



550 9TH STREET, MIAMI BEACH

Scope: Conversion of a hospital facility into a select service hotel. Zoning District Assumption CD-2.

Variance Request:

1. Minimum Hotel Unit Size - Allow for units as small as 265sf where code calls for a min of 300 sf
2. Valet and Tandem Parking - Allow for stacking up to three (3) vehicles for valet and tandem parking where code calls for max of two (2) vehicles
3. Setbacks - Allow for new construction for rooftop pool deck and mechanical enclosure on rooftop where setbacks of existing structure are nonconforming
4. Sign - Allow for the relocation of the building identification sign from the building parapet

HPB Final Submittal Package
February 02, 2018

**Shulman +
Associates**

Architecture Interior Design Urban Design Graphic Design · 100 NE 38 Street Miami, FL 33137 305 438 0609 shulman-design.com AA 26001090

G-1.01 ZONING DATA AND DRAWING LIST

Item #	Zoning Information			
1	Address:	550 9TH STREET, MIAMI BEACH FL, 33139		
2	Board and file numbers:	HPB18-0185		
3	Folio number(s):	02-4203-009-0100		
4	Year constructed:	1966		
5	Existing Zoning District:	HD		
6	Proposed Zoning District:	CD-2 COMMERCIAL, MEDIUM INTENSITY		
7	Existing Use:	HOSPITAL FACILITY - 192 BEDS (EST.)		
8	Proposed Use:	HOTEL		
9	Grade (On 9th St. Frontage):	4.41' NGVD		
10	Lowest Elevation at Ground Floor:	5.85' NGVD EXISTING		
11	Base Flood Elevation:	8.0' NGVD		
12	Lot Area:	20,870 SF		
13	Lot Width:	189'-0"		
14	Lot Depth:	VARIES (108' - 4")		

		Maximum	Existing	Proposed
15	Height	50'	53'-2" NON CONFORMING	62'-4" EXTENSION IS ARCHITECTURAL MECHANICAL SCREEN. NON-HABITAL SPACE
16	Number of Stories	5	6 STORIES NON CONFORMING	6 STORIES EX. TO REMAIN NON CONFORMING
17	FAR: 1.5	31,305 SF	50,441 SF	50,441 SF EX. TO REMAIN
18	Lot Coverage	80 Percent	56 Percent (11,764 SF)	56 Percent (11,764 SF)
19	Open Space Requirements	20 Percent	7 Percent (1,575 SF)	21.9 Percent (4,587 SF)
20	Number of Hospital Rooms	N/A	88 (192 Beds EST.)	N/A
21	Number of Hotel Rooms	0	0	110
22	Number of Restaurant Seats	60	0	60

	Setbacks	Required	Existing	Proposed
	At Grade Parking:			
23	Front Setback_North (9th Street):	5'-0"	10'-0"	10'-0"
24	Side Setback_West (Pennsylvania Ave):	5'-0"	0'-0"	21'-0"
25	Side Interior Setback_East:	5'-0"	0'-0"	VARIES (5" - 9'-4")
26	Rear Setback_South:	5'-0"	108'-5"	65'-3"
	Pedestal:			
27	Front Setback_West (Pennsylvania): (Per RM-2)	20'-0"	15'-6"	15'-6" TO POOL/DECK
28	Side Street Setback_North (9th St.):	15'-2"	0'-0"	15'-2" TO POOL DECK
29	Side Interior Setback_South:	15'-2"	0'-0"	70'-9" TO POOL DECK
30	Rear Setback_East:	10'-8"	VARIES (6'-4" - 48'-5")	VARIES (6'-4" - 48'-5")
	Tower:			
31	Front Setback_West (Pennsylvania Ave):	23'-2"	12'-8"	12'-8" EX. TO REMAIN
32	Side Street Setback_North (9th Street):	15'-2"	0'-0"	0'-0" EX TO REMAIN
33	Side Interior Setback_South:	15'-2"	26'-3"	26'-3" EX TO REMAIN
34	Rear Setback_East:	16'-2"	6'-4"	6'-4" EX TO REMAIN

	Parking	Required	Existing	Proposed
35	Parking District 7			
36	Total # of parking spaces:	N/A NOT REQUIRED	19	29 TOTAL, VALET PARKING
37	# of parking spaces per use (Provide a separate chart for breakdown calculation)	N/A	N/A	29 HOTEL USE
	# of parking spaces per level (provide a separate chart for a breakdown calculation)	N/A	N/A	29 GROUND LEVEL ONLY
38				
39	Parking Space Dimensions	8'-6" X 16'-0" VALET	NON CONFORMING	8'-6" X 16'-0" VALET
40	Parking Space configuration (45o, 60o, n90o, Parallel)	N/A	PERPENDICULAR	PERPENDICULAR AND TANDEM
41	ADA Spaces	2	2	2
42	Tandem Spaces	N/A	N/A	18
43	Drive Aisle Width	24'-0" TYP 22'-0" VALET	VARIES NON-CONFORMING	18'-0" MIN (ONE WAY) 24'-0" MAX (TWO WAY) VALET
44	Valet drop-off and pick-up	N/A	0	29
45	On-Street Loading Spaces (Detailed plan for on street loading pursuant to approval by parking department Sec 130-101C)	N/A	N/A	1
46	Bicycle Racks	2	0	5

47	Is this a contributing building?	No
48	Located within a Local Historic District?	Yes

	UNIT SIZE	Required	Existing	Proposed
49	80 Existing Hospital Rooms Converted to Hotel Rooms	15%: 300-335 85%: 335+	253 SF TYP	269-284 SF
50	8 Existing Hospital Rooms Converted to Hotel Suites	15%: 300-335 85%: 335+	574 SF	560-574 SF
51	22 New Proposed Hotel Rooms	15%: 300-335 85%: 335+	N/A	265- 383 SF

Notes:
If not applicable write N/A
All other data information may be required and presented like the above format

DRAWING LIST

Cover
Survey

- G-1.01

Zoning Data and Drawing list
- G-1.02

Location Plan
- G-1.03

Zoning and Historic District Map
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Existing Site Plan
- G-1.05

Proposed Site Plan
- G-1.06

Existing FAR Diagrams
- G-1.07

Proposed FAR Diagrams
- G-1.08-09

Context Elevations
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Existing Site Photos
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Existing Interior Photos
- G-1.13-24

