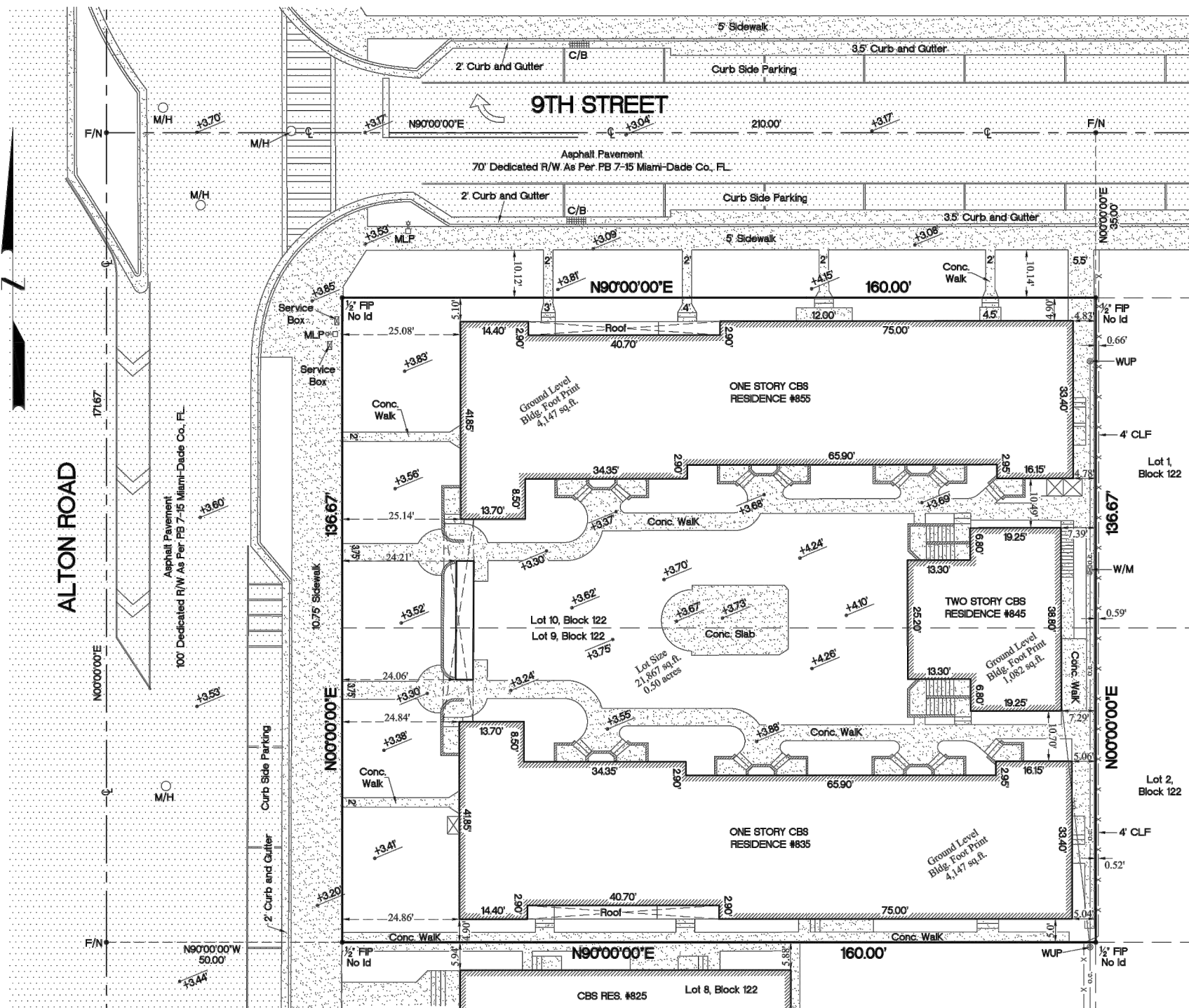
Prepared By:  
**AFA & COMPANY, INC.**  
PROFESSIONAL LAND SURVEYORS AND MAPPERS  
FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498  
13050 SW 133RD COURT  
MIAMI, FLORIDA 33186  
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**Graphic Scale**  
**1" = 20'**

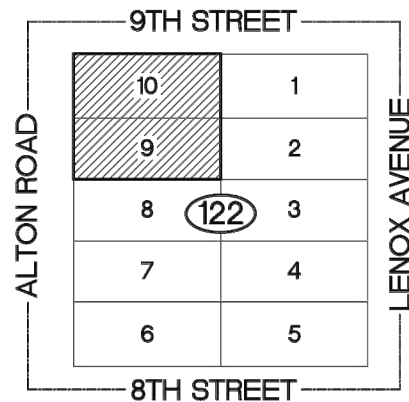
**Abbreviations  
of Legend**

AVE. = AVENUE  
ASPH = ASPHALT  
A/W = ANCHORED WIRE  
A/C = AIR CONDITIONER  
BLDG = BUILDING  
B. COR. = BLOCK CORNER  
CAL. = CALCULATED  
C.B. = CATCH BASIN  
CLF = CHAIN LINK FENCE  
CONC. = CONCRETE  
COL. = COLUMN  
C.U.P. = CONCRETE UTILITY POLE  
C.L.P. = CONCRETE LIGHT POLE  
CBS = CONCRETE BLOCK STRUCTURE  
C.M.E. = CANAL MAINTENANCE EASEMENT  
D = DELTA  
D/W = DRIVEWAY  
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT  
ENC. = ENCROACHMENT  
E.T.P. = ELECTRIC TRANSFORMER PAD  
F.P.L. = FLORIDA POWER AND LIGHT  
F.H. = FIRE HYDRANT  
F.I.P. = FOUND IRON PIPE  
F.F. = FRESH FLOOR  
D.H.F. = FOUND DRILL HOLE  
F.R. = FOUND REBAR  
F.D. = FOUND DISC  
F.N. = FOUND NAIL  
I.F. = IRON FENCE  
L. = LENGTH  
L.M.E. = LAKE MAINTENANCE EASEMENT  
L.F.E. = LOWEST FLOOR ELEVATION  
L.P. = LIGHT POLE  
MEAS. = MEASURED  
M.H. = MAN HOLE  
M.L. = MONUMENT LINE  
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM  
N.T.S. = NOT TO SCALE  
O.E. = OVERHEAD ELECTRIC LINE  
O.L. = ON LINE  
P.C.P. = PERMANENT CONTROL POINT  
P.M. = PARKING METER  
P.C. = POINT OF CURVATURE  
P.W. = PARKWAY  
P.L. = PLANTER  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
R. = RADIUS  
RES. = RESIDENCE  
R/W. = RIGHT OF WAY  
S.D.H. = SET DRILL HOLE  
S.N. = SET NAIL  
S.I.P. = SET IRON PIPE  
S.D.W.L.K. = SIDEWALK  
ST. = STREET  
T. = TANGENT  
U.E. = UTILITY EASEMENT  
W.F. = WOOD FENCE  
W.V. = WATER VALVE  
W.U.P. = WOOD UTILITY POLE  
W.F. = WOOD FENCE  
I.F. = IRON FENCE  
C.B. = CATCH BASIN  
C.L.F. = CHAIN LINK FENCE  
O.E.L. = OVERHEAD ELEC.  
C.L. = CENTER LINE  
E. = EASEMENT  
D.E. = DENOTES ELEVATIONS  
B. = BUILDING  
D. = DISTANCE  
C.B. = CATCH BASIN  
W.M. = WATER METER  
W.U.P. = W.U.P.  
S.R. = STATE ROAD  
S.H.W. = US HIGHWAY  
I. = INTERSTATE  
M.W. = MONITORY WELL

# Boundary Survey



## Location Sketch N.T.S.



### PROPERTY ADDRESS:

835 Alton Road  
Miami Beach, Florida 33139

### CERTIFIED ONLY TO:

Joseph B. Ryan III, P.A.  
Old Republic National Title Insurance Company  
Eric Kamhi, Jak Kamhi and Tuli Kamhi

### LEGAL DESCRIPTION:

Lots 9 and 10, Block 122, of: "LENOX MANOR",  
according to the Plat Thereof as Recorded in Plat  
Book 7 Page 15 of the Public Records of Miami-Dade  
County, Florida.

#### Surveyor's Notes:

- #11 The herein captioned Property was surveyed and described based on the Legal Description Provided by Client.
- #12 This Certification is Only for the lands as Described, it is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. ABSTRACT NOT REVIEWED.
- #13 There may be additional Restrictions not Shown on this survey that may be found in the Public Records of Said County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
- #14 Accuracy: The expected use of land, as classified in the Standards of Practice (5J-17.052), is residential. The minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00' feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
- #15 Foundation and / or footing that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
- #16 Not valid without the signature and original seal of a Florida Licensed Surveyor and Mapper. additions or deletions to survey maps or reports by other than the signing party or parties.
- #17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
- #18 Underground Utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- #19 Ownership subject to Opinion of Title.

### ELEVATION INFORMATION

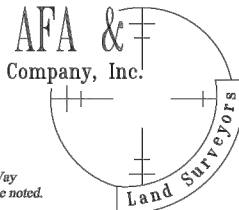
**National Flood Insurance Program  
FEMA Elev. Reference to NGVD 1929**

Comm Panel 120651  
Panel # 0319  
Firm Zone: "AE"  
Date of Firm: 09-11-2009  
Base Flood Elev. 8.00'  
F.F. Elev. #835 5.30'  
F.F. Elev. #845 5.45'  
F.F. Elev. #855 5.69'  
Suffix: "L"  
Elev. Reference to NGVD 1929

JOB #	17-738
DATE	07-27-2017
PB	7-15

#### Surveyors Notes:

- #1 Land Shown Hereon were not abstracted for Easement and / or Right of Way Records. The Easement / Right of Way Show on Survey are as per plat of record unless otherwise noted.
- #2 Benchmark: Miami-Dade County Public Works Dep. N/A
- #3 Bearings as Shown hereon are Based upon 9th Street, N90°00'00"E
- #4 Please See Abbreviations
- #5 Drawn By: A. Torres
- #6 Date: 07-27-2017
- #7 Completed Survey Field Date: 07-27-2017
- #8 Disc No 2017, Station Surveying Scion
- #9 Last Revised:
- #10 Zoned Building setback line not determined

