

# BRG STUDIO

## NORTH BAY ROAD RESIDENCE

2421 N BAY RD., MIAMI BEACH , FL 33139

### DRB PACKAGE FINAL SUBMITTAL JULY 6, 2018

#### SCOPE OF WORK:

New 2 Story Single-Family Home

Waiver 1: North Side Landing/Walkway Height

Waiver 2: Second Floor Percentage Ratio due to Lot Coverage Being 25.4%

605 LINCOLN ROAD  
SUITE 302  
MIAMI BEACH , FL 33139  
T: 305.397.8788

F: 305.397.8469

MA@BRG.STUDIO

WWW.BRG.STUDIO

# INDEX OF DRAWINGS

DRB FINAL SUBMITTAL

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LICENSE # AA26003219

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### Revisions

| No. | Date      | Description |
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| 1   | 7/06/2018 | DRB FINAL   |
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SIGN & SEAL

TITLE

INDEX OF  
DRAWINGS

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| Drawn by       |                     |
| Checked by     |                     |
| Project Number | 1804                |
| Issued for     |                     |
| Issue date     | Sheet #<br>07/06/18 |
| Scale          | INDEX               |

### ARCHITECT

BRG STUDIO  
605 Lincoln Road #302  
Miami Beach, FL 33139  
(305) 397- 8788  
accounts@brg.studio

### CIVIL ENGINEER

ROSS ENGINEERING INC.  
3325 S. University Drive #111  
Davie, FL 33328  
(954) 318- 0624  
rross@rossengineers.com

### LANDSCAPE ARCHITECT

ULU STUDIO LLC  
1621 Bay RD  
Miami Beach, FL 33139  
(786) 564- 5337  
rudolf@ULUStudio.com



COMMENT RESPONSE SHEET

DRB ZONING REVIEW - Irina Villegas Ph: email: ivillegas@miamibeachfl.gov

1. Revise zoning information. Lot area of the property is incorrect. Lot area is 7,305 sf, table indicates 7,320 sf. **REVISED THROUGHOUT**

2. The landing of the side entry steps located on the south side of the property exceeds the maximum elevation for allowable encroachments on the side yard. Maximum elevation is 8.05' NGVD. Proposed elevation is 8.5' NGVD. The proposed glass railing cannot exceed the maximum elevation for a side fence (+7' from grade) in the required side yard. **WAIVER REQUESTED FOR WALKWAY. RAILING IS 5'-6" ABOVE ADJACENT GRADE. SEE SECTION DIAGRAMS SHEET A0.8, AND ELEVATION SHEET A5.1**

3. Green area at the front yard shall be dimensioned. Minimum of 5'-0" is required for parallel parking from the front property line. **GREEN AREA HAS BEEN DIMENSIONED ON SHEETS A0.2, 5'-0" SIDEWALK IS ADJACENT TO PROPERTY LINE**

4. Revise open space diagram and calculations in the front yard. The shading is confusing and not clear. The front yard open space required does not include the green area between pavers. Preliminary calculations by staff indicate that the project does not comply with 50% landscape area at the front yard. The front yard area only includes the first 20' from the front property line. As such at least 600 sf of landscape shall be provided. **REVISED. PLEASE SEE SHEET A0.2 FRONT YARD CALCULATION**

5. Revise open space diagram and calculations in the rear yard. Indicate area of rear yard not the front yard and indicate required 70% open space area. **REVISED. PLEASE SEE SHEET A0.3 REAR YARD CALCULATION**

6. The wall part of the water feature at the pool shall be either lower up to 7'-0" from grade (10.1' NGVD) to comply with the maximum height for a fence or be setback 7'-6" from the rear property line to comply with the accessory structures minimum rear setback. **REVISED. TOP OF WATER WALL IS NOW AT 10' NGVD. SEE SHEETS A0.7 & A1.0**

7. Grading plan showing all changes in elevations shall be provided. A retaining wall shall be provided on the sides to provide adequate water retention on site. **PLEASE SEE CIVIL DRAWINGS**

8. Area of the property is incorrect on several pages. **AREA REVISED THROUGHOUT**

9. Lot coverage shall be revised. Area of front entry enclosed on three sides shall be counted in the lot coverage calculations. **REVISED PLEASE SEE SHEET A0.1**

10. Dimensions and text shall be enlarged, most is hard to read. **REVISED THROUGHOUT**

11. Indicate location of the air conditioning units. **REVISED. PLEASE SEE SHEET A1.0, A5.0 & A5.1**

12. Provide building sections of the entire structure. **PLEASE SEE ADDED SHEETS A6.0 & A6.1**

13. Note that variances associated with the design of the home are not supported by staff. Note that variances associated with the design of the home are not supported by staff. **REVISED. ROOF OVERHANG VARIANCE REQUESTED REMOVED**

DRB PLAN REVIEW - Fernanda Sotelo Ph: email: FernandaSotelo@miamibeachfl.gov

1. DEFICIENCIES IN APPLICATION

a. Applicant is encouraged to provide rendered images of proposal to abutting properties. **PROVIDED. SEE SHEET G1.4**

2. DEFICIENCIES IN ARCHITECTURAL PRESENTATION

a. Include with Final Submittal the "Grade Calculations" that staff has provided with comments. **PROVIDED PLEASE CIVIL DRAWINGS ALSO**

b. LOT SIZE is 7,305SF correct throughout **REVISED THROUGHOUT**

c. While adjusted grade is 6.50' NGVD, per Sec. 142-105(b)(8)b. the maximum yard elevation is 6.56' NGVD. **NOTED**

d. Generally, the quality of the information on the drawings is insufficient to review. Fonts are blurry and small. Increase text size throughout. Improve line weights. These basic graphic issues must be improved or item will not be placed on agenda. **REVISED THROUGHOUT**

e. G0.0 Remove. **REMOVED**

f. G.01 – Remove context aerials. Increase and separate site plan to a legible scale showing setbacks **SEPARATE SITE PLAN IS PROVIDED ON SHEET A1.0. SHEET G0.1 IS FOR CONTEXTUAL REFERENCE ONLY.**

g. R0.0 and R0.1 EXPLODED AXON Add SF for each enclosed area (not unit size) per floor adjacent to level and % ratio. Tone down background color. **REVISED PLEASE SEE SHEETS R0.0 & R0.1**

h. R1.0-renderings are nice but should include context, ie neighboring properties not jungle like surroundings. **NOTED. PROHIBITIVE DUE TO TIME CONSTRAINTS.**

i. A0.1 Add front entry to lot coverage calculation. Lot size is 7305SF. Correct. **REVISED.**

j. A0.2 600 sf of landscape shall be provided in required front =yard (20'0"). **REVISED.**

k. A0.6 Fonts are blurry and small. Increase text size throughout. Show overall height of front wall. **REVISED THROUGHOUT**

l. A0.7 Lower waterfall wall to 7' from grade or setback 7'-6" Fonts are blurry and small. Increase text size throughout. Show overall height of front wall. **REVISED. TOP OF WATER WALL IS NOW AT 10' NGVD. SEE SHEETS A0.7 & A1.0**

m. A0.8 Fonts are blurry and small. Increase text size throughout. Show overall height of front wall. **REVISED THROUGHOUT**

n. A5.1 Depict property lines. Depict red dashed setback lines. **REVISED THROUGHOUT**

o. L1,L2, and L4 reorient siteplan in manner to reflect architectural pages **SEE LANDSCAPE DRAWINGS**

p. Add sheet to include Grade calculations sent by Staff. **SEE CIVIL DRAWINGS**

q. Missing waiver diagram **COMMENT IS VAGUE AS TO WHICH DIAGRAM, OR WHICH WAIVER**

r. Missing contour grade plan **SEE CIVIL DRAWINGS**

s. Add "FINAL SUBMITTAL" to front cover title for heightened clarity of reference for next deadline. Also drawings need to be dated **ADDED**

t. Add narrative response sheet. **ADDED**

3. ZONING/VARIANCE COMMENTS.

1. Revise zoning information. Lot area of the property is incorrect. Lot area is 7,305 sf, table indicates 7,320 sf. **REVISED THROUGHOUT**

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5. Revise open space diagram and calculations in the rear yard. Indicate area of rear yard not the front yard and indicate required 70% open space area. As the pool walls are located at 6.5' NGVD, above adjusted grade (5.55' NGVD) only half (1/2) of the water area counts as open space. **REVISED SEE SHEETS A0.3**

6. The wall part of the water feature at the pool shall be either lowered up to a maximum height of 7'-0" from grade (10.1' NGVD) to comply with the maximum height for a fence or be setback 7'-6" from the rear property line to comply with the accessory structures minimum rear setback. **REVISED. TOP OF WATER WALL IS NOW AT 10' NGVD. SEE SHEETS A0.7 & A1.0**

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4. DESIGN/APPROPRIATENESS COMMENTS

a. Waiver #1 second floor to first floor volume exceeds 70% since lot coverage is now > 25%, Supply diagram. **REVISED PLEASE SEE SHEET A0.5**

5. LANDSCAPING COMMENTS\

a. Provide the Landscape Legend form permanently affixed to the Landscape Plans, in order to show compliance with the new City of Miami Beach landscape requirements. **REVISED SEE LANDSCAPE SHEETS**

b. The CMB Landscape Legend form and useful links can be obtained from the Planning Department website. Refer to the Landscape Requirements link at http://www.miamibeachfl.gov/city-hall/planning/landscape-requirements. **NOTED**

DRB PLAN REVIEW - James Murphy Ph: email: jamesmurphy@miamibeachfl.gov

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PLANNING LANDSCAPE REVIEW - Enrique Nunez Ph: email: EnriqueNunez@miamibeachfl.gov

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DRB FINAL SUBMITTAL

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STUDIO

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| Revisions |           |             |
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SIGN & SEAL

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COMMENT  
RESPONSE  
SHEET

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SIGN & SEAL

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EXPLODED  
AXONOMETRIC  
DIAGRAMS

Drawn by

Checked by

Project Number

Issue date

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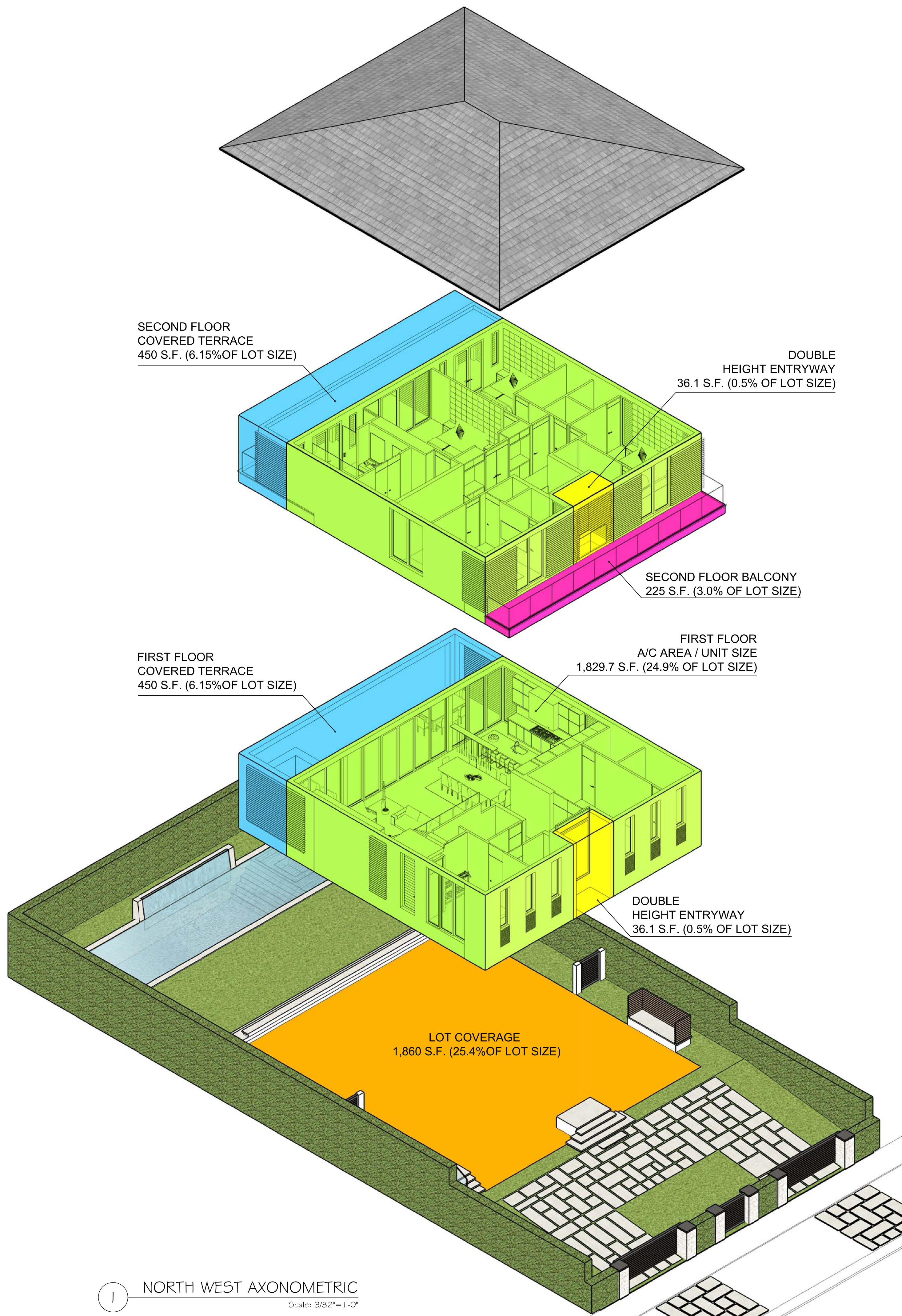
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1804

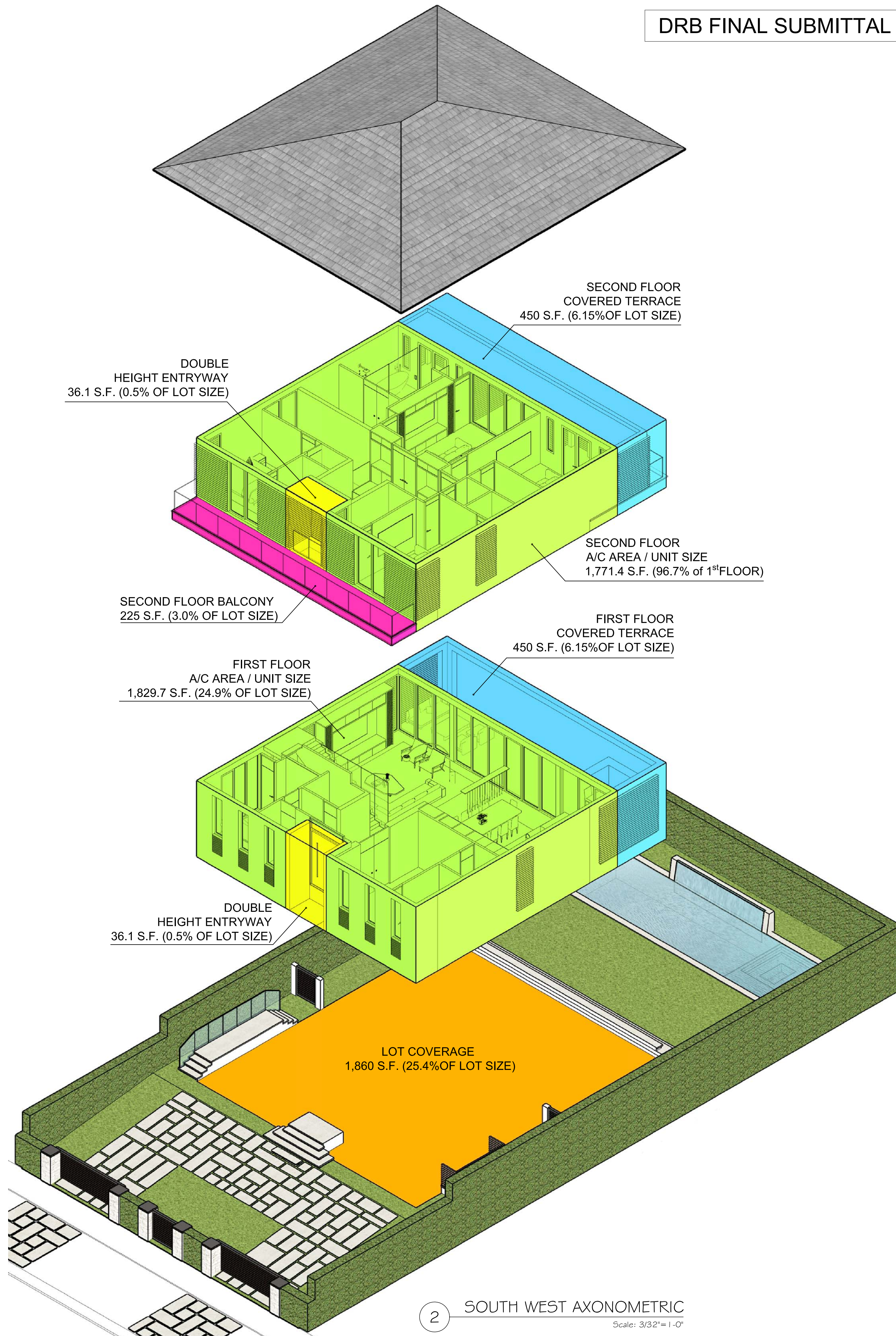
07/06/18

Sheet #

R0.0



1 NORTH WEST AXONOMETRIC  
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2 SOUTH WEST AXONOMETRIC  
Scale: 3/32"=1'-0"