Context Photos
- G-1.25

Materials
- AB-1.00

Existing Ground Floor Plan
- AB-1.01

Existing Second Floor Plan
- AB-1.02

Existing Third Floor Plan
- AB-1.03

Existing Fourth Floor Plan
- AB-1.04

Existing Fifth Floor Plan
- AB-1.05

Existing Sixth floor Plan
- AB-1.06

Existing Roof Plan
- AB-2.00

Existing East and West Elevations
- AB-2.01

Existing North and South Elevations
- D-1.00

Ground Floor Demolition Plan
- D-1.01

Second Floor Demolition Plan
- D-1.02

Third Floor Demolition Plan
- D-1.03

Fourth Floor Demolition Plan
- D-1.04

Fifth Floor Demolition Plan
- D-1.05

Roof Demolition Plan
- D-2.00

East and West Demolition Elevations
- D-2.01

North and South Demolition Elevations
- A-1.00

Proposed Ground Floor Plan
- A-1.01

Proposed Second Floor Plan
- A-1.02

Proposed Third Floor Plan
- A-1.03

Proposed Fourth Floor Plan
- A-1.04

Proposed Fifth Floor Plan
- A-1.05

Proposed Sixth Floor Plan
- A-1.06

Proposed Roof Plan
- A-2.00

Proposed East and West Elevations
- A-2.01

Proposed North and South Elevations
- A-3.00

Proposed Transverse Section
- A-4.02

Perspective View North East
- A-4.01

Perspective View South West
- L-1.00

Site Survey
- L-1.01

Tree Disposition Plan
- L-1.02

Conceptual Rendering-First Floor Plan
- L-1.03

Conceptual Rendering-Roof Deck
- L-1.04

Hardscape Plan-First Floor Plan
- L-1.05

Hardscape Plan-Roof Deck Plan
- L-1.06

Landscape Plan-First Floor Plan
- L-1.07

Landscape Plan-Roof Deck Plan
- L-1.08

Planting Details and Legend
- L-1.09

Landscape Plant Images