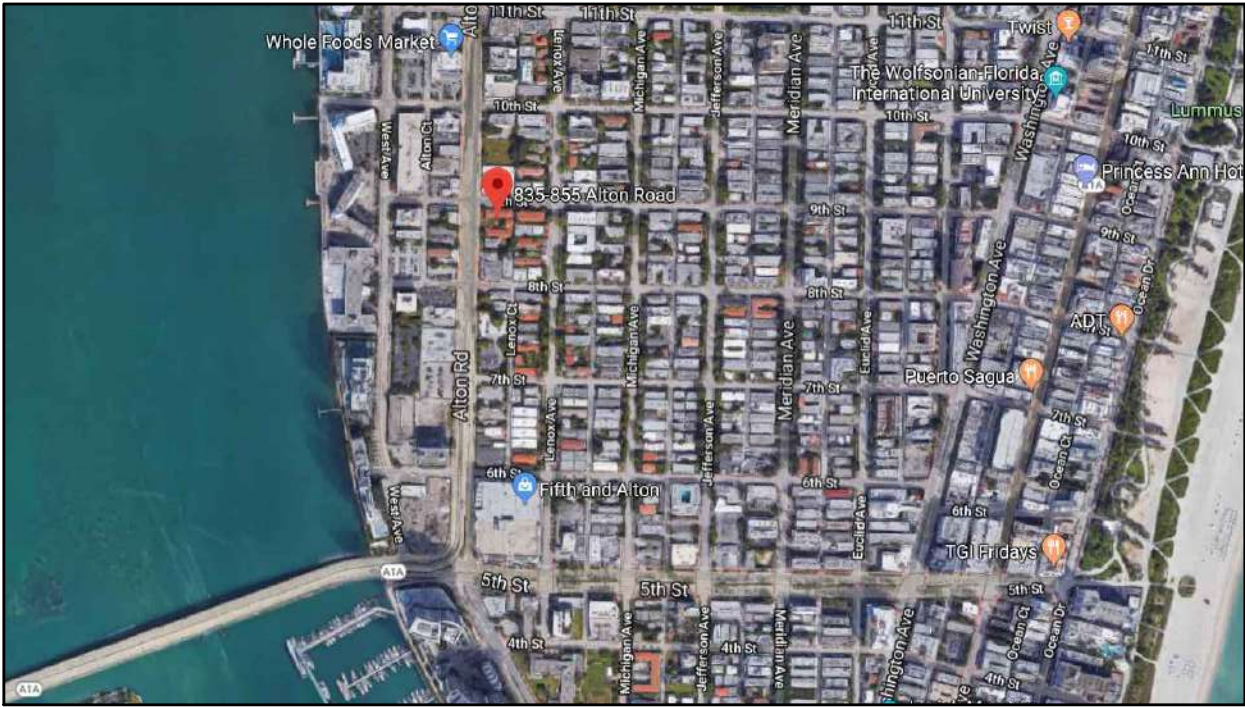


Professional  
Surveyors & Mappers LB 7498  
13050 S.W. 133rd Court  
Miami Florida, 33186  
E-mail: afaco@bellsouth.net  
Ph: (305) 234-0588  
Fax: (206) 495-0778

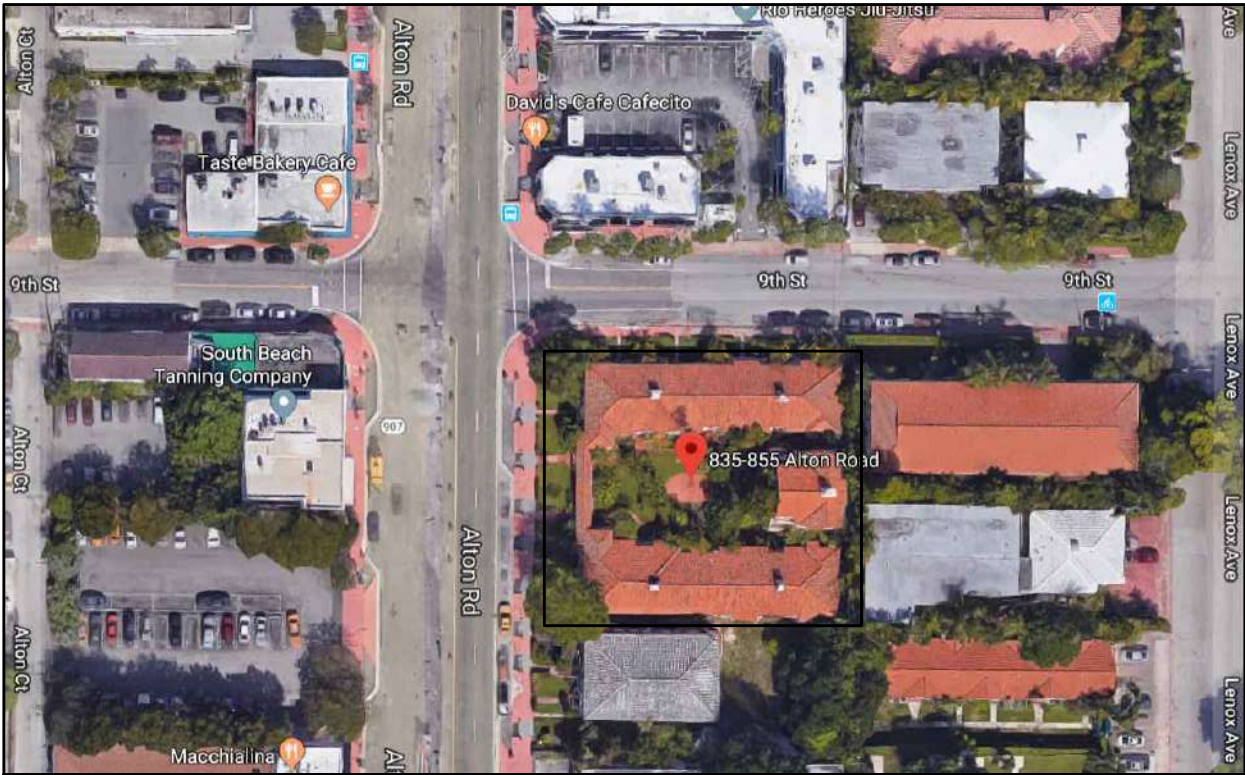
This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17.052 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.  
& That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and Belief, subject to notes and notations shown hereon.

*Armando F. Alvarez*  
Professional Surveyor & Mapper #5526  
State of Florida  
Not Valid unless Signed & Stamped with Embossed Seal





1 LOCATION MAP  
SCALE : NTS



2 LOCATION MAP  
SCALE : NTS

# DRAWING INDEX

- A0-0 TITLE SHEET
- SUR-1 BOUNDARY SURVEY
- GN-1 LOCATION MAP & DRAWING INDEX
- GN-2 ZONING TABLE
- GN-3.1 ALTON ROAD CONTEXT PHOTOS (WEST ELEVATION)
- GN-3.2 ALTON & 9TH ST CORNER CONTEXT PHOTOS (WEST ELEVATION)
- GN-3.3 9TH STREET CONTEXT PHOTOS (WEST ELEVATION)
- GN-3.4 ALTON ROAD DETAILED PHOTOS (WEST ELEVATION)
- GN-3.5 9TH STREET DETAILED PHOTOS (NORTH ELEVATION)
- GN-3.6 COURTYARD DETAILED PHOTOS OF ARCH
- GN-3.7 COURTYARD DETAILED PHOTOS (835 & 855 ALTON)
- GN-3.8 COURTYARD DETAILED PHOTOS (845 ALTON)

## ARCHITECTURAL DRAWING LIST

- ES-1 EXISTING SITE PLAN
- AS-1 PROPOSED SITE PLAN
- E-1 EXISTING FLOOR PLANS
- D-1 DEMOLITION FLOOR PLAN
- A-1.1 PROPOSED FLOOR PLANS
- A-1.2 ENLARGED LOBBY/ RETAIL FLOOR PLAN
- A-2.1 EXISTING ROOF PLAN
- A-2.2 PROPOSED ROOF PLAN
- A-3.1 EXISTING, DEMOLITION, PROPOSED WEST ELEVATION (ALTON ROAD)
- A-3.2 EXISTING, DEMOLITION, PROPOSED NORTH ELEVATION (855 ALTON RD)
- A-3.3 EXISTING, DEMOLITION, PROPOSED SOUTH ELEVATION (835 ALTON RD)
- A-3.4 EXISTING, DEMOLITION, PROPOSED SOUTH ELEVATION (855 ALTON RD)
- A-3.5 EXISTING, DEMOLITION, PROPOSED NORTH ELEVATION (835 ALTON RD)
- A-3.6 EXISTING, DEMOLITION, PROPOSED EAST ELEVATION
- A-3.7 EXISTING, DEMOLITION, PROPOSED BUILDING 845 ALTON ELEVATIONS
- A-3.8 EXISTING, DEMOLITION, PROPOSED EAST ELEVATIONS OF ARCH

X-X BACK COVERSHEET

CLIENT :

835 ALTON RD

835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

CDS

333 SE 2ND AVENUE, SUITE 2066  
MIAMI, FL 33131  
Tel: 786.218.5335  
License #AA 26002467  
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2	06 APR/18	HPB SECOND SUBMITTAL

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SEAL :

WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :

2017-30

CHECKED BY : WESLEY CASTELLANOS

DRAWN BY : ALBERTO ALFARO

SCALE: N.T.S.

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SHEET NAME :

LOCATION MAP  
&  
DRAWING INDEX

SHEET NO :

GN-1

ZONING INFORMATION TO EXISTING STRUCTURE										835 ALTON RD - (SOUTH BUILDING)			
										TOTAL SQUARE FOOTAGE		4,147	Sq. Ft.
										7 HOTEL UNITS		INTERIOR Sq. Ft.	
										#1 - 2 BED/ 2 BATH		481	Sq. Ft.
										#2 - 2 BED/ 2 BATH		485	Sq. Ft.
										#3 - 2 BED/ 2 BATH		454	Sq. Ft.
										#4 - 2 BED/ 2 BATH		473	Sq. Ft.
										#5 - 2 BED/ 2 BATH		476	Sq. Ft.
										#6 - 2 BED/ 2 BATH		494	Sq. Ft.
										#7 - 2 BED/ 2 BATH		451	Sq. Ft.
										855 ALTON RD - (NORTH BUILDING)			
										TOTAL SQUARE FOOTAGE		4,147	Sq. Ft.
										7 HOTEL UNITS		INTERIOR Sq. Ft.	
										#8 - 2 BED/ 2 BATH		481	Sq. Ft.
										#9 - 2 BED/ 2 BATH		485	Sq. Ft.
										#10 - 2 BED/ 2 BATH		454	Sq. Ft.
										#11 - 2 BED/ 2 BATH		473	Sq. Ft.
										#12 - 2 BED/ 2 BATH		476	Sq. Ft.
										#13 - 2 BED/ 2 BATH		494	Sq. Ft.
										#14 - 2 BED/ 2 BATH		451	Sq. Ft.
										845 ALTON RD - (TWO STORY, REAR BUILDING)			
										TOTAL SQUARE FOOTAGE		4,147	Sq. Ft.
										4 HOTEL UNITS		INTERIOR Sq. Ft.	
										#15 - 1 BED/ 1 BATH		482	Sq. Ft.
										#16 - 1 BED/ 1 BATH		482	Sq. Ft.
										#17 - 1 BED/ 1 BATH		482	Sq. Ft.
										#18 - 1 BED/ 1 BATH		482	Sq. Ft.