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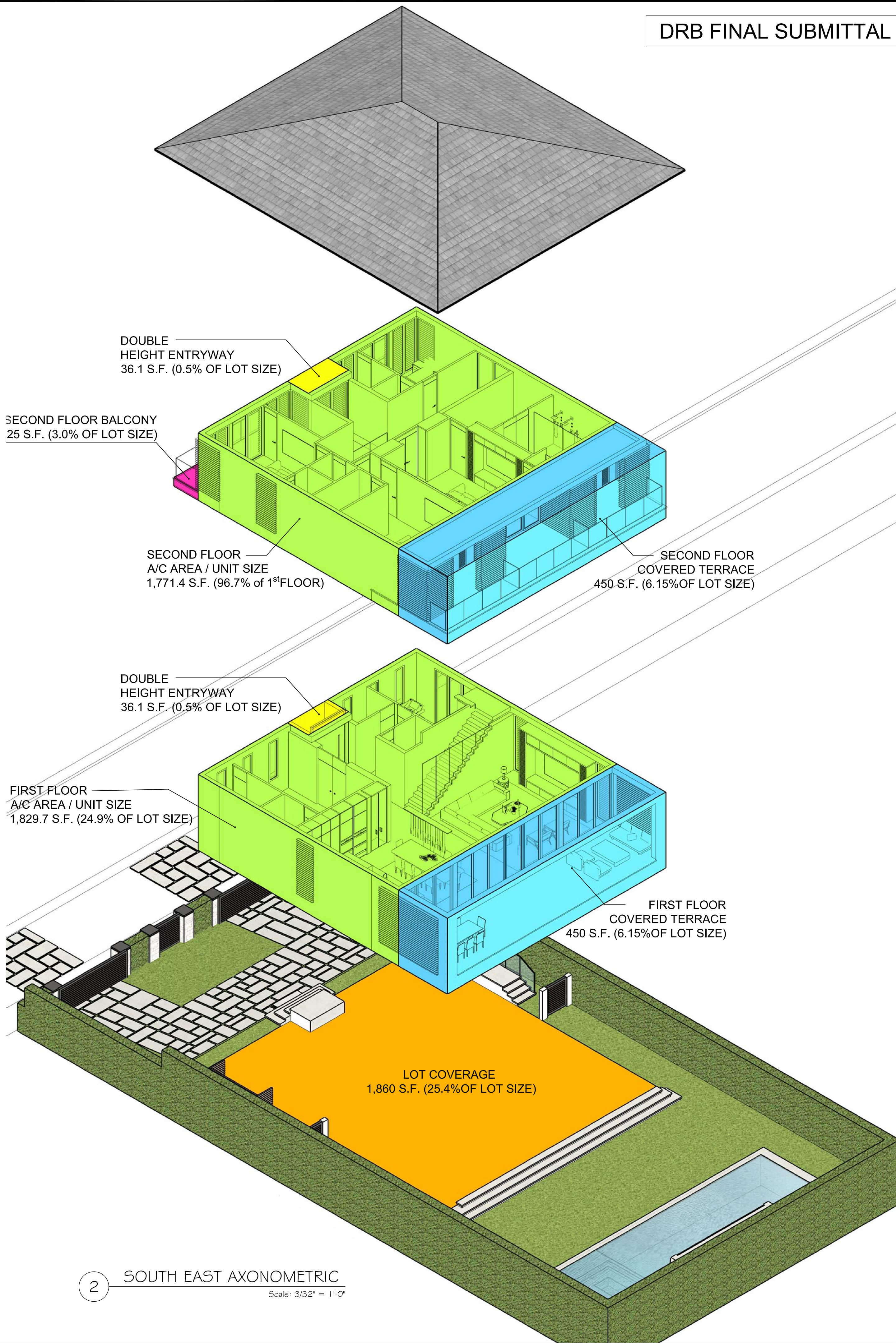
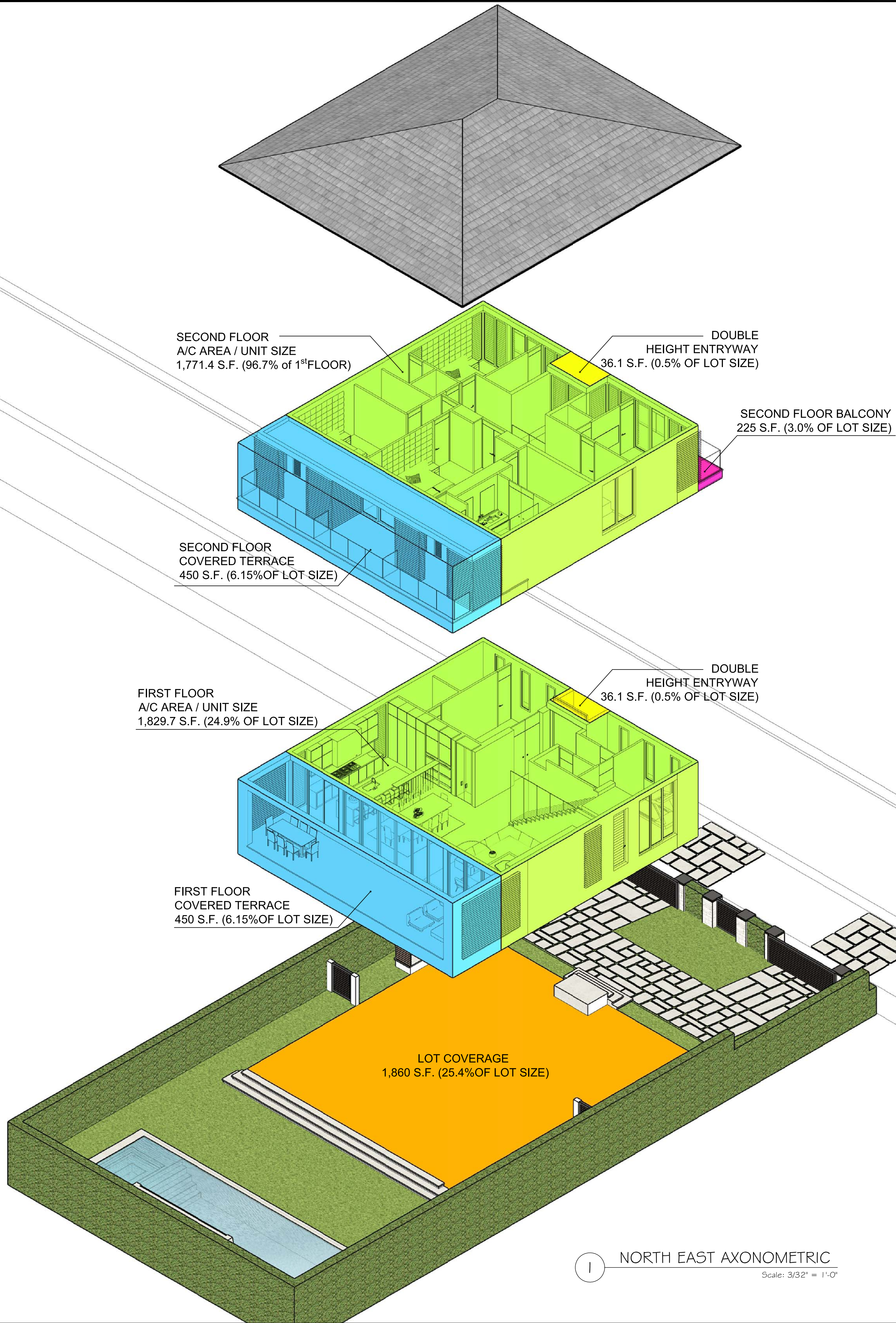
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2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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1 PEDESTRIAN APPROACH  
N.T.S.



NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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I DRIVEWAY  
N.T.S.



NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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I POOL AREA  
N.T.S.



NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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I COVERED TERRACE  
N.T.S.



NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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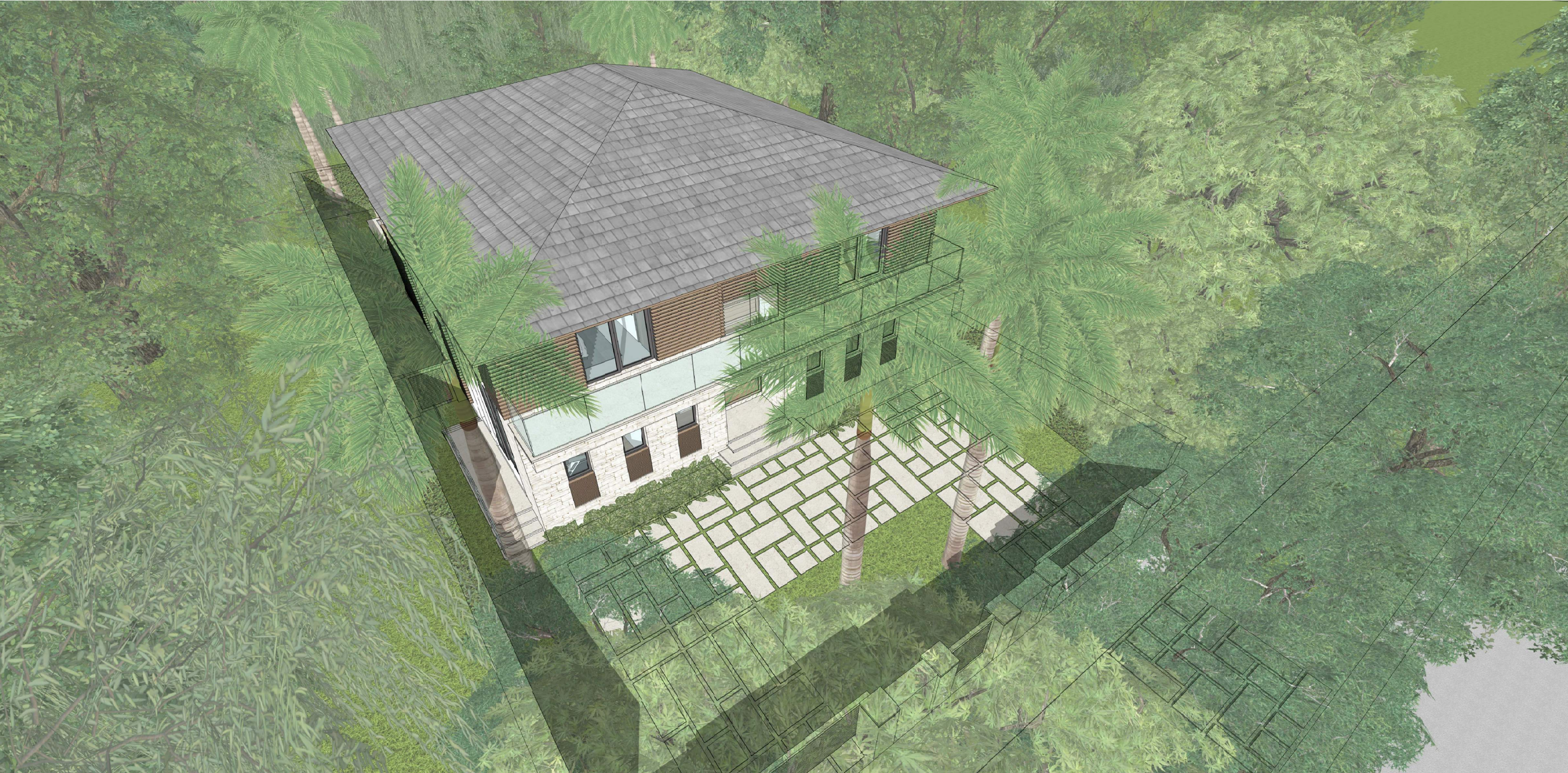
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I FRONT AERIAL  
N.T.S.



NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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I REAR AERIAL  
N.T.S.



# SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

DRB FINAL SUBMITTAL

| ITEM#                       | ZONING INFORMATION   |   |  |                      |              |
|-----------------------------|--|---|--|----------------------|--------------|
| 1                           | ADDRESS:   | 2421 N. BAY ROAD, MIAMI BEACH, FL 33140 |  |                      |              |
| 2                           | FOLIO NUMBER:  | 02-3227-008-0930                        |  |                      |              |
| 3                           | BOARD AND FILE NUMBER:   | DRB #18-0288                            |  |                      |              |
| 4                           | YEAR BUILT:  | 1925                                    | ZONING DISTRICT:   | RS-4                 |              |
| 5                           | BASED FLOOD ELEVATION:   | 8.00' NGVD                              | GRADE VALUE IN NGVD:   | 3.10' NGVD           |              |
| 6                           | ADJUSTED GRADE:  | 6.50' NGVD                              | FREE BOARD:  | 9.00' NGVD           |              |
| 7                           | LOT AREA:  | 7,305 SF                                |  |                      |              |
| 8                           | LOT WIDTH:   | 60' - 0"                                | LOT DEPTH:   | 121' - 9"            |              |
| 9                           | MAX. LOT COVERAGE SF and %:  | 2,191.5 SF(30%)                         | PROPOSED LOT COVERAGE SF and %:  | 1,860 SF (25.46%)    |              |
| 10                          | EXISTING LOT COVERAGE SF and %:                                    | N/A                                     | LOT COVERAGE DEDUCTED (garage-storage)SF:  | N/A                  |              |
| 11                          | FRONT YARD OPEN SPACE SF and %:                                    | 601.50 SF (50.1%)                       | REAR YARD OPEN SPACE SF and %:   | 876.25 SF (73.1%)    |              |
| 12                          | MAX UNIT SIZE SF and %:  | 3,652.5 (50%)                           | PROPOSED UNIT SIZE SF and %:   | 3,601.00 SF (49.29%) |              |
| 13                          | EXISTING FIRST FLOOR UNIT SIZE:                                    | N/A                                     | PROPOSED FIRST FLOOR UNIT SIZE:  | 1,829.67 SF (25.04%) |              |
|                             |  |   | PROPOSED FIRST FLOOR UNIT SIZE (VOLUMETRIC)  | N/A                  |              |
| 14                          |  |   | PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF and % (note: not to exceed 70: of the 1st floor of the main home require DRB approval) | N/A                  |              |
| 15                          |  |   | PROPOSED SECOND FLOOR UNIT SIZE:   | 1,771.33 SF (24.25%) |              |
| 16                          |  |   | PROPOSED ROOF DECK AREA SF and % (note: max is 25% of the enclosed area immediately below)   | N/A                  |              |
| ITEM#                       | REQUIRED:  | REQUIRED                                | EXISTING   | PROPOSED             | DEFICIENCIES |
| 17                          | HEIGHT:  | 27' - 0"                                |  | 25' - 7.5"           |              |
| 18                          | SETBACKS:  |   |  |                      |              |
| 19                          | FRONT FIRST LEVEL:   | 20' - 0"                                |  | 30' - 0"             |              |
| 20                          | FRONT SECOND LEVEL:  | 30' - 0"                                |  | 30' - 0"             |              |
| 21                          | SIDE 1 (NORTH):  | 7' - 6"                                 |  | 7' - 6"              |              |
| 22                          | SIDE 2 (SOUTH):  | 7' - 6"                                 |  | 7' - 6"              |              |
| 23                          | REAR:  | 20' - 0"                                |  | 40' - 8"             |              |
|                             | ACCESORY STRUCTURE SIDE 1:   | N/A                                     |  |                      |              |
| 24                          | ACCESORY STRUCTURE SIDE 2 or facing Street REAR:                   | N/A                                     |  |                      |              |
| 25                          | ACCESORY STRUCTURE REAR:   | N/A                                     |  |                      |              |
| 26                          | SUM OF SIDE YARD:  | 15' - 0"                                |  | 15' - 0"             |              |
| 27                          | LOCATED WITHIN A LOCAL HISTORIC DISTRICT?                          | NO                                      |  |                      |              |
| 28                          | DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE? | NO                                      |  |                      |              |
| 29                          | DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?                      | NO                                      |  |                      |              |
| NOTES                       |  |   |  |                      |              |
| IF NOT APPLICABLE WRITE N/A |  |   |  |                      |              |

BRG  
STUDIO

605 LINCOLN ROAD  
SUITE 302  
MIAMI BEACH, FL 33139  
  
T: 305.397.8788  
  
F: 305.397.8469  
  
MA@BRG.STUDIO  
  
WWW.BRG.STUDIO  
  
LICENSE # AA26003219

NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL. 33140

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: 305.397.8788

: 305.397.8469

@BRG.STUDIO

W.BRG.STUDIO

USE # AA26003219

## NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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CONTRACTOR SHALL VERIFY AND BE  
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CONNECTIONS TO ALL ADJACENT HOMES LLC BE  
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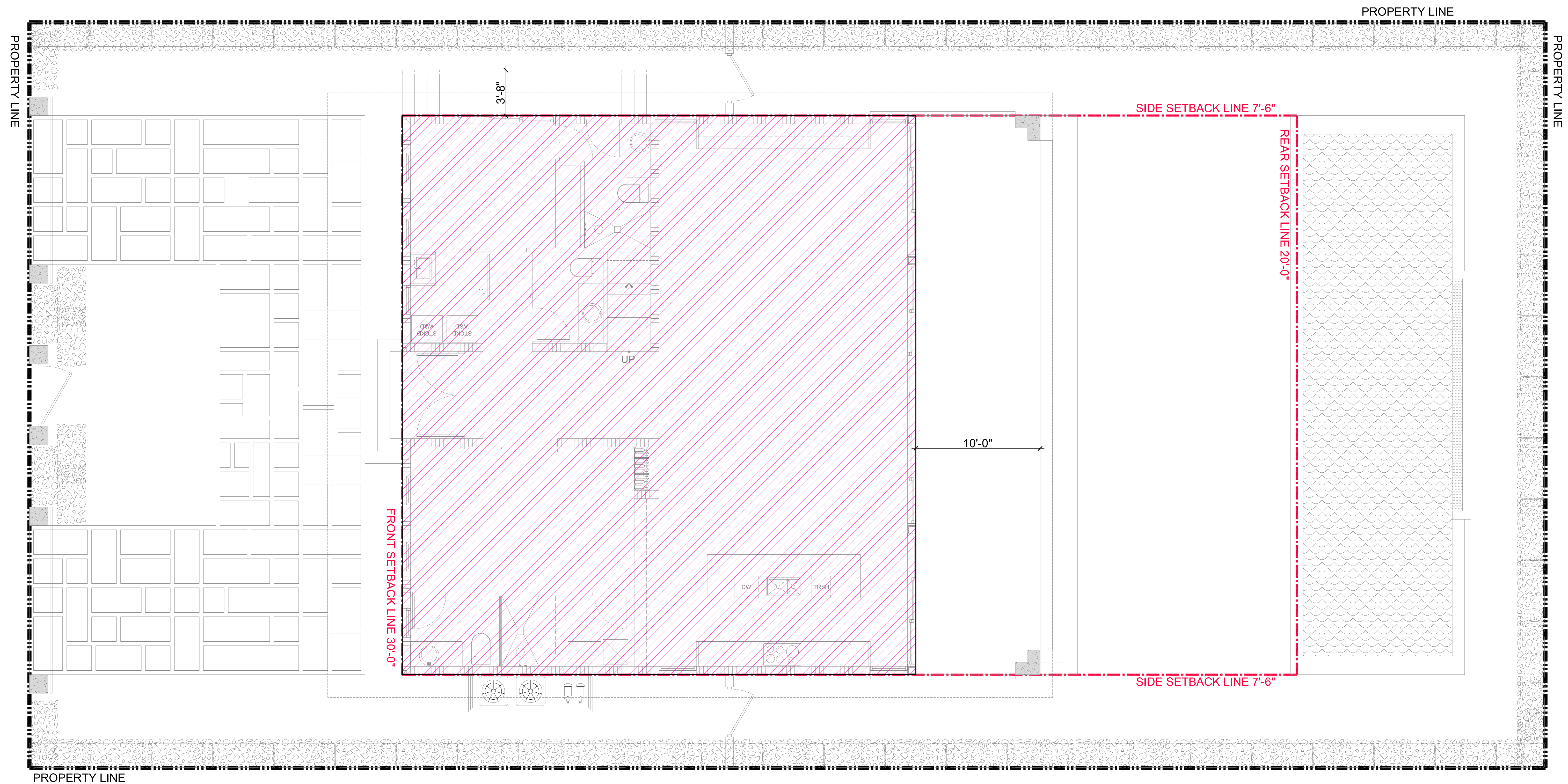
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LOT COVERAGE  
DIAGRAM

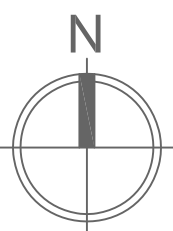
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| Scale<br>$\frac{1}{4}'' = 1'$ |         |



1 LOT COVERAGE DIAGRAM  
Scale: 1/4" = 1'-0"

TOTAL LOT SIZE: 7,305 S.F.