- L-1.10

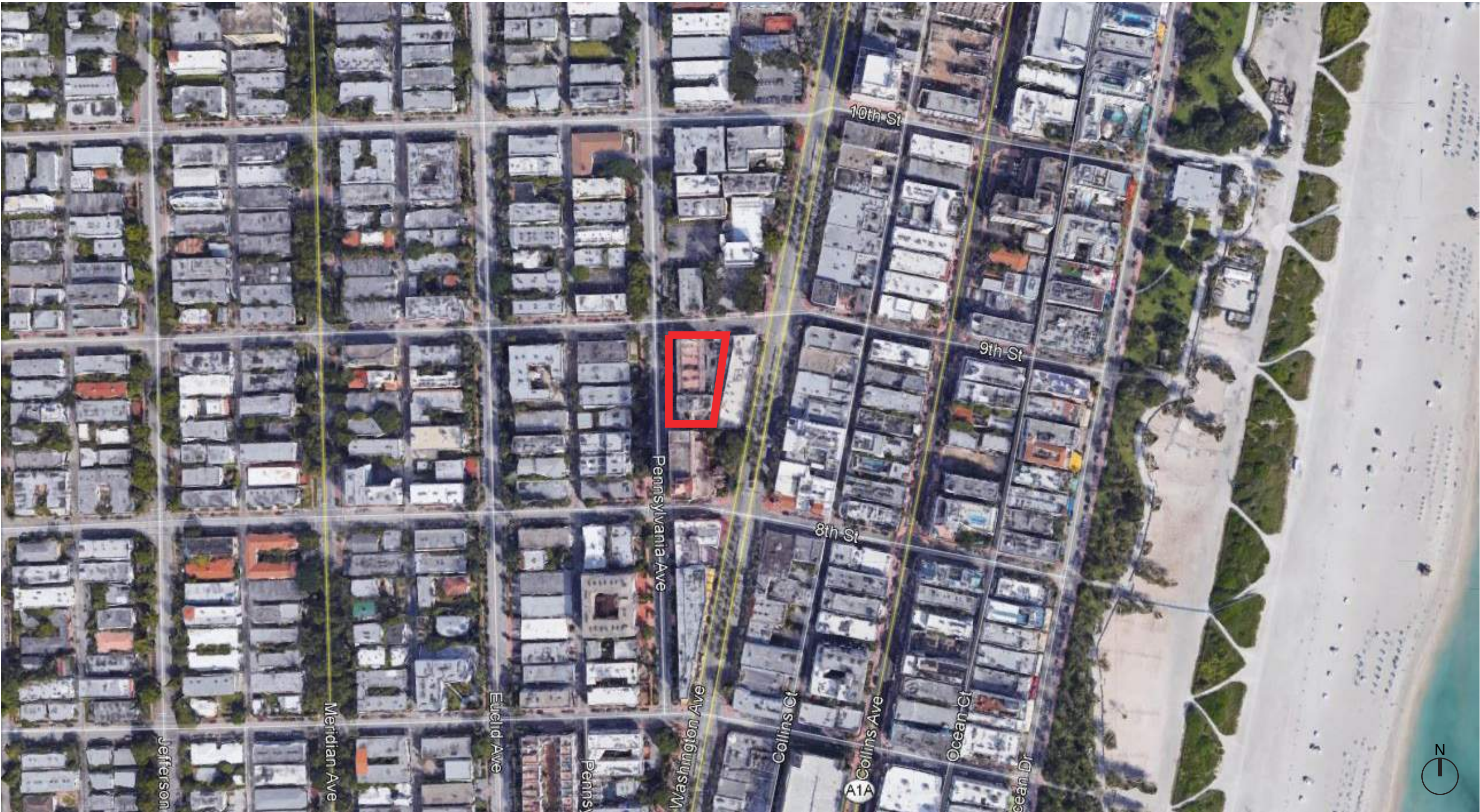
Landscape Lighting Plan
- L-1.11

Landscape Lighting Plan
- L-1.12

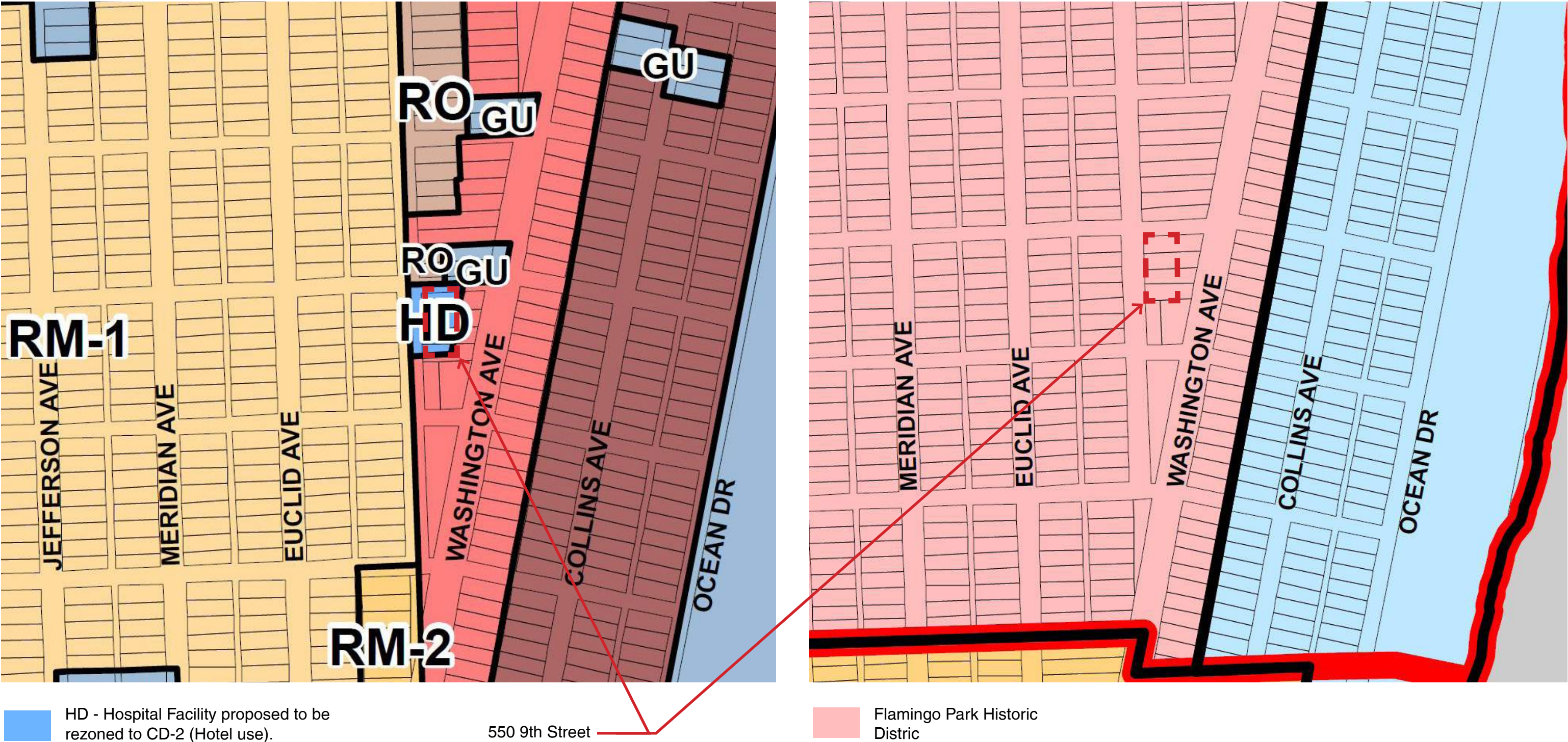
Landscape Lighting Plan
- L-1.13

Irrigation Plan

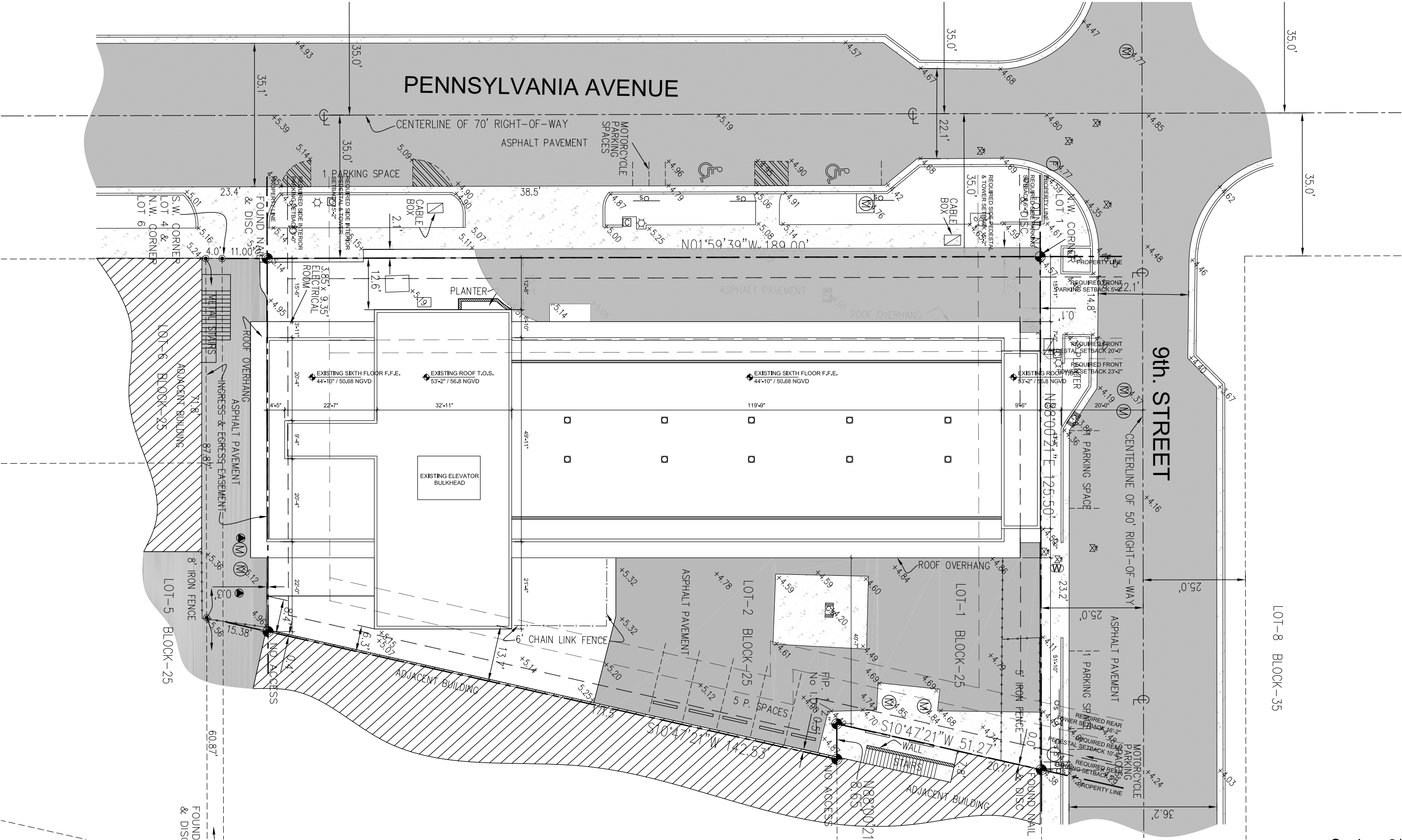
G-1.02 LOCATION MAP



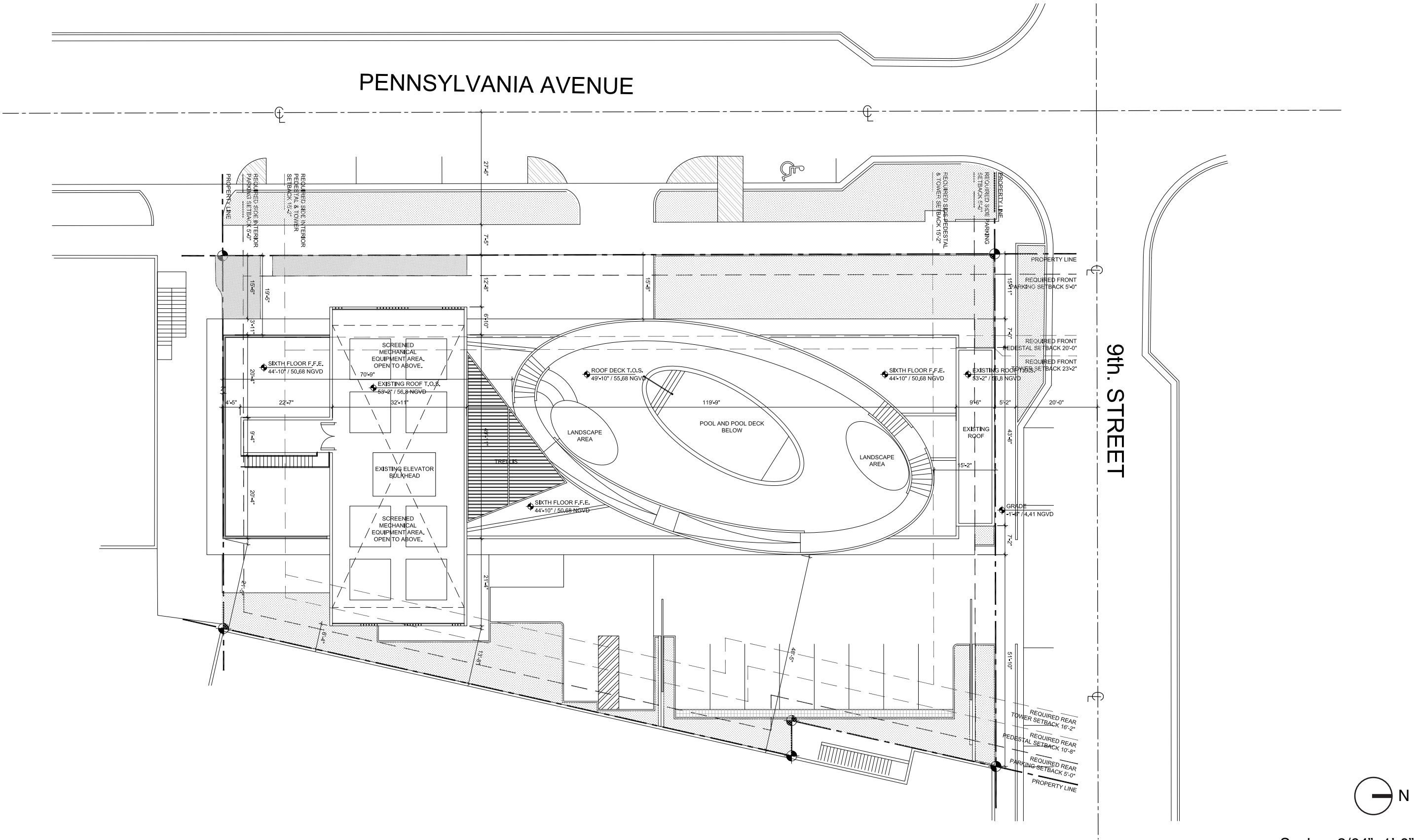
G-1.03 ZONING AND HISTORIC DISTRICT MAP



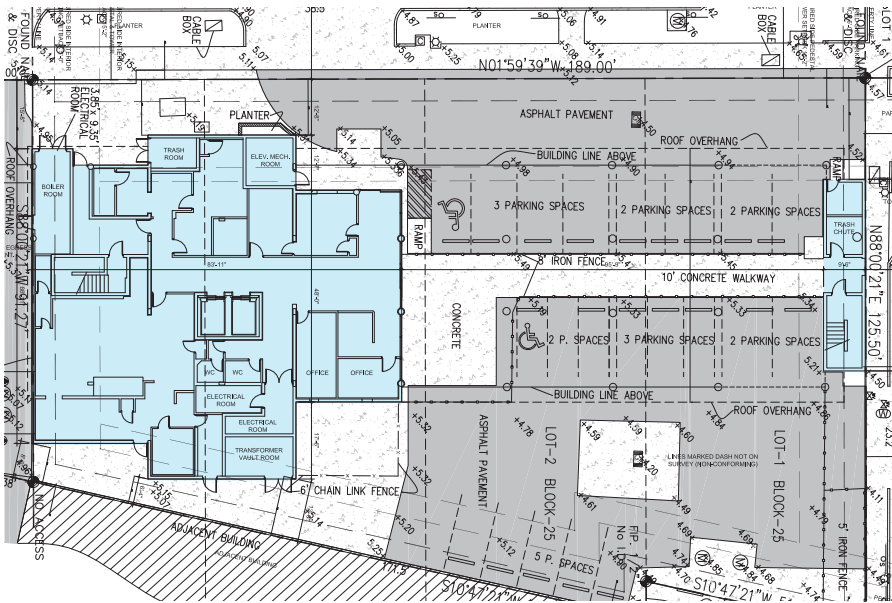
G-1.04 EXISTING SITE PLAN



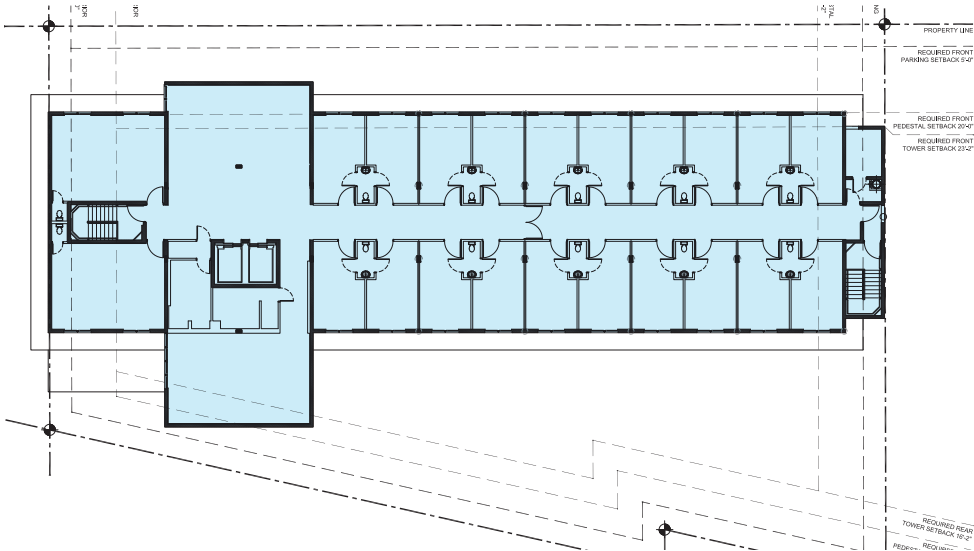
G-1.05 PROPOSED SITE PLAN



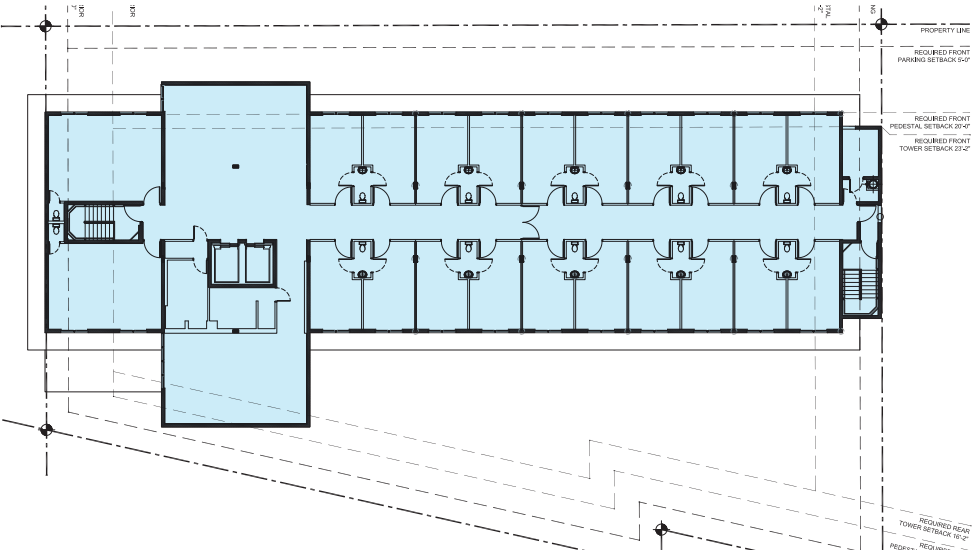
G-1.06 EXISTING FAR DIAGRAMS



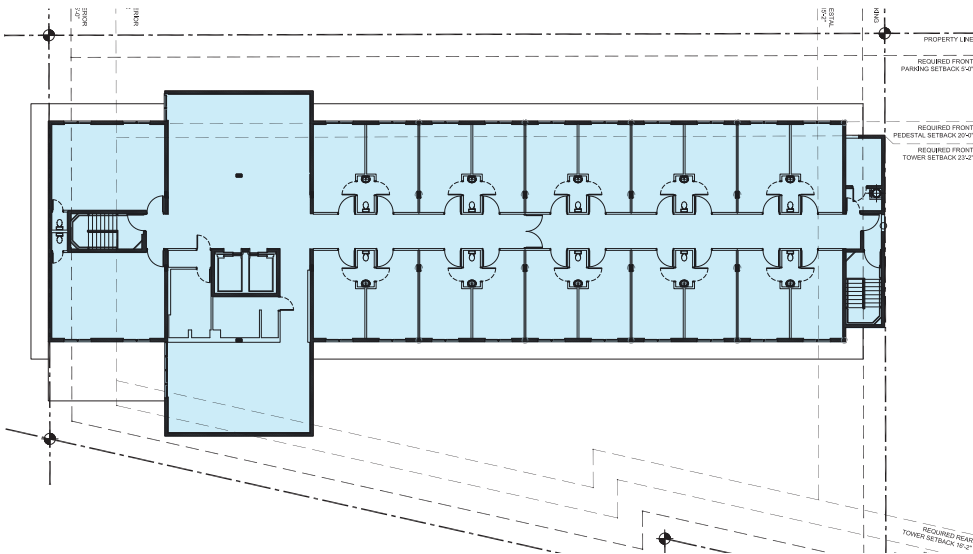
Existing Ground Floor - 5,883 sf



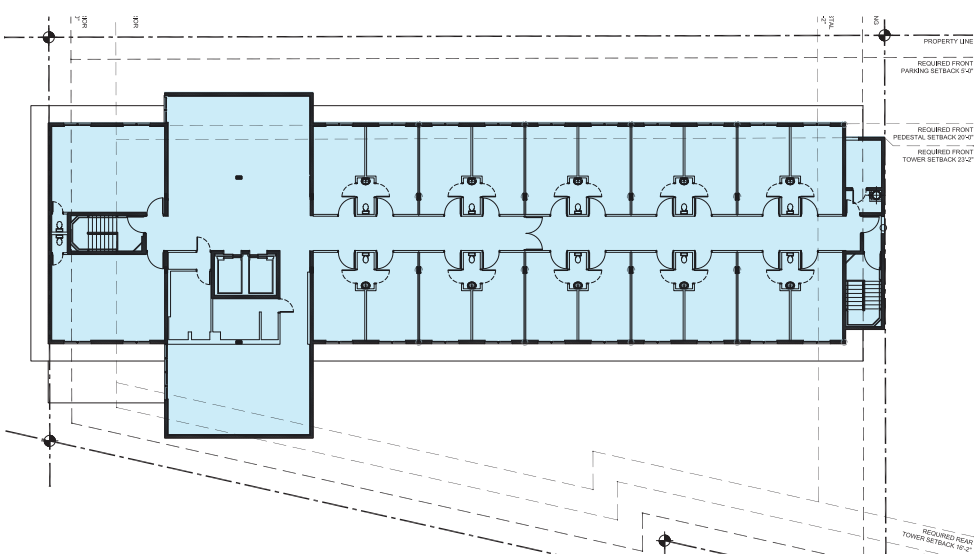
Existing Third Floor - 10,330 sf



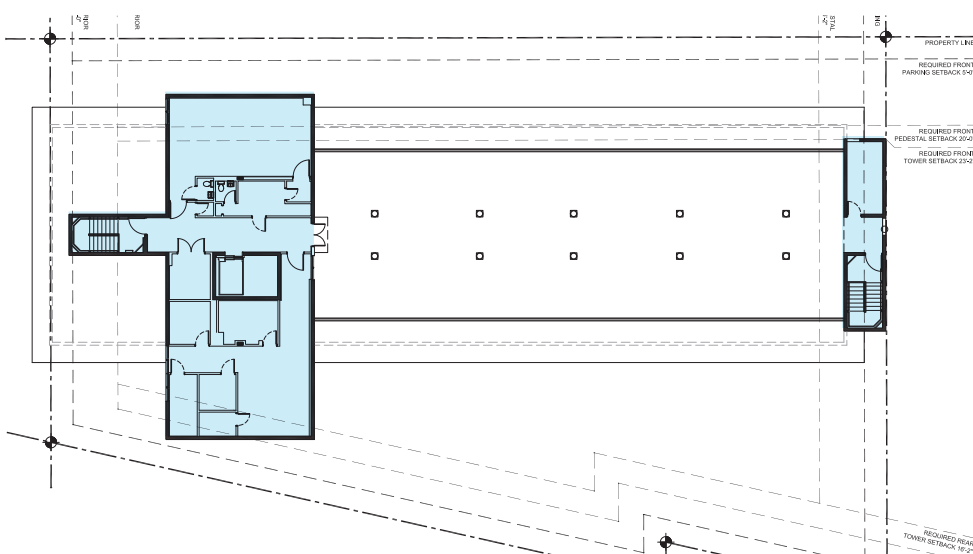
Existing Fifth Floor - 10,330 sf



Existing Second Floor - 10,330 sf



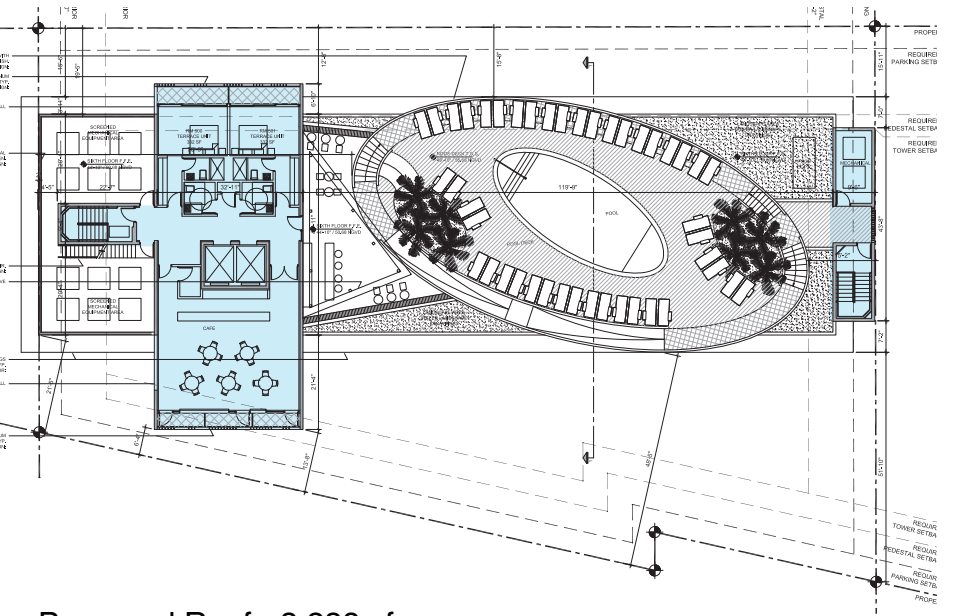
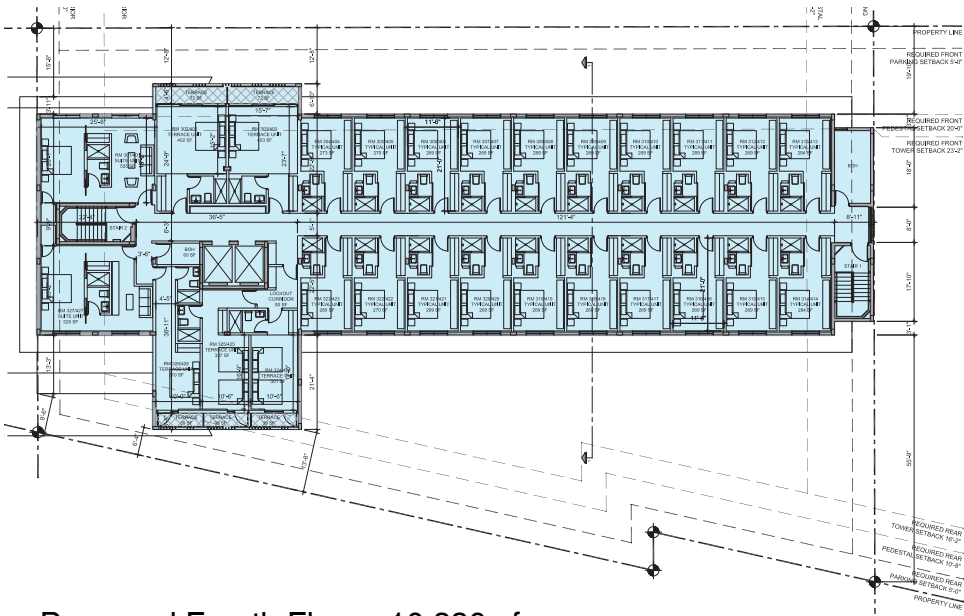
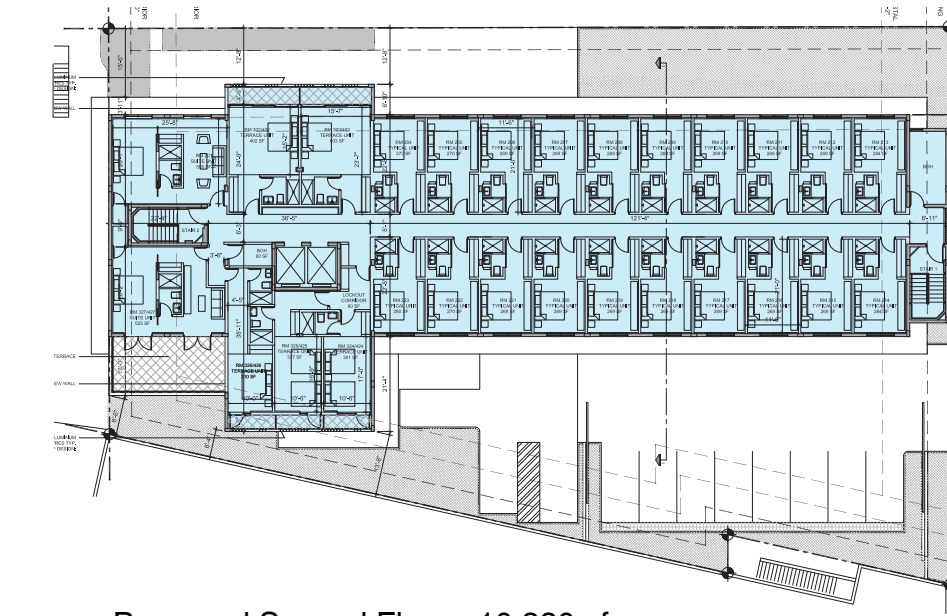
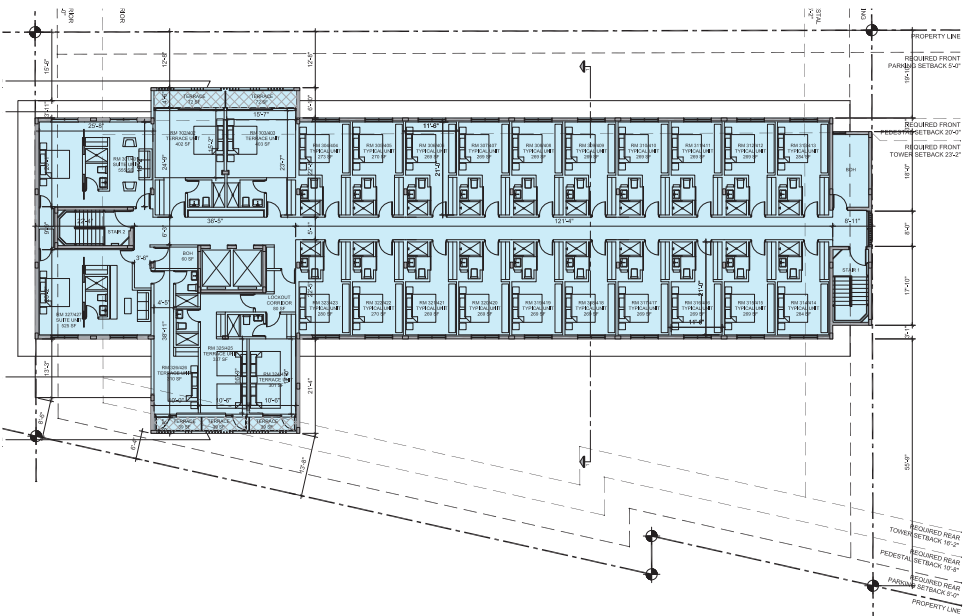
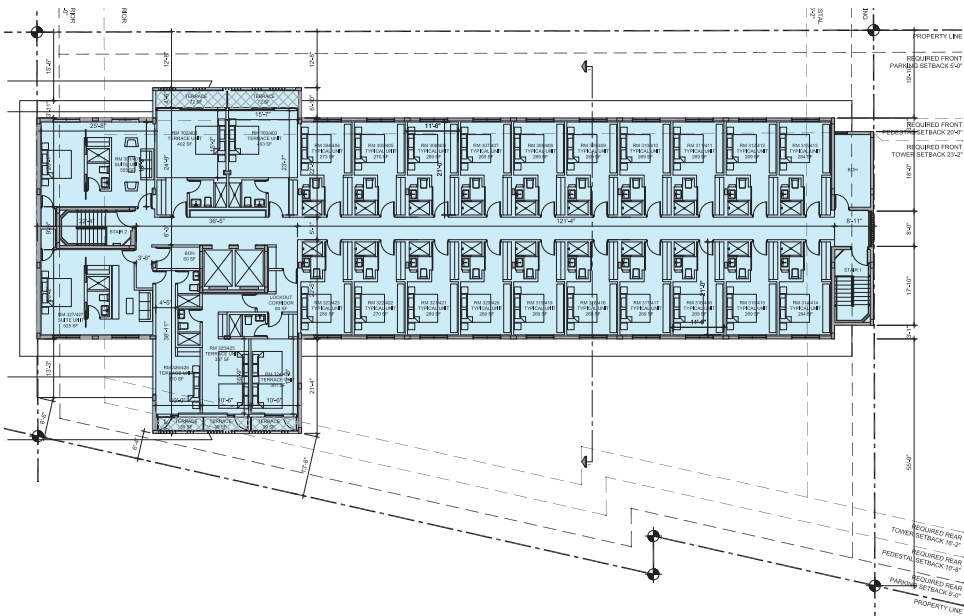
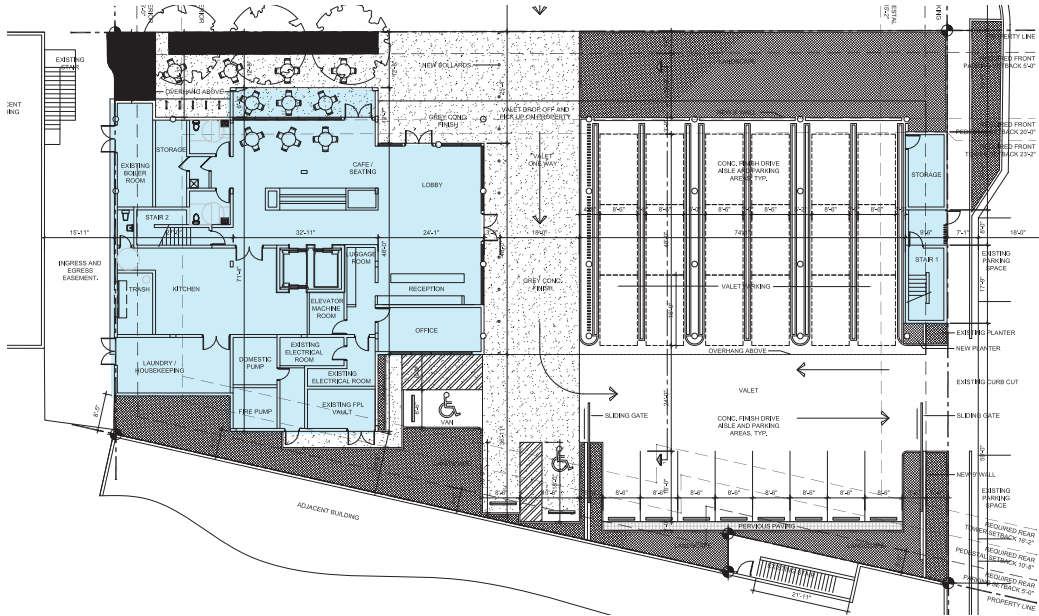
Existing Fourth Floor - 10,330 sf



Existing Sixth Floor - 3,238 sf

Total - 50,441 sf

G-1.07 PROPOSED FAR DIAGRAMS



Total - 50,441 sf (as existing).

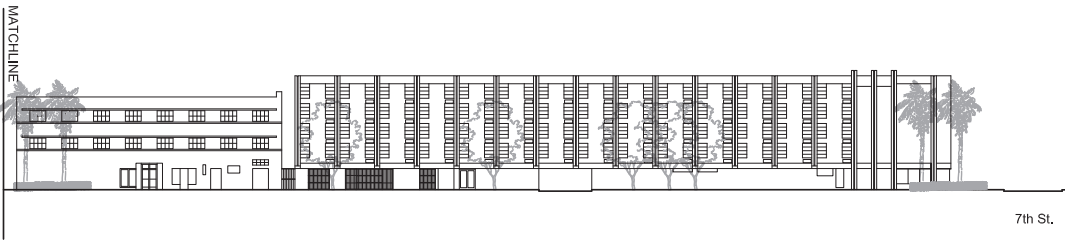
G-1.08 CONTEXT ELEVATIONS



1



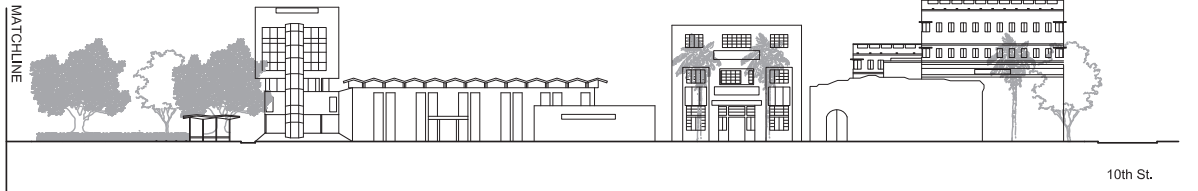
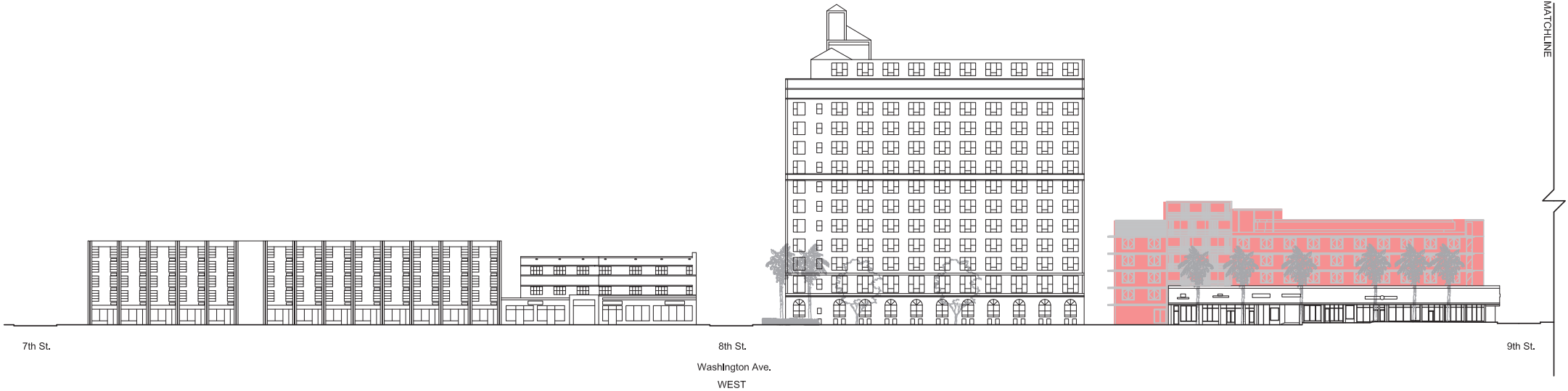
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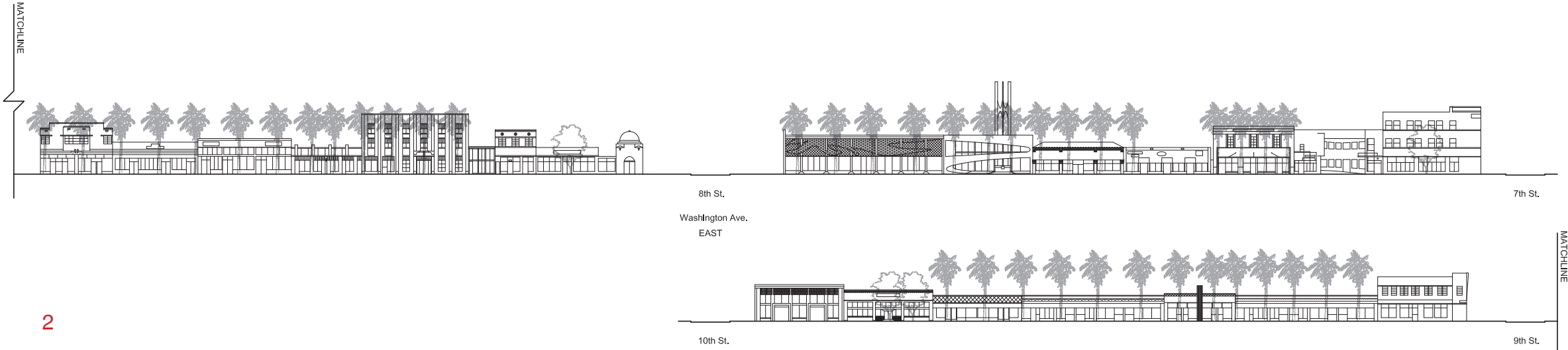
G-1.09 CONTEXT ELEVATIONS



