

TACKLE BOX

RESTAURANT RENOVATION AND DECK ADDITION

1787 PURDY AVENUE
MIAMI BEACH, FL 33139

Planning Review Board
Revision

First Submittal

March 21th, 2016

Planning Review Board
Revision

Final Submittal

April 6th, 2016

Initially Approved by
Planning Review Board
Dec. 15, 2015

Pages now labeled Approved or Revised
with short description. Narrative Attached

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Project Scope

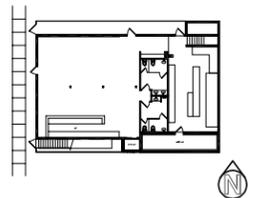
The scope of work for this project is classified as an Addition as per Section 407 - 2014 and Interior Alteration- level II as per Section 404 FBC(E)

SAI

Sustainable Architecture Initiative, llc

John Otha McInnis
#AR95896

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



Drawing Issue

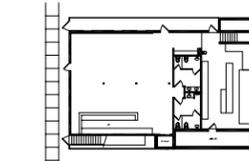
no.	revision/issue	date
1	First Submittal	09/14/15
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5	Revision Final Submittal	04/06/16
6	PB Hearing	TBD

scale: NTS drawn by: John McInnis

date: 4/6/16

project: 1095.00 page: 11*17"

Drawing: **Cover Sheet**
Item #9.1



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scale: 1/16" = 1'-0" drawn by: John McInnis
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project: 1095.00 page: 11"x17"

Drawing:
**Zoning Information
Item #10.1**

The Tackle Box (Restaurant)

Legal Description

1787 Purdy Avenue

Miami Beach, FL 33139

The West half of Lot 9, Block 16

Subdivision of Plat Book 6 page 115 of the Public Records of Dade County, Florida

Zoning Summary

Classification:

Proposed/ Existing Occupancy:

Lot Area:

Max FAR:

Proposed Area:

Existing Structure First Floor:

Existing Structure Mezzanine:

Existing Total

New Addition:

First Floor: 175 SF

New Staircase(s) & under stair:

New Total FAR:

Min. Lot Area:

Min. Lot Width:

Max Height:

Setbacks:

Front (Purdy Ave):

Sides (Interior):

Rear:

Required Parking:

On Site Parking:

Existing Parking Credits:

Total Parking Required:

Parking Impact Fee:

Zoning CD-2 Commercial Medium Intensity District

Restaurant Single Occupancy

3,752.5 SF

1.5 or 5,628 SF

2,995 SF

906 SF

3,901 SF

1322 SF

5,398 SF < 5,628 Allowed

None (Commercial) Existing 3,752.5 SF

None (Commercial) Existing 50'

50' < 26'-2" Proposed

Existing to Remain

0'-0"

0'-0"

5'-0"

150 Seats / 4 = 37.5 = 38

0

14

24

\$19,200/ per year (VERIFY)

Egress Calculations

Occupancy Group:

Construction Type:

Occupancy:

Ground Floor Assembly:

Ground Floor Business:

2nd Floor Assembly:

2nd Floor Business:

Total Occupancy:

Required Exit Size:

First Floor:

Roof Top Stair:

Worse Case Combined Egress:

Main Exit-

Secondary Exit-

Ancillary Exit(s)-

A-2 Restaurant

III-B

Load Factor

1283 SF= 86 Persons

1006 SF= 11 Persons

1097 SF= 73 Persons

684 SF= 7 Persons

177 Persons

FBC(B)1005.0

19.4" or 32" greater

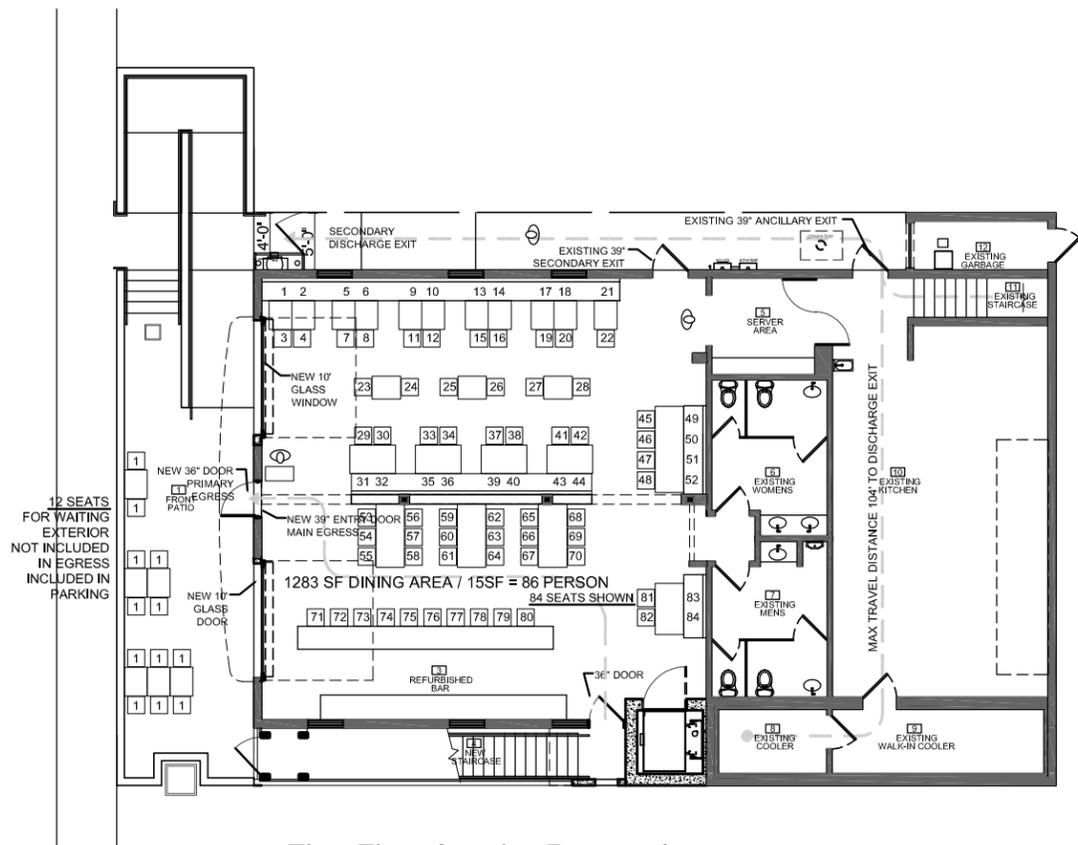
24" or 36" greater

35.4" Door

Main Exit- 36"