LOT COVERAGE: 1,860 S.F. (25.4% of lot size)





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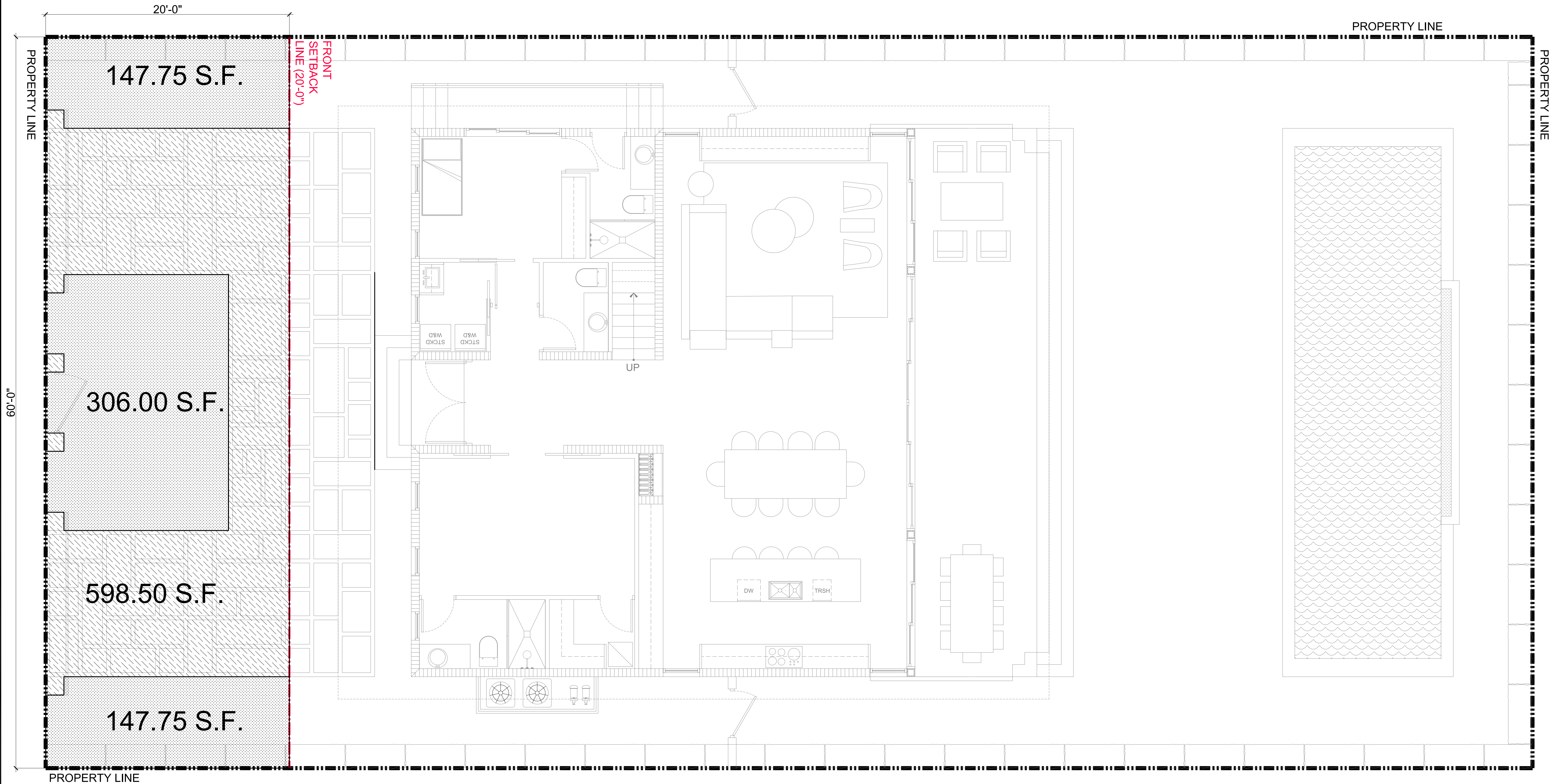
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FRONT YARD  
CALCULATION

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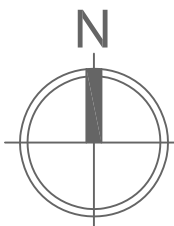


1 FRONT YARD CALCULATION  
Scale: 1/4" = 1'-0"

TOTAL FRONT YARD AREA: 1200 S.F. (100%)

IMPERVIOUS: 598.5 S.F. (49.9%)

PERVIOUS: 601.5 S.F. (50.1%)





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REAR YARD  
CALCULATION

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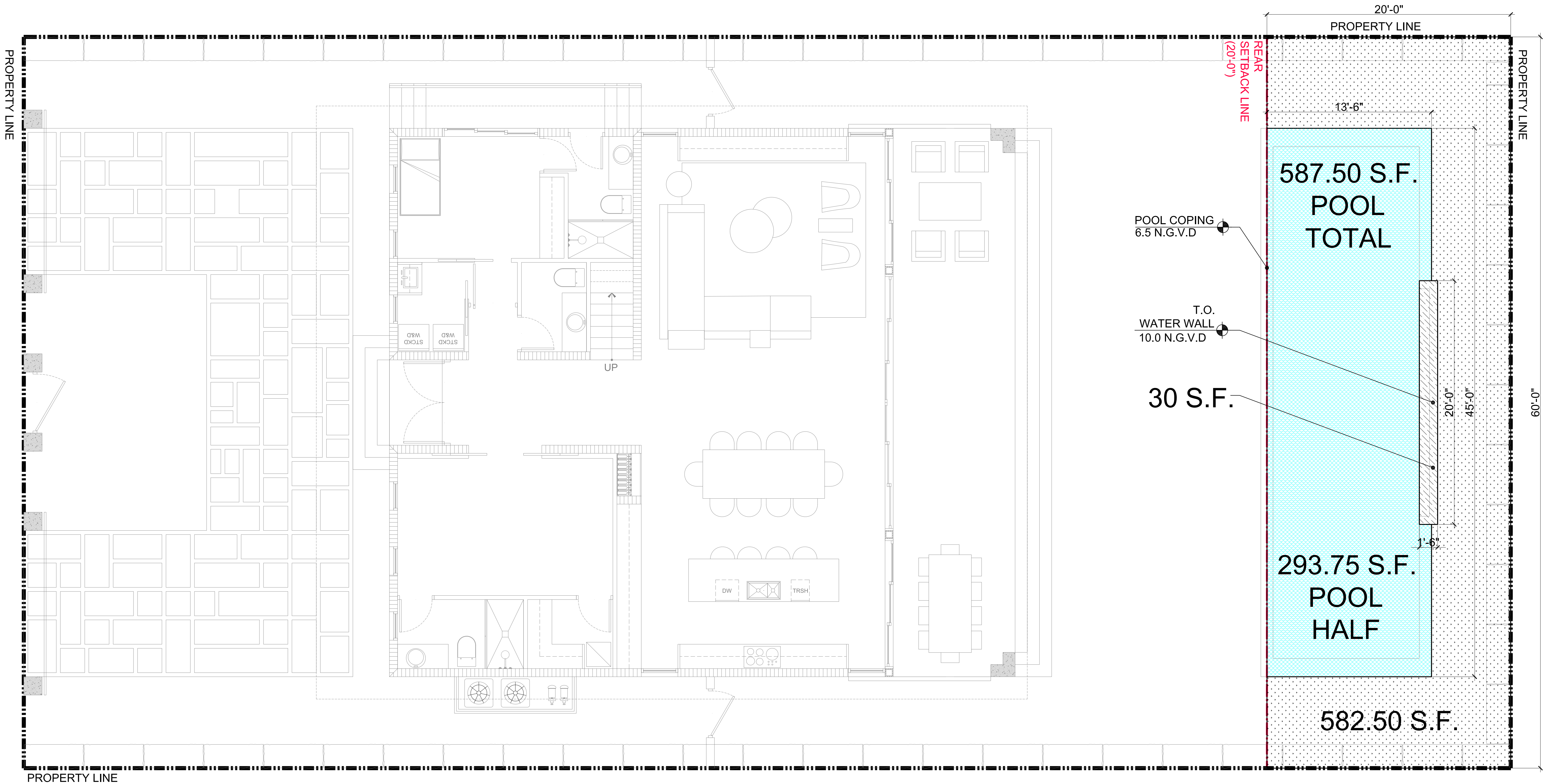
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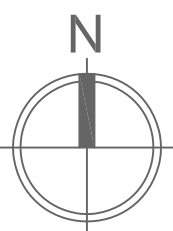
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REAR YARD CALCULATION  
Scale: 1/4" = 1'-0"

TOTAL REAR YARD AREA: 1200 S.F. (100%)

- IMPERVIOUS: 323.75 (26.9%)  
INCLUDES 293.75 S.F. FOR HALF THE POOL
- PERVIOUS: 876.25 S.F. (73.1%)  
INCLUDES 293.75 S.F. FOR HALF THE POOL
- POOL: 587.5 S.F. TOTAL





NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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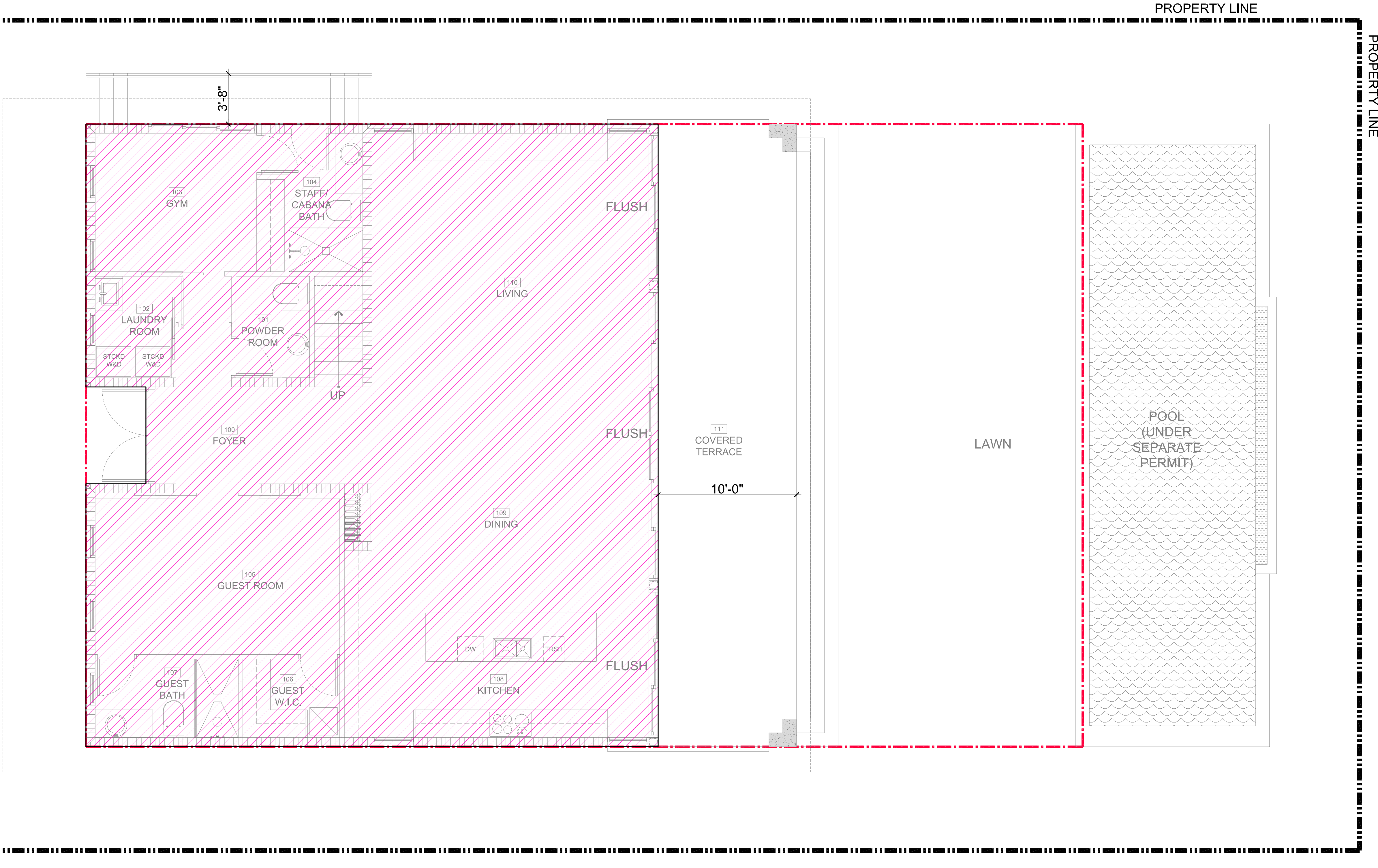
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UNIT SIZE  
DIAGRAM  
FIRST FLOOR

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1 UNIT SIZE DIAGRAM - FIRST FLOOR  
Scale: 1/4" = 1'-0"

TOTAL LOT SIZE: 7,305 S.F.

1ST FLOOR: 1,829.67 S.F. (25.04% of lot size)



NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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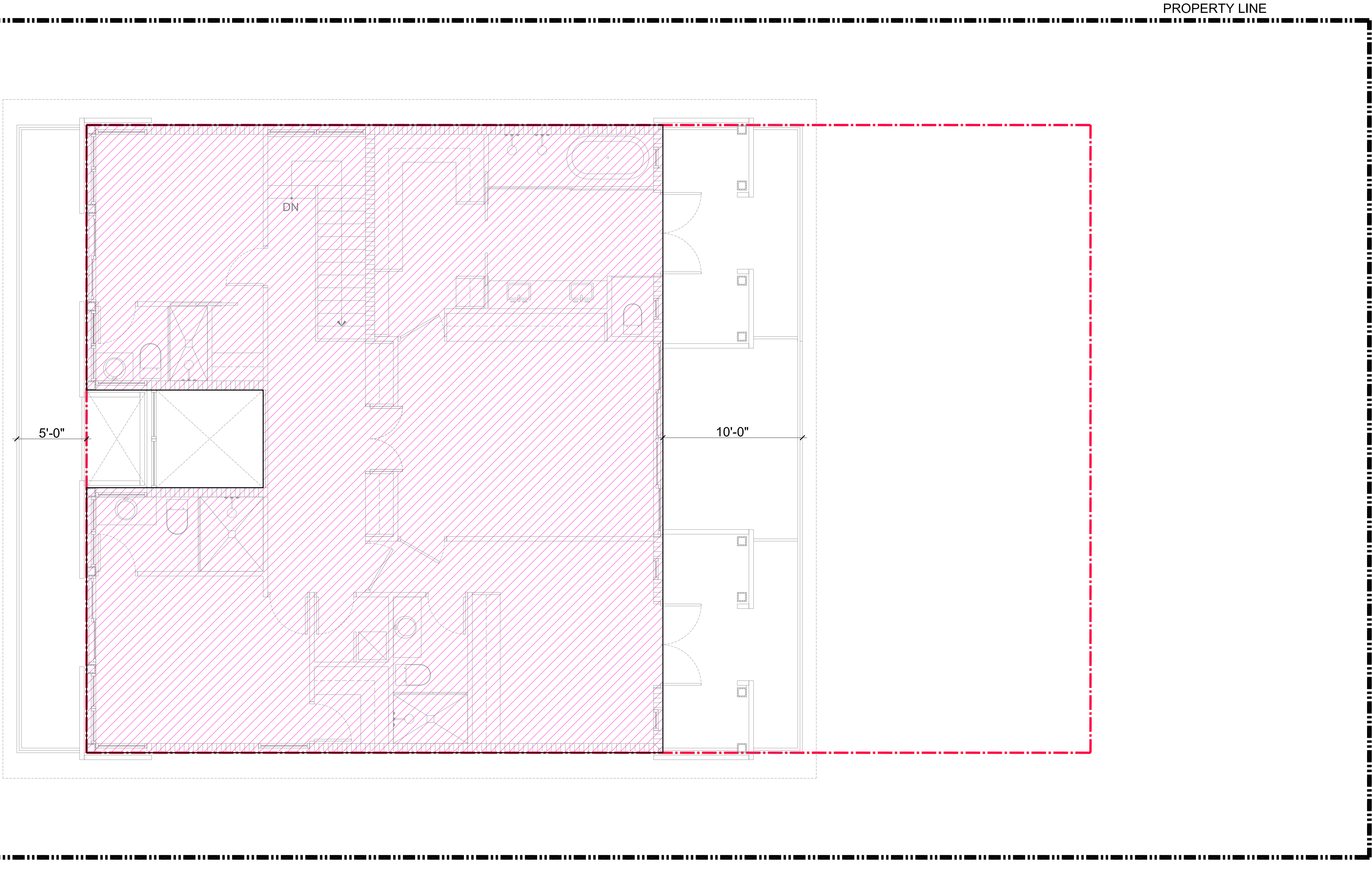
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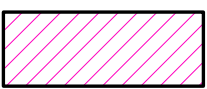
UNIT SIZE  
DIAGRAM  
SECOND FLOOR

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| Issue date     | 07/06/18 |
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| 3/4" = 1'      | A0.5     |

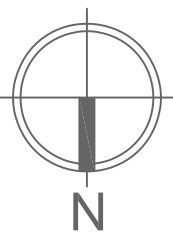


1 UNIT SIZE DIAGRAM - SECOND FLOOR  
Scale: 1/4" = 1'-0"

TOTAL LOT SIZE: 7,305 S.F.  
FIRST FLOOR SIZE: 1829.67 S.F.