										Restaurant, Cafe, Bars, Lounges, Nightclubs		Required	Existing		
										51. Type of Use					
										52. Total # of seats					
										53. Total # of seats per venue					
										54. Total occupant content					
										55. Occupant content per venue					
										56. Is this a Contributing building?		Yes			
										57. Located within a Local Historic District?		Yes			

										Parking:		Required	Existing	Proposed	Deficiencies
										39. Parking District:		CD-2	CD-2	CD-2	None
										40. Total # of parking spaces		0	0	0	Existing
										41. # of Parking spaces per use (Provide a separate chart for a breakdown calculation		0	0	0	Existing
										42. # of parking spaces per level (Provide a separate chart for a breakdown calculation					
										43. Parking Space Dimensions		N/A			
										44. Parking Space Configurations (45o, 60o, 90o, parallel)		N/A			
										45. ADA Spaces		0			
										46. Tandem Spaces		0	0	0	
										47. Drive Aisle width		N/A			
										48. Valet Drop Off and Pick up		N/A			
										49. Loading zones and Trash Collection Areas		N/A			
										50. Racks		N/A			

										Maximum		Existing	Proposed	Deficiencies	
										10. Height		35'-0"	20'-10"	Existing	None
										11. Number of Stories		3	2	Existing	None
										12. FAR (1.5)		31,600 s.f.	10,458 s.f.	11,333 s.f.	None
										13. Gross Square Footage		21,600 s.f.	10,458 s.f.	11,333 s.f.	None
										14. S. F. by Building		Bldg "835,845,&855" (10,458) + Lobby (875)=11,333			
										15. Number of Units Residential		0	20	0	None
										16. Number of Units Hotel		0	0	18	None
										17. Number of Seats		N/A			
										18. Occupant Load		N/A			
										Setbacks		Required	Existing	Proposed	Deficiencies
										Subterranean: N/A					
										19. Front Setback:		N/A			
										20. Side Setback:		N/A			
										21. Side Setback:		N/A			
										22. Side Setback facing street:		N/A			
										23. Rear Setback:		N/A			
										At Grade Parking (New)					
										24. Front Setback:		N/A			
										25. Side Setback (North):		N/A			
										26. Side Setback (South):		N/A			
										27. Side Setback driveway:		N/A			
										28. Rear Setback:		N/A			
										Pedestal (New Structure):					
										29. Front Setback:		20'-0"	24'-0"	Existing	None
										30. Side Setback Facing Street:		10'-11"	5'-0"	Existing	None
										31. Side Setback (South):		10'-11"	5'-0"	Existing	None
										32. Sum of Side Setbacks:		21'-10"	10'-0"	Existing	None
										33. Rear Setback:		16'-0"	4'-9"	Existing	
										Tower: (New Structure)					
										34. Front Setback:		N/A			
										35. Side Setback (North):		N/A			
										36. Side Setback (South):		N/A			
										37. Side Setback facing street:		N/A			
										38. Rear Setback:		N/A			





1 815 & 825 ALTON  
SCALE: N/A



2 825 & 835 ALTON  
SCALE: N/A



3 835 ALTON  
SCALE: N/A

CLIENT :

835 ALTON RD

835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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PROJECT NO :

2017-30

CHECKED BY : WESLEY CASTELLANOS

DRAWN BY : ALBERTO ALFARO

SCALE: N.T.S.

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SHEET NAME :

ALTON ROAD  
CONTEXT PHOTOS  
(WEST ELEVATION)

SHEET NO :

GN-3.1





1 NORTH WEST PERSPECTIVE  
SCALE : N/A



2 NORTH WEST PERSPECTIVE  
SCALE : N/A



3 NORTH WEST PERSPECTIVE  
SCALE : N/A

CLIENT :  
  
835 ALTON RD  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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FLORIDA ARCHITECT LICENSE AR 96133

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CHECKED BY : WESLEY CASTELLANOS
DRAWN BY : ALBERTO ALFARO
SCALE: N.T.S.
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SHEET NAME :  
ALTON & 9th ST CORNER  
CONTEXT PHOTOS  
(WEST ELEVATION)

SHEET NO :  
GN-3.2





1 855 ALTON  
SCALE: N/A



2 846 LENOX & 855 ALTON  
SCALE: N/A



3 845 LENOX AVE  
SCALE: N/A

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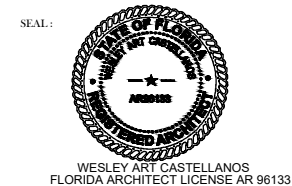
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[illegible][illegible]

2017-30

DRAWN BY : ALBERTO ALFARO

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EET NAME :  
 ALTON ROAD  
 DETAILED PHOTOS  
 (WEST ELEVATION)

## GN-3.4





1 NORTH ELEVATION  
SCALE: N/A



2 NORTH ELEVATION  
SCALE: N/A



3 NORTH ELEVATION  
SCALE: N/A



4 NORTH ELEVATION  
SCALE: N/A

CLIENT :  
  
835 ALTON RD  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

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2	06 APR/18	HPB SECOND SUBMITTAL

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SEAL:  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
  
2017-30  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
9TH STREET  
DETAILED PHOTOS  
(NORTH ELEVATION)  
SHEET NO :  
GN-3.5





1 ARCH VIEW FROM COURTYARD  
SCALE : N/A



3 ARCH VIEW FROM COURTYARD  
SCALE : N/A



4 ARCH VIEW FROM COURTYARD  
SCALE : N/A



2 ARCH VIEW FROM COURTYARD  
SCALE : N/A

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

**CDS**  
CASTELLANOS DESIGN STUDIO  
  
333 SE 2ND AVENUE, SUITE 2066  
MIAMI, FL 33131  
Tel: 786.218.5335  
License #AA 26002467  
  
WWW.CASTELLANOSDESIGN.COM

No.	DATE	ISSUED / REVISED
1	16 MAR/18	HPB FIRST SUBMITTAL
2	06 APR/18	HPB SECOND SUBMITTAL

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SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**COURTYARD  
DETAILED PHOTOS  
OF ARCH**  
  
SHEET NO :  
**GN-3.6**





1 RESIDENTIAL UNITS VIEW FROM COURYARD  
SCALE: N/A



2 RESIDENTIAL UNITS VIEW FROM COURYARD  
SCALE: N/A



3 RESIDENTIAL UNITS VIEW FROM COURYARD  
SCALE: N/A



4 RESIDENTIAL UNITS VIEW FROM COURYARD  
SCALE: N/A





1 **WEST ELEVATION**  
SCALE : N/A



2 **NORTH WEST PERSPECTIVE**  
SCALE : N/A



3 **EAST ELEVATION**  
SCALE : N/A

CLIENT :  
  
835 ALTON RD  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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MIAMI, FL 33131  
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No.	DATE	ISSUED / REVISED
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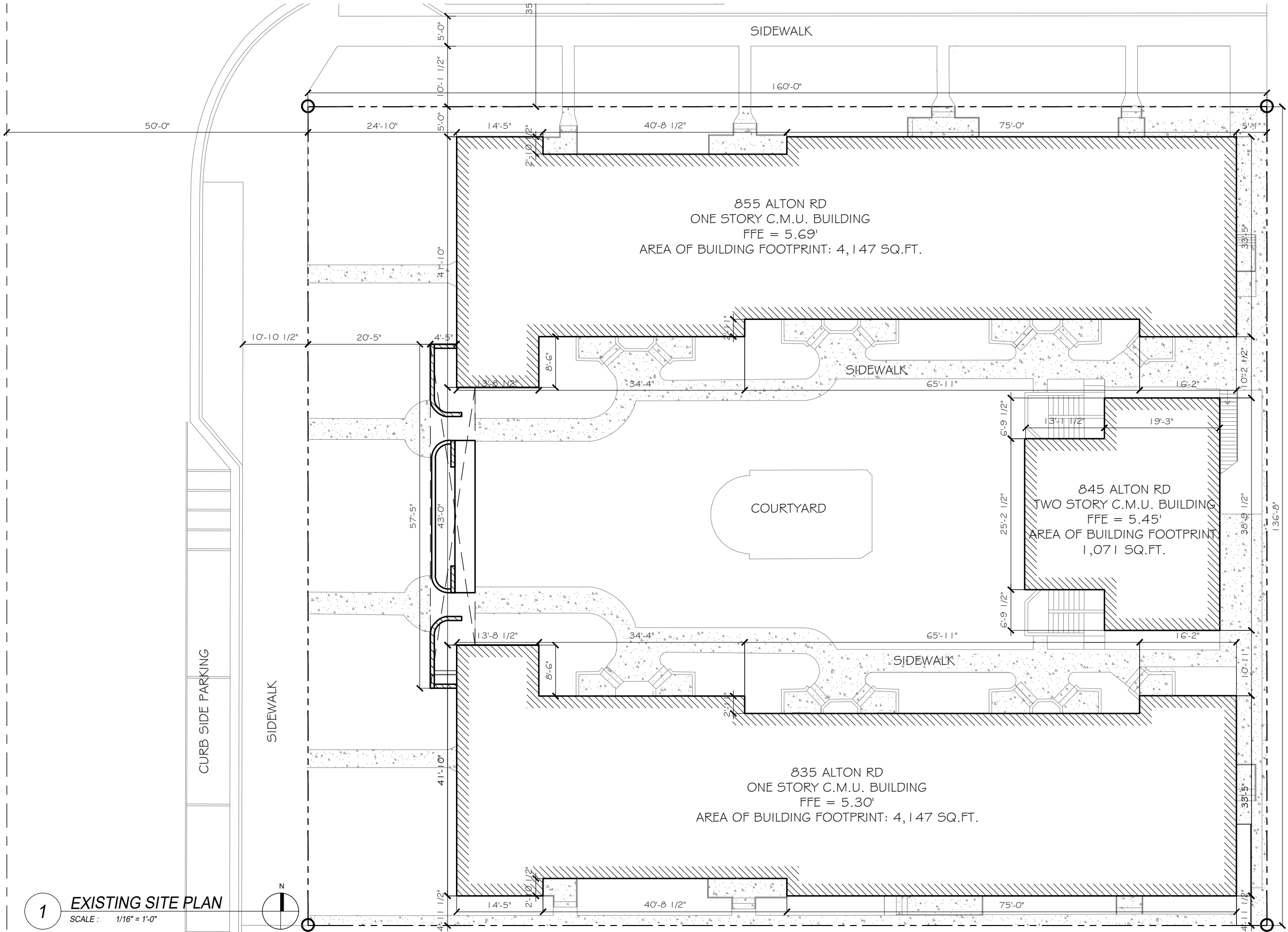
SEAL :



WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
2017-30
CHECKED BY : WESLEY CASTELLANOS
DRAWN BY : ALBERTO ALFARO
SCALE: N.T.S.
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SHEET NAME :
COURTYARD DETAILED PHOTOS (845 ALTON)
SHEET NO :
GN-3.8



1 EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"



CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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No.	DATE	ISSUED / REVISED
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SEAL:

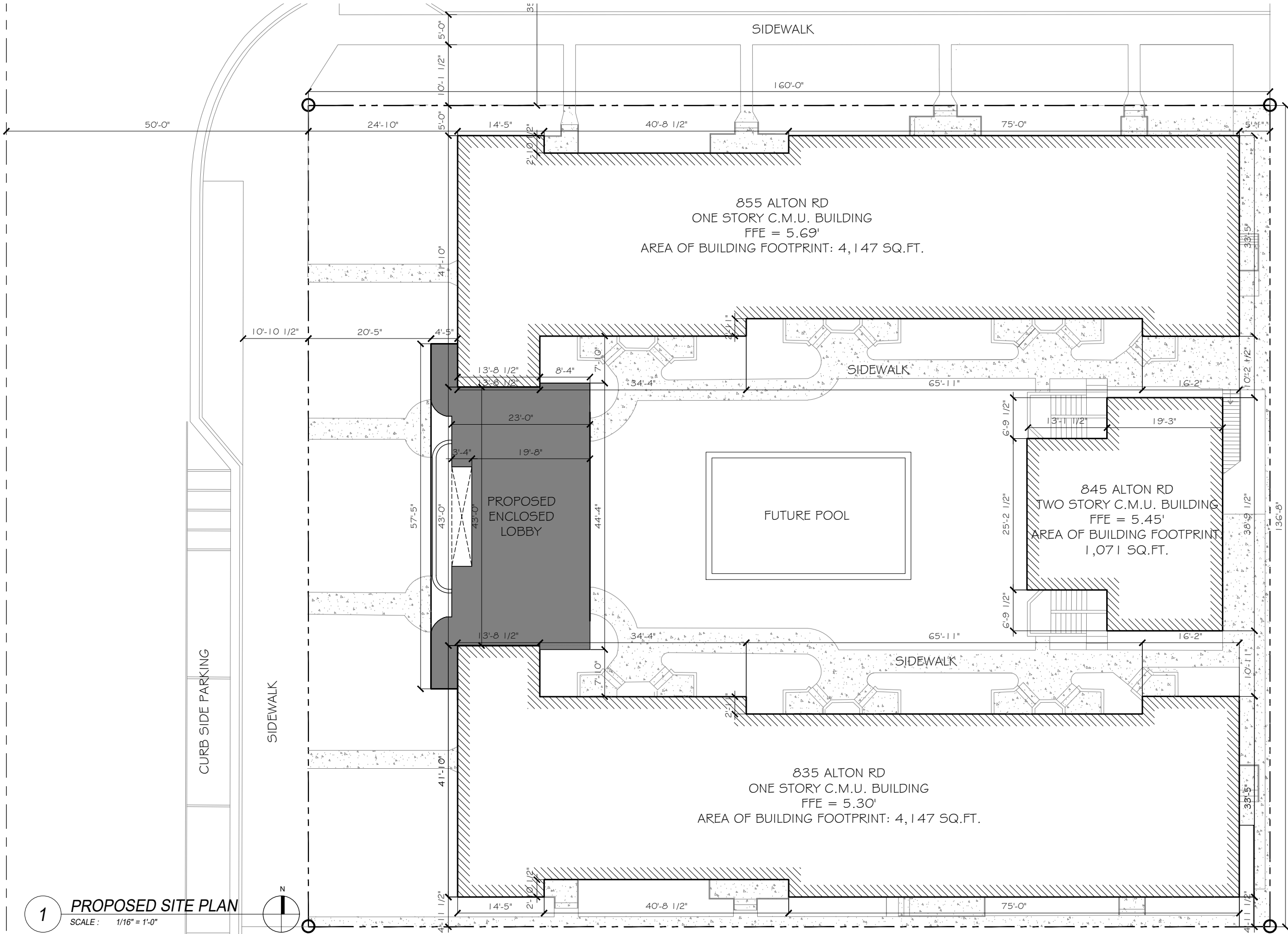


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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
2017-30
CHECKED BY : WESLEY CASTELLANOS
DRAWN BY : ALBERTO ALFARO
SCALE: N.T.S.
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SHEET NAME :
EXISTING SITE PLAN
SHEET NO :
ES-1





1 **PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"



CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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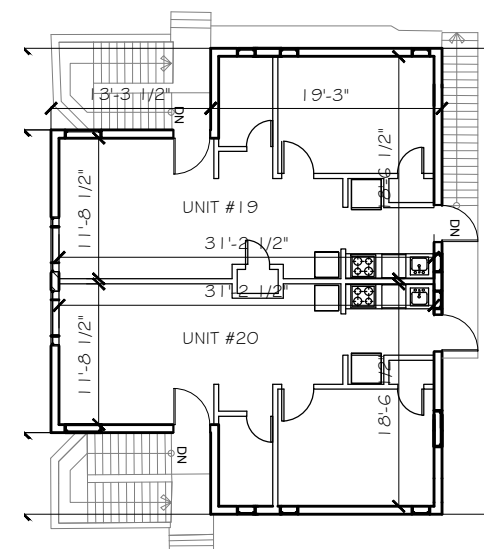
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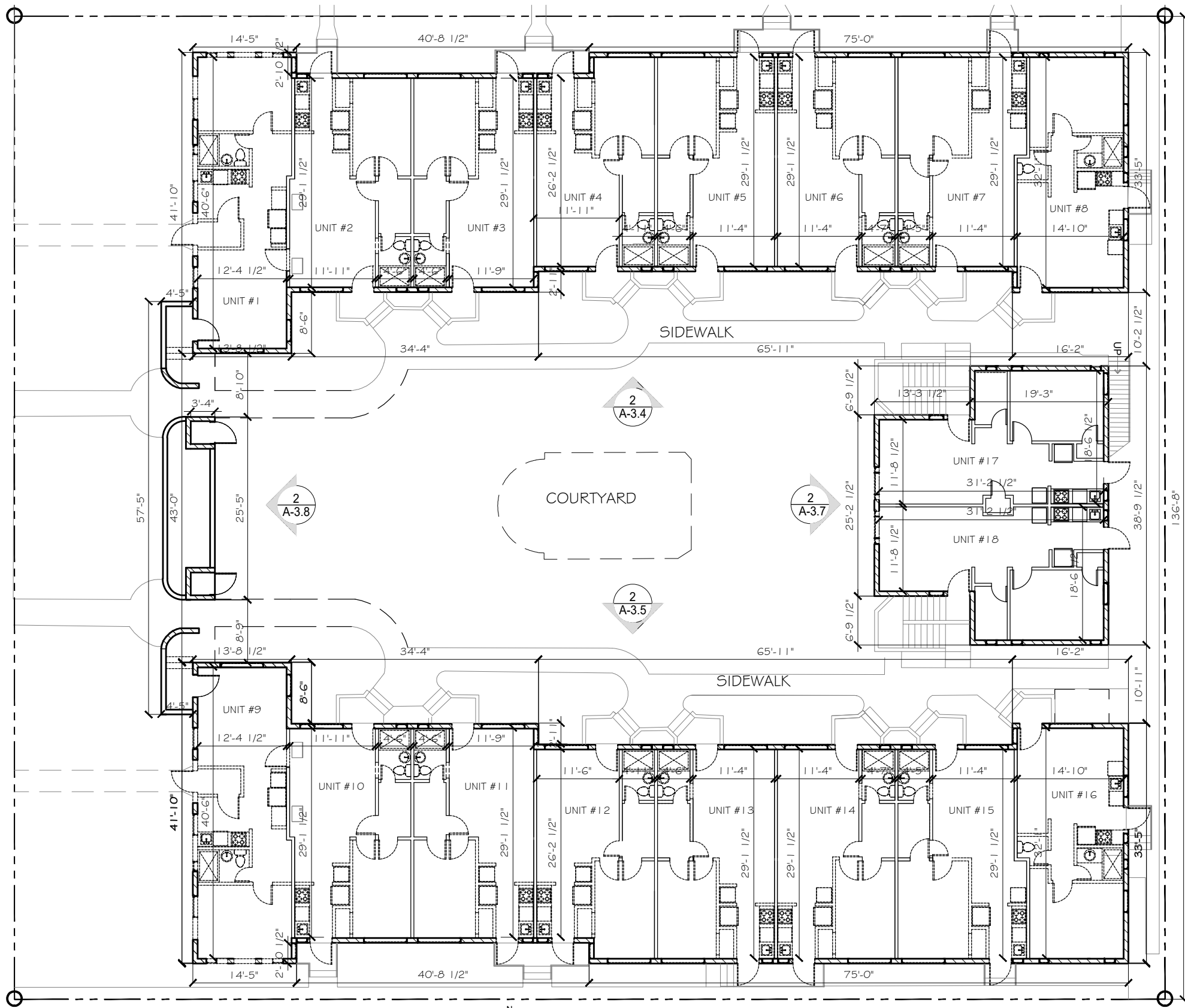
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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
2017-30
CHECKED BY : WESLEY CASTELLANOS
DRAWN BY : ALBERTO ALFARO
SCALE: N.T.S.
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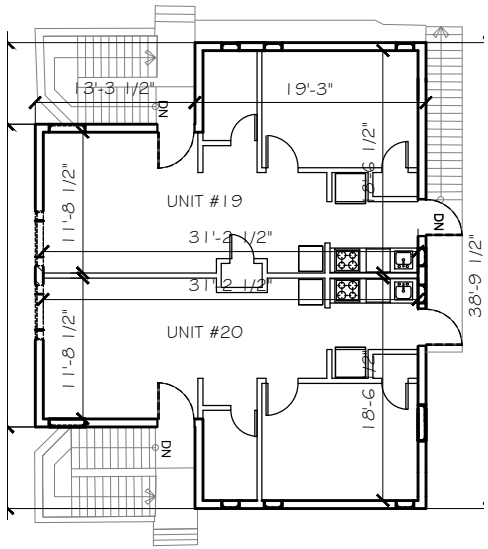
SHEET NAME :
PROPOSED SITE PLAN
SHEET NO :
AS-1



E-1



Demolition Legend	
	EXISTING INTERIOR PARTITION TO REMAIN
	EXISTING MASONRY EXTERIOR WALL
	EXISTING TO BE REMOVED



2 DEMOLITION SECOND FLOOR PLAN  
SCALE: 1/16" = 1'-0"

1 DEMOLITION GROUND FLOOR PLAN  
SCALE: 1/16" = 1'-0"

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

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No.	DATE	ISSUED / REVISED
1	16 MAR/18	HPB FIRST SUBMITTAL
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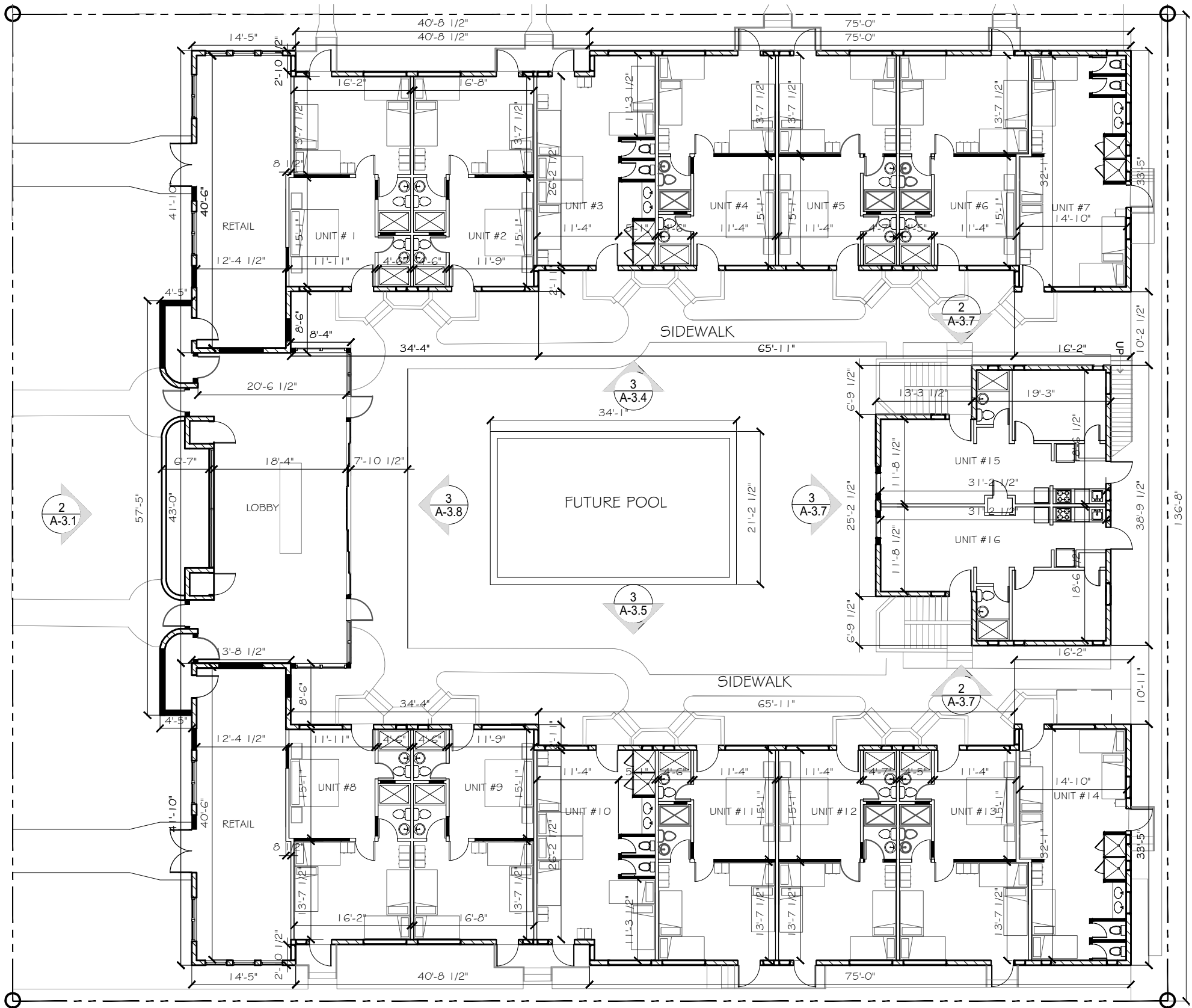
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SEAL:  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
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DRAWN BY : ALBERTO ALFARO  
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SHEET NAME :  
**DEMOLITION FLOOR PLANS**  
  