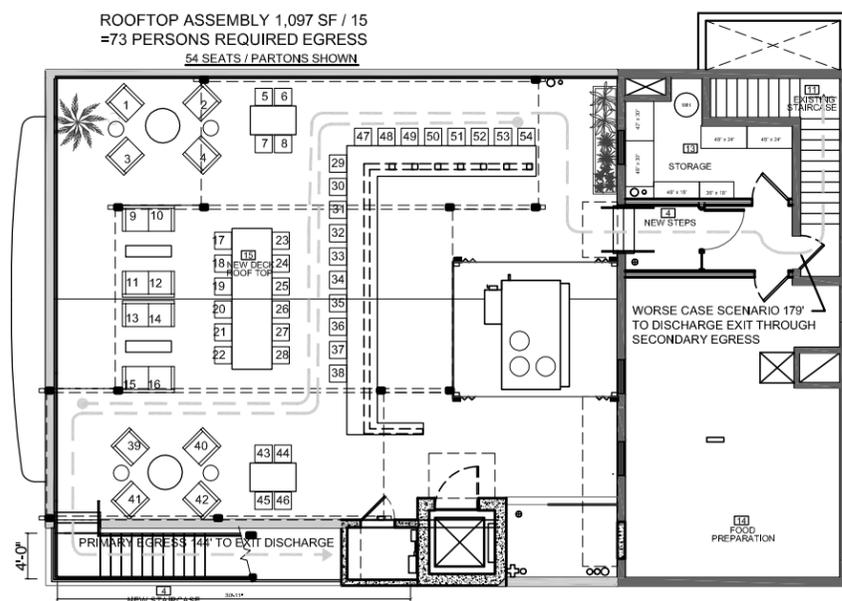
Secondary Exit- 39"

Ancillary Exit- 39"



1 First Floor Interior Renovation

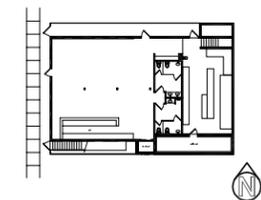
1/16" = 1'-0"



2 Second Floor Mezzanine Renovation & Rooftop Addition

1/16" = 1'-0"

Tackle Box
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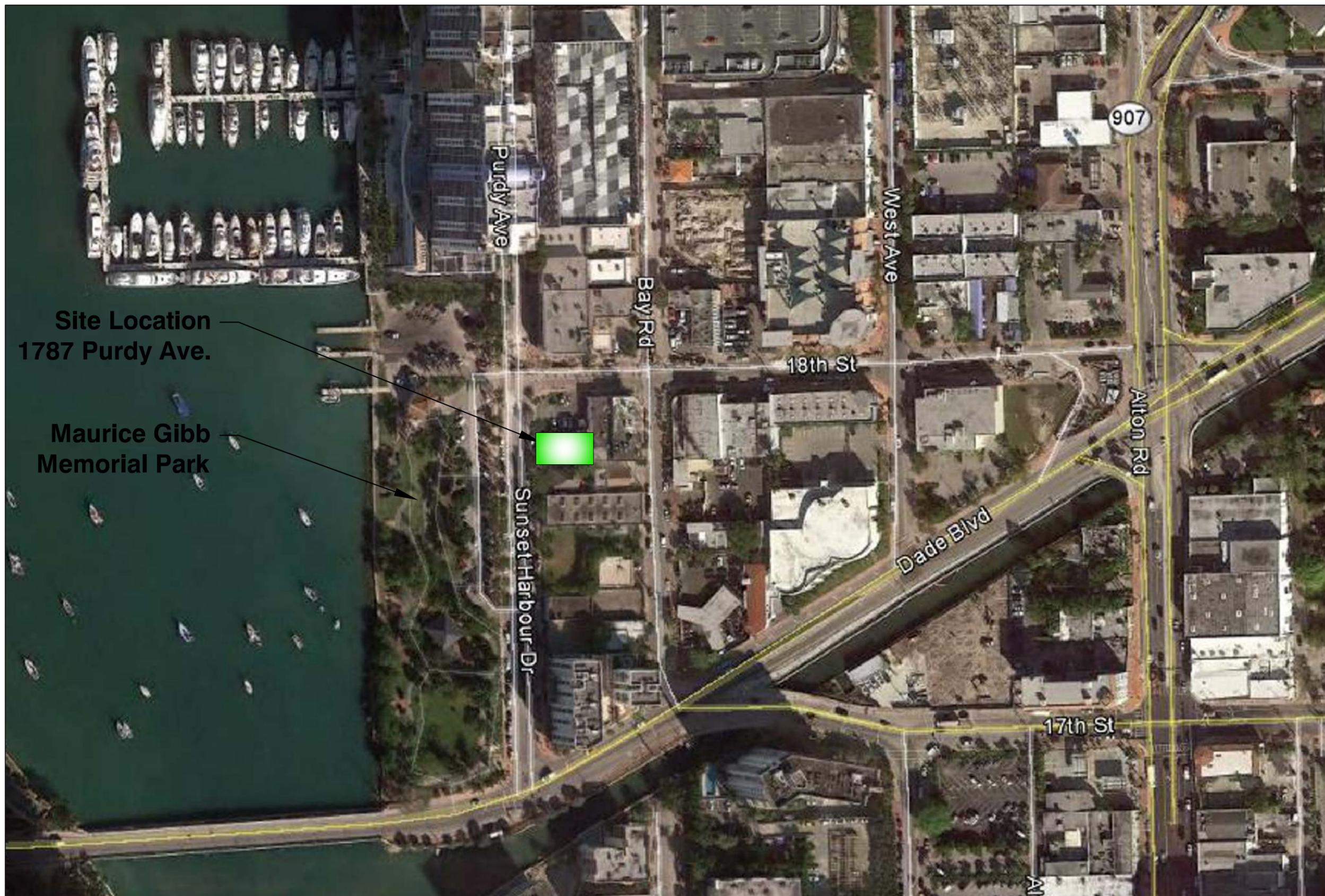


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Drawing:
Site Location Plan
Item #11.1



Site Location
1787 Purdy Ave.