2ND FLOOR: 1,771.33 S.F. (24.25% of lot size)  
WAIVER REQUESTED (96.81% of 1<sup>st</sup>Floor)





NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

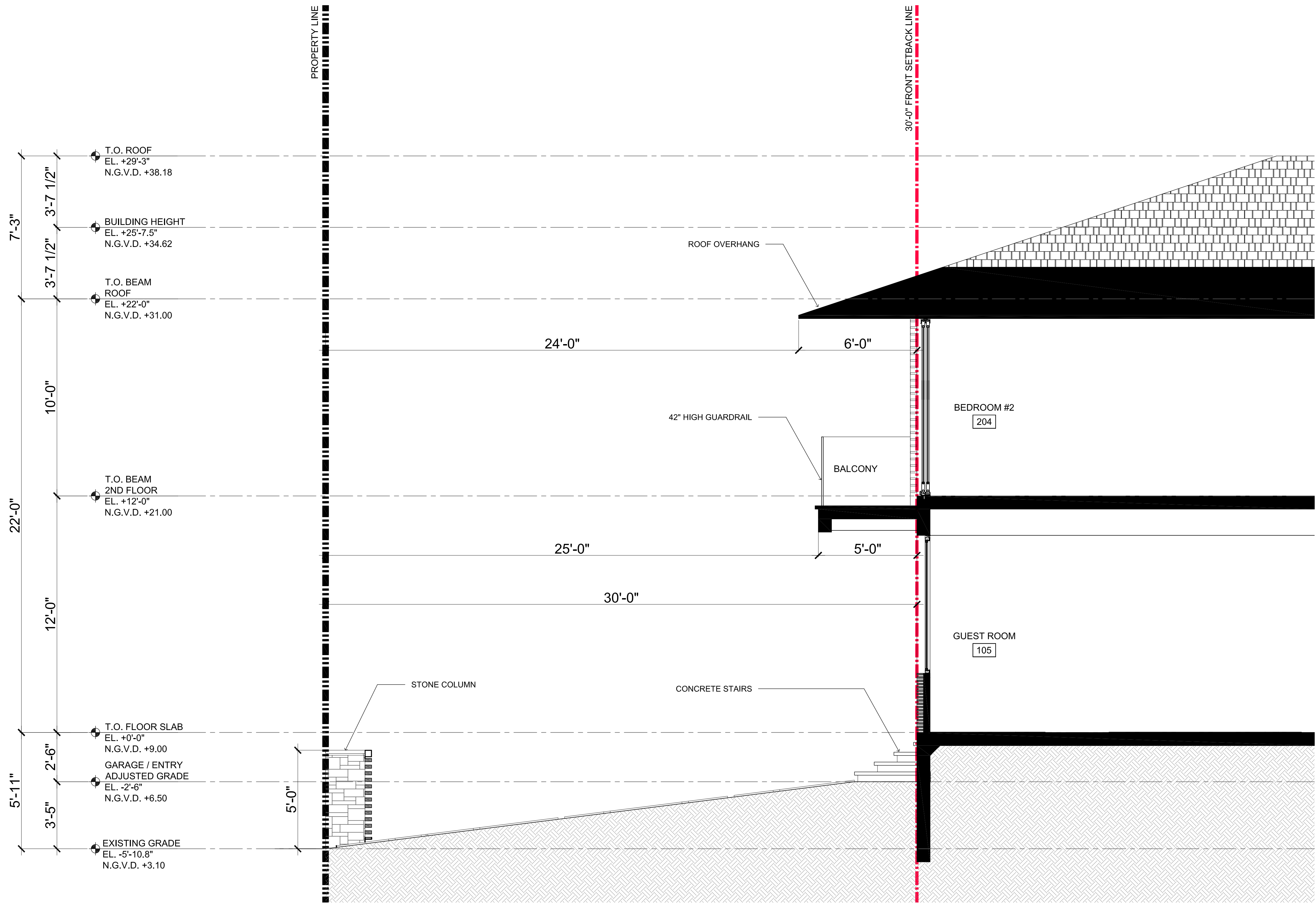
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| Revisions |           |             |
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| No.       | Date      | Description |
| 1         | 7/06/2018 | DRB FINAL   |
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SIGN & SEAL

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SECTION  
DIAGRAMS

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| Project Number | 1804      |
| Issue date     | 07/06/18  |
| Scale          | 3/8" = 1' |
| Sheet #        | A0.6      |



1 FRONT YARD SECTION  
Scale: 3/8" = 1'-0"



NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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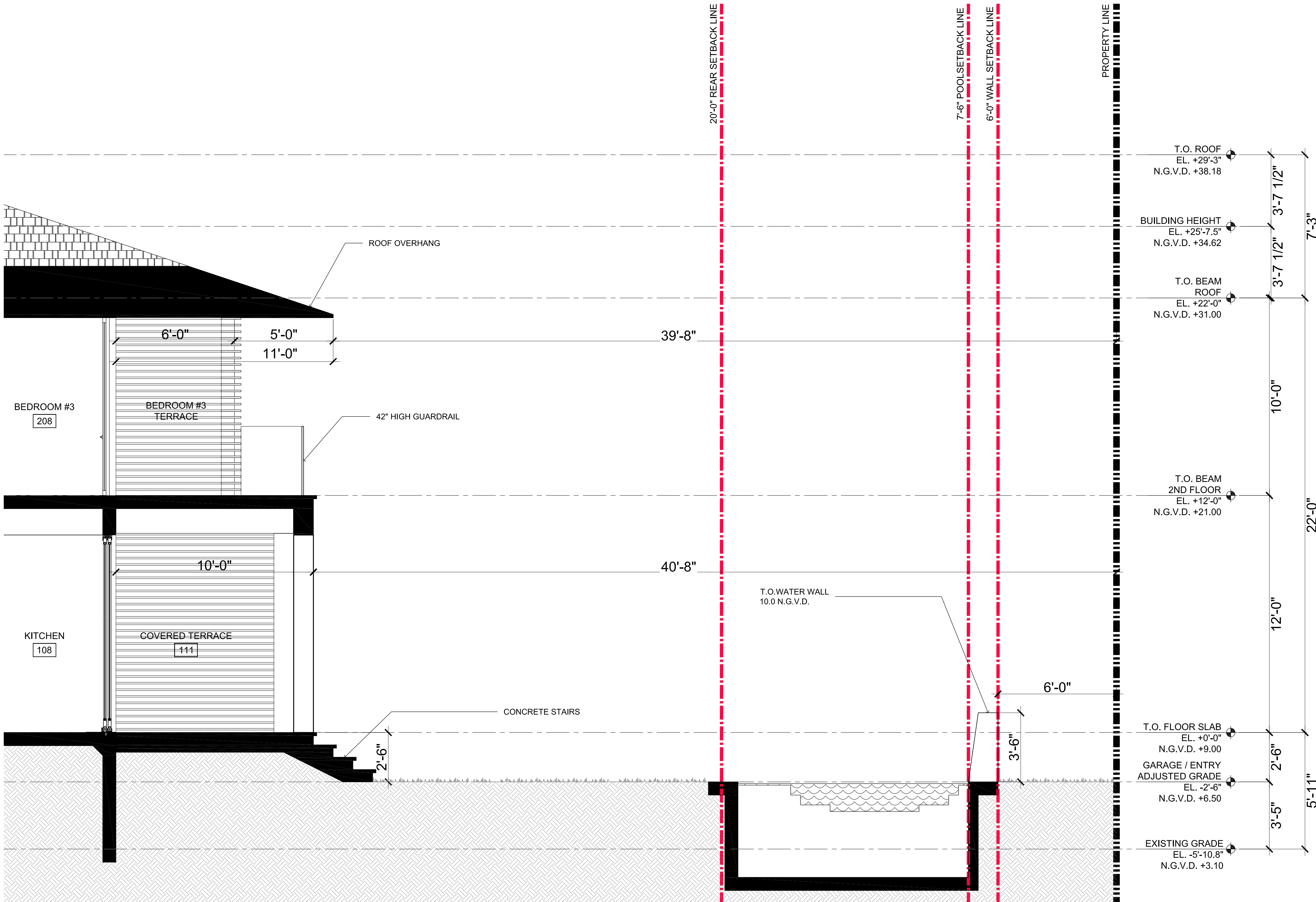
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SIGN & SEAL

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| Project Number | 1804      |
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| Issue date     | 07/06/18  |
| Scale          | 3/8" = 1' |
| Sheet #        | A0.7      |



1 REAR YARD SECTION  
Scale: 3/8" = 1'-0"







NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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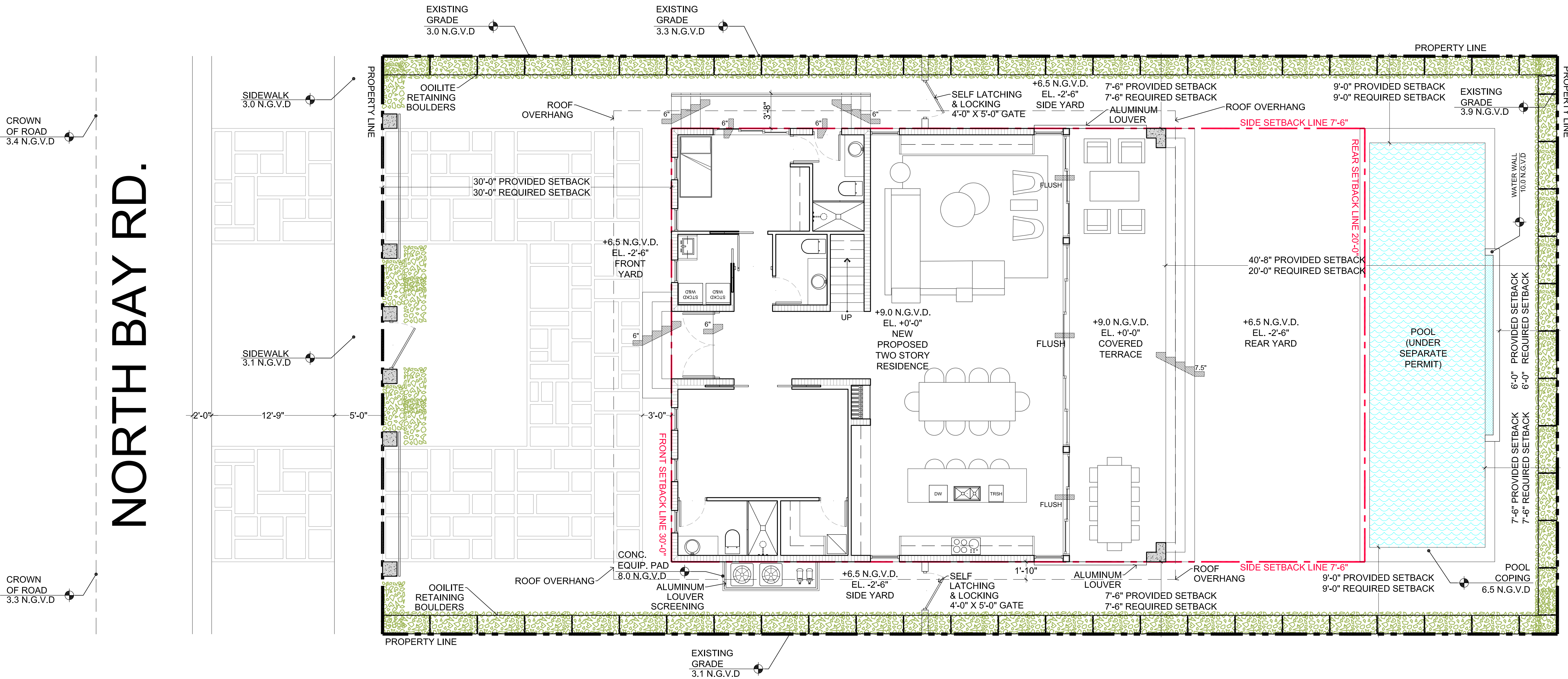
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SIGN & SEAL

TITLE

SITE PLAN

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| Drawn by       |            |
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| Project Number | 1804       |
| Issue date     | 07/06/18   |
| Scale          | 3/16" = 1' |
| Sheet #        | A1.0       |



1 SITE PLAN  
Scale: 3/16" = 1'-0"



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SIGN & SEAL

TITLE

FIRST  
FLOOR  
PLAN

Drawn by

Checked by

Project Number

Issue date

Scale

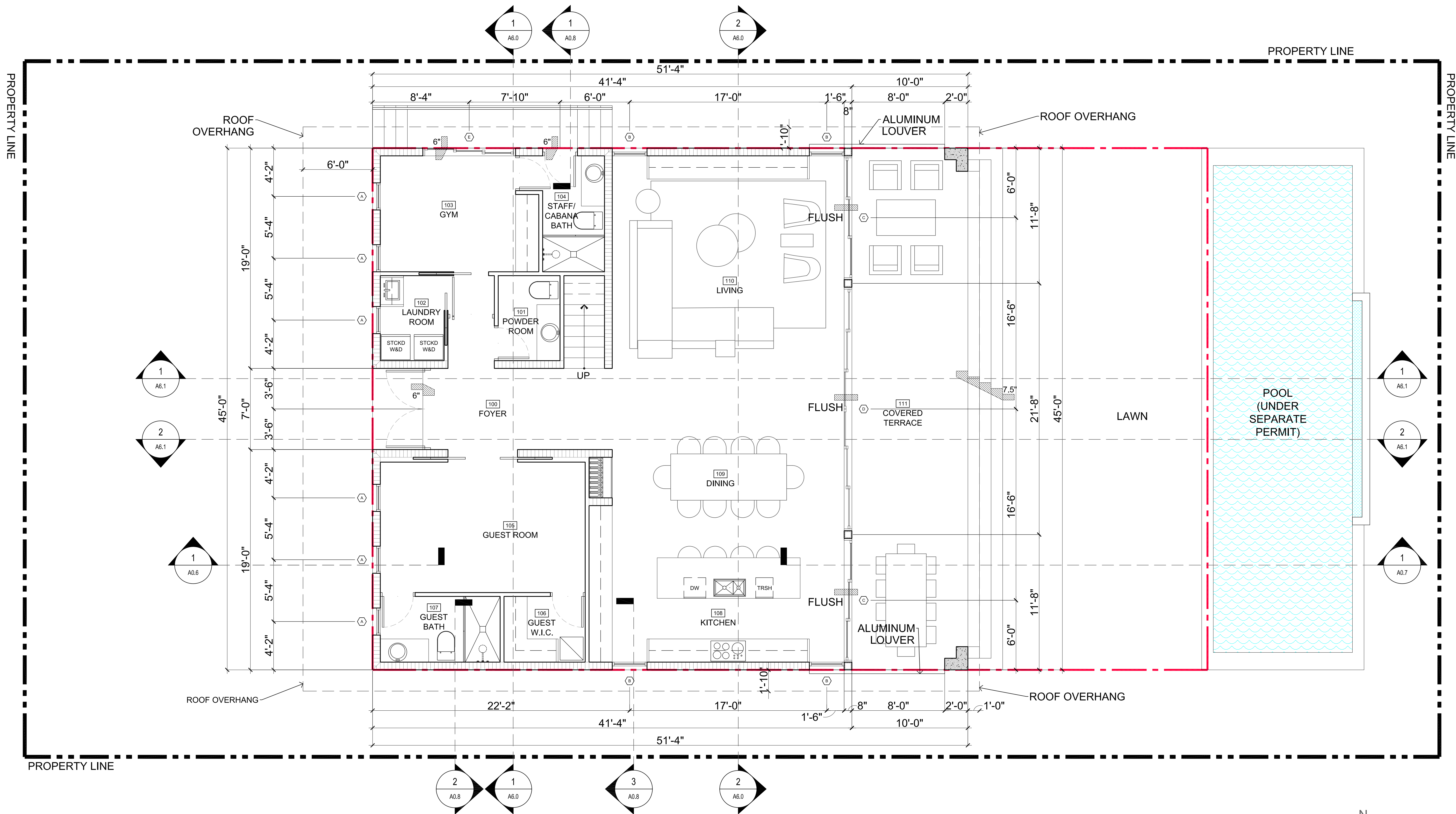
1/4" = 1'

Sheet #

A2.0

1804

07/06/18



FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



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SIGN & SEAL

TITLE

SECOND  
FLOOR  
PLAN

Drawn by

Checked by

Project Number

Issue date

Scale

Sheet #

1804

07/06/18

1/4" = 1'

A2.1

PROPERTY LINE

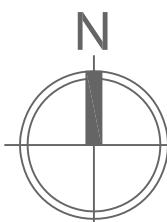
PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

1 SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"





NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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SIGN & SEAL

TITLE

ROOF  
PLAN

Drawn by

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Project Number

Issue date

Scale

Sheet #

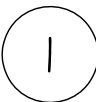
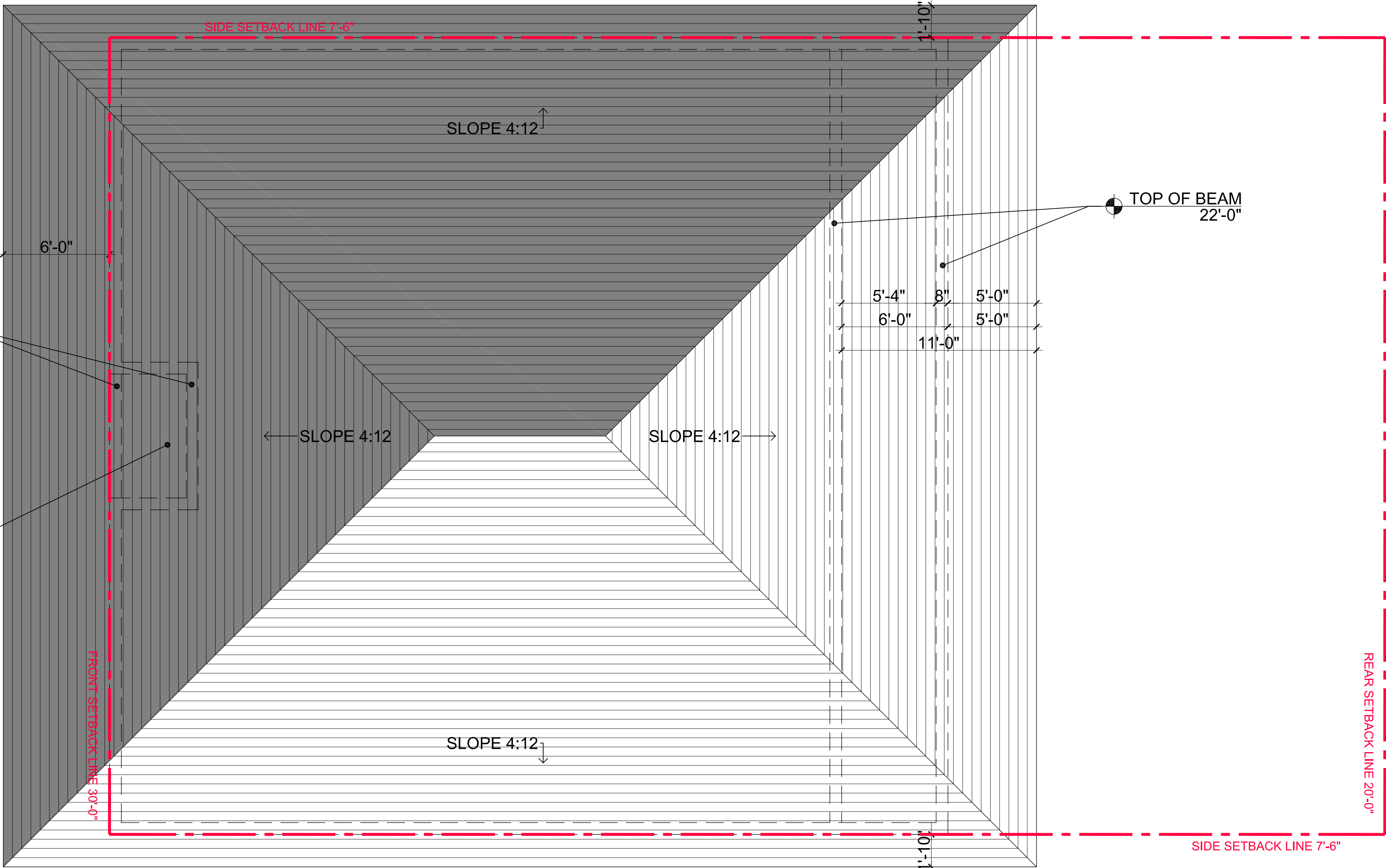
1804

07/06/18

1/4" = 1'

A3.0

PROPERTY LINE



ROOF PLAN

Scale: 1/4" = 1'-0"



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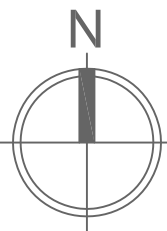
TITLE

FIRST FLOOR  
R.C.P.

|                |           |
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| Project Number | 1804      |
| Issue date     | 07/06/18  |
| Scale          | 1/4" = 1' |
| Sheet #        | A4.0      |



1 FIRST FLOOR R.C.P.  
Scale: 1/4" = 1'-0"





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SIGN & SEAL

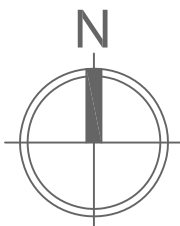
TITLE

SECOND FLOOR  
R.C.P.

|                |           |
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| Project Number | 1804      |
| Issue date     | 07/06/18  |
| Scale          | 1/4" = 1' |
| Sheet #        | A4.1      |