1



2



G-1.10 EXISTING SITE PHOTOS



PHOTOS TAKEN DECEMBER 19, 2017



1



2

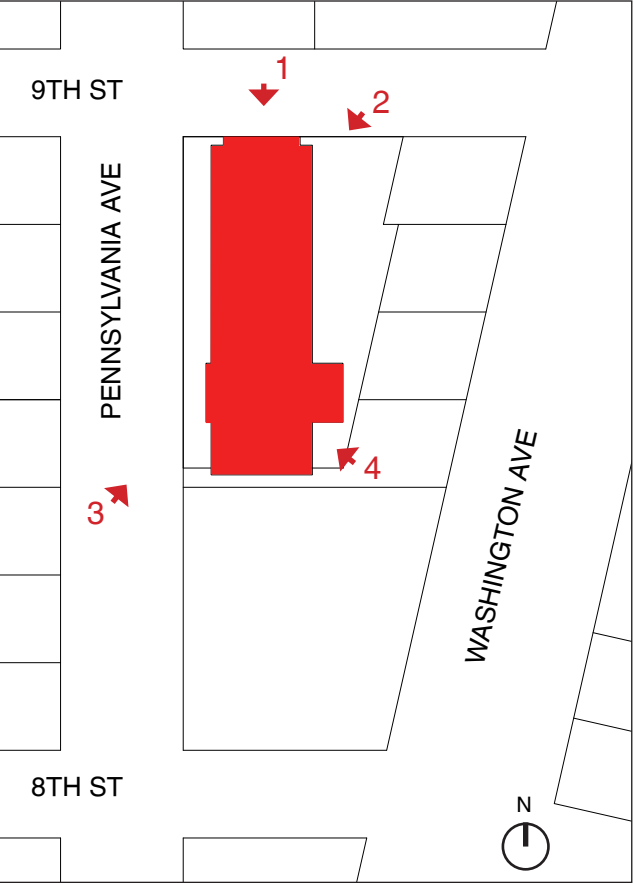


3



4

G-1.11 EXISTING SITE PHOTOS



PHOTOS TAKEN DECEMBER 19, 2017



G-1.12 EXISTING INTERIOR PHOTOS

PHOTOS TAKEN DECEMBER 19, 2017



Ground Floor Lobby



Kitchen

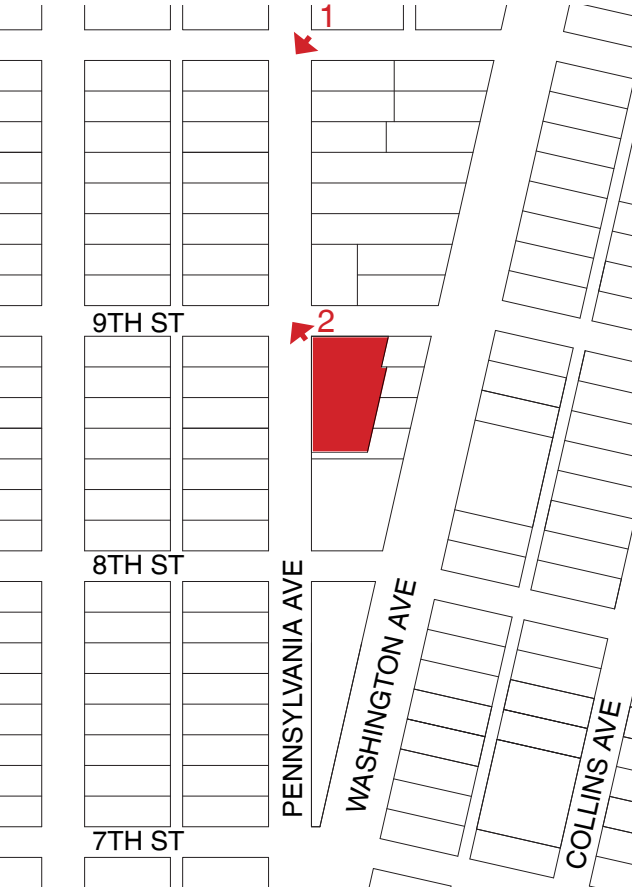


Typical Room



Typical Lift Lobby/Corridor

G-1.13 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



G-1.14 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1



2

G-1.15 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1



2

G-1.16 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1



2

G-1.17 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1



2

G-1.18 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1



2

G-1.19 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1



2

G-1.20 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



G-1.21 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1



2

G-1.22 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