Maurice Gibb Memorial Park

1

Site Location Plan -

1"= +/-200'

APPROVED 12/15/15

SKETCH OF BOUNDARY & TOPOGRAPHIC SURVEY OF: 1787 PURDY AVENUE, MIAMI BEACH, FL.

LEGEND:

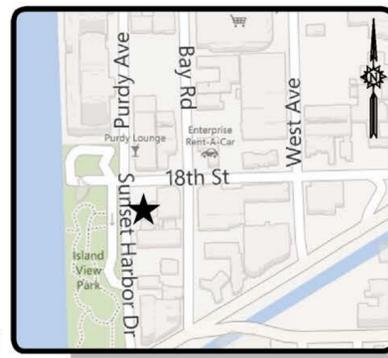
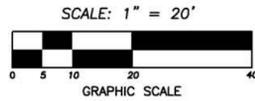
- L.B. LICENSED BUSINESS
- M.D.C.R. MIAMI-DADE COUNTY RECORDS
- ID. IDENTIFICATION
- (C) CALCULATED
- (P) DENOTES BEARING AND DISTANCE BASED ON PLATS OF RECORD
- NAVD 88 NORTH AMERICAN VERTICAL DATUM OF 1988
- TRAV. PT. TRAVERSE POINT
- P.I. POINT OF INTERSECTION
- F.F.E. FINISHED FLOOR ELEVATION
- NGVD 29 NATIONAL GEODETIC VERTICAL DATUM OF 1929
- P.B. PLAT BOOK
- PG. PAGE
- EL. ELEVATION
- CL. CENTERLINE
- PM. PARKING METER
- GM. GAS METER
- EB. ELECTRICAL BOX
- SE. SURFACE ELEVATION
- UM. UTILITY MANHOLE
- WM. WATER METER
- SDM. STORM DRAIN MANHOLE
- SSM. SANITARY SEWER MANHOLE
- BS. BREAK IN SCALE
- VIEW 1 VIEW 1



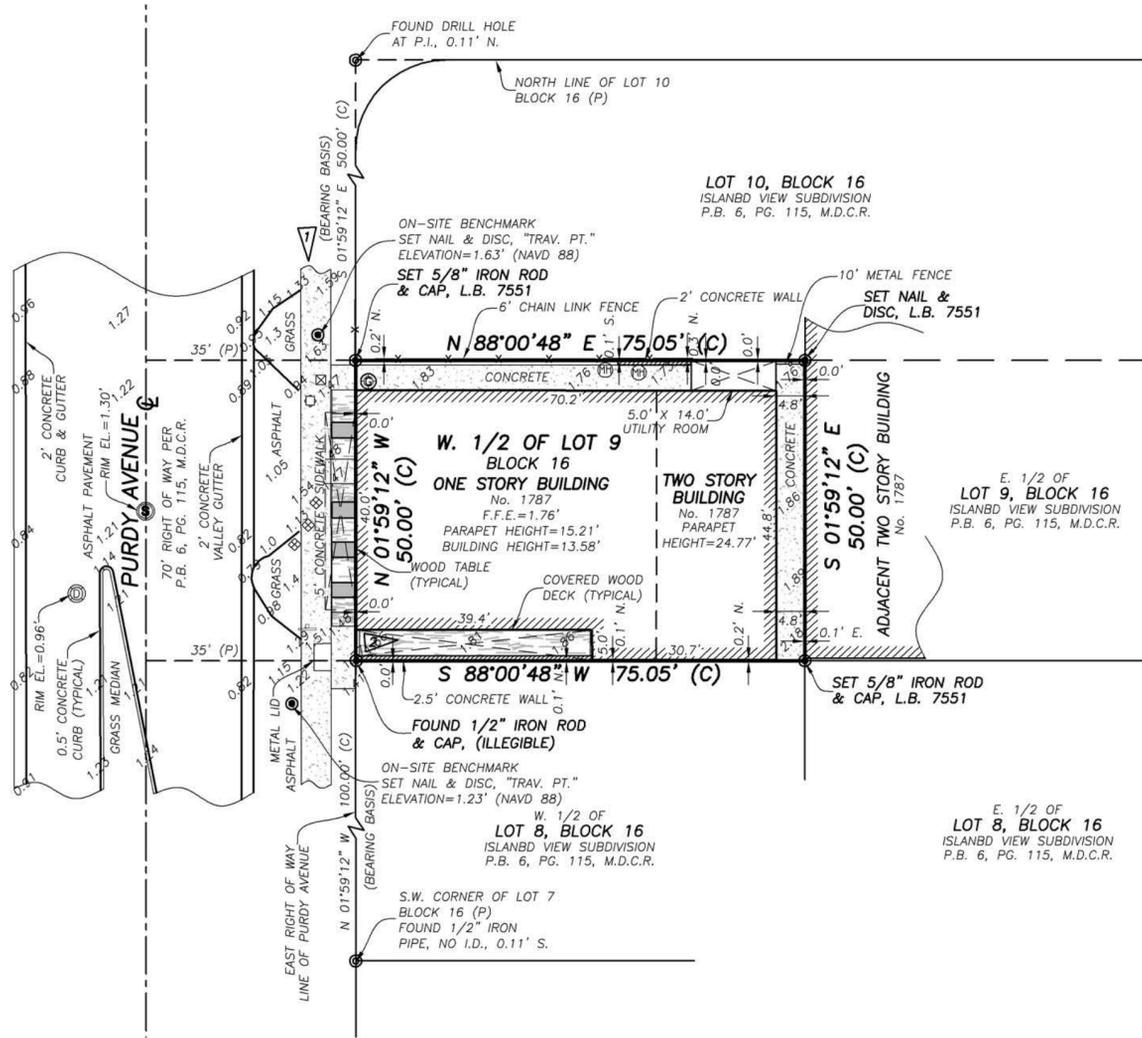
VIEW 1
NOT TO SCALE



VIEW 2
NOT TO SCALE



LOCATION MAP
NOT TO SCALE



LEGAL DESCRIPTION:

THE WEST ONE-HALF OF LOT 9, BLOCK 16, OF ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 115, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEY NOTES:

1. THIS SURVEY REPRESENTS A BOUNDARY AND TOPOGRAPHIC SURVEY AS DEFINED BY MINIMUM TECHNICAL STANDARDS FOR SURVEYING AND MAPPING, CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODES. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. THE PROPERTY SHOWN HEREON CONTAINS 0.09 ACRES (3,753 SQUARE FEET), MORE OR LESS.
3. THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
4. THE INFORMATION DEPICTED ON THIS SURVEY REPRESENTS THE RESULTS OF A FIELD SURVEY ON THE DATE INDICATED AND CAN ONLY BE CONSIDERED AS A REPRESENTATION OF THE GENERAL CONDITIONS EXISTING AT THAT TIME.
5. THE BEARINGS SHOWN HEREON ARE BASED ON A BEARING OF N.01°59'12\"/>

SURVEY NOTES (CONT.):

11. THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY EXACTA COMMERCIAL SURVEYORS, INC. EXACTA HAS TAKEN ALL REASONABLE STEPS TO ENSURE THE ACCURACY OF THIS DOCUMENT. WE CANNOT GUARANTEE THAT ALTERATIONS AND/OR MODIFICATIONS WILL NOT BE MADE BY OTHERS AFTER IT LEAVES OUR POSSESSION. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY (WHICH BEARS THE RAISED SURVEYOR'S CERTIFICATION SEAL IF APPLICABLE) TO ENSURE THE ACCURACY OF THE INFORMATION CONTAINED HEREON AND TO FURTHER ENSURE THAT ALTERATIONS AND/OR MODIFICATIONS HAVE NOT BEEN MADE. EXACTA MAKES NO WARRANTIES, EXPRESS OR IMPLIED, CONCERNING THE ACCURACY OF THE INFORMATION CONTAINED IN THIS OR ANY DOCUMENT TRANSMITTED OR REVIEWED BY COMPUTER OR OTHER ELECTRONIC MEANS. CONTACT EXACTA DIRECTLY FOR VERIFICATION OF ACCURACY.
12. THE ELEVATIONS SHOWN HEREON ARE BASED ON A MIAMI-DADE COUNTY BENCHMARK "D-166" AND REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). THE MARK IS A PK NAIL AND BRASS WASHER SET IN CONCRETE SIDEWALK AT NORTHEAST CORNER OF BRIDGE #874481 AND IS LOCATED 20 FEET NORTH OF THE CENTERLINE OF VENETIAN CAUSEWAY AND BELLE ISLE EAST BRIDGE. ELEVATION=5.71'. THE BENCHMARK ELEVATION WAS CONVERTED FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BY UTILIZING THE U.S. ARMY CORPS OF ENGINEERS SOFTWARE, SUBTRACTING A FACTOR OF -1.56'.
13. TREES, HEDGES, ORNAMENTAL PLANTS, IRRIGATION LINES, WELLS AND SPRINKLERS HEADS (IF ANY), NOT LOCATED OR SHOWN HEREON.

THIS SURVEY IS CERTIFIED TO:

SUSTAINABLE ARCHITECTURE INITIATIVE, LLC.

CERTIFICATE:

THIS IS TO CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JAVIER DE LA ROCHA
PROFESSIONAL SURVEYOR AND MAPPER NO. 6080
STATE OF FLORIDA

EXACTA COMMERCIAL SURVEYORS, INC. L.B. 7551
javier@exactacomm.com

TELEPHONE NO. 561-314-0769 FAX NO. 561-314-0770

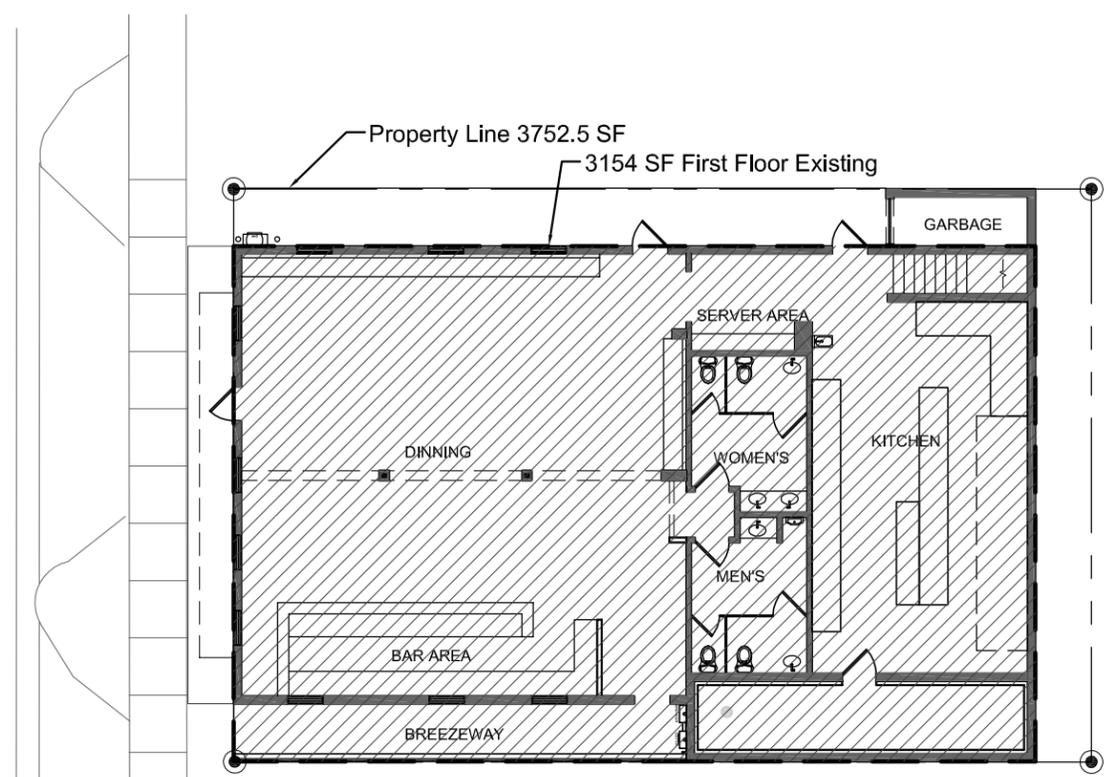
EXACTA
COMMERCIAL LAND SURVEYORS
L.B. 7551