SHEET NO :  
**D-1**





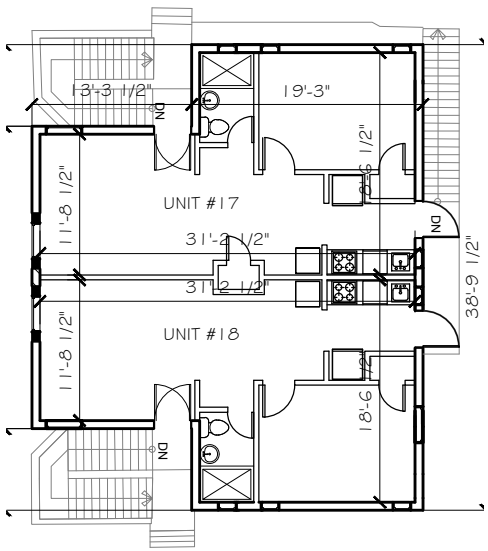
1 PROPOSED GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"



Architectural Legend:

- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING MASONRY EXTERIOR WALL
- PROPOSED WALL



2 PROPOSED SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"



CLIENT :  
835 ALTON RD  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

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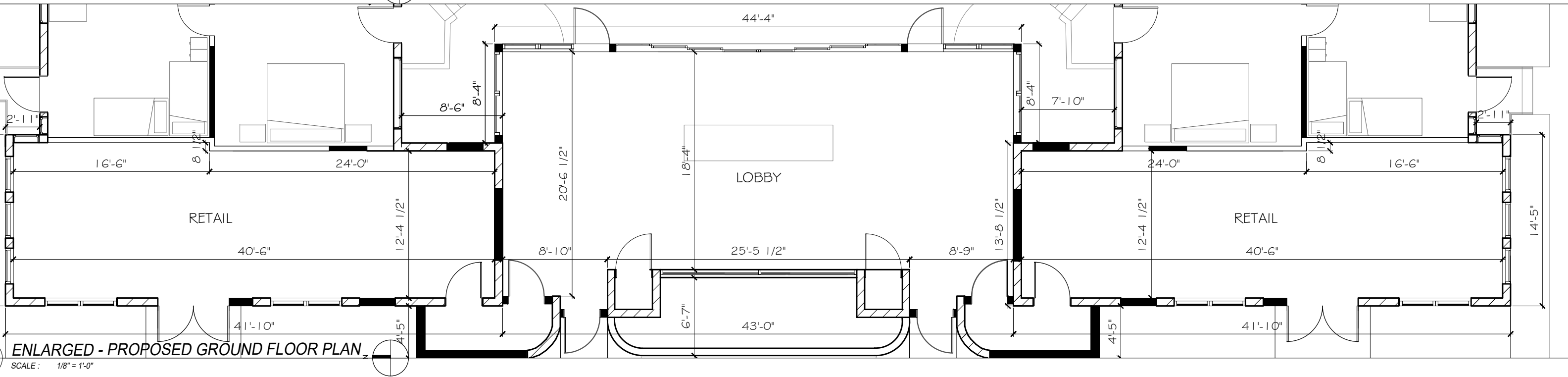
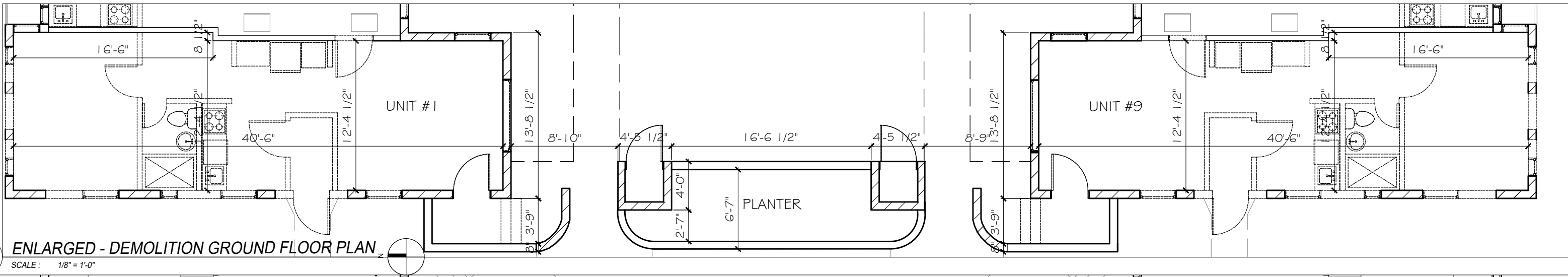
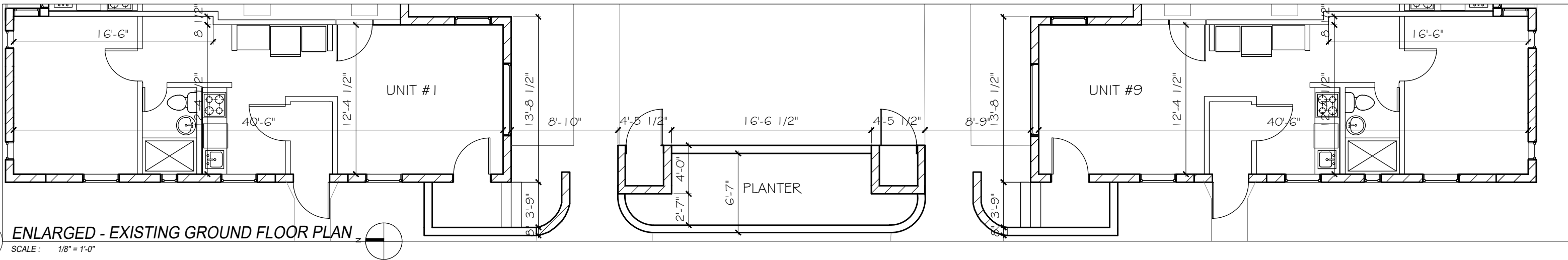
No.	DATE	ISSUED / REVISED
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PROJECT NO :  
2017-30  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
PROPOSED FLOOR PLANS  
SHEET NO :  
A-1



CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
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Folio: 02-4203-014-0430

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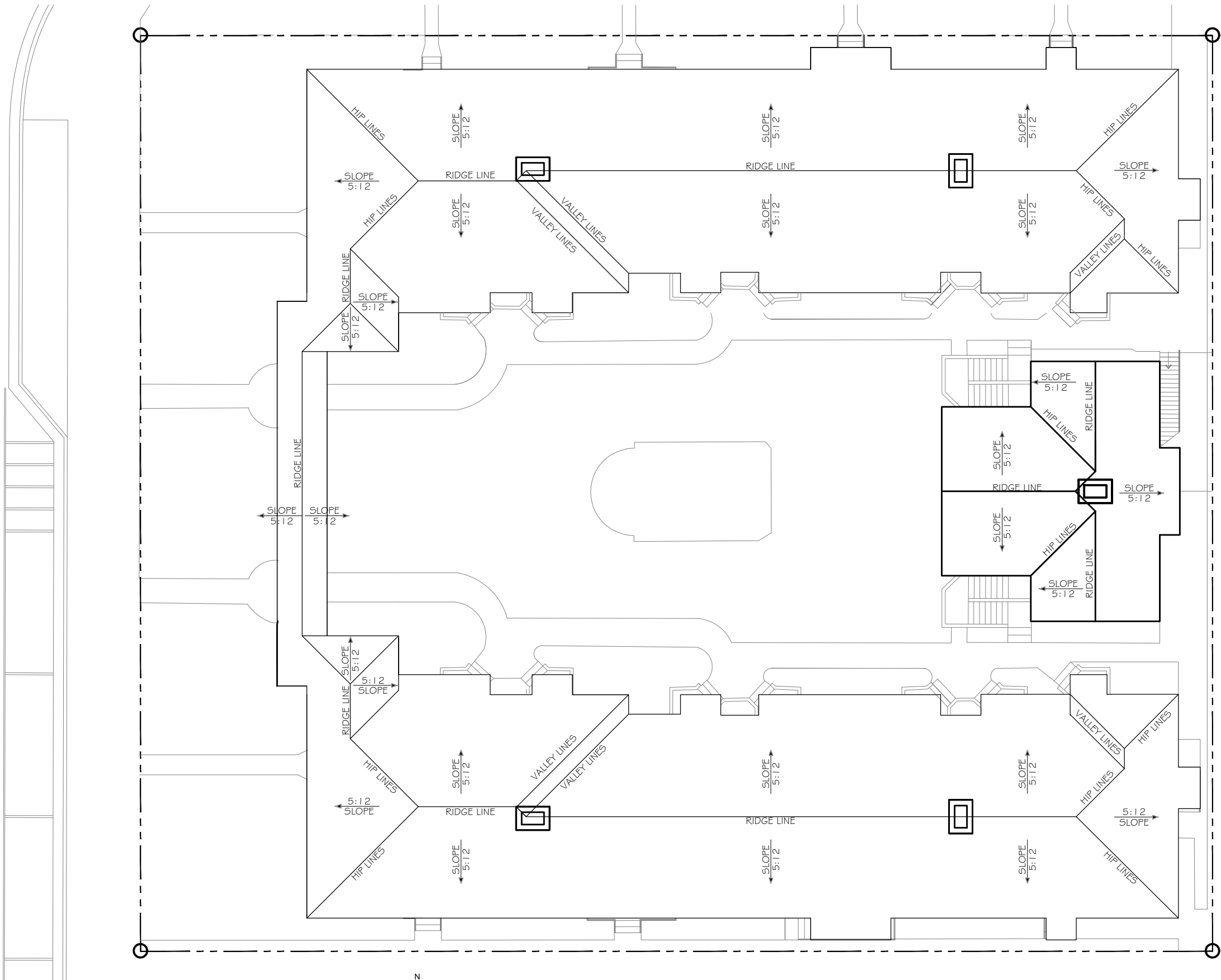
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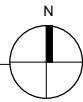
SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**ENLARGED LOBBY/  
RETAIL FLOOR PLANS**  
  