G-1.23 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



G-1.24 CONTEXT PHOTOS



PHOTOS TAKEN DECEMBER 22, 2017



1

G-1.25 MATERIALS



White Stucco



Light Grey Stucco



Yellow Stucco

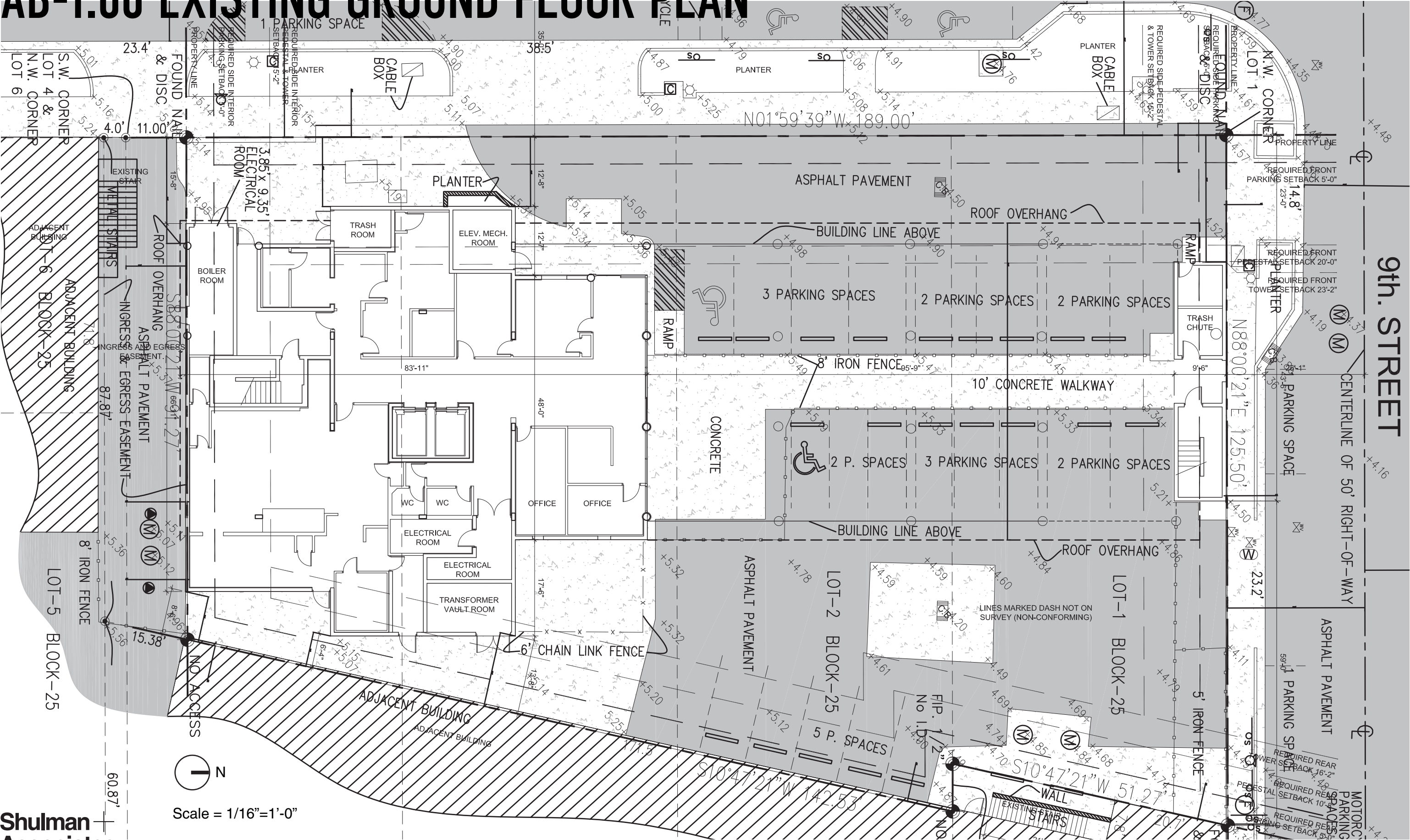


Aluminum Tube Screen
- Tower Balconies

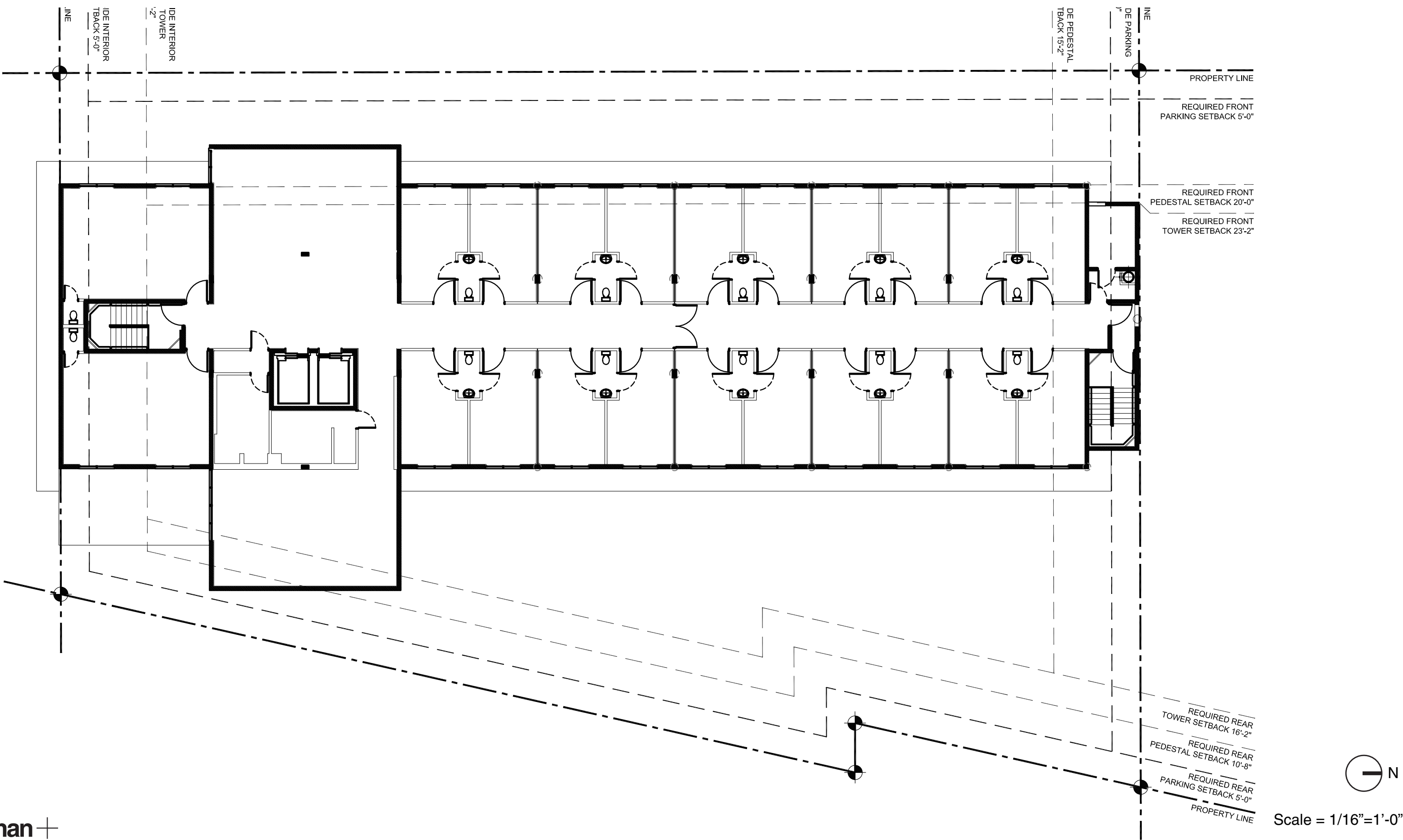


Alucobond Metal Panel
- Pool Frame

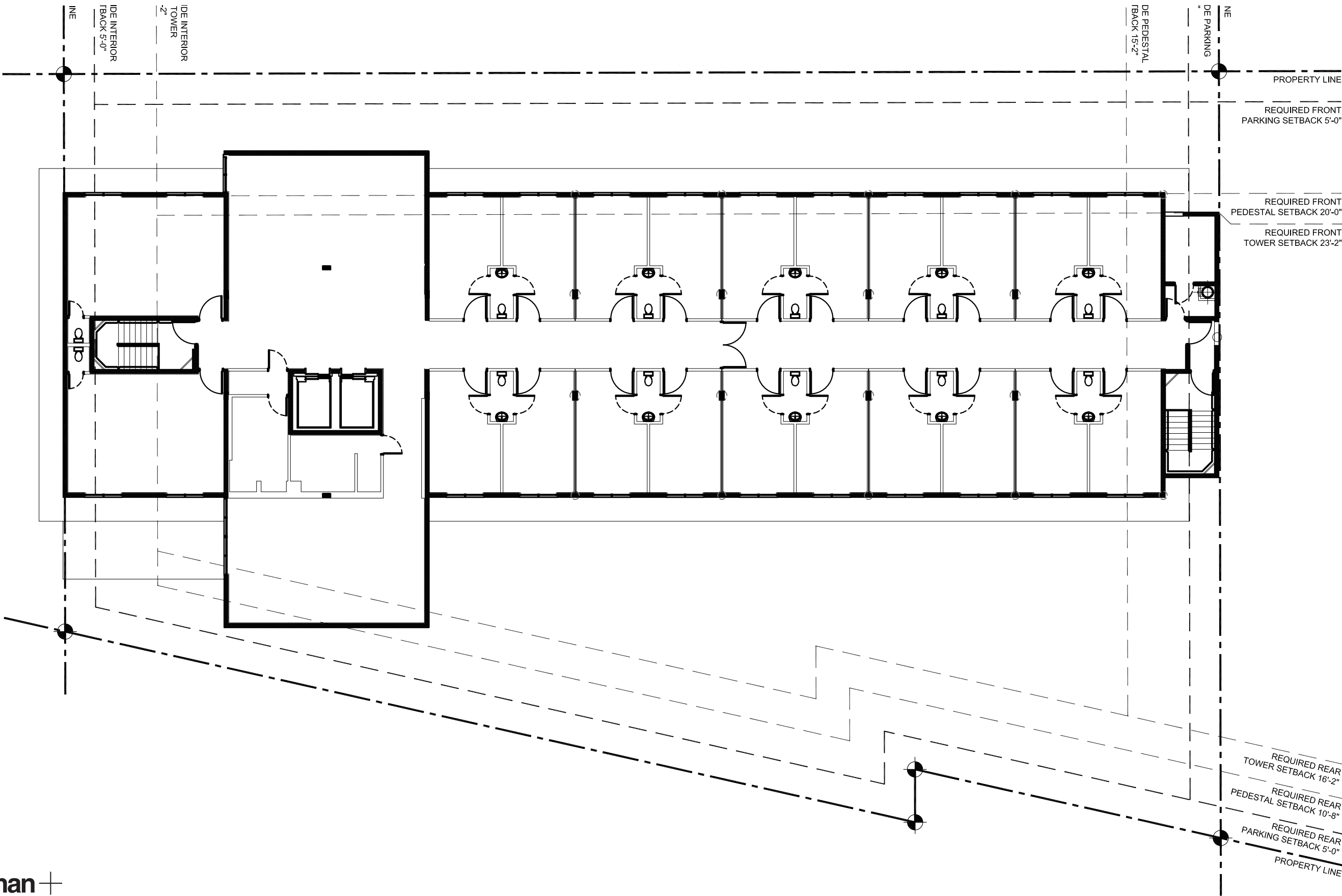
AB-1.00 EXISTING GROUND FLOOR PLAN



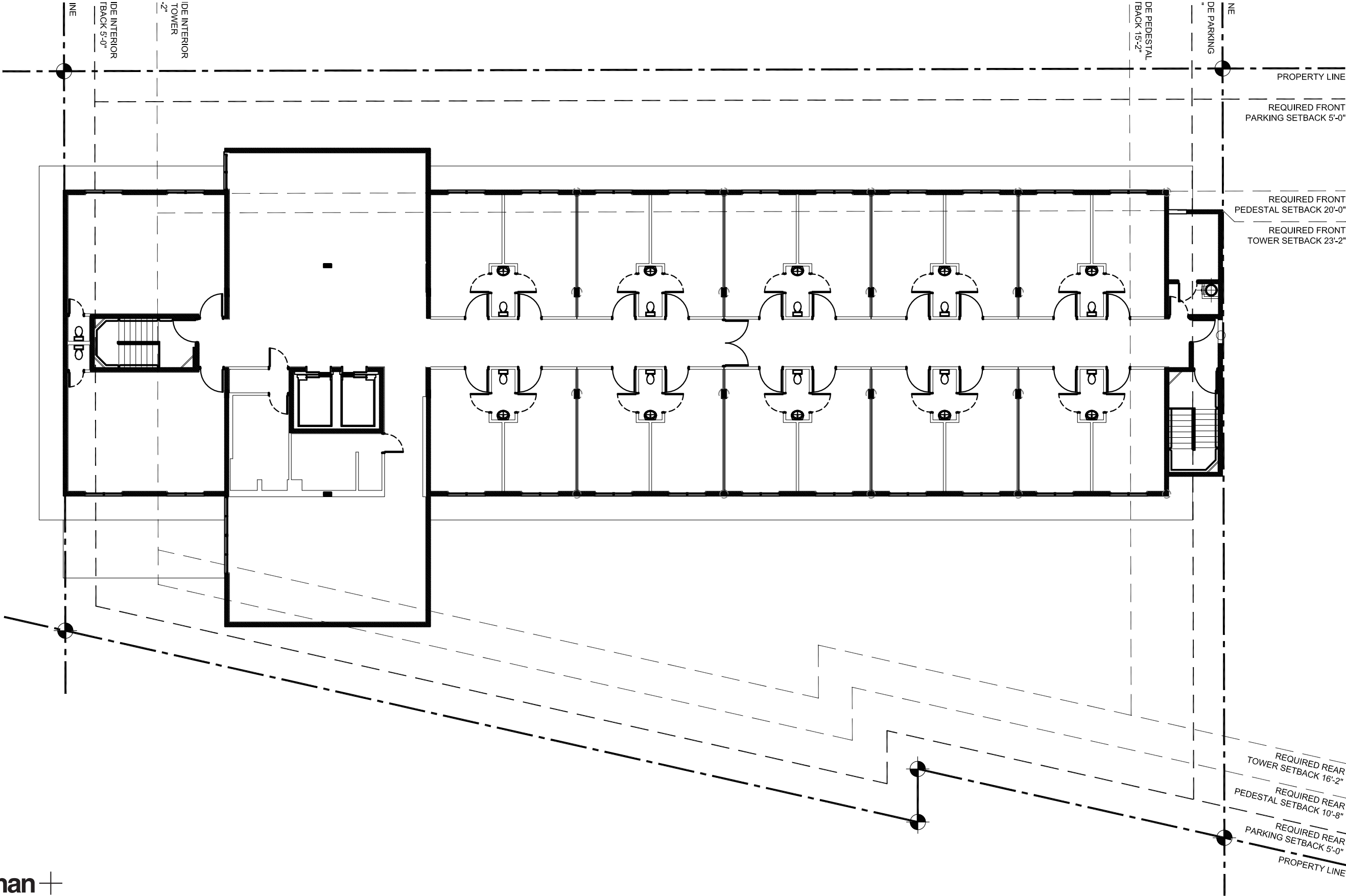
AB-1.01 EXISTING SECOND FLOOR



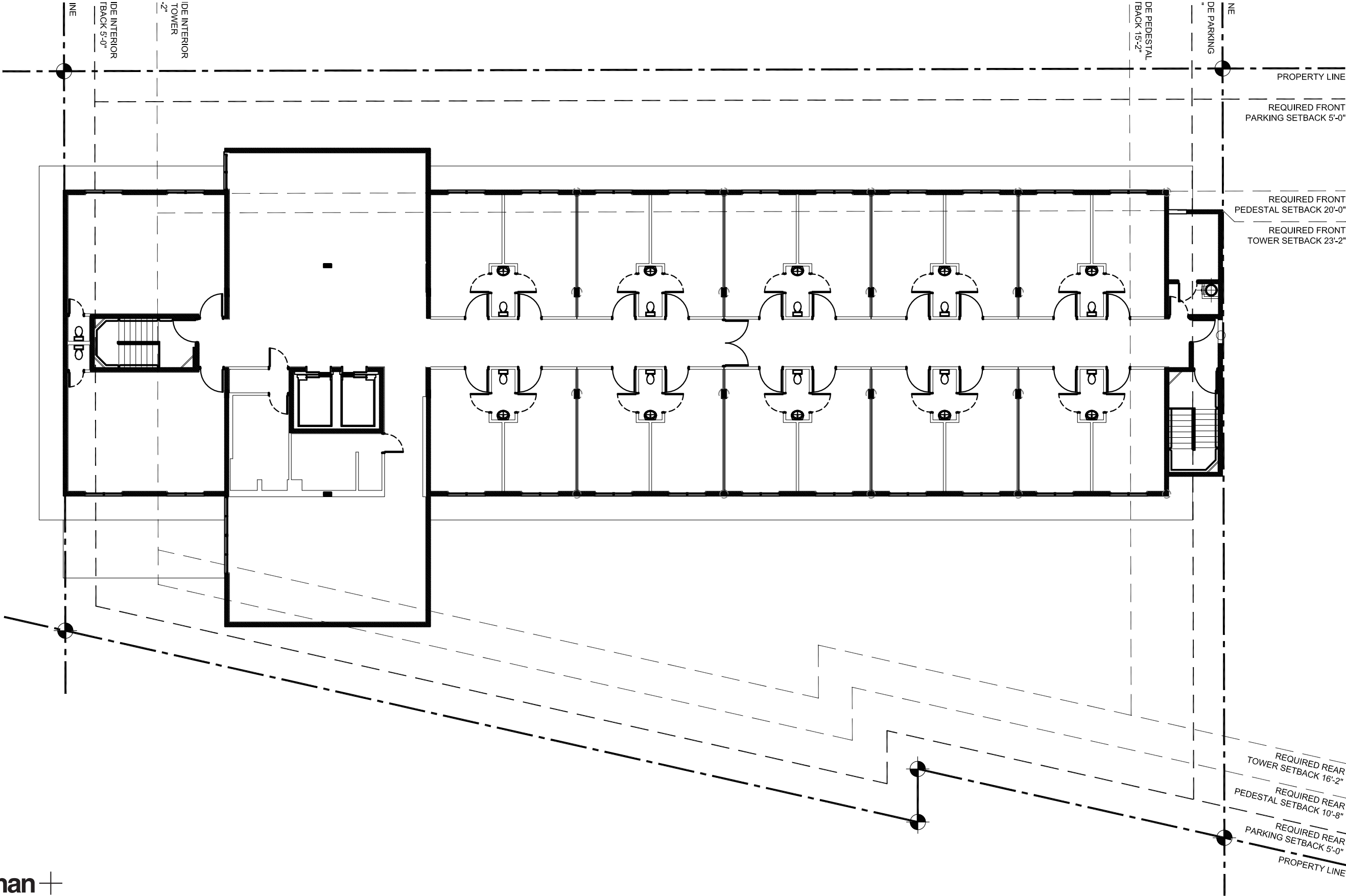
AB-1.02 EXISTING THIRD FLOOR



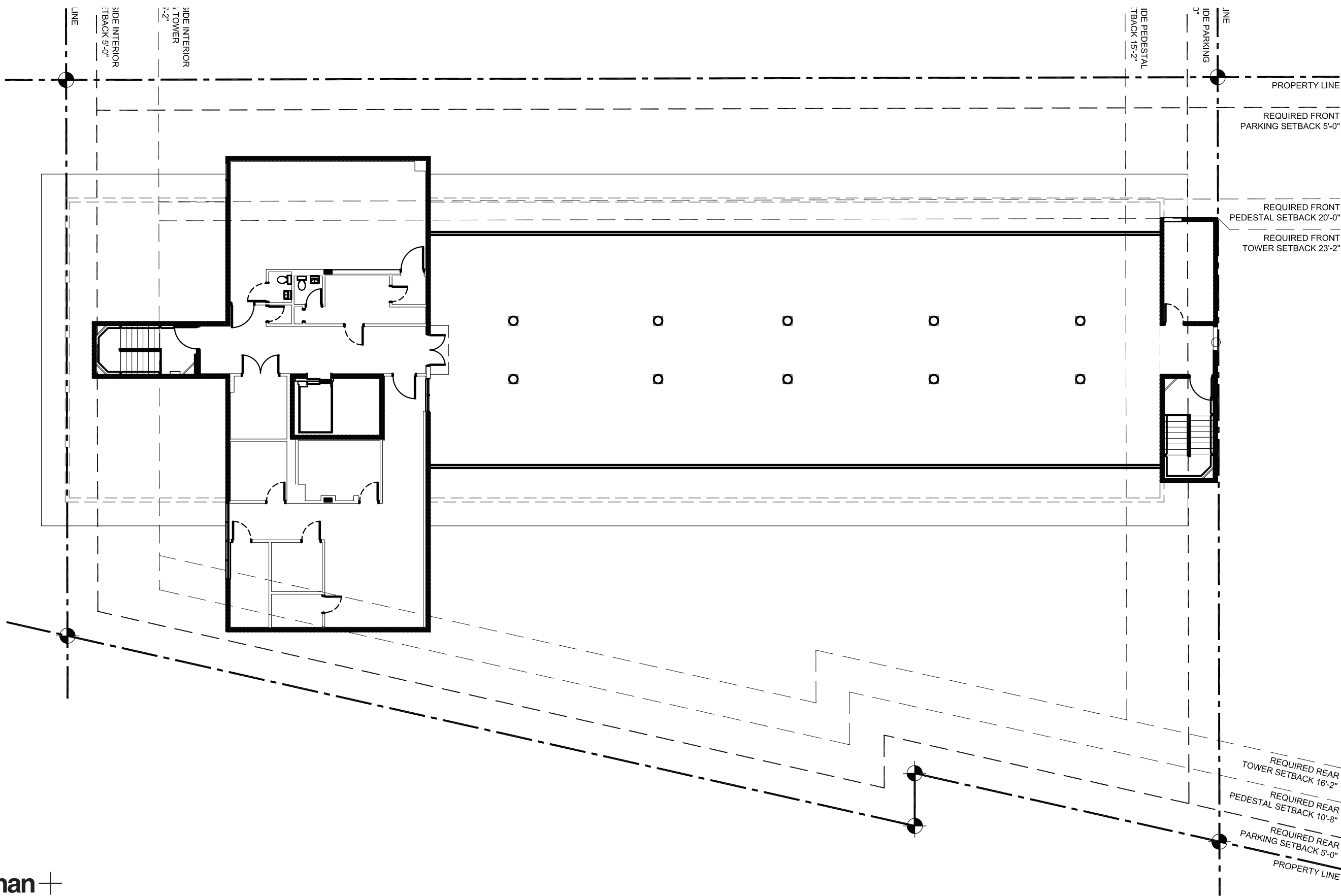
AB-1.03 EXISTING FOURTH FLOOR



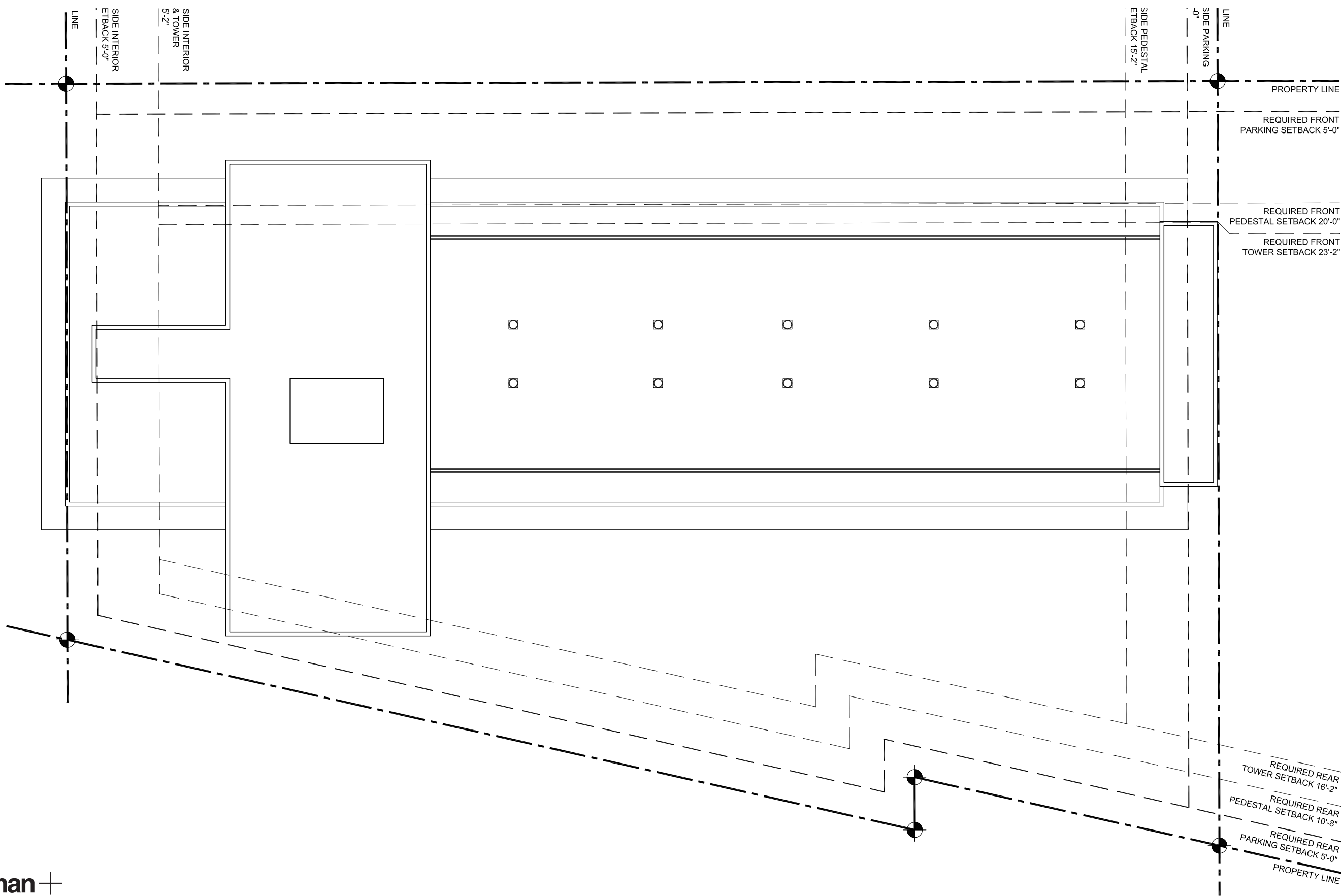
AB-1.04 EXISTING FIFTH FLOOR



AB-1.05 EXISTING SIXTH FLOOR PLAN



AB-1.06 EXISTING ROOF PLAN



Scale = 1/16"=1'-0"

AB 2.00 EXISTING EAST & WEST ELEVATIONS



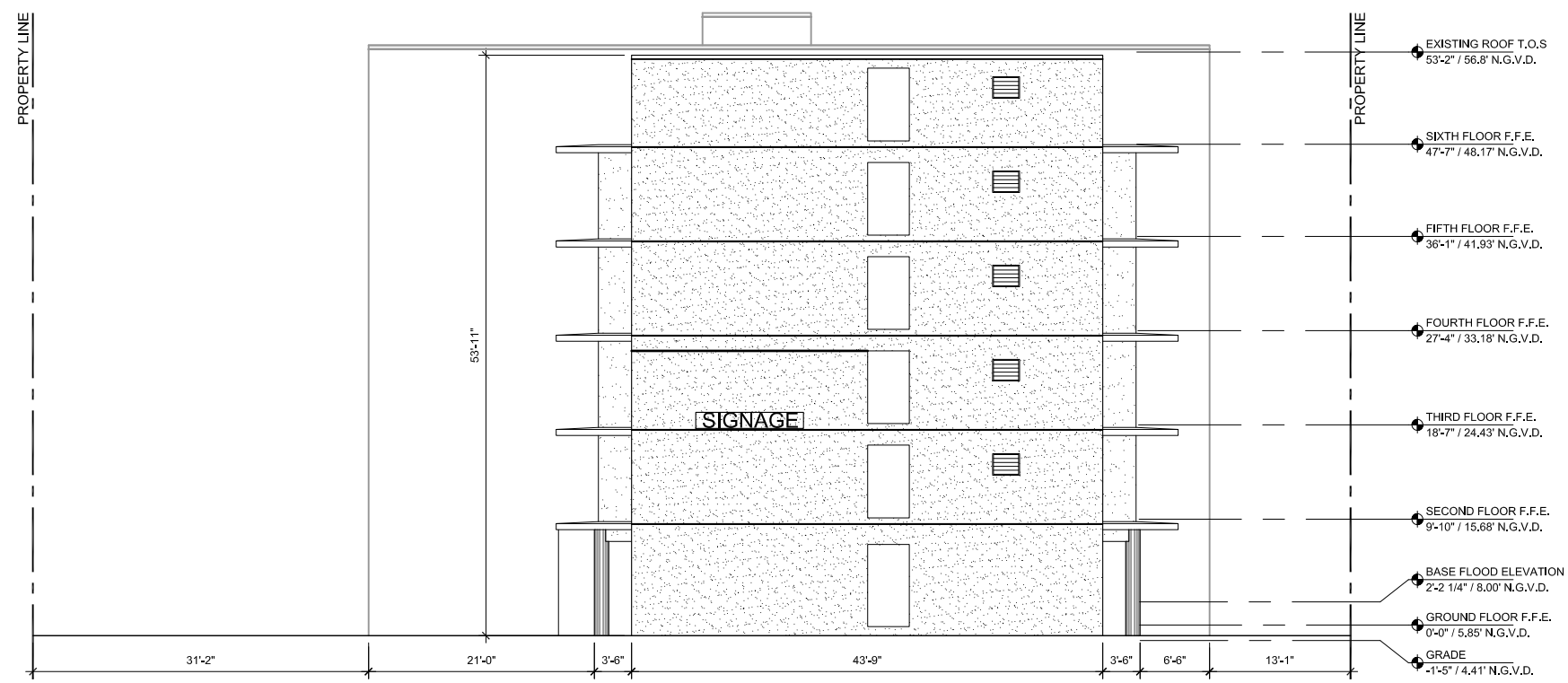
East Elevation



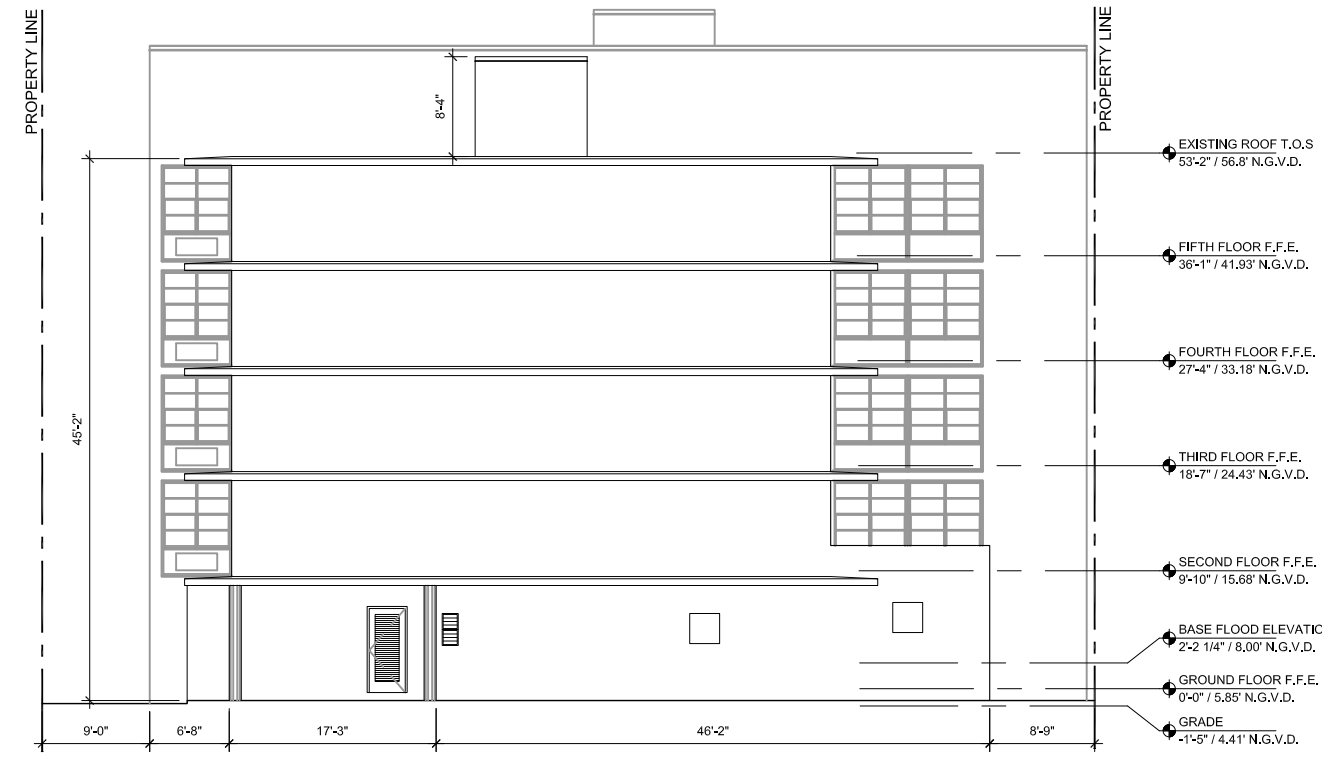
West Elevation

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AB 2.01 EXISTING NORTH & SOUTH ELEVATIONS