1 SECOND FLOOR R.C.P.  
Scale: 1/4" = 1'-0"





EXTERIOR FINISH SCHEDULE

- 1| ALUMINUM SLIDING WINDOWS: BLACK FINISH  
2| ALUMINUM LOUVERS: WOOD VINYL FINISH  
3| ALUMINUM DOOR: WOOD VINYL FINISH  
4| CORAL STONE CLADDING  
5| ALUMINUM WINDOW: DARK BRONZE FINISH  
6| STUCCO: PAINTED WHITE  
7| GLASS GUARDRAIL  
8| STEEL COLUMN: DARK BRONZE FINISH  
9| ALUMINUM DOOR: DARK BRONZE FINISH  
10| OOLITE CORAL STONE

1 WEST ELEVATION  
Scale: 1/4" = 1'-0"

T.O. ROOF  
EL. +29'-3"  
N.G.V.D. +38.18'  
BUILDING HEIGHT  
EL. +25'-7.5"  
N.G.V.D. +34.62'  
T.O. BEAM  
EL. +22'-0"  
N.G.V.D. +31.00'  
T.O. BEAM  
EL. +12'-0"  
N.G.V.D. +21.00'  
T.O. FLOOR SLAB  
EL. +0'-0"  
N.G.V.D. +9.00'  
ADJUSTED GRADE  
EL. -2'-6"  
N.G.V.D. +6.50'

EXISINTG GRADE  
EL. -5'-10.8"  
N.G.V.D. +3.10'

T.O. ROOF  
EL. +29'-3"  
N.G.V.D. +38.18'  
BUILDING HEIGHT  
EL. +25'-7.5"  
N.G.V.D. +34.62'  
T.O. BEAM  
EL. +22'-0"  
N.G.V.D. +31.00'  
T.O. BEAM  
EL. +12'-0"  
N.G.V.D. +21.00'  
T.O. FLOOR SLAB  
EL. +0'-0"  
N.G.V.D. +9.00'  
ADJUSTED GRADE  
EL. -2'-6"  
N.G.V.D. +6.50'

EXISINTG GRADE  
EL. -5'-10.8"  
N.G.V.D. +3.10'

T.O. BEAM  
EL. +12'-0"  
N.G.V.D. +21.00'

T.O. FLOOR SLAB  
EL. +0'-0"  
N.G.V.D. +9.00'  
ADJUSTED GRADE  
EL. -2'-6"  
N.G.V.D. +6.50'

EXISINTG GRADE  
EL. -5'-10.8"

2 EAST ELEVATION  
Scale: 1/4" = 1'-0"

DRB FINAL SUBMITTAL

T.O. ROOF  
EL. +29'-3"  
N.G.V.D. +38.18'  
BUILDING HEIGHT  
EL. +25'-7.5"  
N.G.V.D. +34.62'  
T.O. BEAM  
EL. +22'-0"  
N.G.V.D. +31.00'  
T.O. BEAM  
EL. +12'-0"  
N.G.V.D. +21.00'  
T.O. FLOOR SLAB  
EL. +0'-0"  
N.G.V.D. +9.00'  
ADJUSTED GRADE  
EL. -2'-6"  
N.G.V.D. +6.50'

EXISINTG GRADE  
EL. -5'-10.8"  
N.G.V.D. +3.10'

T.O. ROOF  
EL. +29'-3"  
N.G.V.D. +38.18'  
BUILDING HEIGHT  
EL. +25'-7.5"  
N.G.V.D. +34.62'  
T.O. BEAM  
EL. +22'-0"  
N.G.V.D. +31.00'  
T.O. BEAM  
EL. +12'-0"  
N.G.V.D. +21.00'

T.O. BEAM  
EL. +12'-0"  
N.G.V.D. +21.00'

T.O. FLOOR SLAB  
EL. +0'-0"  
N.G.V.D. +9.00'  
ADJUSTED GRADE  
EL. -2'-6"  
N.G.V.D. +6.50'

EXISINTG GRADE  
EL. -5'-10.8"

BRG  
STUDIO

605 LINCOLN ROAD  
SUITE 302  
MIAMI BEACH, FL 33139

T: 305.397.8788

F: 305.397.8469

MA@BRG.STUDIO

WWW.BRG.STUDIO

LICENSE # AA26003219

NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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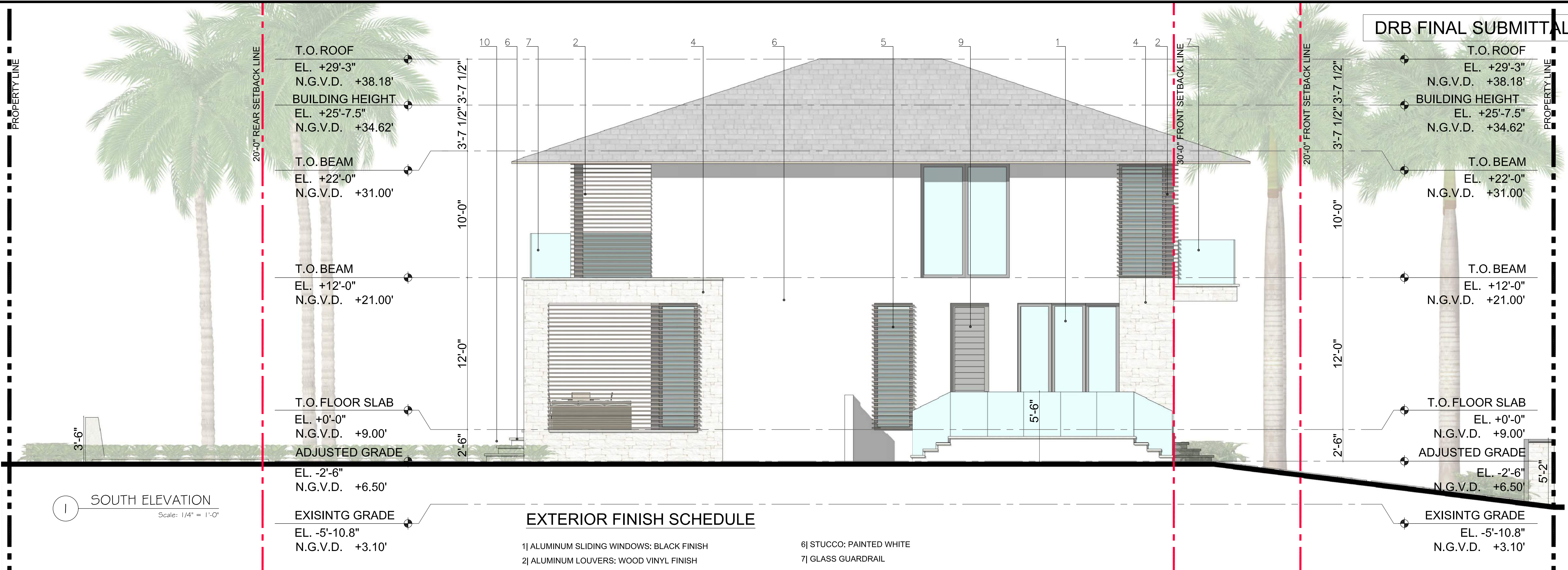
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SIGN & SEAL

TITLE  
EAST & WEST  
ELEVATIONS

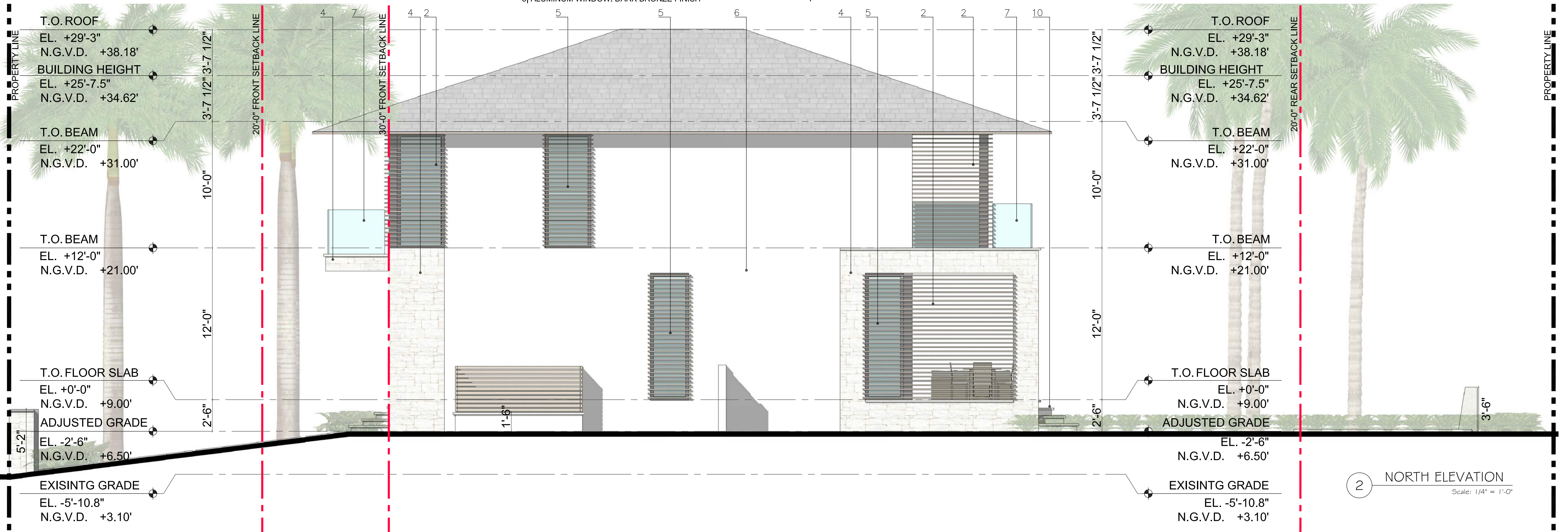
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| Project Number | 1804      |
| Issue date     | 07/06/18  |
| Scale          | 1/4" = 1' |
| Sheet #        | A5.0      |





### EXTERIOR FINISH SCHEDULE

- 1] ALUMINUM SLIDING WINDOWS: BLACK FINISH
- 2] ALUMINUM LOUVERS: WOOD VINYL FINISH
- 3] ALUMINUM DOOR: WOOD VINYL FINISH
- 4] CORAL STONE CLADDING
- 5] ALUMINUM WINDOW: DARK BRONZE FINISH
- 6] STUCCO: PAINTED WHITE
- 7] GLASS GUARDRAIL
- 8] STEEL COLUMN: DARK BRONZE FINISH
- 9] ALUMINUM DOOR: DARK BRONZE FINISH
- 10] OOLITE CORAL STONE



BRG  
STUDIO

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SUITE 302  
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SIGN & SEAL

TITLE

NORTH & SOUTH  
ELEVATIONS

Drawn by

Checked by

Project Number

Issue date

Scale

Sheet #

1804

07/06/18

1/4" = 1'

A5.1



EXTERIOR FINISH SCHEDULE

- 1| ALUMINUM SLIDING WINDOWS: BLACK FINISH  
2| ALUMINUM LOUVERS: WOOD VINYL FINISH  
3| ALUMINUM DOOR: WOOD VINYL FINISH  
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5| ALUMINUM WINDOW: DARK BRONZE FINISH  
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7| GLASS GUARDRAIL  
8| STEEL COLUMN: DARK BRONZE FINISH  
9| ALUMINUM DOOR: DARK BRONZE FINISH  
10| OOLITE CORAL STONE

DRB FINAL SUBMITTAL

BRG  
STUDIO

605 LINCOLN ROAD  
SUITE 302  
MIAMI BEACH, FL 33139

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F: 305.397.8469

MA@BRG.STUDIO

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SIGN & SEAL

TITLE  
EAST & WEST  
BLDG SECTIONS

|                |           |
|----------------|-----------|
| Drawn by       |           |
| Checked by     |           |
| Project Number | 1804      |
| Issue date     | 07/06/18  |
| Scale          | 1/4" = 1' |
| Sheet #        | A6.0      |

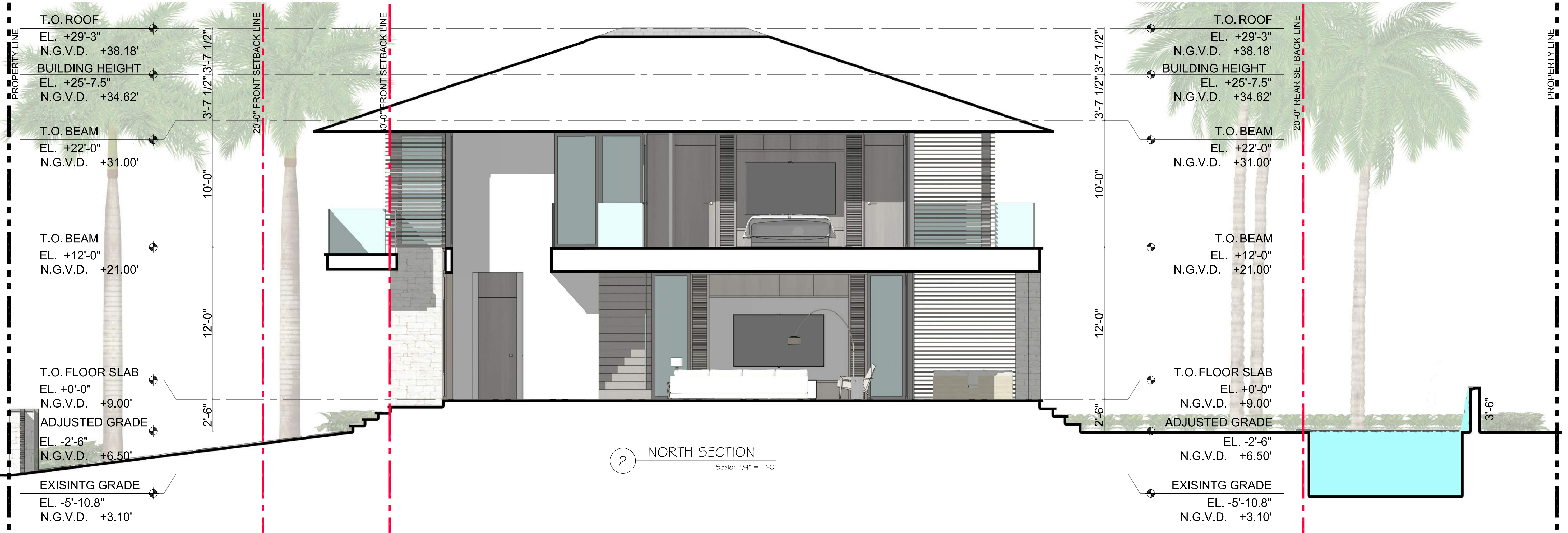
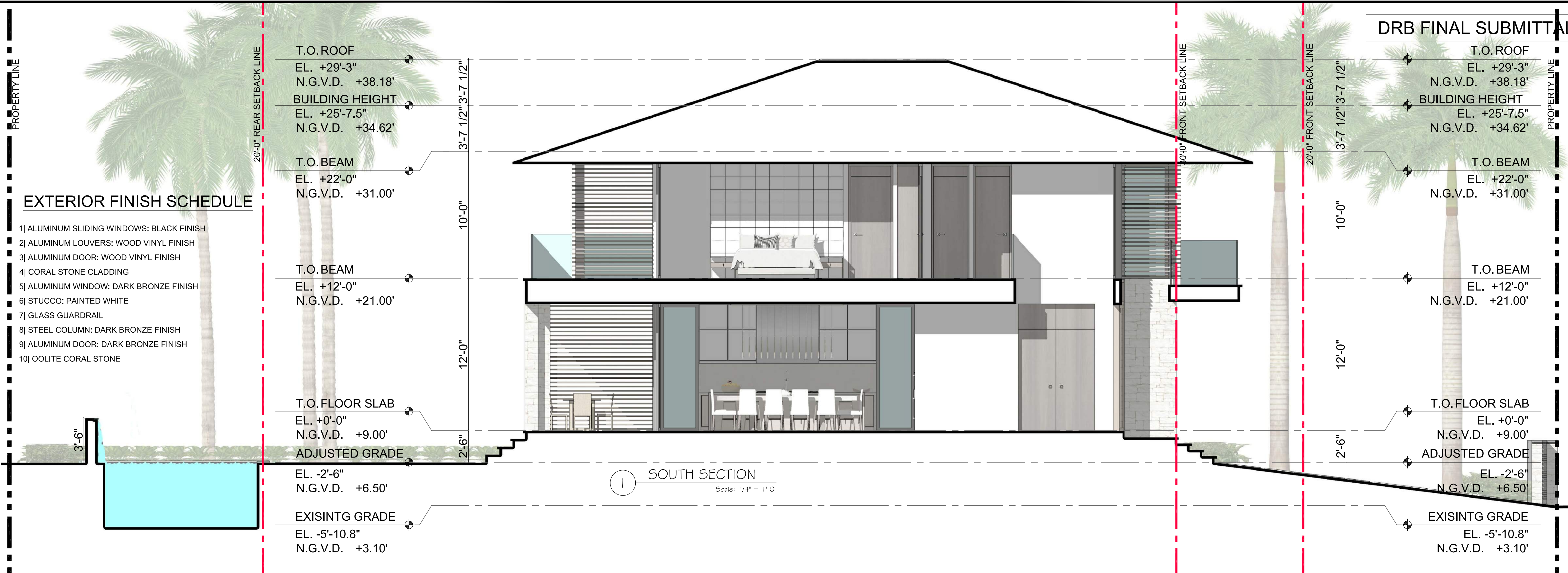
1 WEST SECTION  
Scale: 1/4" = 1'-0"

2 EAST SECTION  
Scale: 1/4" = 1'-0"



EXTERIOR FINISH SCHEDULE

- 1| ALUMINUM SLIDING WINDOWS: BLACK FINISH  
2| ALUMINUM LOUVERS: WOOD VINYL FINISH  
3| ALUMINUM DOOR: WOOD VINYL FINISH  
4| CORAL STONE CLADDING  
5| ALUMINUM WINDOW: DARK BRONZE FINISH  
6| STUCCO: PAINTED WHITE  
7| GLASS GUARDRAIL  
8| STEEL COLUMN: DARK BRONZE FINISH  
9| ALUMINUM DOOR: DARK BRONZE FINISH  
10| OOLITE CORAL STONE



DRB FINAL SUBMITTAL

BRG  
STUDIO

605 LINCOLN ROAD  
SUITE 302  
MIAMI BEACH, FL 33139

T: 305.397.8788

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LICENSE # AA26003219

NORTH BAY ROAD RESIDENCE

2421 N BAY ROAD  
MIAMI BEACH, FL, 33140

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Revisions

| No. | Date      | Description |
|-----|-----------|-------------|
| 1   | 7/06/2018 | DRB FINAL   |
|     |           |             |
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SIGN & SEAL

TITLE

NORTH & SOUTH  
BLDG SECTIONS

Drawn by

Checked by

Project Number

Issue date

Scale

Sheet #

1804

07/06/18

5/4" = 1'

A6.1



1. APPLICABLE CODES

- 1.1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE STANDARD AND SPECIFICATIONS OF THE CITY OF MIAMI BEACH AND ALL OTHER LOCAL, STATE AND NATIONAL CODES WHERE APPLICABLE EXCEPT WITHIN DEPARTMENT OF TRANSPORTATION (D.O.T.) R/W WHEREIN FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) GOVERNS.
- 1.2. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- 1.3. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988, (NAVD) UNLESS OTHERWISE NOTED.
- 1.4. THE CITY OF MIAMI BEACH WATER AND SEWER DEPARTMENT WATER AND SEWER SPECIFICATIONS SHALL DICTATE WHEN IN CONFLICT WITH ANY OF THE FOLLOWING SPECIFICATIONS.
- 1.5. ALL MATERIALS AND CONSTRUCTION WITHIN THE D.O.T. R/W SHALL CONFORM TO THE D.O.T. "DESIGN STANDARDS" (2015) AND "STANDARD SPECIFICATIONS" (2015).
- 1.6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MAINTENANCE OF TRAFFIC CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
- 2.6. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL OF FLORIDA, INC. CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION, CALL 1-800-432-4770.
- 2.7. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED).
- 2.8. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. THE CONTRACTOR SHALL VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.
- 2.9. THE CONTRACTOR MUST CALL THE CITY OF MIAMI BEACH AT LEAST 48 HOURS BEFORE ANY EXCAVATION WITHIN THE R/W TO DETERMINE THE LOCATION TO OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLE.