SEAL
NOT VALID UNLESS
SEALED HERE
WITH
AN EMBOSSED
SURVEYOR'S SEAL

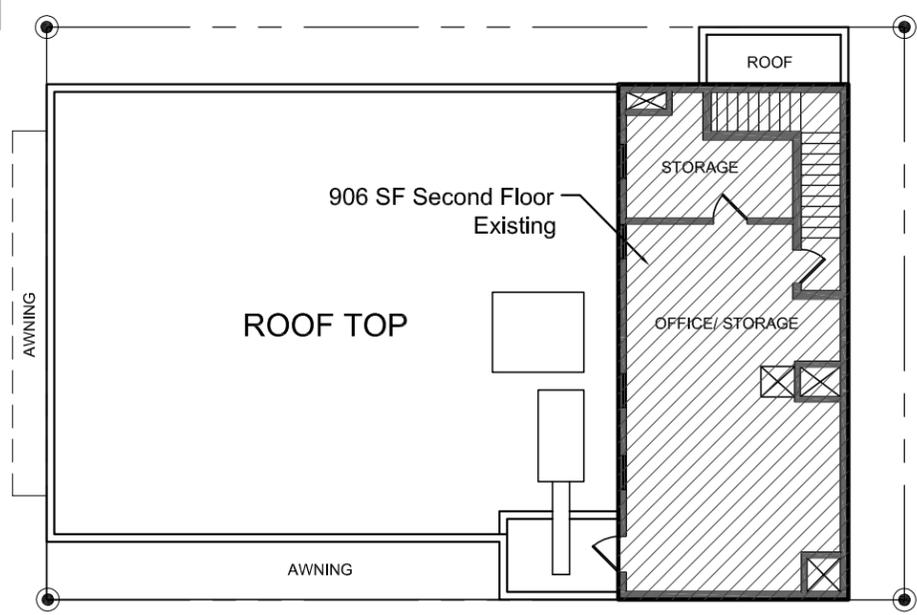
SKETCH OF BOUNDARY
& TOPOGRAPHIC SURVEY
THE W. 1/2 OF LOT 9, BLOCK 16
ISLAND VIEW SUBDIVISION
PLAT BOOK 6, PAGE 115, M.D.C.R.
1787 PURDY AVENUE, MIAMI BEACH, FL. 33139

SUSTAINABLE
ARCHITECTURE
INITIATIVE, LLC.
CLIENT:
DATE 08/24/15
DRAWN BY J.E.C.
CHK'D BY JDLR
LAST FIELD DATE: 08/14/15
REVISIONS
JOB NO.
FL1508-1670
SHEET NO.
01 OF 01

3460 FAIRLANE FARMS ROAD, SUITE 6, WELLINGTON, FL. 33414



1 EXISTING FIRST FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"



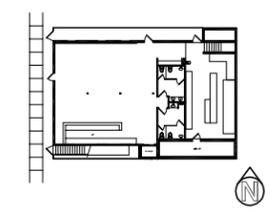
2 EXISTING SECOND FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"

FAR (Existing) Summary
 Classification: Zoning CD-2 Commercial Medium Intensity District
 Proposed & Existing Occupancy: Restaurant Single Occupancy

Lot Area: 3,752.5 SF
 Max FAR: 1.5 or 5,628.75 SF

Existing Structure First Floor: 2,955 SF
 Existing Structure Second Floor: 906 SF
 Total Existing FAR: 3,901 SF