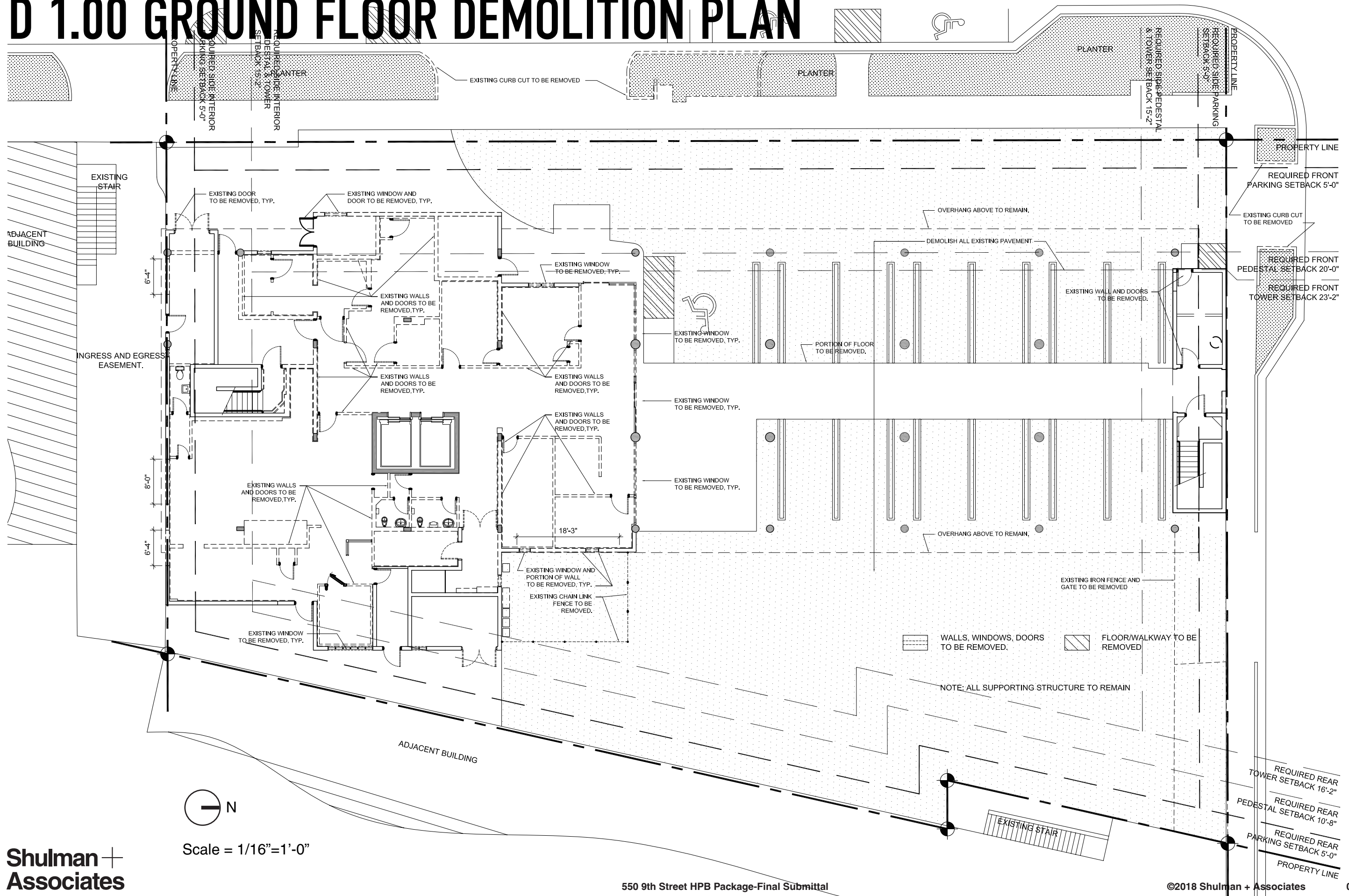


North Elevation



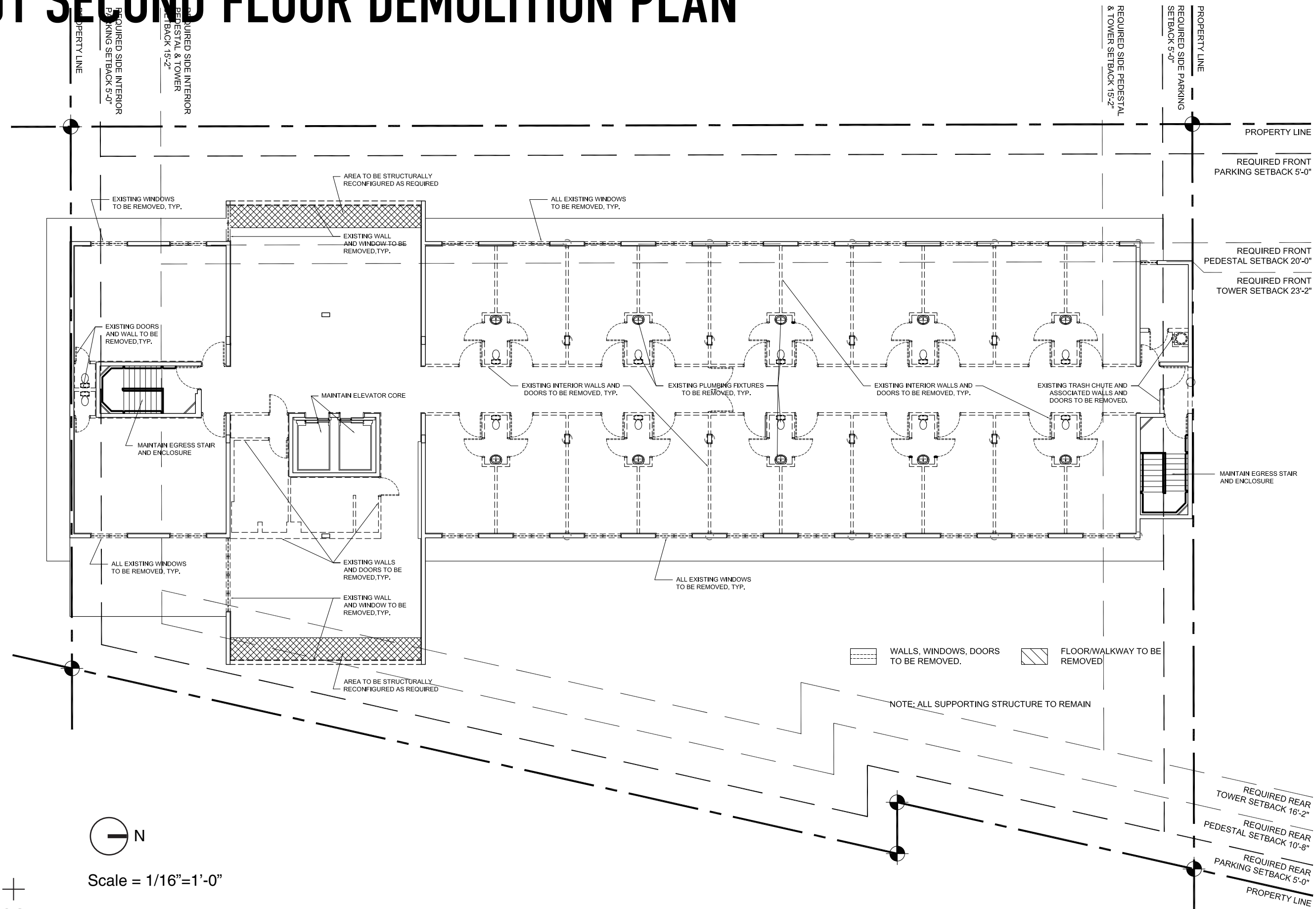
South Elevation

D 1.00 GROUND FLOOR DEMOLITION PLAN



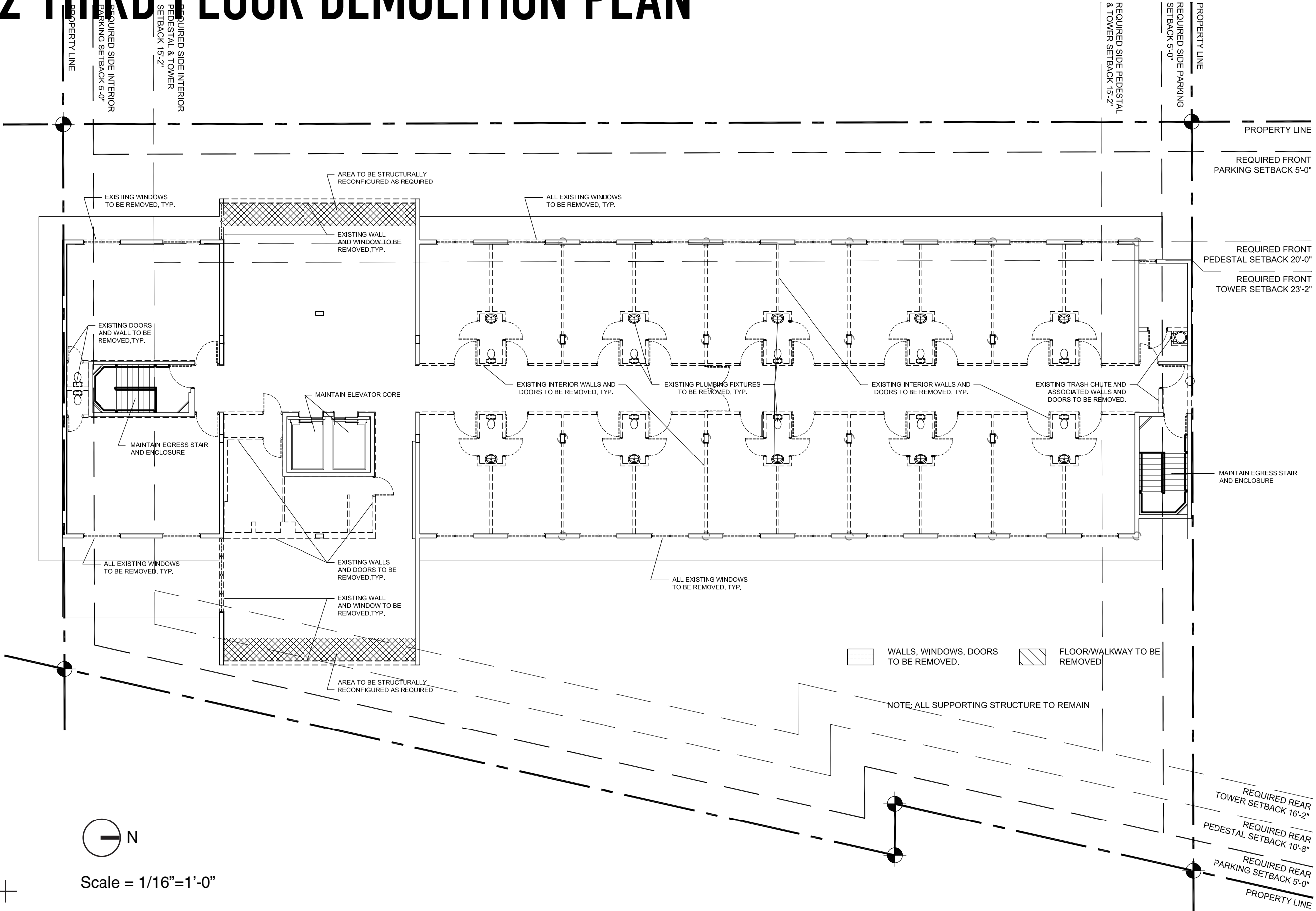
9th. STREET

D 1.01 SECOND FLOOR DEMOLITION PLAN



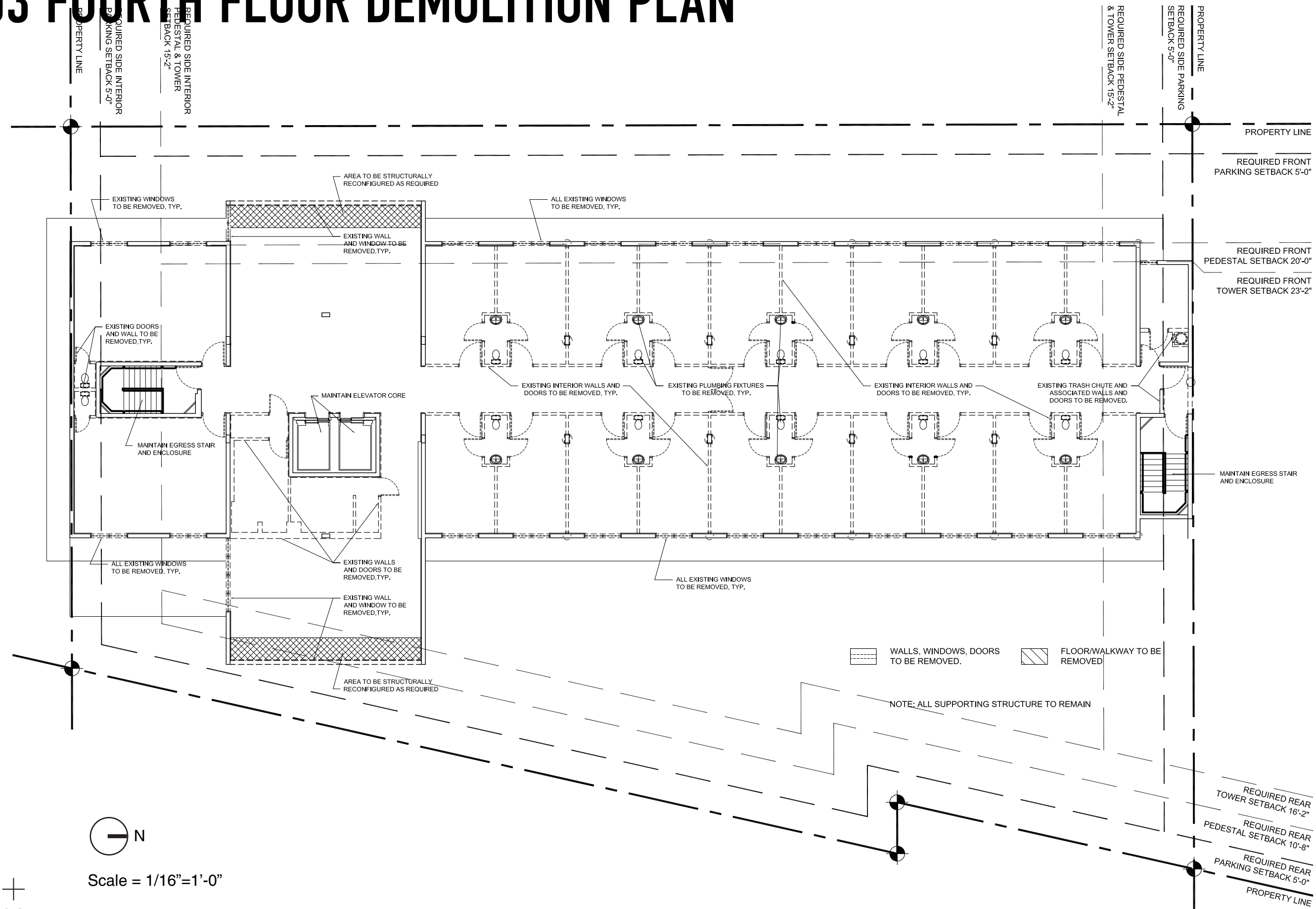
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D 1.02 THIRD FLOOR DEMOLITION PLAN

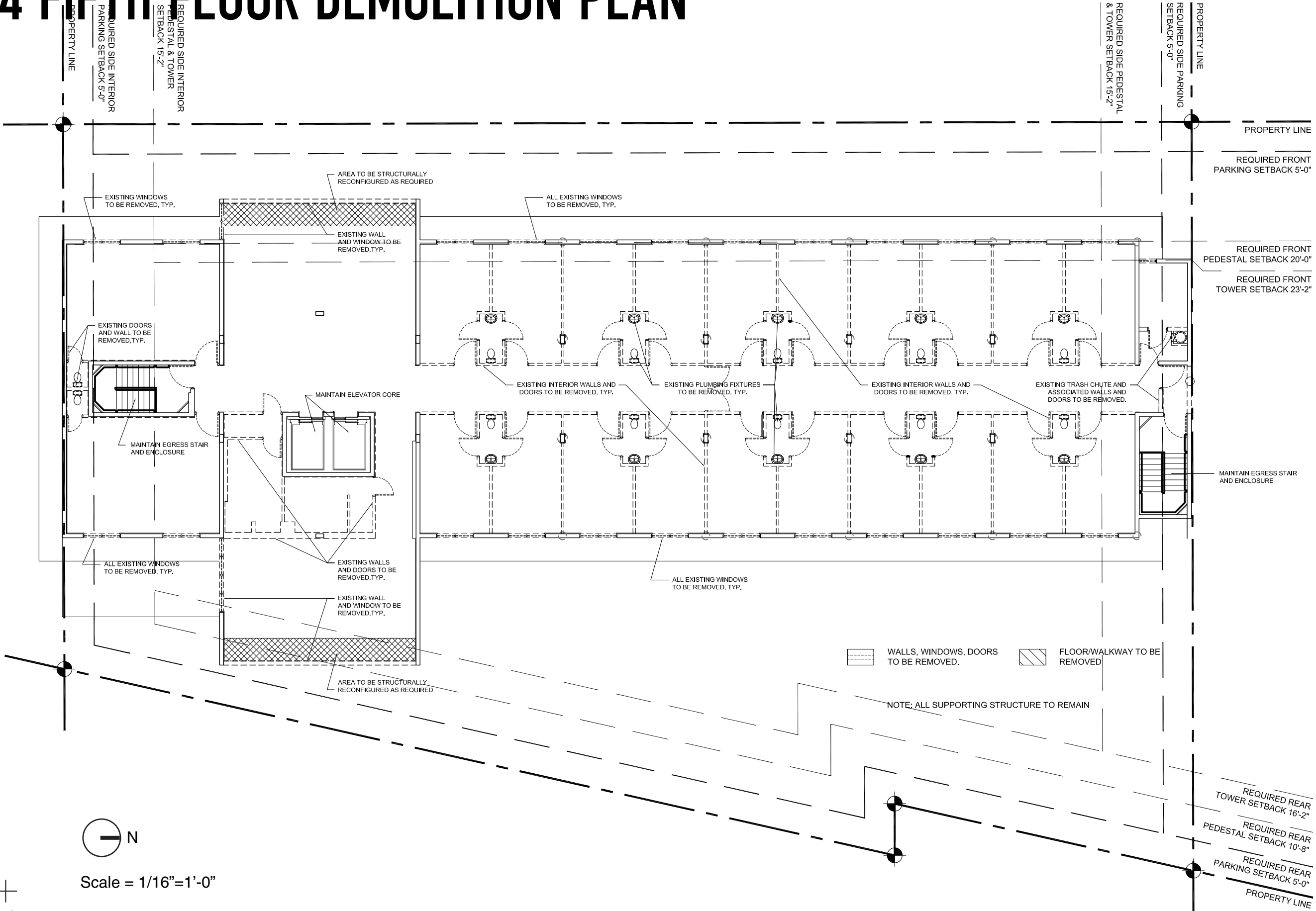


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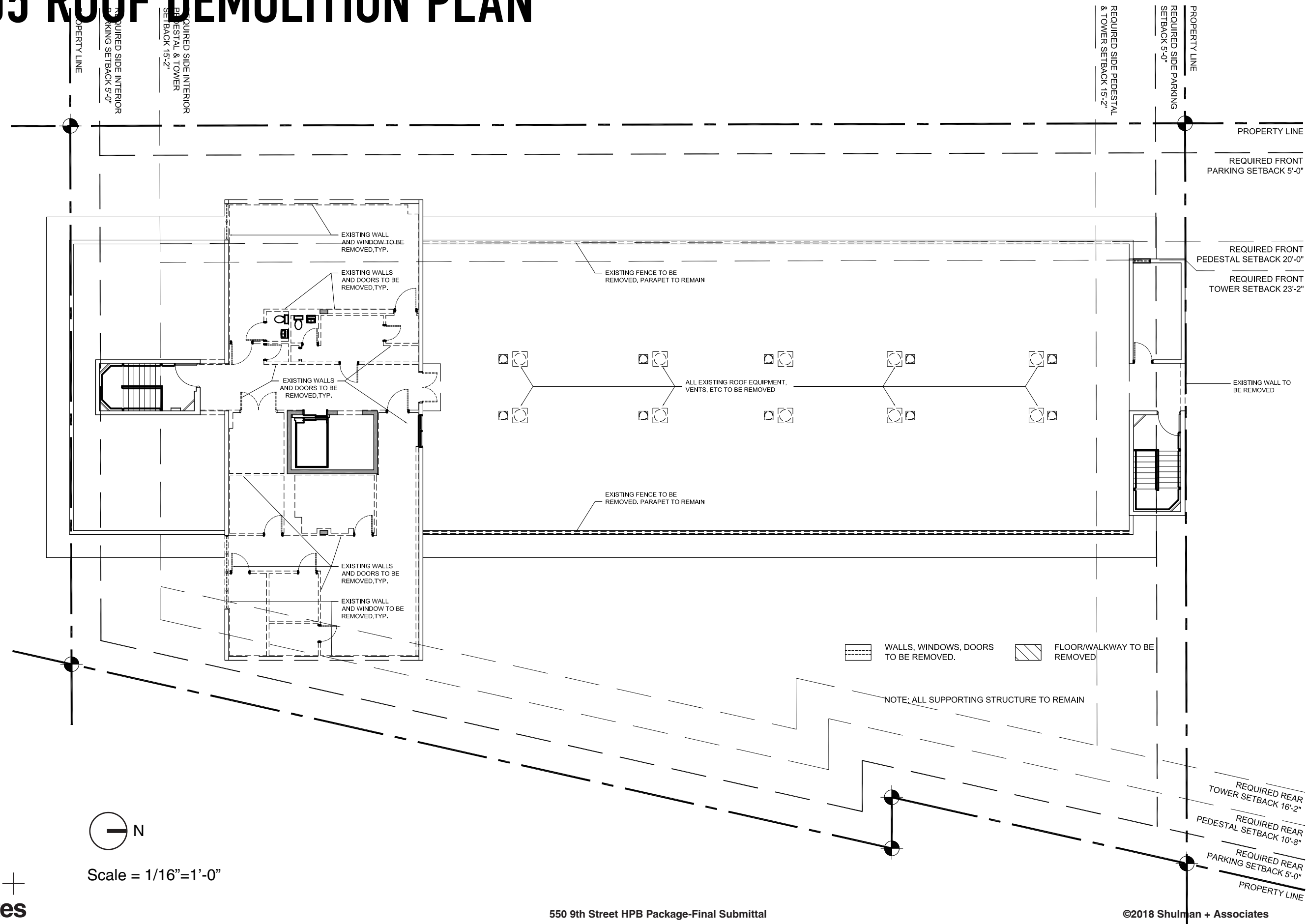
D 1.03 FOURTH FLOOR DEMOLITION PLAN



D 1.04 FIFTH FLOOR DEMOLITION PLAN



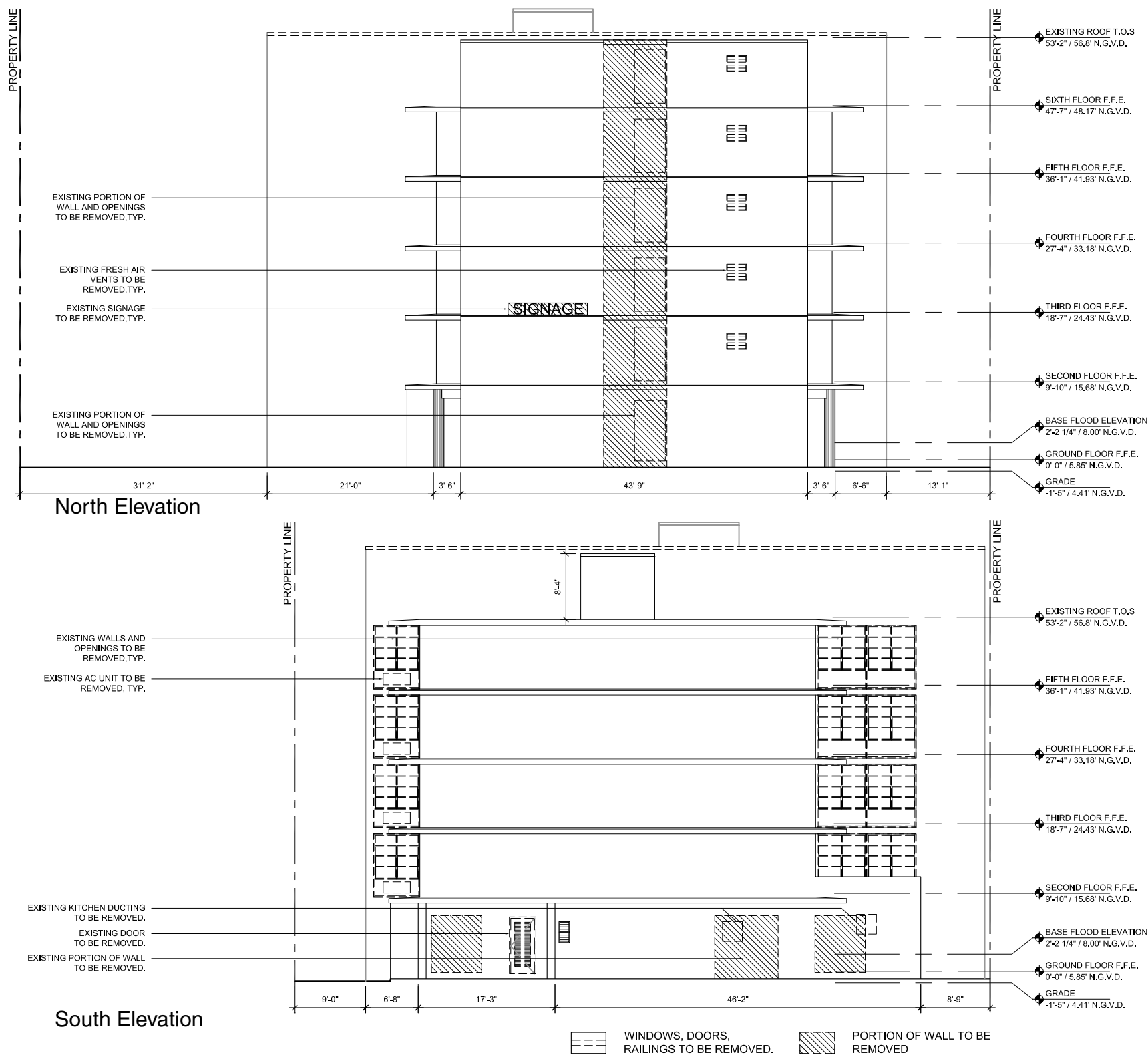
D 1.05 ROOF DEMOLITION PLAN



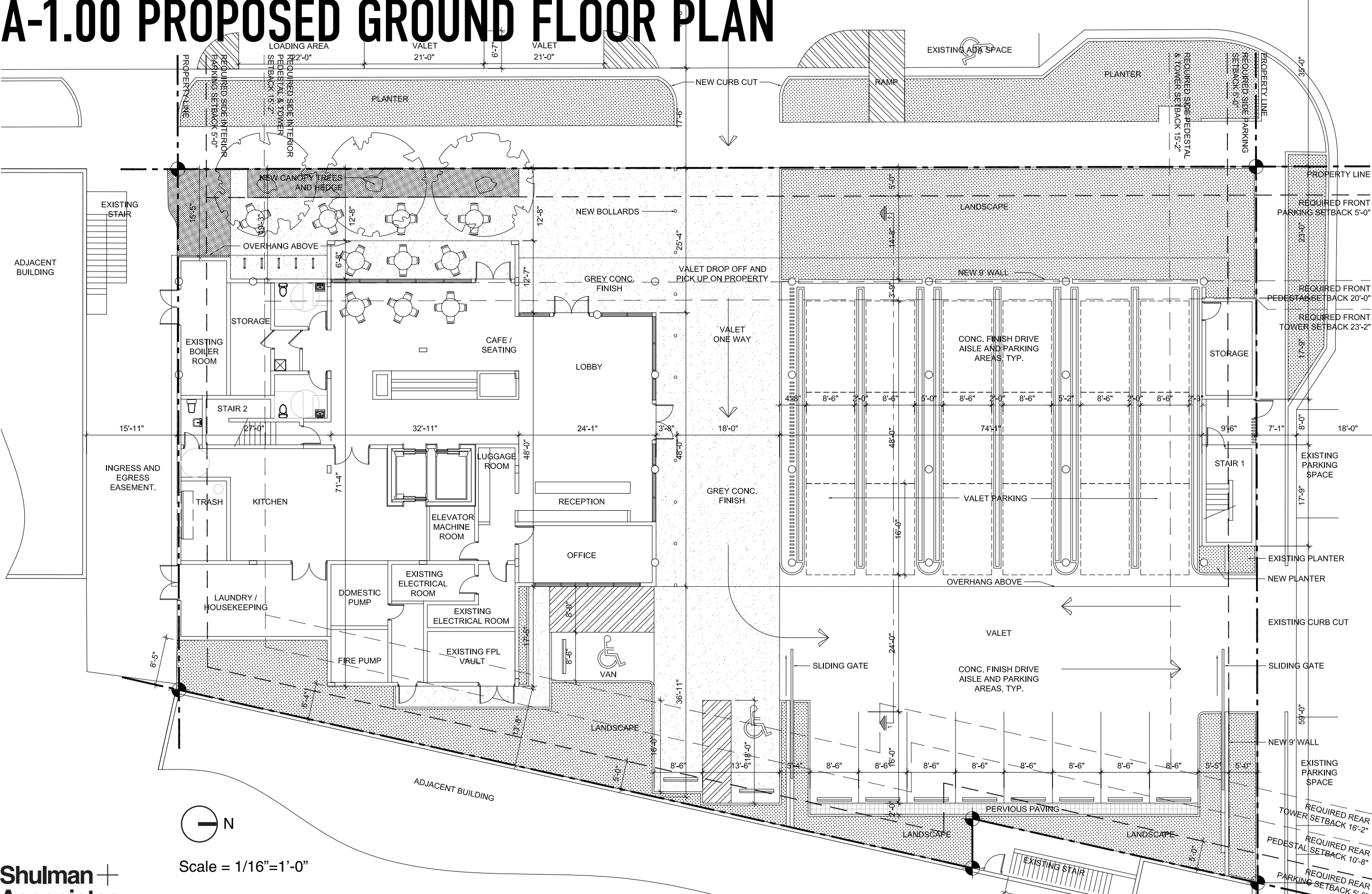
D 2.00 EAST AND WEST DEMOLITION ELEVATIONS