3. INSPECTIONS

- 3.1. THE CONTRACTOR SHALL NOTIFY THE CITY OF MIAMI BEACH, AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
- 3.1.1. CLEARING AND FILLING
- 3.1.2. STORM DRAINAGE SYSTEM
- 3.1.3. SANITARY SEWER SYSTEM
- 3.1.4. WATER DISTRIBUTION SYSTEM
- 3.1.5. SUBGRADE
- 3.1.6. LIMEROCK BASE
- 3.1.7. ASPHALTIC CONCRETE
- 3.1.8. SIDEWALK
- 3.1.9. FINAL

4. SHOP DRAWINGS

- 4.1. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND THE CITY OF MIAMI BEACH FOR THE FOLLOWING: SANITARY MANHOLES, STORM DRAIN MANHOLES, CATCH BASINS, FIRE HYDRANTS, PIPING, VALVES AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

5. TEMPORARY FACILITIES

- 5.1. TEMPORARY FACILITIES:
- 5.1.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
- 5.2. TRAFFIC REGULATION:
- 5.2.1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH MANUAL TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- 5.2.2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 5.2.3. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF THE CITY OF MIAMI BEACH.
- 5.2.4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE.

6. STORM DRAINAGE

- 6.1. GENERAL:
- 6.1.1. DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.
- 6.2. MATERIALS:
- 6.2.1. HIGH-DENSITY POLYETHYLENE (H.D.P.E.) SHALL MEET THE REQUIREMENTS OF ASTM F2619 / F2619M, LATEST REVISION.
- 6.2.2. REINFORCED CONCRETE PIPE (R.C.P.) SHALL MEET THE REQUIREMENTS OF ASTM C-76, LATEST REVISION. RUBBER GASKETS OR OTHER MANUFACTURER SUPPLIED JOINT SEALER SHALL BE USED.
- 6.2.3. CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE HELICAL TYPE, CONFORMING TO ASTM B209 AND AASHTO M196, AS MANUFACTURED BY KAISER ALUMINUM, INC. OR APPROVED EQUAL. THE CORRUGATION PATTERN AND GAUGE SHALL BE AS FOLLOWS:
- | DIA.       | CORRUGATION   | GAUGE |
|------------|---------------|-------|
| 12" to 21" | 2 2/3" x 1/2" | 16    |
| 24" to 27" | 2 2/3" x 1/2" | 16    |
| 30"        | 2 2/3" x 1/2" | 14    |
| 36" to 54" | 3" x 1"       | 14    |

- 60" to 78" 3" x 1" 12
- 6.2.4. PIPE COUPLINGS FOR C.A.P. SHALL BE 12" WIDE (MINIMUM) 24" FOR 60" DIAMETER OR LARGER. SPLIT BANDS OF THE SAME ALLOY AS THE PIPE MAY BE ONE GAUGE LIGHTER THAN THE PIPE. POLYURETHANE OR OTHER MANUFACTURER SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS.
- 6.2.5. FIELD JOINTS IN THE PIPE SHALL BE MADE WITH ALUMINUM SPIRAL RIB PIPE FORMED FROM COILED ALUMINUM SHEETS AND SHALL CONFORM TO ASTM B2-09 AND AASHTO M196, AS APPROVED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL.
- 6.2.6. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, UNLESS OTHERWISE NOTED ON THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER.

- 6.3. INSTALLATION:
- 6.3.1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
- 6.3.2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS. TAMPING TO BE DONE IN LAYERS NOT TO EXCEED 12 INCHES.
- 6.3.3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
- 6.3.4. THE CONTRACTOR SHALL NOTIFY THE CITY OF MIAMI BEACH ENGINEERING DIVISION AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.

7. PAVING AND SIDEWALKS

- 7.1. GENERAL:
- 7.1.1. ALL MUCK AND WELDING MATERIAL WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL WHICH SHALL BE COMPACTED AND SHAPED TO CONFORM TO THE REQUIRED SECTION. COMPACTED AREAS, AS SHOWN ON THE PLANS AND OR AS DETERMINED BY THE ENGINEER, SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE, AS DETERMINED BY AASHTO T-180, LATEST REVISION. AREAS TO BE STABILIZED, AS DETERMINED BY THE ENGINEER, SHALL HAVE A MINIMUM LBR-40.
- 7.1.2. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- 7.1.3. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- 7.1.4. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- 7.2. MATERIALS:
- 7.2.1. BASE COURSE SHALL BE CRUSHED LIMEROCK WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM.
- 7.2.2. ASPHALT SURFACES SHALL BE TYPE S-III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, TWO (2) SHALL BE A MINIMUM OF 1-1/2" THICK, A AND SHALL BE APPLIED IN (2) 3/4" LIFTS.
- 7.2.3. MINIMUM SIDEWALK CONSTRUCTION SHALL BE 4 INCH THICK CONCRETE, MINIMUM 3000psi COMPRESSIVE STRENGTH AT 28 DAYS. SAWCUT CONSTRUCTION JOINTS 5 FOOT O.C. WITHIN 48 HOURS OF PLACING, EXPANSION JOINTS SHALL BE 20 FOOT O.C.
- 7.2.4. CURBS AND GUTTERS: CONCRETE 3000psi COMPRESSIVE STRENGTH AT 28 DAYS. SAWCUT CONSTRUCTION JOINTS 10 FOOT O.C. WITHIN 48 HOURS OF PLACING.
- 7.2.5. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 10 GAUGE WIRE MESH.

- 7.3. INSTALLATION:
- 7.3.1. SUBGRADE FOR PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-99(c)), AND SHALL HAVE A MINIMUM LBR 40.
- 7.3.2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE AS SHOWN ON PLANS FOR VARIOUS LOCATIONS.
- 7.3.3. BASE COURSE MATERIAL FOR CURBS AND GUTTERS SHALL BE A MINIMUM THICKNESS OF 6 INCH.
- 7.3.4. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER AASHTO T-180 AND SHALL HAVE A MINIMUM LBR OF 100.
- 7.3.5. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-3 ASPHALTIC CONCRETE.
- 7.4. TESTING:
- 7.4.1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- 7.4.2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- 7.4.3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
- 7.4.4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND APPROVED BEFORE ANY LIMEROCK BASE IS CONSTRUCTED.
- 7.4.5. DENSITY TESTS AND AS-BUILTS ON THE FINISHED LIMEROCK BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

8. PROJECT CLOSEOUT

- 8.1. CLEANING UP:
- 8.1.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN-UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
- 8.1.2. THE CONTRACTOR SHALL RESTORE OR REPLACE WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THAT END, THE CONTRACTOR SHALL DO, AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK AND LANDSCAPING WORK. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

- 8.1.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAS BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- 8.2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
- 8.3. ALL UNPAVED SURFACES DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

9. ENGINEER'S AS-BUILT REQUIREMENTS

- 9.1. AS-BUILTS OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- 9.1.1. TOP OF PIPE ELEVATIONS EVERY 100 LF.
- 9.1.2. LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS, TEES, GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, ETC.
- 9.1.3. ALL TIE INS TO EXISTING LINES SHALL BE AS-BUILT.
- 9.1.4. THE ENDS OF ALL WATER SERVICES AT THE BUILDINGS OR HOMES SHALL BE AS-BUILT OR WHERE THE WATER SERVICE TERMINATES.
- 9.2. AS-BUILTS OF ALL GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- 9.2.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AS WELL AS SLOPES.
- 9.2.2. THE STUB ENDS OF ALL SEWER LATERALS SHALL BE LOCATED AND IF THERE ARE ANY CLEANOUTS INSTALLED ON THE SEWER LATERALS THEN THE INVERT ELEVATION OF THESE CLEANOUTS SHALL BE OBTAINED.
- 9.2.3. LIFT STATION AS-BUILTS SHALL CONSIST OF TOP OF WET WELL ELEVATION, INVERT ELEVATION OF THE INCOMING LINE, BOTTOM OF THE WET WELL AND AS-BUILTS OF THE COMPOUND AREA.
- 9.3. AS-BUILTS OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
- 9.3.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AND WEIR ELEVATIONS IF APPLICABLE.
- 9.3.2. THE SIZE OF THE PIPING SHALL BE VERIFIED BY THE SURVEY CREW AT THE TIME OF AS-BUILT.
- 9.3.3. DRAINAGE WELL STRUCTURE AS-BUILTS SHALL INCLUDE, BUT NOT BE LIMITED TO, TOP OF CASING ELEVATION, TOP AND BOTTOM ELEVATIONS OF THE BAFFLE WALLS, RIM ELEVATIONS AND INVERTS OF PIPING.
- 9.4. ALL ROCK AS-BUILTS FOR PARKING LOT AREAS SHALL CONSIST OF THE FOLLOWING:
- 9.4.1. ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY.
- 9.4.2. ROCK AS-BUILTS SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
- 9.4.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS SHALL BE SHOWN.
- 9.4.4. ELEVATIONS AROUND ISLAND AREAS WILL ALSO BE REQUIRED.
- 9.4.5. WHERE CONCRETE IS TO BE USED AS A FINISHED PRODUCT FOR THE ROADWAY OR PARKING LOT ROCK AS-BUILTS WILL BE REQUIRED AS INDICATED ABOVE AS WELL AS AS-BUILTS ON THE FINISHED CONCRETE AT LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS. F AS-BUILTS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, PRIOR TO PLACEMENT OF ASPHALT OR TOPSOIL/SOD, AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY AND CONFORMANCE TO THE PLAN DETAILS.
- 9.5. RETENTION AREA AS-BUILT ELEVATIONS SHALL BE TAKEN AT THE BOTTOM OF THE RETENTION AREA AND AT THE TOP OF BANK. IF THERE ARE CONTOURS INDICATED ON THE DESIGN PLANS, THEN THEY SHALL BE AS-BUILT AS WELL.
- 9.6. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS, "AS-BUILTS", ON FULL SIZE, 24" X 36" REPRODUCIBLE MATERIAL. WHERE WATER AND SEWER INFORMATION ARE ON THE SAME PAGE THE WATER LINE SHALL BE AS-BUILT BY STATION AND OFFSET UTILIZING THE SANITARY SEWER SYSTEM AS THE BASE LINE. IF IT IS NOT PRACTICAL TO UTILIZE THE SEWER SYSTEM AS A BASE LINE THEN THE SURVEYOR SHALL CONTACT THE ENGINEER OF RECORD SO THAT A SUBSTITUTE BASELINE MAY BE CHOSEN. ALL RECORD DRAWING, "AS-BUILT", INFORMATION SHALL BE PUT ON THE LATEST ENGINEERING DRAWINGS. ONE (1) SET OF REPRODUCIBLE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED ALONG WITH EIGHT (8) SETS OF BLUE OR BLACKLINE DRAWINGS. THESE DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR. ADDITIONALLY, AN ELECTRONIC COPY OF THESE RECORD DRAWINGS, "AS-BUILTS", SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2014.

CALCULATIONS OF MINIMUM AND MAXIMUM YARDS AS PROVIDED BY THE CITY OF MIAMI BEACH (ELEVATIONS BELOW ARE NGVD)

| Calculation of Minimum and Maximum Yards                                      |  |                          |
|---|--|--------------------------|
| PROPERTY CONDITIONS   |  |                          |
| Waterfront Lot(Yes/No)  |  | NO                       |
| Corner property (Yes/No)  |  | NO                       |
| Sidewalk (yes/no)   |  | YES                      |
| Sidewalk elevation at the centerline of the front of the property             |  | 3.100                    |
| Crown of road at center of property (if no sidewalk exists or is proposed)    |  |                          |
| Flood Elevation   |  | 8.000                    |
| Freeboard (provided)  |  | 1.000                    |
| INTERIOR SIDEYARD CONDITIONS  |  |                          |
| Indicate yes only for the condition that applies                              |  | Max. Yard Elevation      |
| Yes   | Default Condio unless one of the below applies   |                          |
|   | Minimum Yard Elevation   | 6.560                    |
|   | Is the average grade of adjacent lot along the abutting side yrd equal or greater than adjacent grade?         | 8.050                    |
|   | Is the abutting property vacant?   | 8.050                    |
|   | Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation? | 8.000                    |
| REAR YARD CONDITIONS  |  |                          |
| Indicate yes only for the condition that applies                              |  | Max. Yard Elevation      |
| Yes   | Default Condio unless one of the below applies   |                          |
|   | Minimum Yard Elevation   | 6.560                    |
|   | Is the average grade of adjacent lot along the abutting side yrd equal or greater than adjacent grade?         | 8.050                    |
|   | Is the abutting property vacant?   | 8.050                    |
|   | Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation? | 8.000                    |
| RESULTS   |  |                          |
| Grade   | 3.1  |                          |
| Adjusted Grade  | 5.55   |                          |
| BD above Grade  | 5.5  |                          |
| Future Crown of Road  | 5.25   |                          |
| Future AdjustedGrade  | 7.125  |                          |
| Minimum Freeboard Elev.   | 9.000  |                          |
| Maximum Freeboard Elev.   | 13.000   |                          |
| Minimum Yard Elevation  | 6.56   |                          |
| Min. Garage elevation (for a detached or attached garage, not under the house | 5.55   |                          |
| Minimum garage ceiling elevation  | 17.000   |                          |
|   |  | Front Yard               |
|   |  | Min Yard Elevation 6.560 |
|   |  | Max Yard Elevation 7.125 |
|   |  | Interior Side            |
|   |  | Min Yard Elevation 6.560 |
|   |  | Max Yard Elevation 6.560 |
|   |  | Interior Side            |
|   |  | Min Yard Elevation 6.560 |
|   |  | Max Yard Elevation 6.560 |
|   |  | Non-Waterfront           |
|   |  | Min Yard Elevation 6.560 |
|   |  | Max Yard Elevation 6.560 |

|  |                         |       |
|--|-------------------------|-------|
| Interior Side Yard<br>Minimum Yard Elevation: 6.560<br>Maximum Yard Elevation: 6.560 | Non-Waterfront          |       |
|  | Minimum Yard Elevation: | 6.560 |
|  | Maximum Yard Elevation: | 6.560 |
| Interior Side<br>Minimum Yard Elevation: 6.560<br>Maximum Yard Elevation: 6.560      | Front Yard              |       |
|  | Minimum Yard Elevation: | 6.560 |
|  | Maximum Yard Elevation: | 7.125 |

|             |        |     |      |           |
|-------------|--------|-----|------|-----------|
| MR          | 7/6/18 |     |      |           |
| DESIGNED BY | DATE   |     |      |           |
| MG          | 7/6/18 |     |      |           |
| DRAWN BY    | DATE   |     |      |           |
| MR          | 7/6/18 |     |      |           |
| CHECKED BY  | DATE   |     |      |           |
| RR          | 7/6/18 |     |      |           |
| APPROVED BY | DATE   | No. | DATE | REVISIONS |

2421 N BAY ROAD  
2421 N BAY ROAD  
MIAMI BEACH, FL



3325 S. UNIVERSITY DRIVE, SUITE 111  
DAVIE, FLORIDA 33328  
(954)318-0624 (954)358-0190 FAX  
CERTIFICATE OF AUTHORIZATION No. 9808

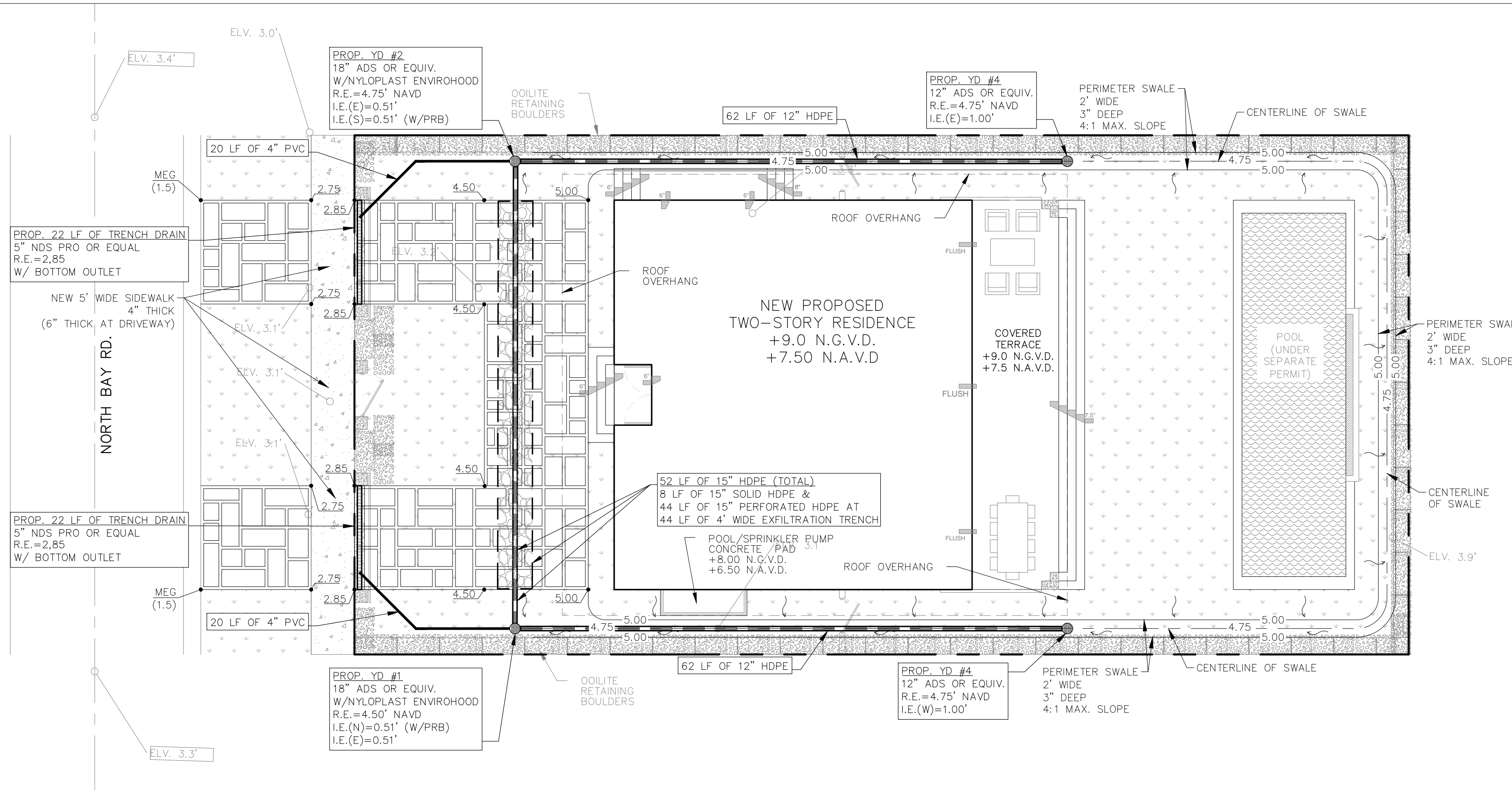
ROBERT J. ROSS, P.E.  
FLORIDA P.E. No. 59485  
DATE: 7/6/2018