SHEET NO :  
**A-1.2**



1 EXISTING ROOF PLAN  
SCALE : 1/16" = 1'-0"



CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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No.	DATE	ISSUED / REVISED
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2	06 APR/18	HPB SECOND SUBMITTAL

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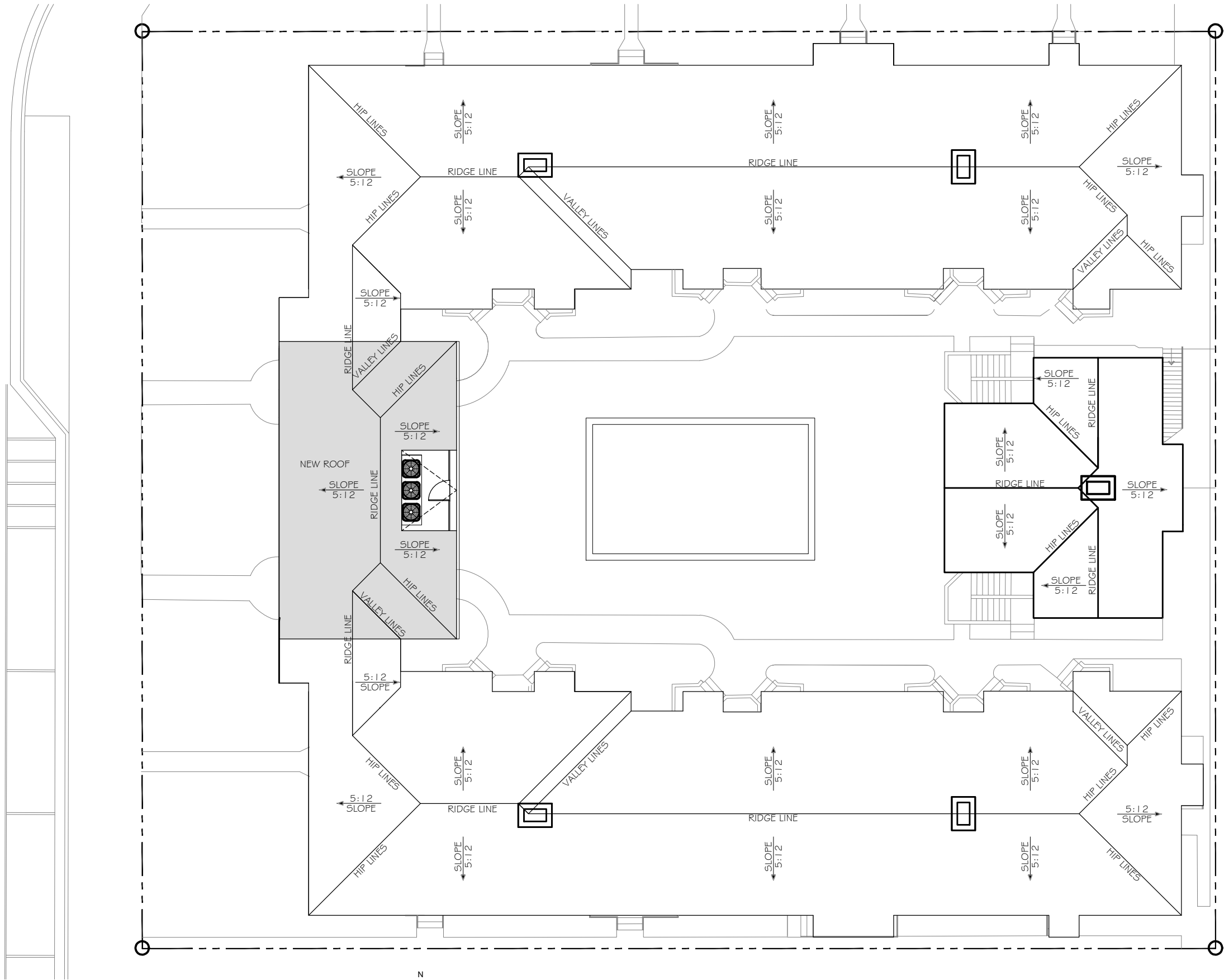
SEAL :



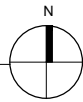
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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
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DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**EXISTING ROOF PLAN**  
  
SHEET NO :  
**A-2.1**



1 **PROPOSED ROOF PLAN**  
SCALE : 1/16" = 1'-0"



CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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SEAL :

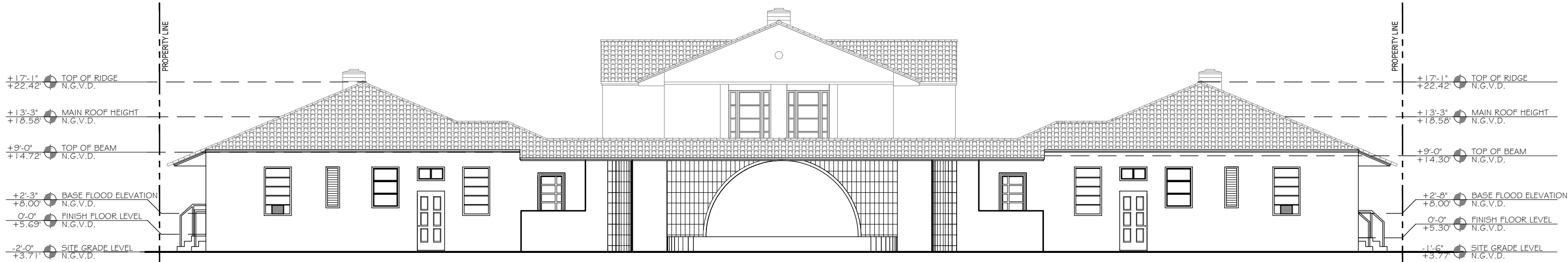


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FLORIDA ARCHITECT LICENSE AR 96133

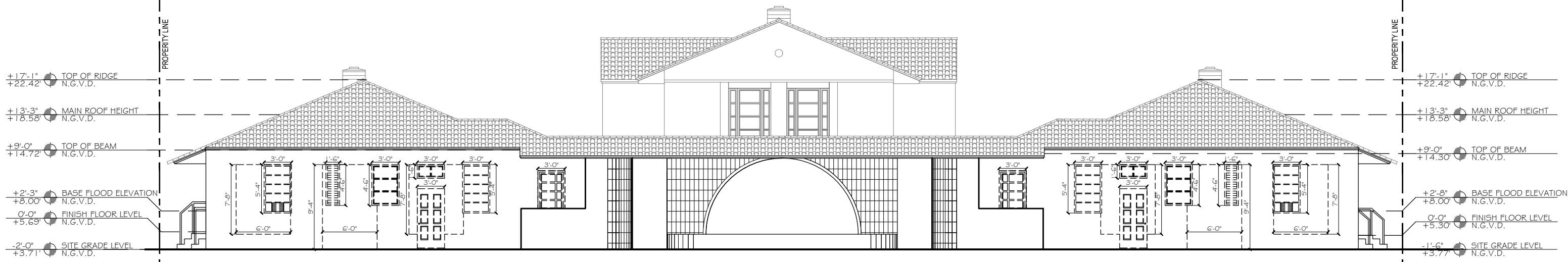
PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**PROPOSED ROOF PLAN**  
  
SHEET NO :  
**A-2.2**

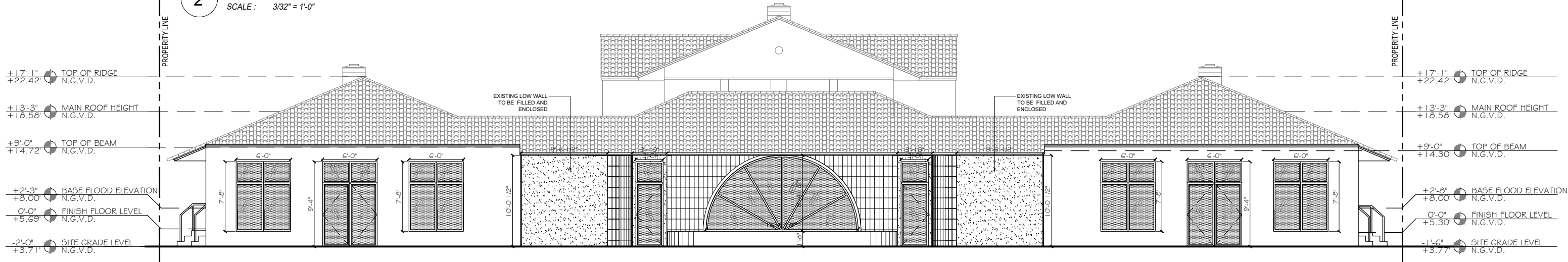




1 EXISTING WEST ELEVATION  
SCALE : 3/32" = 1'-0"



2 DEMOLITION WEST ELEVATION  
SCALE : 3/32" = 1'-0"



3 PROPOSED WEST ELEVATION  
SCALE : 3/32" = 1'-0"

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

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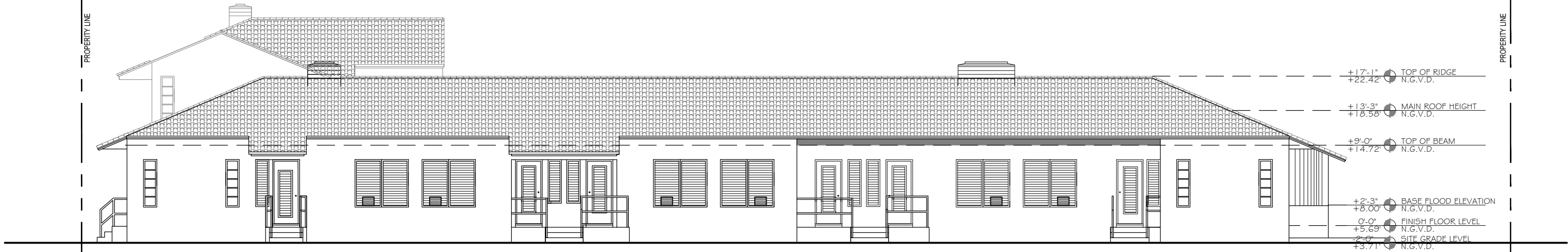
No.	DATE	ISSUED / REVISED
1	16 MAR/18	HPB FIRST SUBMITTAL
2	06 APR/18	HPB SECOND SUBMITTAL