APPROVED 12/15/15

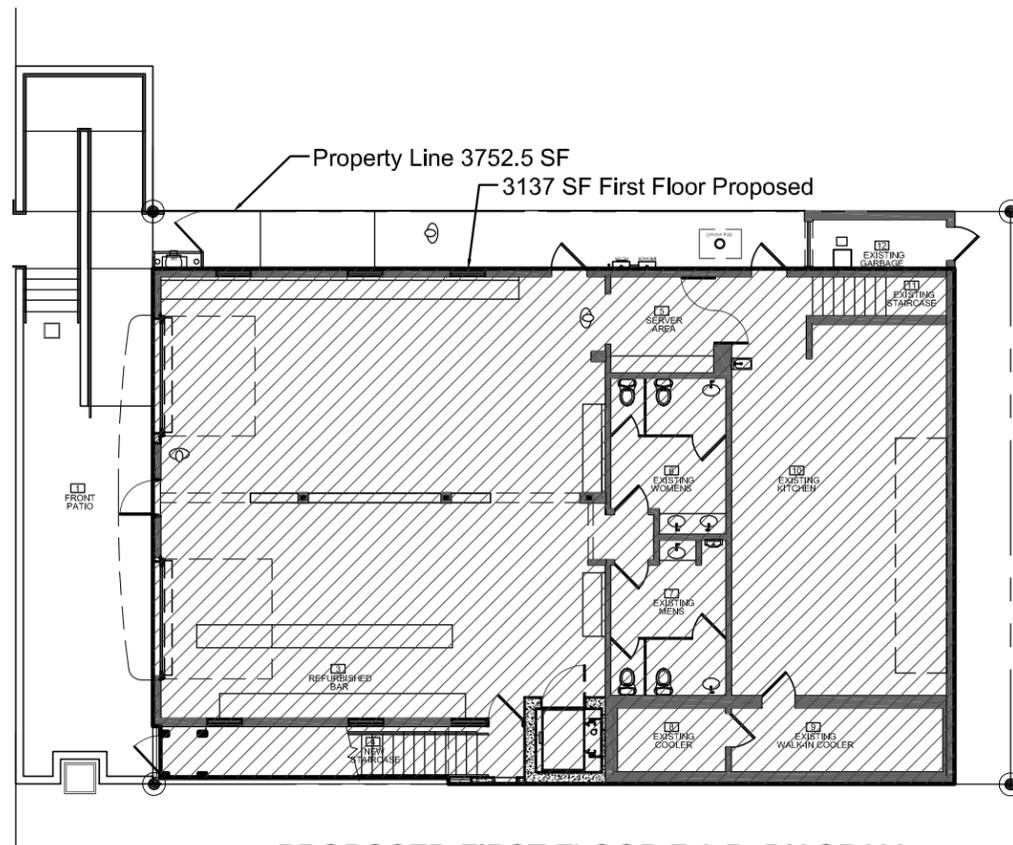


Drawing Issue

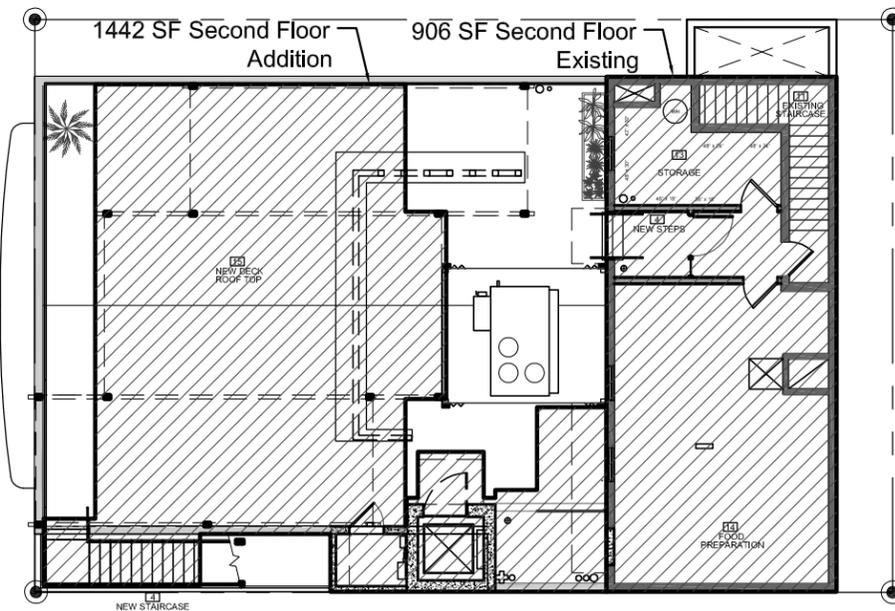
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6	PB Hearing	TBD

scale: 1/16" = 1'-0" drawn by: John McInnis
 date: 4/6/16
 project: 1095.00 page: 11"x17"

Drawing:
Existing FAR Information Item #13.1



1 PROPOSED FIRST FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"



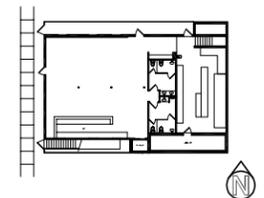
2 PROPOSED SECOND FLOOR F.A.R. DIAGRAM
1/16" = 1'-0"

FAR (Proposed) Summary

Classification: Zoning CD-2 Commercial Medium Intensity District
 Proposed & Existing Occupancy: Restaurant Single Occupancy
 Lot Area: 3,752.5 SF
 Max FAR: 1.5 or 5,628.75 SF

Proposed Structure First Floor: 3,137 SF
 Proposed Structure Second Floor: 2,348 SF
 Proposed Total FAR: 5,485 SF < 5,628 SF

PROPOSED
 (NOTE RETRACTABLE AWNING NOW
 ADDED TO FAR TOTAL)



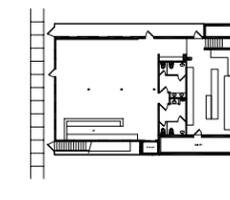
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Drawing:
Proposed FAR Information
 Item #14.1

Tackle Box
Interior Renovation & Roof Deck Addition
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Miami Beach, FL 33139



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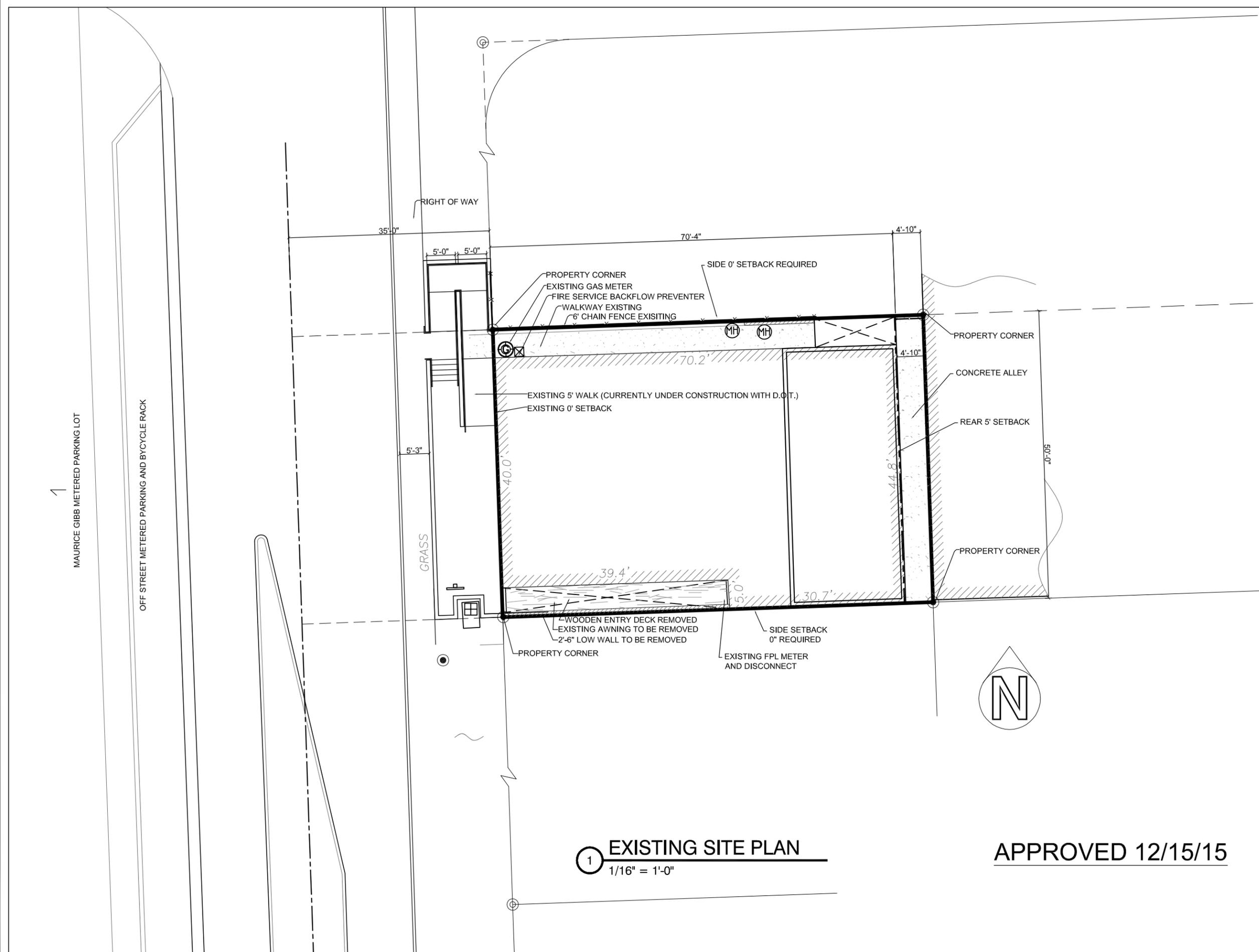
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date: 4/6/16

project: 1095.00 page: 11x17"