GENERAL NOTES AND SPECIFICATIONS

SCALE:

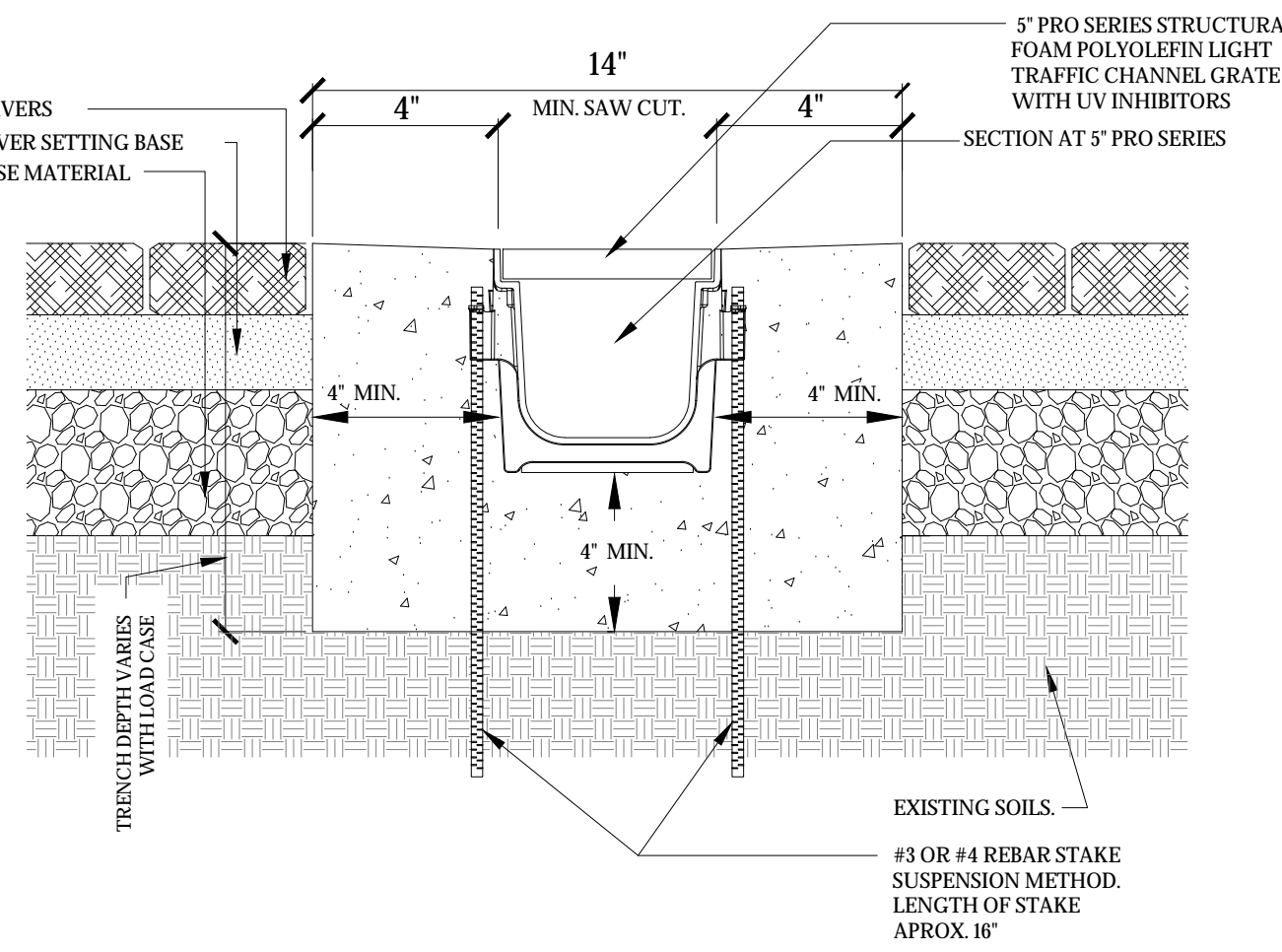
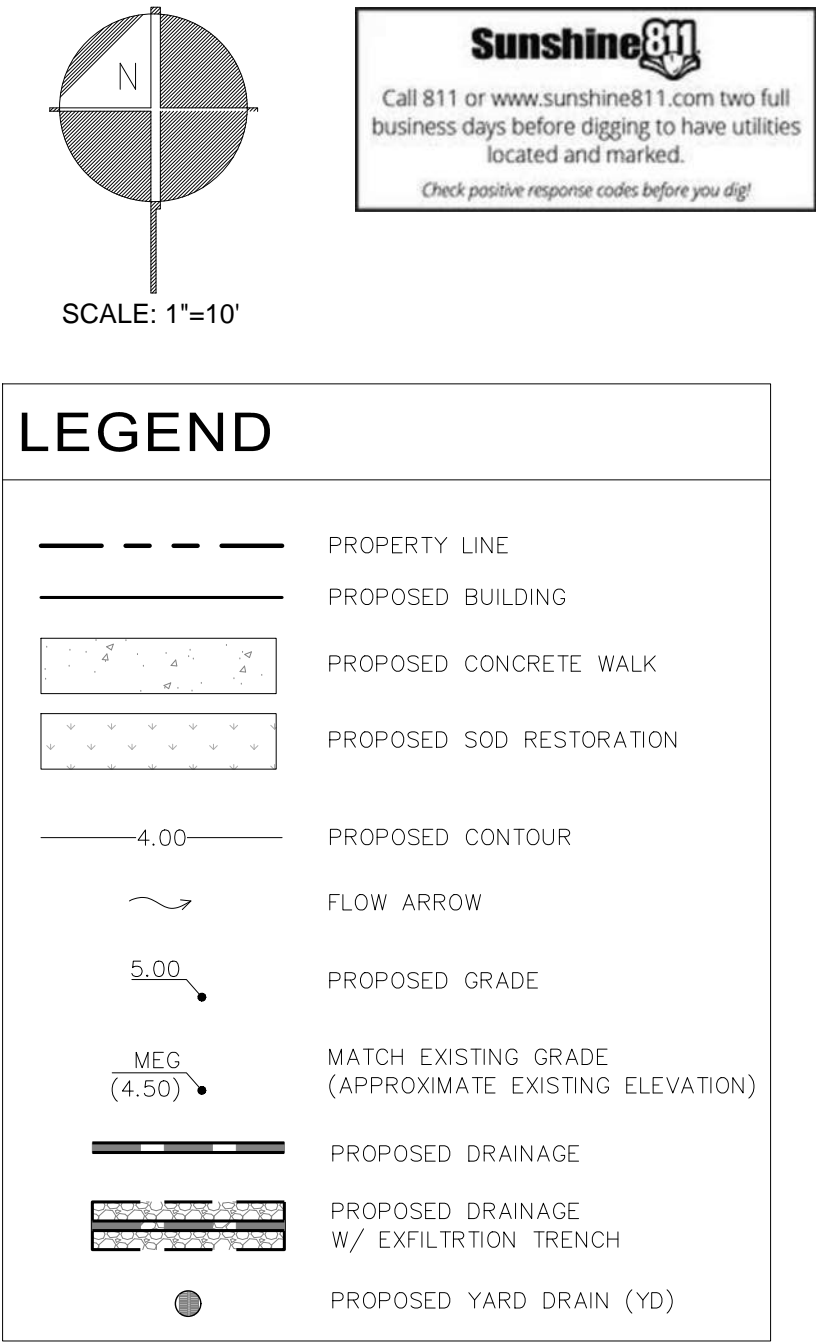
SHEET No. c1.0





- NOTES:**
- EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE LOCATIONS AND HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - CONTRACTOR TO FIELD VERIFY ANY CONFLICTS WITH TREES AND/OR UTILITIES AND DRAINAGE. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BEFORE PROCEEDING WITH ANY SOLUTION TO THE CONFLICT.
  - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NOT EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" 48 HOURS BEFORE DIGGING.
  - CONTRACTOR IS TO RESTORE ANY CURB, LANDSCAPE, ASPHALT, ETC. (NOT SCHEDULED FOR DEMOLITION) DAMAGED DURING CONSTRUCTION TO A CONDITION EQUAL TO WHAT IS EXISTING.
  - ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ON THE CONSTRUCTION DOCUMENTS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAVD).

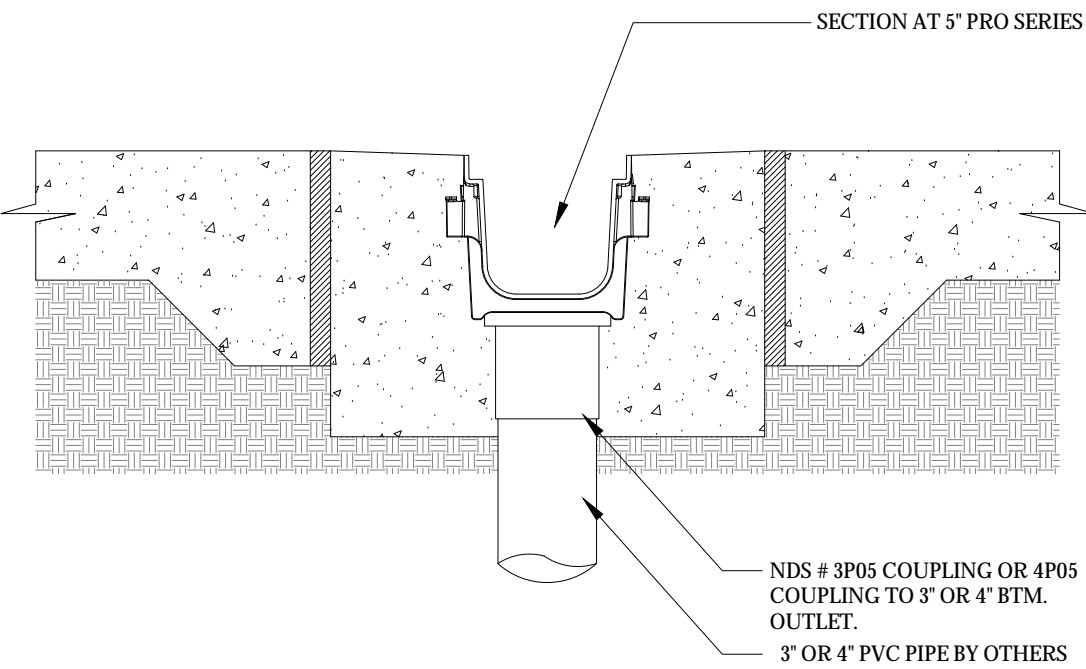
- CITY OF MIAMI BEACH PUBLIC WORKS NOTES:**
- REMOVE AND REPLACE SIDEWALK ALONG THE ENTIRE PROPERTY.
  - RECONSTRUCT SWALE/SOD ALONG THE ENTIRE PROPERTY.
  - MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
  - ANY WORK AND/OR IMPROVEMENTS FROM/TO THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
  - ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.



- NOTE:**
- CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR.
  - SET TRENCH DRAIN IN CHANNEL SURROUNDED BY 4" OF CONCRETE OR THICKNESS OF THE CONCRETE SLAB WITH A MINIMUM OF 2,500 P.S.I. AVOID FULL LOAD TRAFFIC FOR 28 DAYS OR UNTIL CONCRETE HAS COMPLETELY HARDENED.

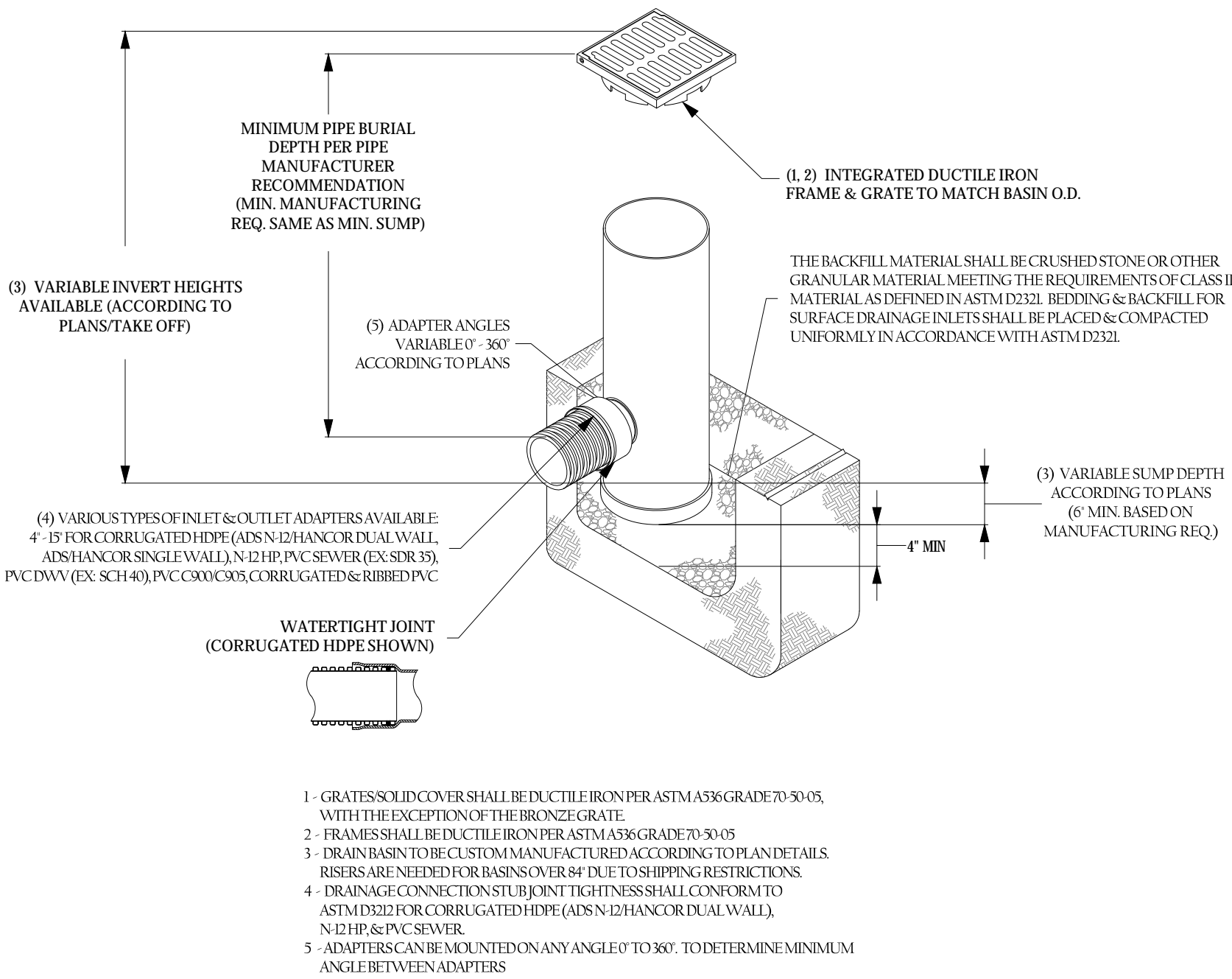
#### 5" NDS PRO SERIES INSTALLATION (TYPICAL)