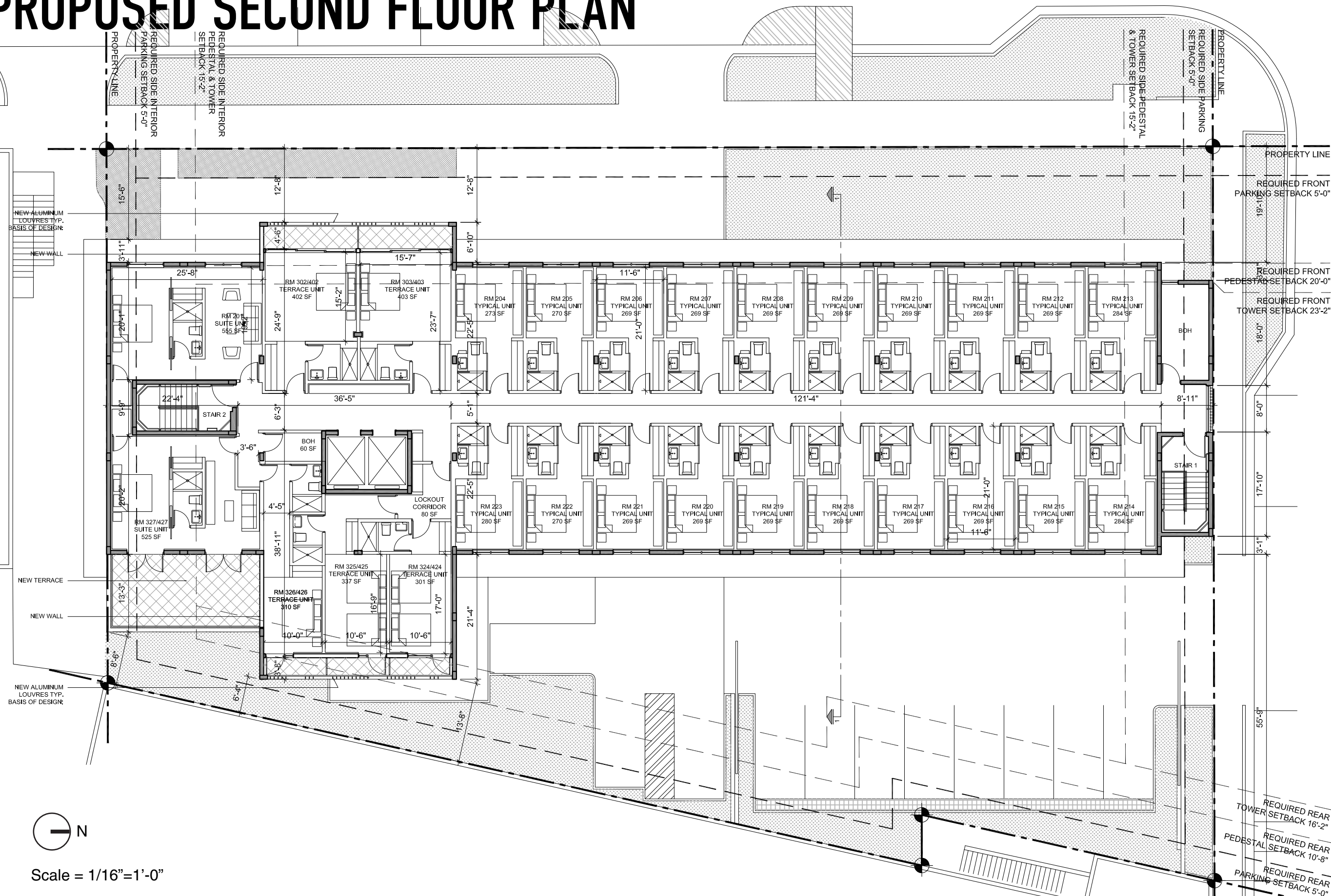
D 2.01 NORTH AND SOUTH DEMOLITION ELEVATIONS



A-1.00 PROPOSED GROUND FLOOR PLAN

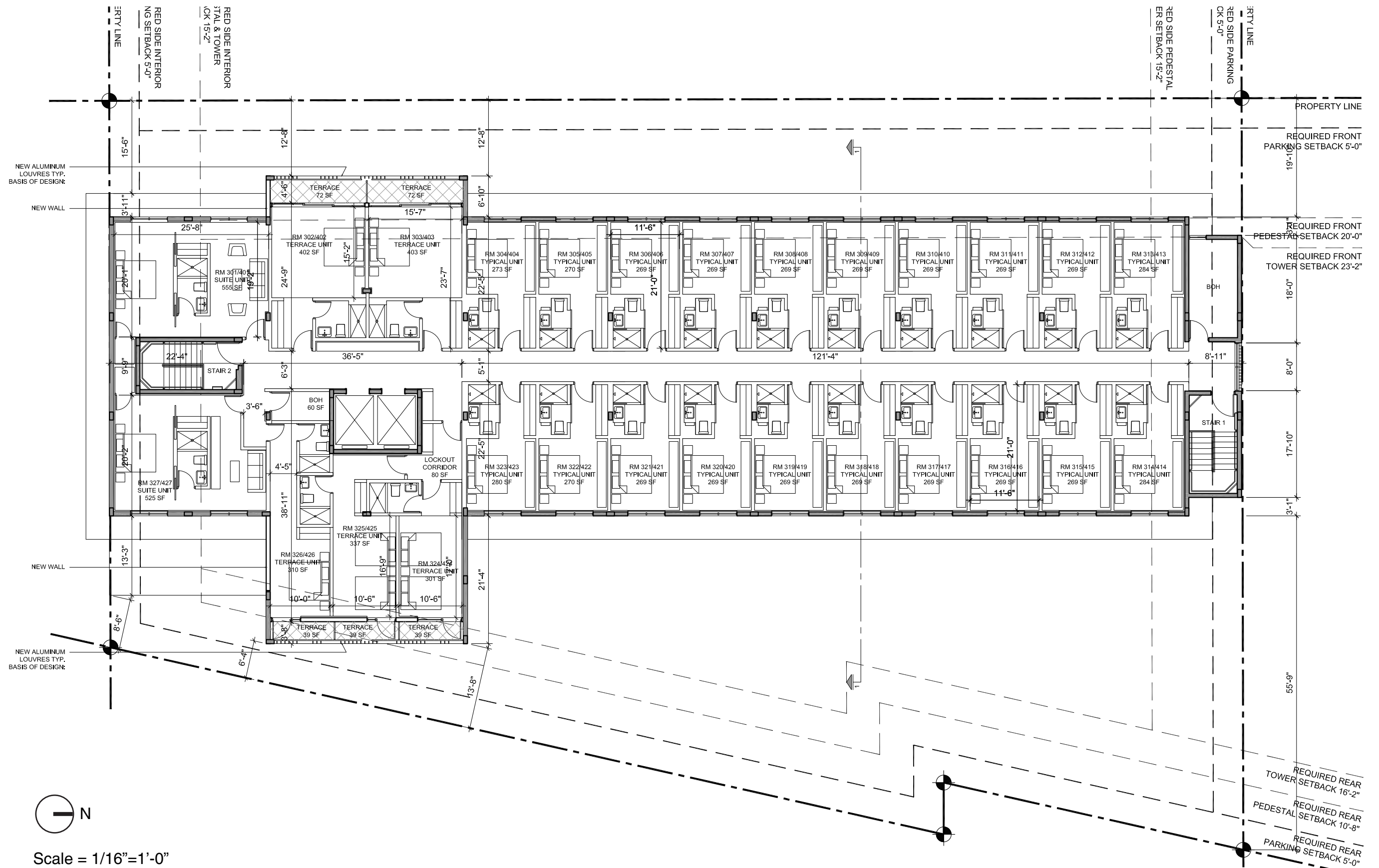


A-1.01 PROPOSED SECOND FLOOR PLAN

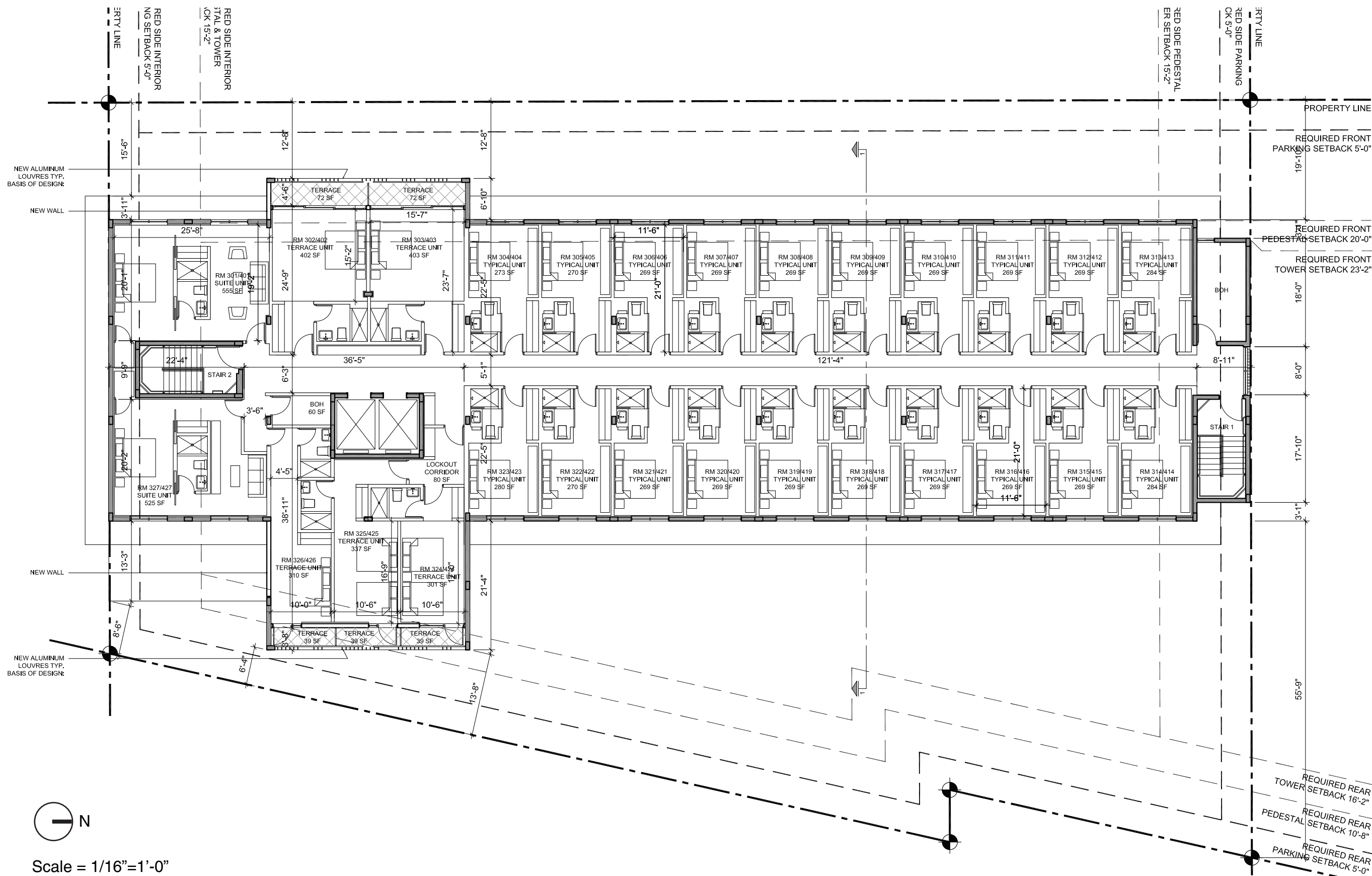


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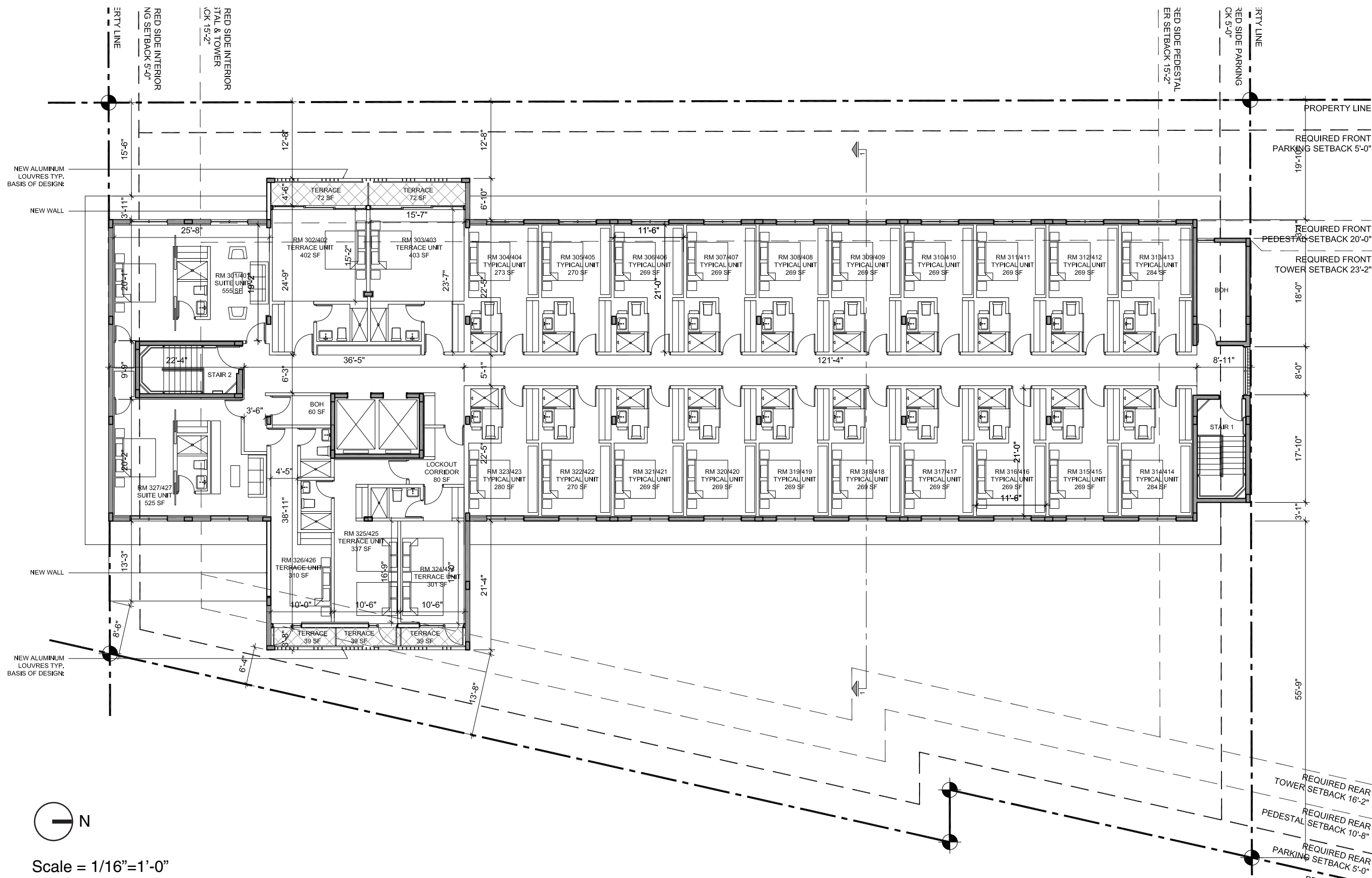
P46