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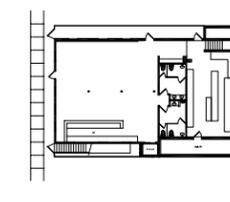
Existing Site Plan
Item #15.1



1 EXISTING SITE PLAN
1/16" = 1'-0"

APPROVED 12/15/15

Tackle Box
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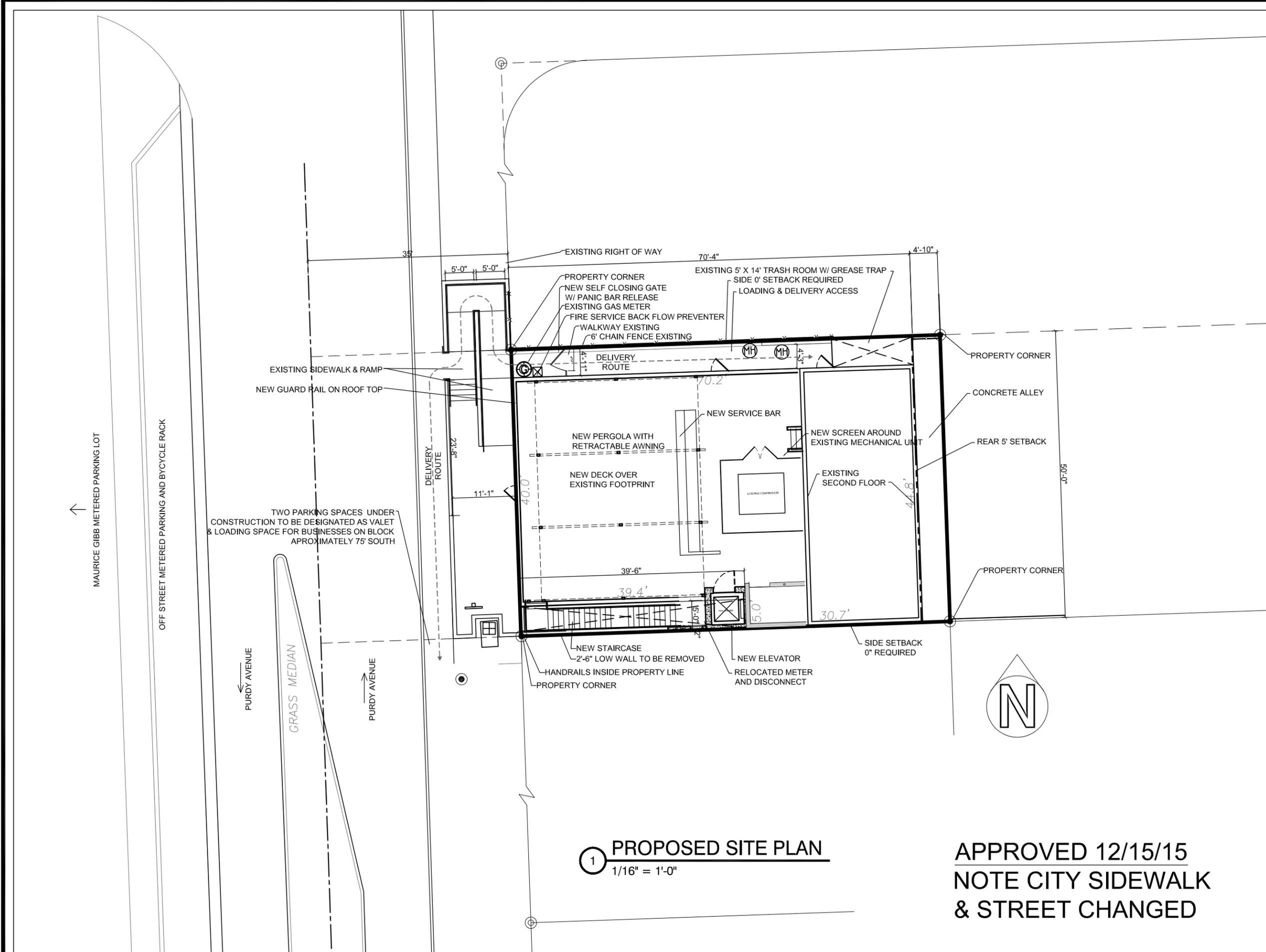


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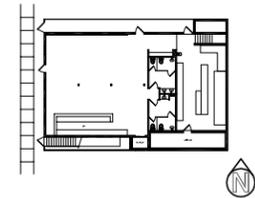
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project: 1095.00 page: 11x17"