CLASS B INSTALLATION, NDS PRODUCT #864 NTS



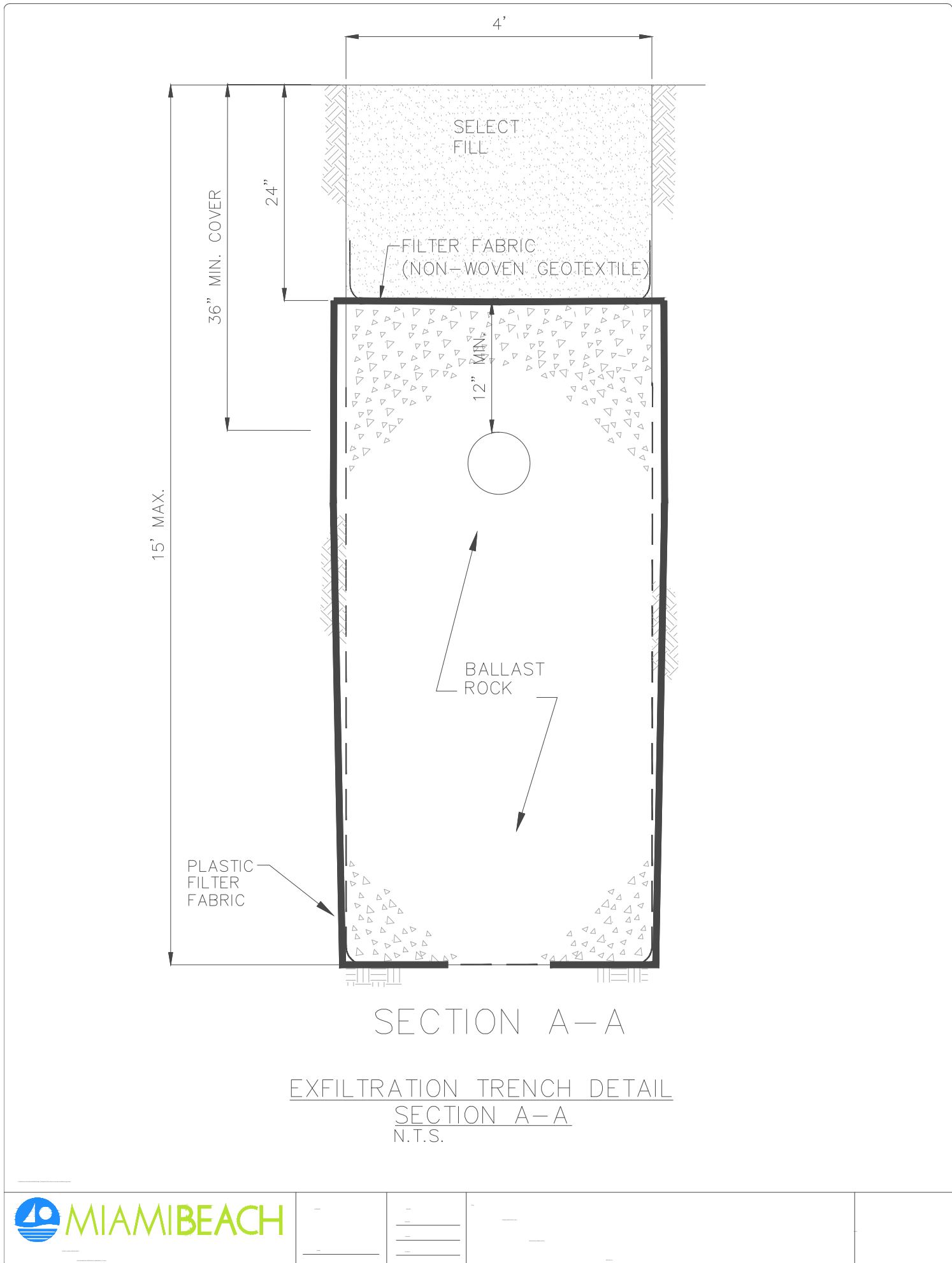
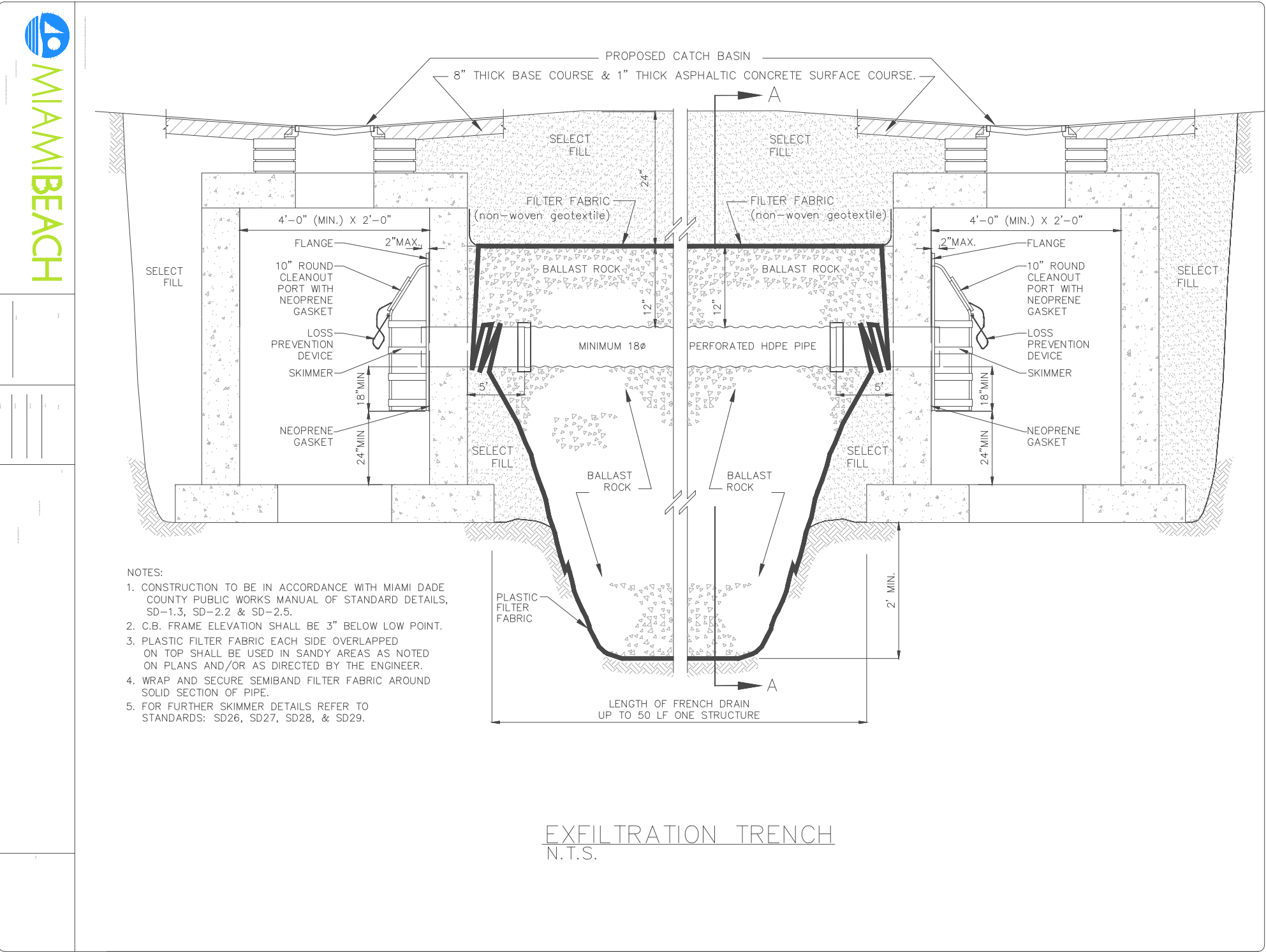
#### 5" NDS PRO SERIES BTM. OUTLET (TYPICAL)

NTS



#### NYLOPLAST YARD DRAIN

NTS



2421 N BAY ROAD  
2421 N BAY ROAD  
MIAMI BEACH, FL



3325 S. UNIVERSITY DRIVE, SUITE 111  
DAVIE, FLORIDA 33328  
(954)318-0624 (954)358-0190 FAX  
CERTIFICATE OF AUTHORIZATION No. 9808

ROBERT J. ROSS, P.E.  
FLORIDA P.E. No. 59485  
DATE: 7/6/2018

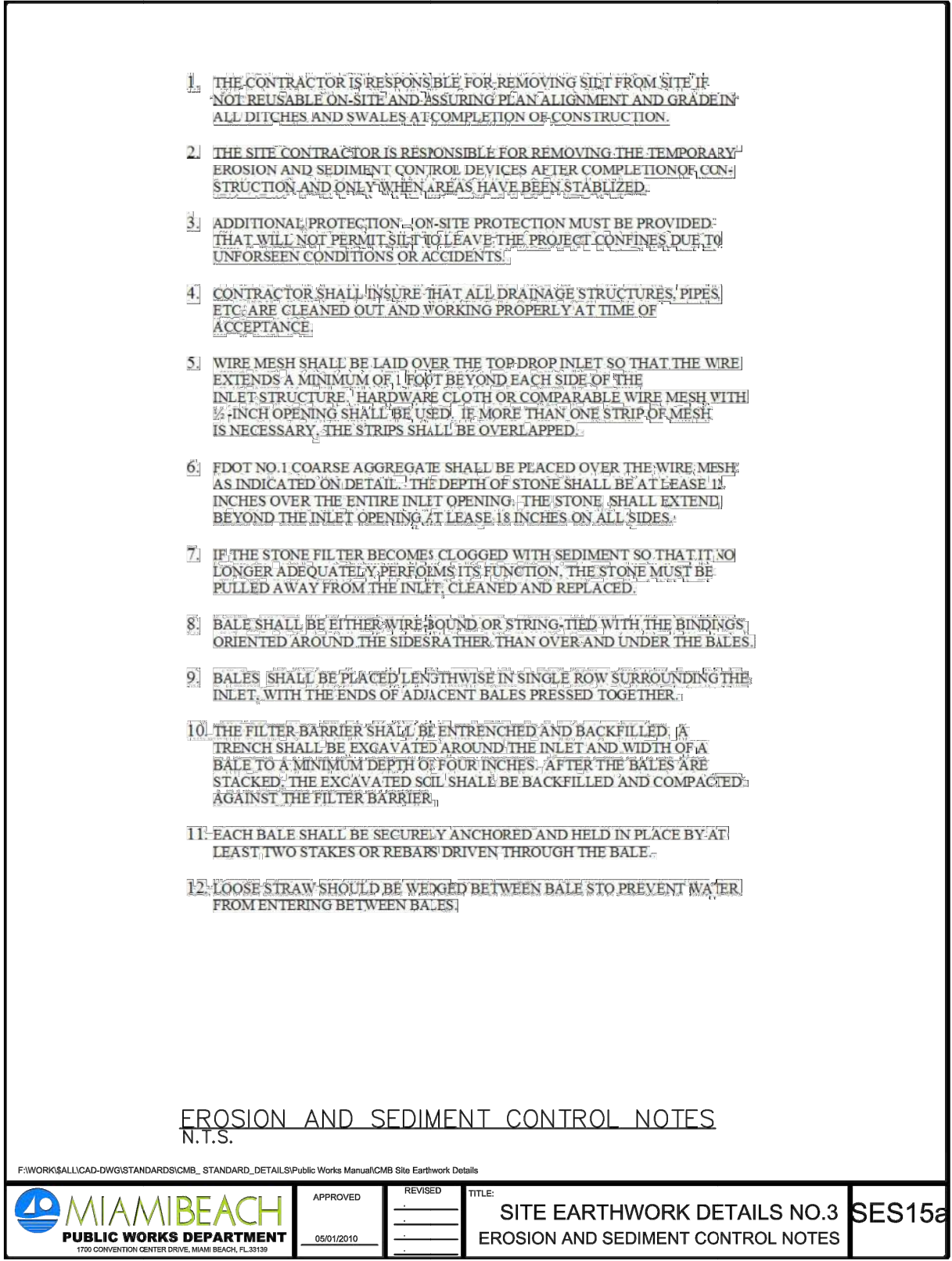
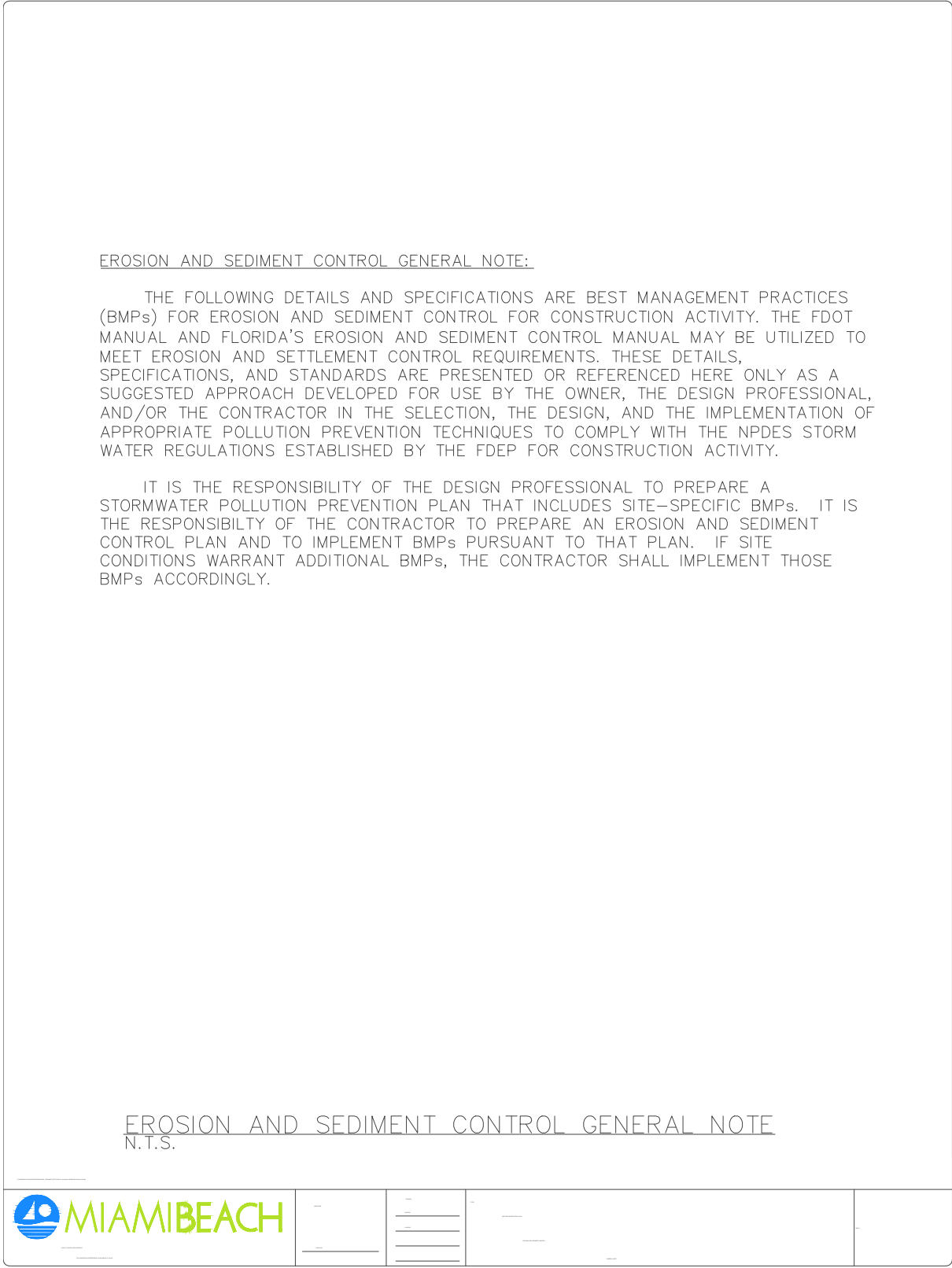
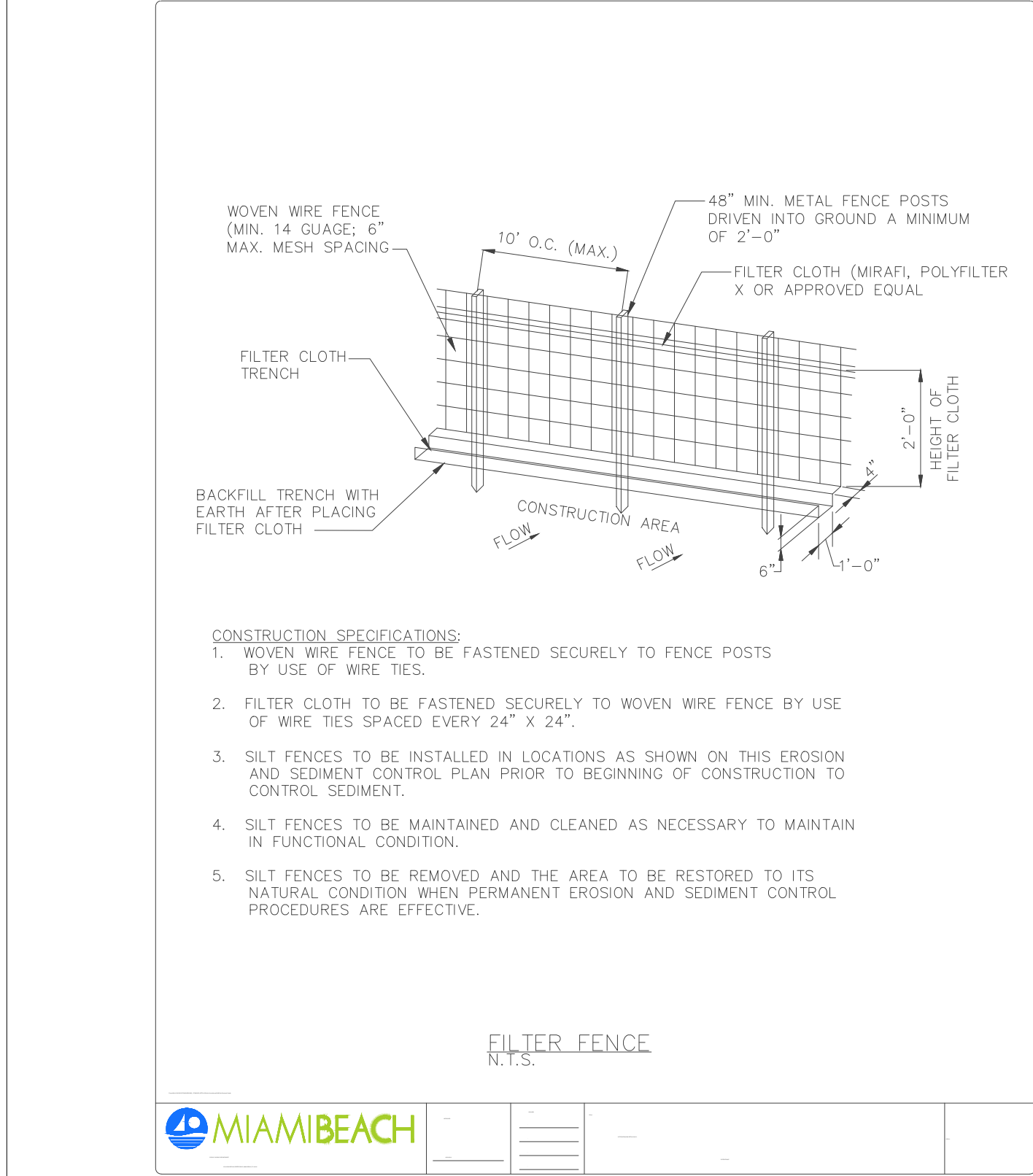
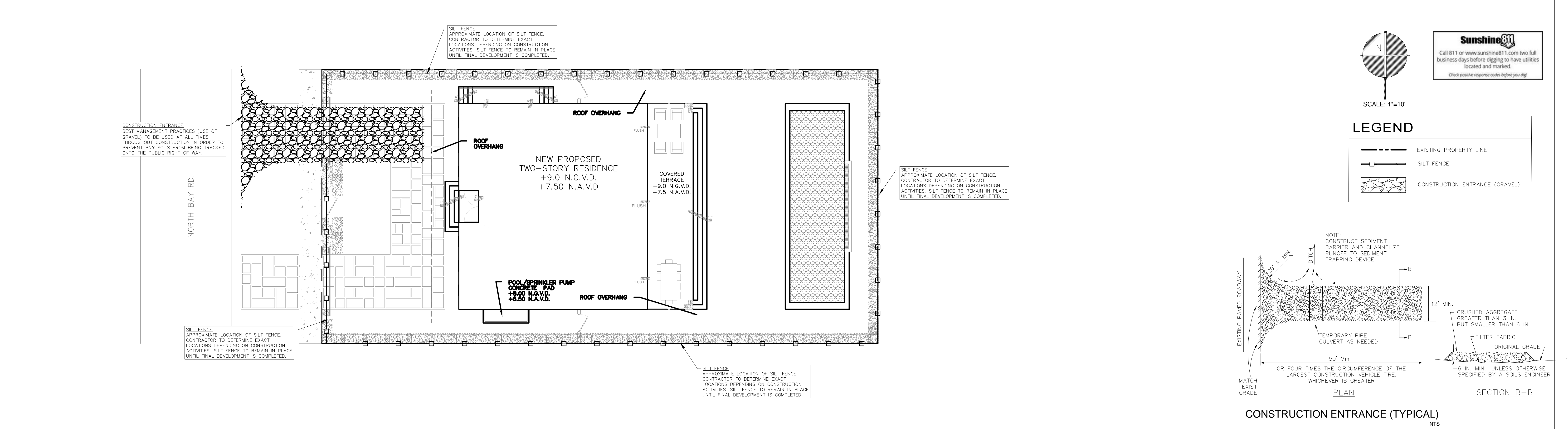
## PAVING GRADING AND DRAINAGE PLAN

SCALE: 1"=10'

SHEET No. c2.0

|             |        |     |      |           |
|-------------|--------|-----|------|-----------|
| MR          | 7/6/18 |     |      |           |
| DESIGNED BY | DATE   |     |      |           |
| MG          | 7/6/18 |     |      |           |
| DRAWN BY    | DATE   |     |      |           |
| MR          | 7/6/18 |     |      |           |
| CHECKED BY  | DATE   |     |      |           |
| RR          | 7/6/18 |     |      |           |
| APPROVED BY | DATE   | No. | DATE | REVISIONS |





|             |        |     |      |           |
|-------------|--------|-----|------|-----------|
| MR          | 7/6/18 |     |      |           |
| DESIGNED BY | DATE   |     |      |           |
| MG          | 7/6/18 |     |      |           |
| DRAWN BY    | DATE   |     |      |           |
| MR          | 7/6/18 |     |      |           |
| CHECKED BY  | DATE   |     |      |           |
| RR          | 7/6/18 |     |      |           |
| APPROVED BY | DATE   | No. | DATE | REVISIONS |

2421 N BAY ROAD  
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FLORIDA P.E. No. 59485  
DATE: 7/6/2018

## POLLUTION PREVENTION CONTROL PLAN

SCALE: 1"=10'

SHEET No. C3.0