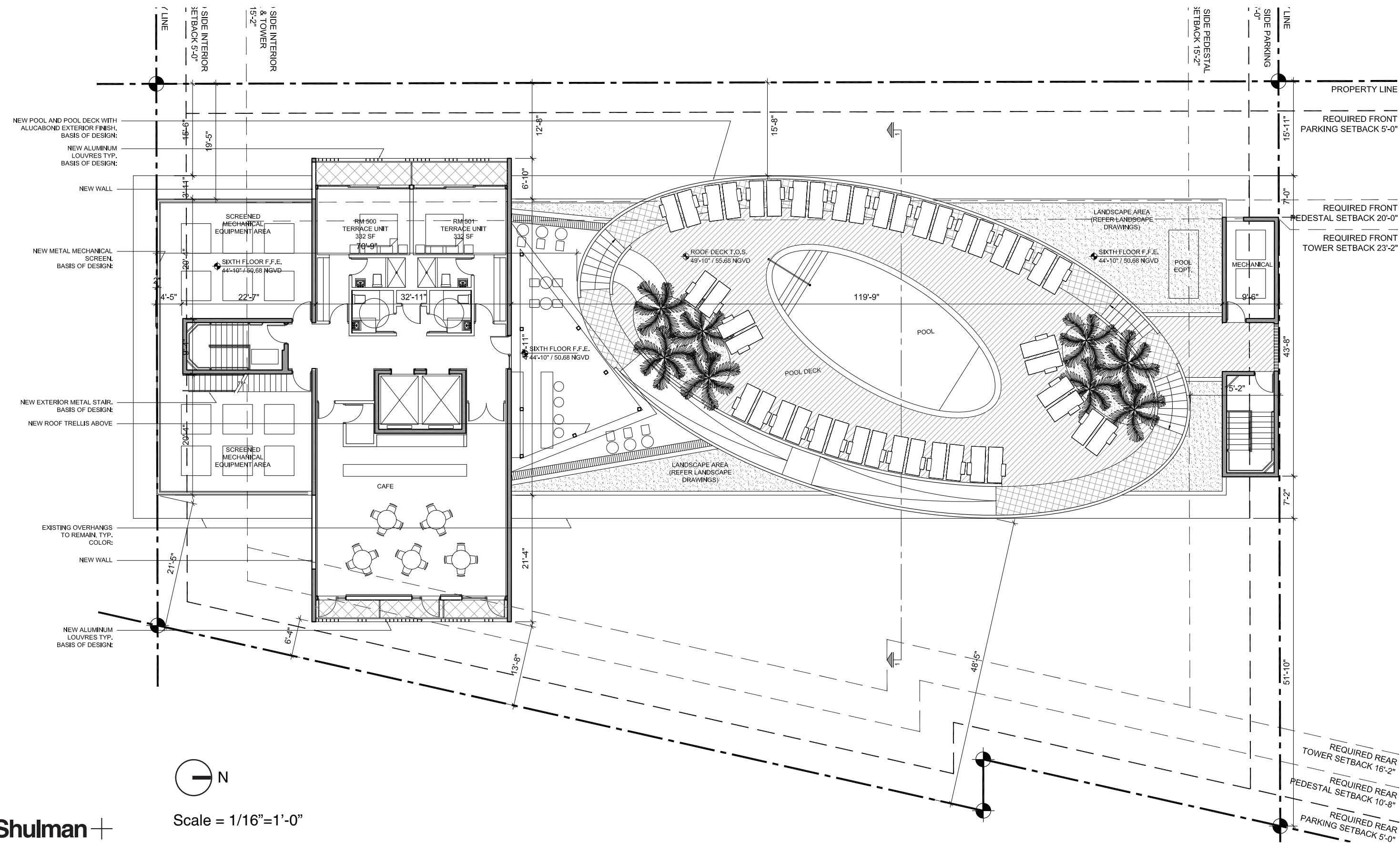
A-1.03 PROPOSED FOURTH FLOOR PLAN



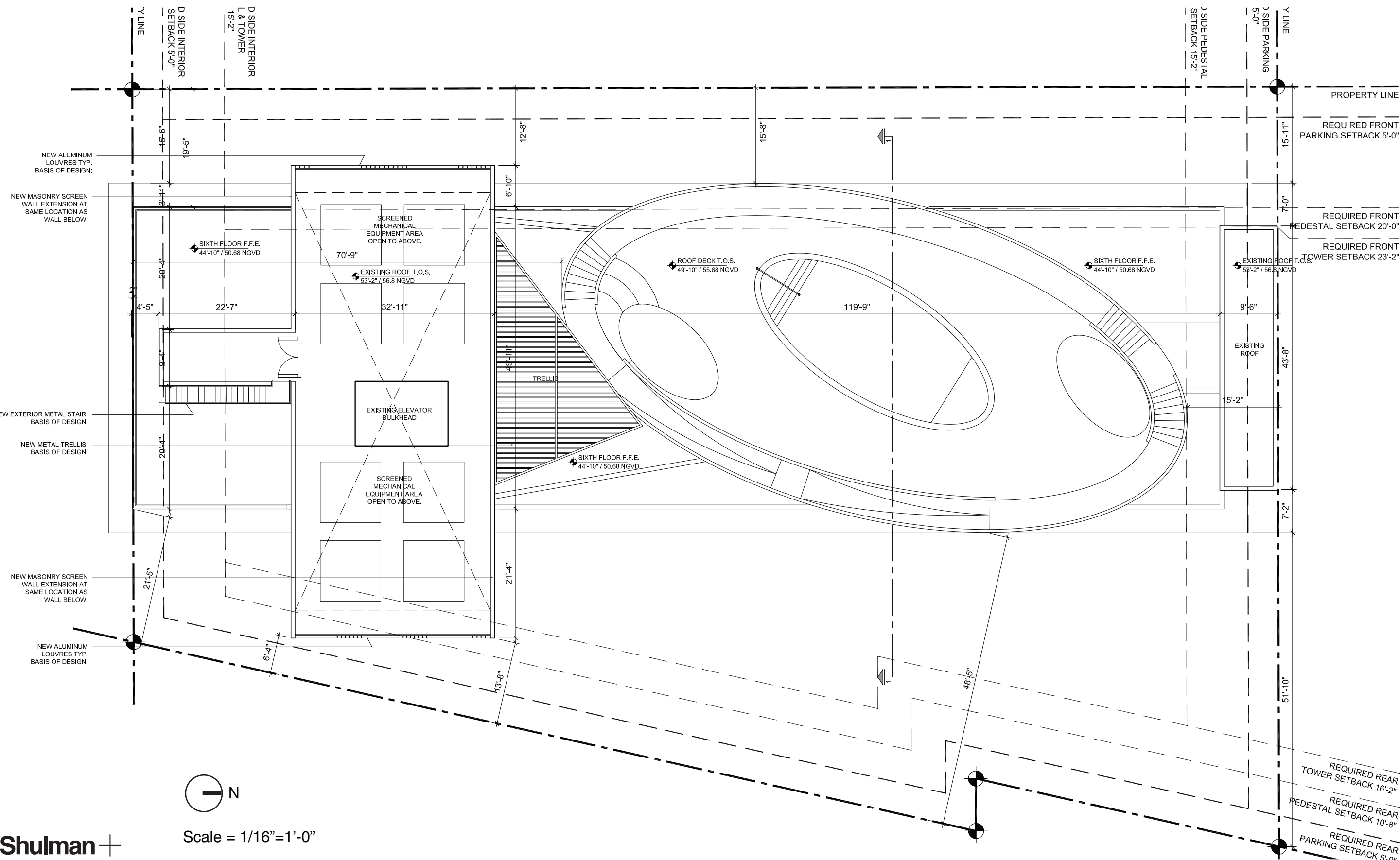
A-1.04 PROPOSED FIFTH FLOOR PLAN



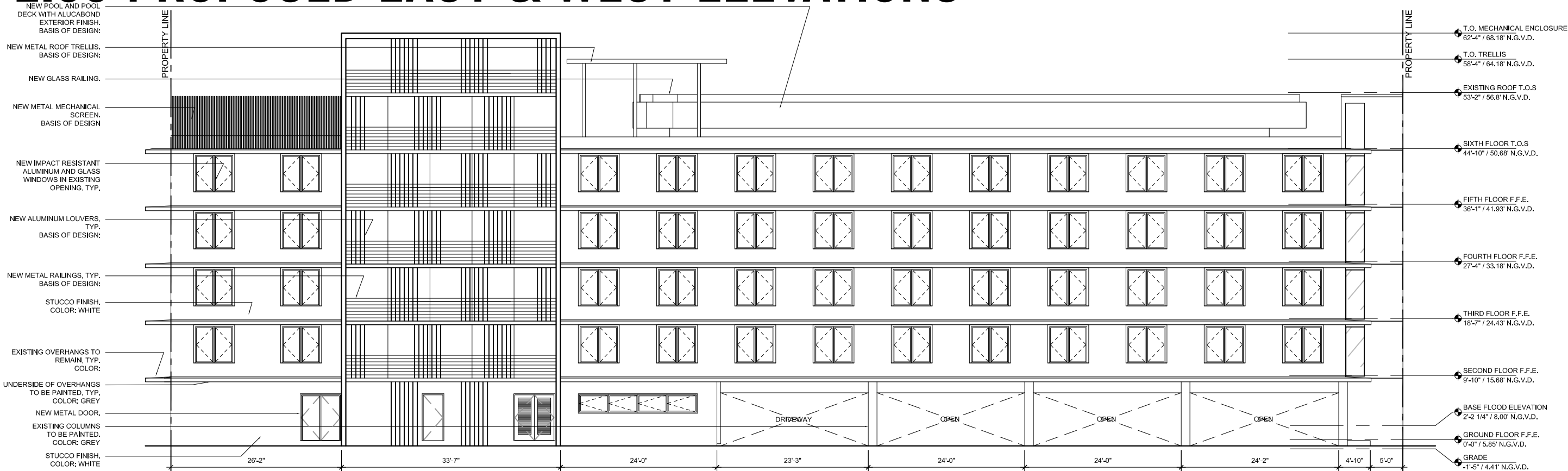
A-1.05 PROPOSED SIXTH FLOOR PLAN



A-1.06 PROPOSED ROOF PLAN



A-2.00 PROPOSED EAST & WEST ELEVATIONS

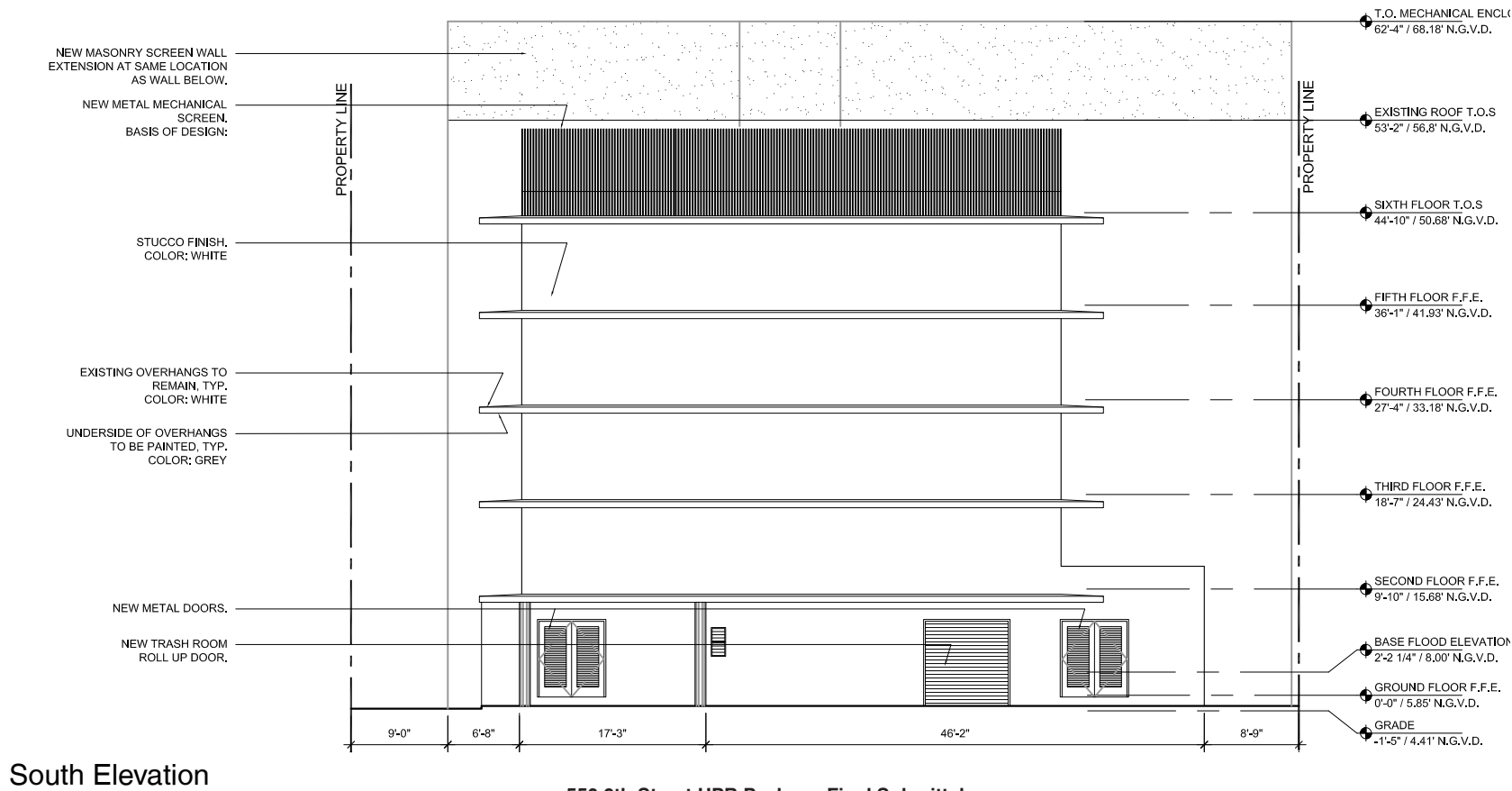
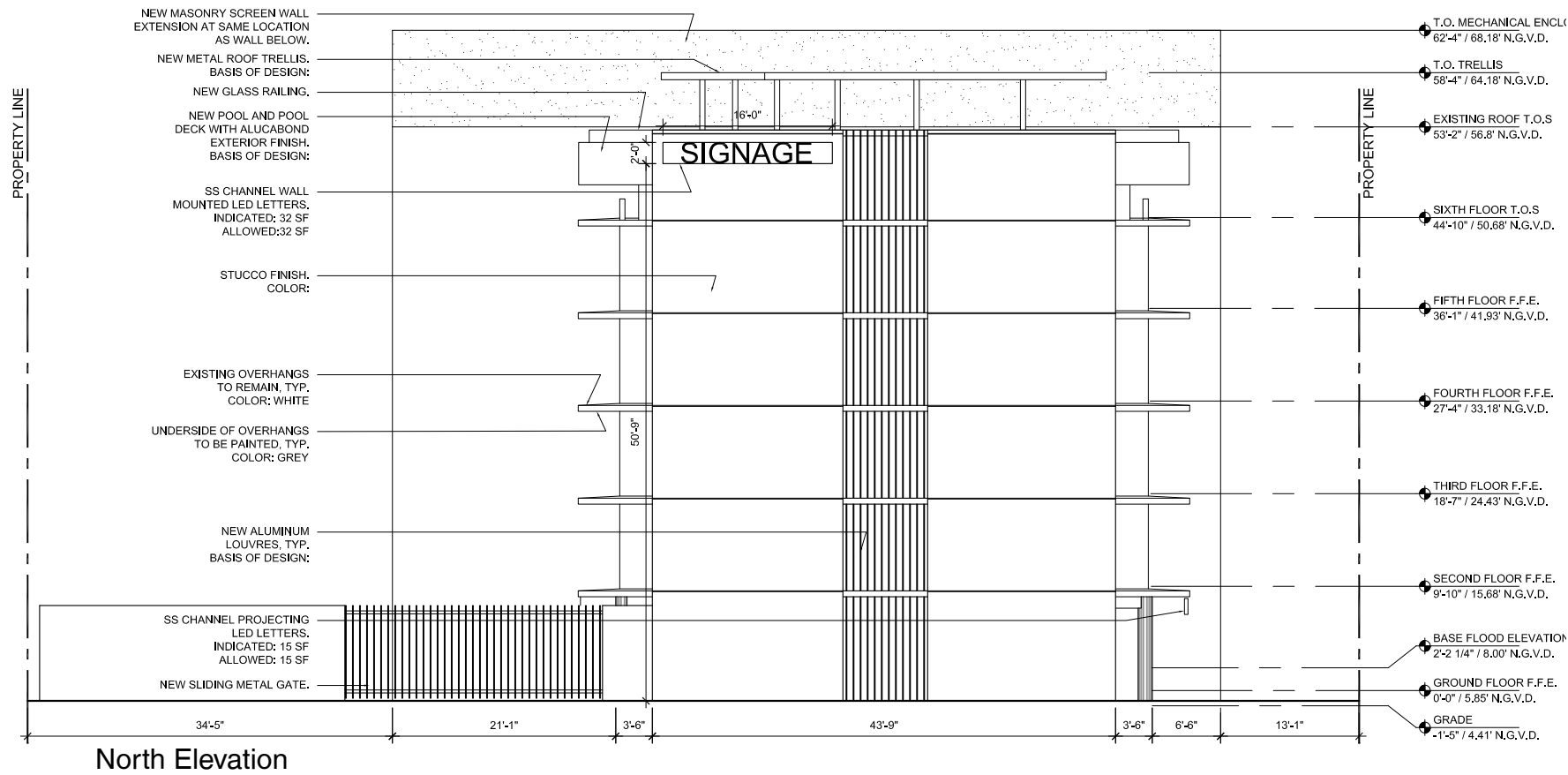


East Elevation



West Elevation

A-2.01 PROPOSED NORTH & SOUTH ELEVATIONS



A-3.00 PROPOSED TRANSVERSE SECTION

NEW MASONRY SCREEN
WALL EXTENSION AT
SAME LOCATION AS
WALL BELOW.

NEW METAL ROOF
TRELLIS.
BASIS OF DESIGN:

NEW GLASS RAILING.

NEW POOL AND POOL
DECK WITH ALUCABOND
EXTERIOR FINISH.
BASIS OF DESIGN:

NEW IMPACT RESISTANT
ALUMINUM AND GLASS
WINDOWS, TYP.

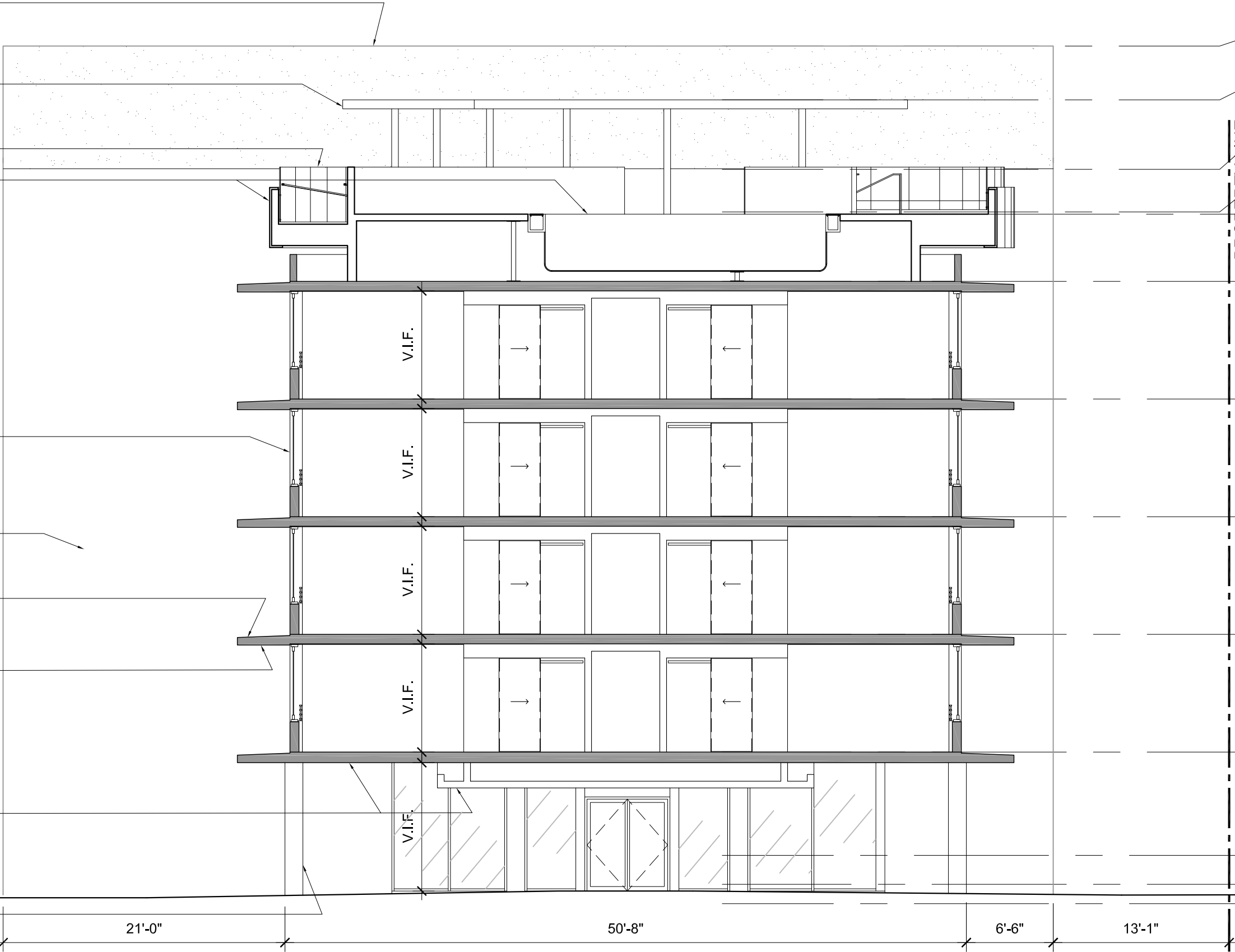
STUCCO FINISH.
COLOR: WHITE

EXISTING OVERHANGS
TO REMAIN, TYP.
COLOR: WHITE

UNDERSIDE OF OVER-
HANGS TO BE PAINTED,
TYP.
COLOR: GREY

UNDERSIDE OF CEILING
TO BE PAINTED.
COLOR: WHITE

EXISTING COLUMNS
TO BE PAINTED.
COLOR: GREY



A-4.00 PERSPECTIVE VIEW PENNSYLVANIA AVE - NE



A-4.01 PERSPECTIVE VIEW 9TH STREET - SW