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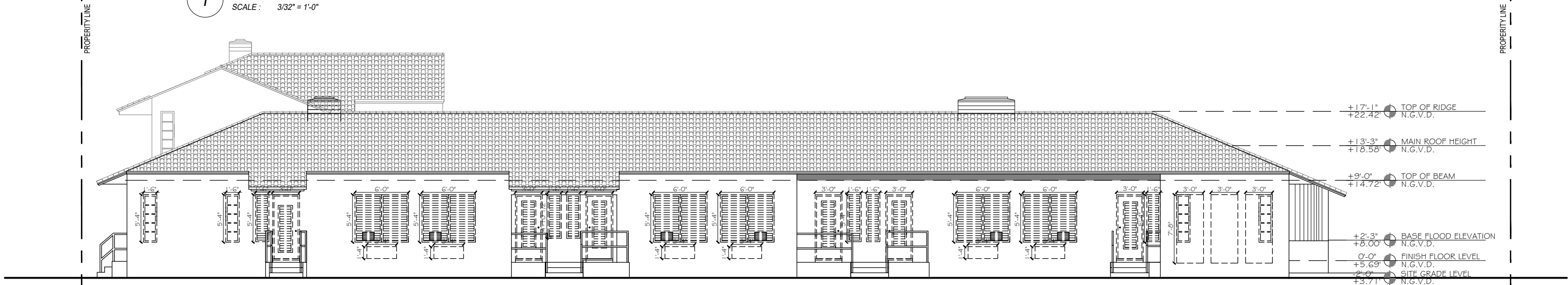
SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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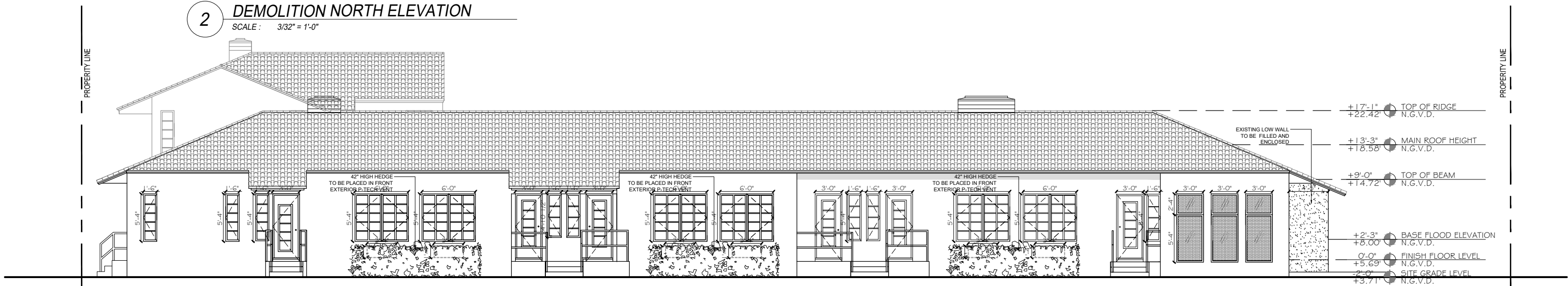
SHEET NAME :  
**EXISTING & PROPOSED  
WEST ELEVATION  
(ALTON ROAD)**  
  
SHEET NO :  
**A-3.1**



1 EXISTING NORTH ELEVATION  
SCALE : 3/32" = 1'-0"



2 DEMOLITION NORTH ELEVATION  
SCALE : 3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION  
SCALE : 3/32" = 1'-0"

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

**CDS**  
CASTELLANOS DESIGN STUDIO, LLC  
  
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2	06 APR/18	HPB SECOND SUBMITTAL

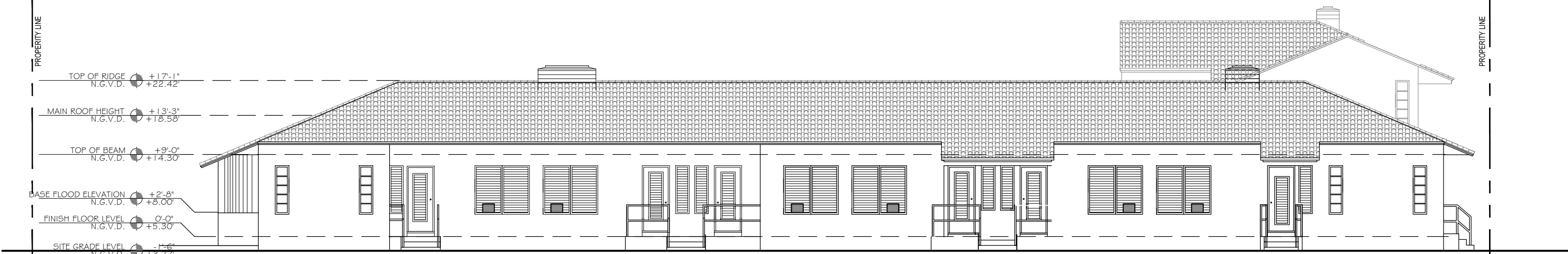
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SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

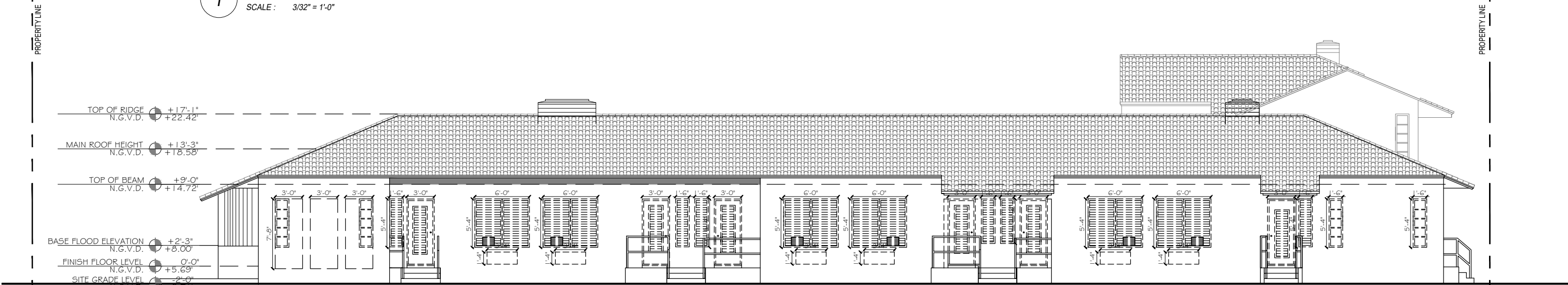
PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**EXISTING & PROPOSED  
NORTH ELEVATION  
(855 ALTON RD)**  
  
SHEET NO :  
**A-3.2**

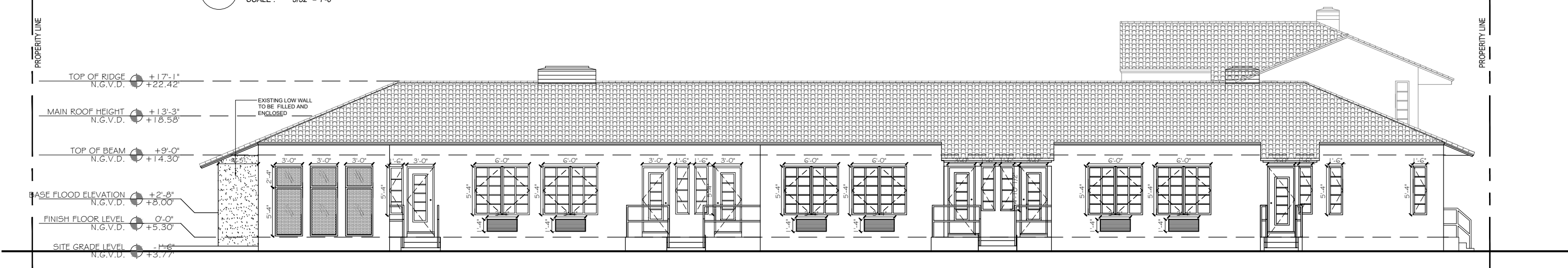




1 **EXISTING SOUTH ELEVATION**  
SCALE : 3/32" = 1'-0"



2 **DEMOLITION SOUTH ELEVATION**  
SCALE : 3/32" = 1'-0"



3 **PROPOSED SOUTH ELEVATION**  
SCALE : 3/32" = 1'-0"

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

**CDS**  
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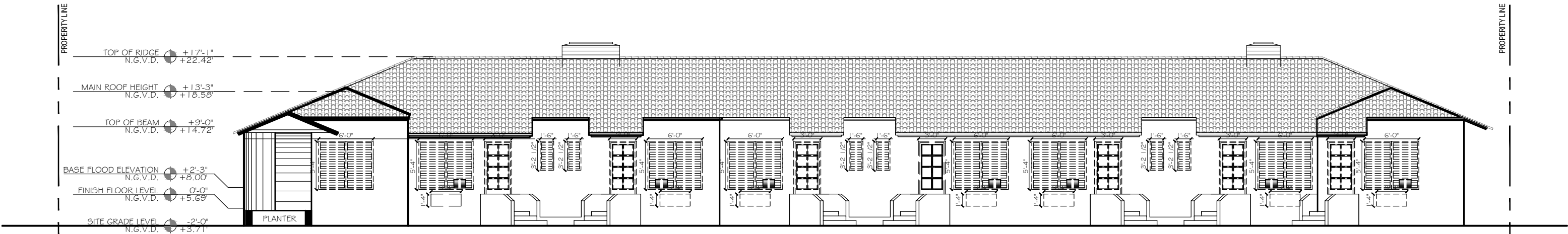
SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**EXISTING & PROPOSED SOUTH ELEVATION (835 ALTON RD)**  
SHEET NO :  
**A-3.3**



1 **EXISTING SOUTH ELEVATION**  
SCALE : 3/32" = 1'-0"



2 **DEMOLITION SOUTH ELEVATION**  
SCALE : 3/32" = 1'-0"



3 **PROPOSED SOUTH ELEVATION**  
SCALE : 3/32" = 1'-0"

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

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SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

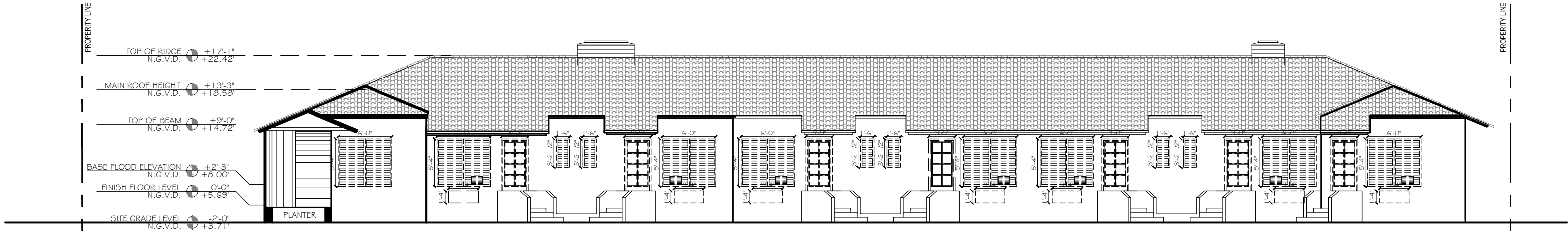
PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**EXISTING & PROPOSED  
SOUTH ELEVATION  
(855 ALTON RD)**  
SHEET NO :  
**A-3.4**





1 EXISTING NORTH ELEVATION  
SCALE : 3/32" = 1'-0"



2 DEMOLITION NORTH ELEVATION  
SCALE : 3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION  
SCALE : 3/32" = 1'-0"

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

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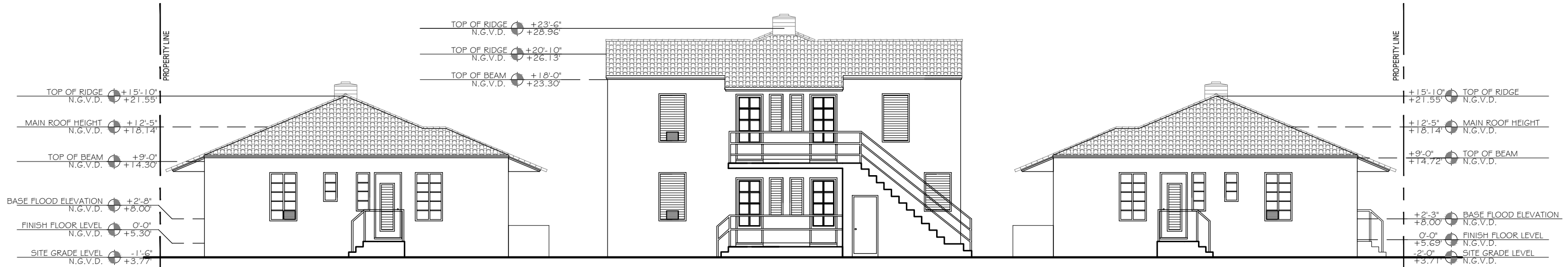
No.	DATE	ISSUED / REVISED
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2	06 APR/18	HPB SECOND SUBMITTAL

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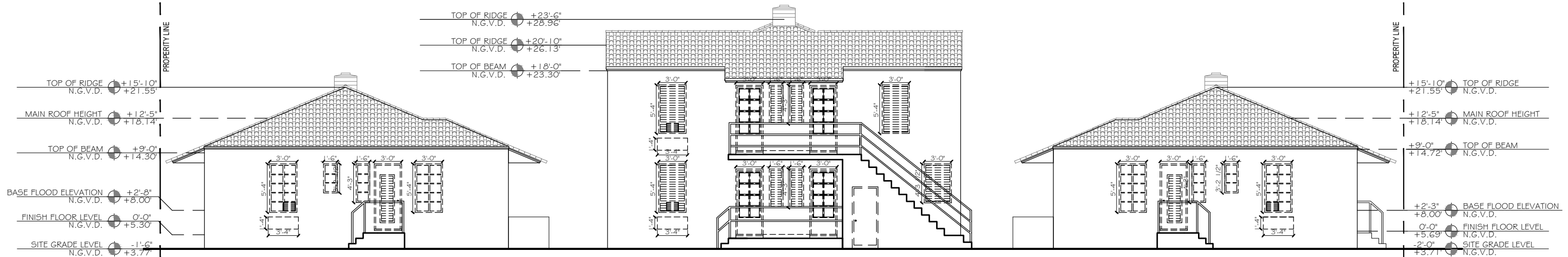
SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**EXISTING & PROPOSED  
NORTH ELEVATION  
(835 ALTON RD)**  
  
SHEET NO :  
**A-3.5**



1 EXISTING EAST ELEVATION  
SCALE: 3/32" = 1'-0"



2 DEMOLITION EAST ELEVATION  
SCALE: 3/32" = 1'-0"



3 PROPOSED EAST ELEVATION  
SCALE: 3/32" = 1'-0"

CLIENT :  
  
835 ALTON RD  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

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SEAL:  
  
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FLORIDA ARCHITECT LICENSE AR 96133

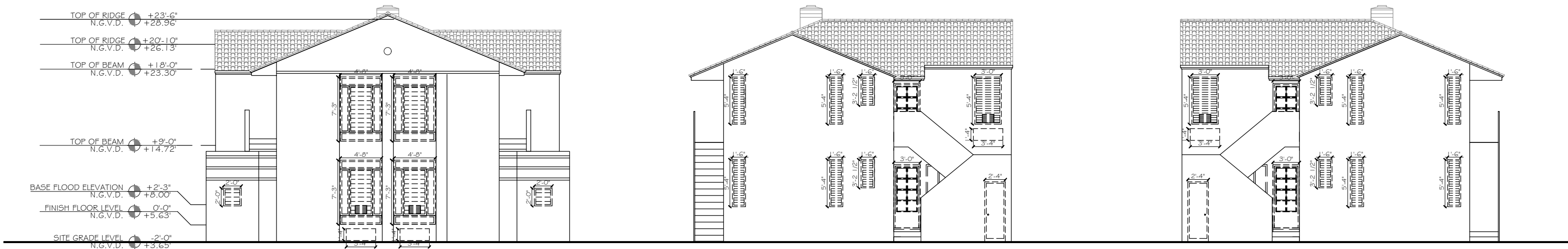
PROJECT NO :  
  
2017-30  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
EXISTING & PROPOSED  
EAST ELEVATION  
  
SHEET NO :  
  
A-3.6

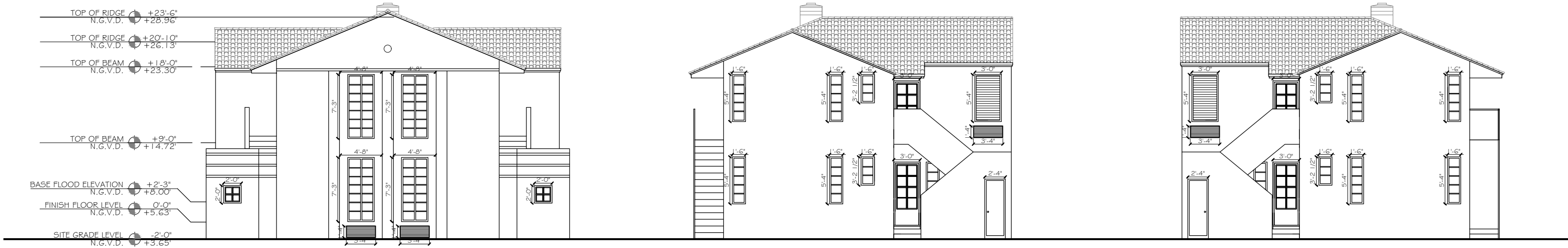




1 **EXISTING 845 ALTON ELEVATIONS**  
SCALE : 3/32" = 1'-0"



2 **DEMOLITION 845 ALTON ELEVATIONS**  
SCALE : 3/32" = 1'-0"



3 **PROPOSED 845 ALTON ELEVATIONS**  
SCALE : 3/32" = 1'-0"

CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430

**CDS**  
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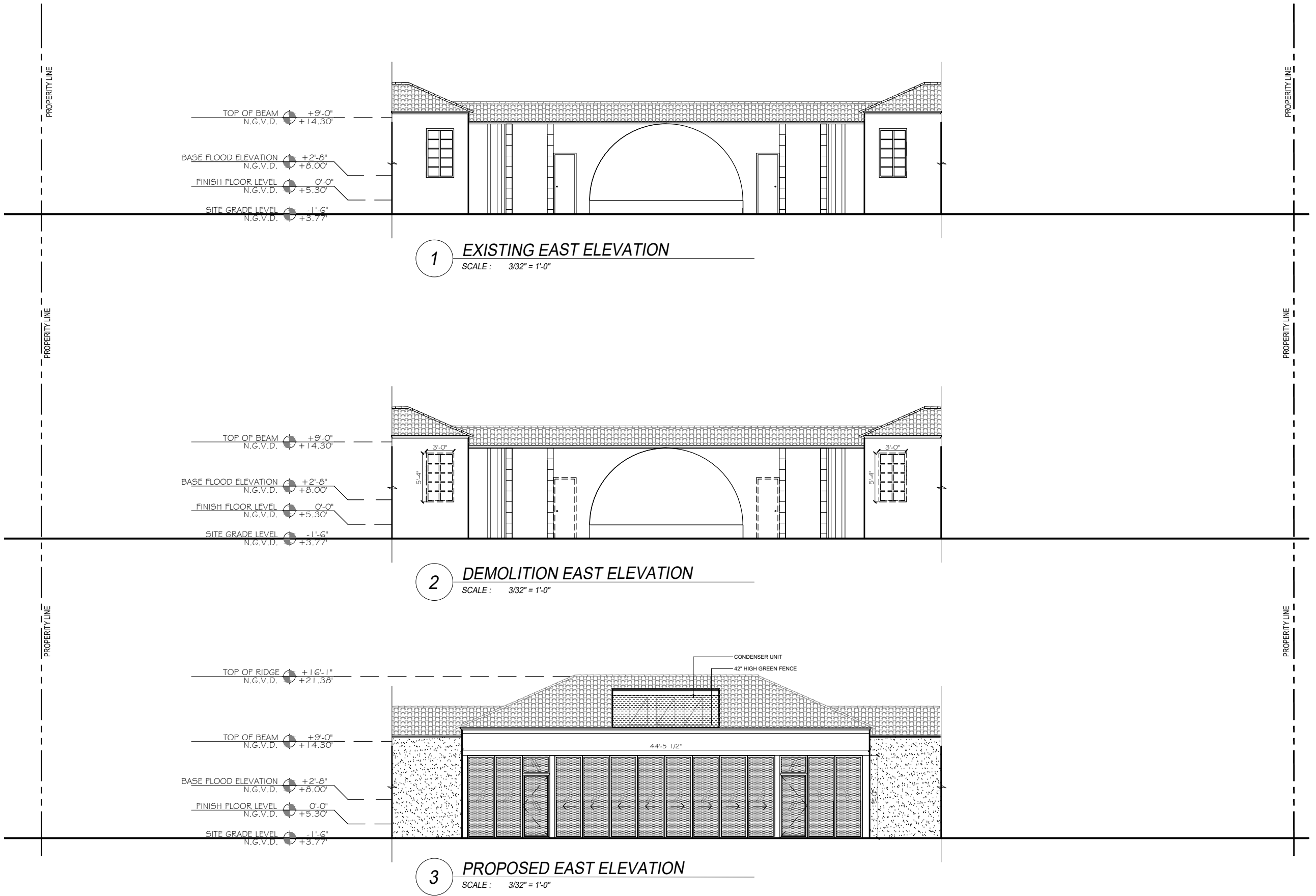
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2	06 APR/18	HPB SECOND SUBMITTAL

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SEAL :  
  
WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :  
**2017-30**  
  
CHECKED BY : WESLEY CASTELLANOS  
DRAWN BY : ALBERTO ALFARO  
SCALE: N.T.S.  
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SHEET NAME :  
**EXISTING & PROPOSED  
BUILDING 845 ALTON  
ELEVATIONS**  
SHEET NO :  
**A-3.7**



CLIENT :  
**835 ALTON RD**  
  
835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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2	06 APR/18	HPB SECOND SUBMITTAL

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SEAL :



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FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :
2017-30
CHECKED BY : WESLEY CASTELLANOS
DRAWN BY : ALBERTO ALFARO
SCALE: N.T.S.
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SHEET NAME :  
**EXISTING & PROPOSED  
EAST ELEVATION  
OF ARCH**

SHEET NO :  
**A-3.8**



- THIS SHEET INTENTIONALLY LEFT BLANK -

CLIENT :

835 ALTON RD

835 Alton Road  
Miami Beach, FL 33139-5568  
Folio: 02-4203-014-0430



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SEAL :



WESLEY ART CASTELLANOS  
FLORIDA ARCHITECT LICENSE AR 96133

PROJECT NO :

2017-30

CHECKED BY : WESLEY CASTELLANOS

DRAWN BY : ALBERTO ALFARO

SCALE: N.T.S.

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SHEET NAME :

BACK COVER SHEET

SHEET NO :

X-X