Drawing:
**Proposed Site Plan
Item #15.2**



1 PROPOSED SITE PLAN
1/16" = 1'-0"

APPROVED 12/15/15
NOTE CITY SIDEWALK
& STREET CHANGED



1 EXISTING SITE PHOTOS TAKEN 3/28/2016



1 EXISTING SITE KEY PLAN
NTS

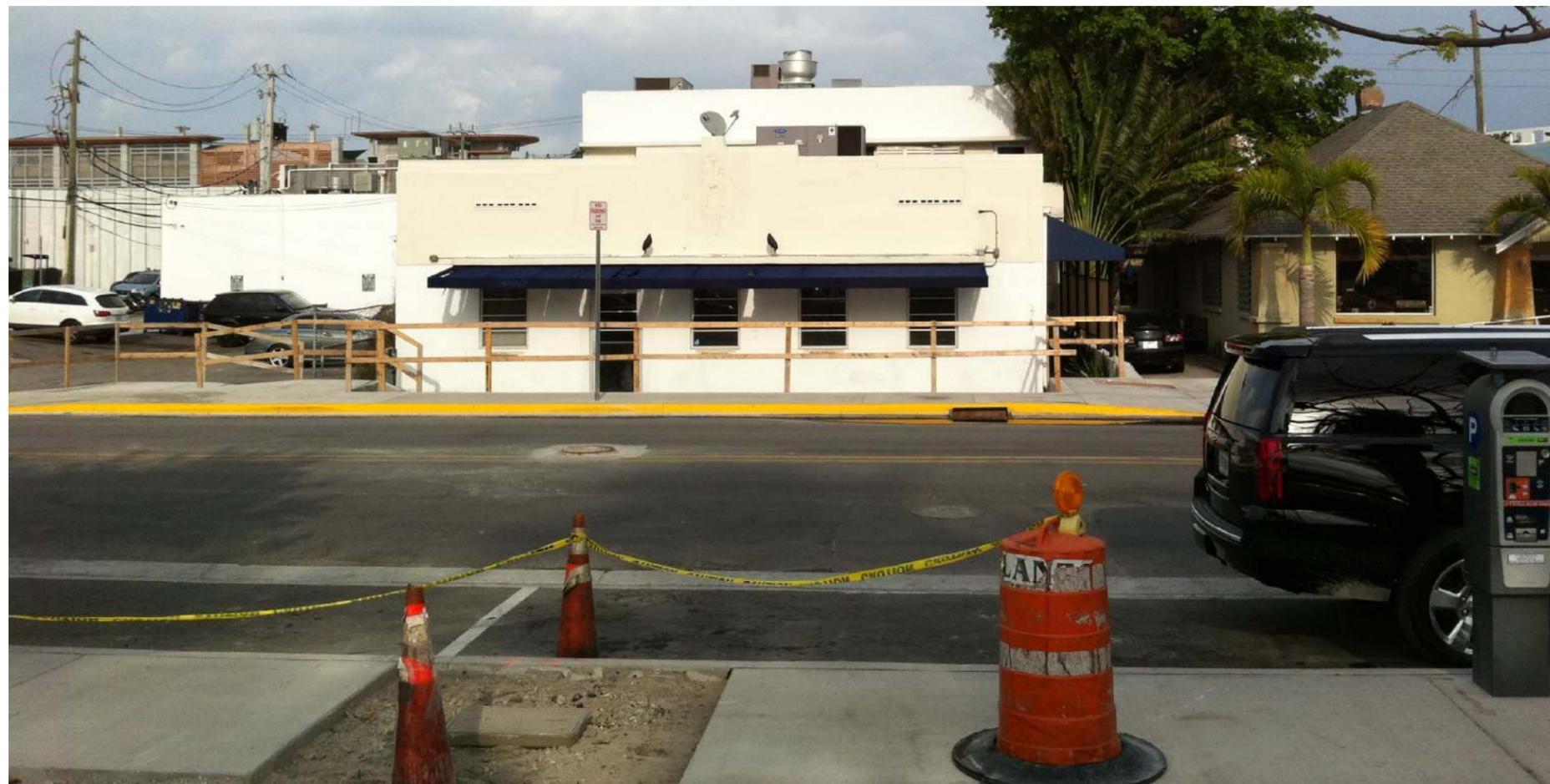
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project: 1095.00 page: 11"x17"

Drawing:
**Site Photos
Existing Site
Item #16.1**

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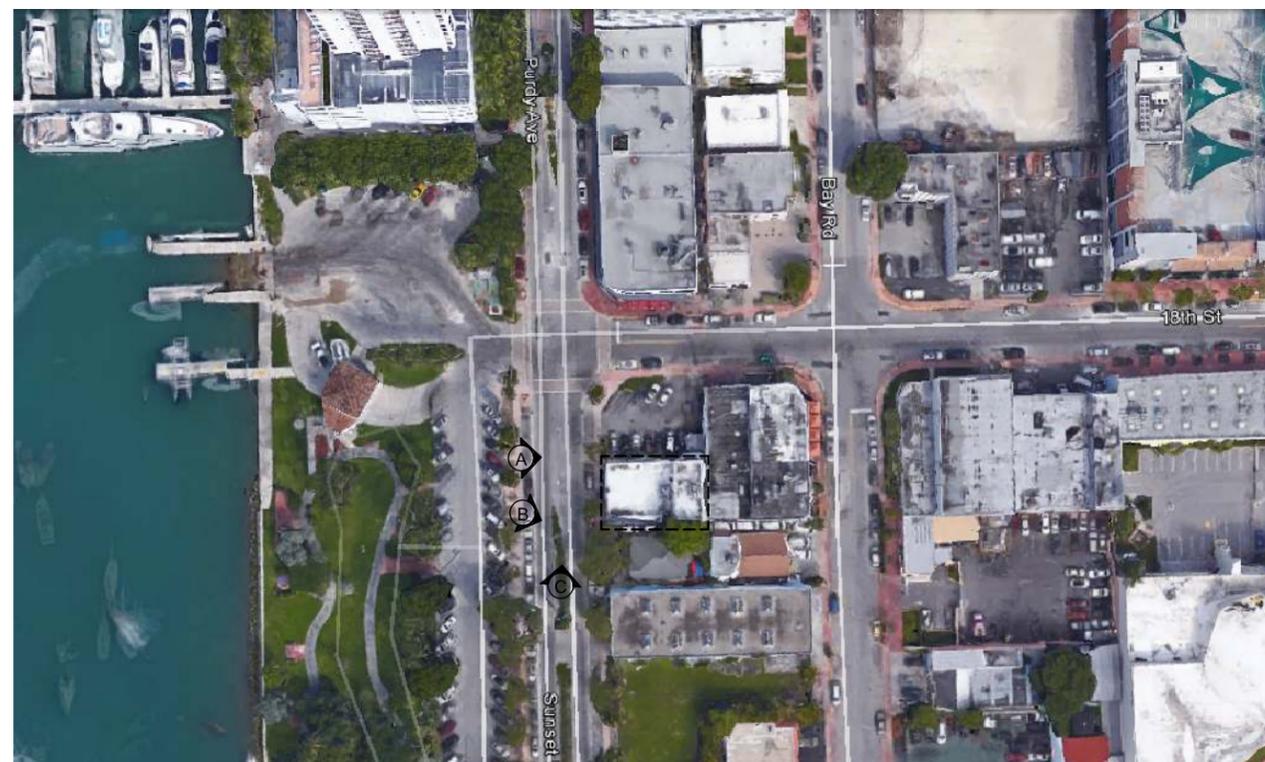
(A)

(B)

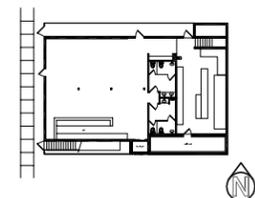
1 EXISTING SITE PHOTOS TAKEN 3/28/2016



(C)



1 EXISTING SITE KEY PLAN
NTS



Drawing Issue

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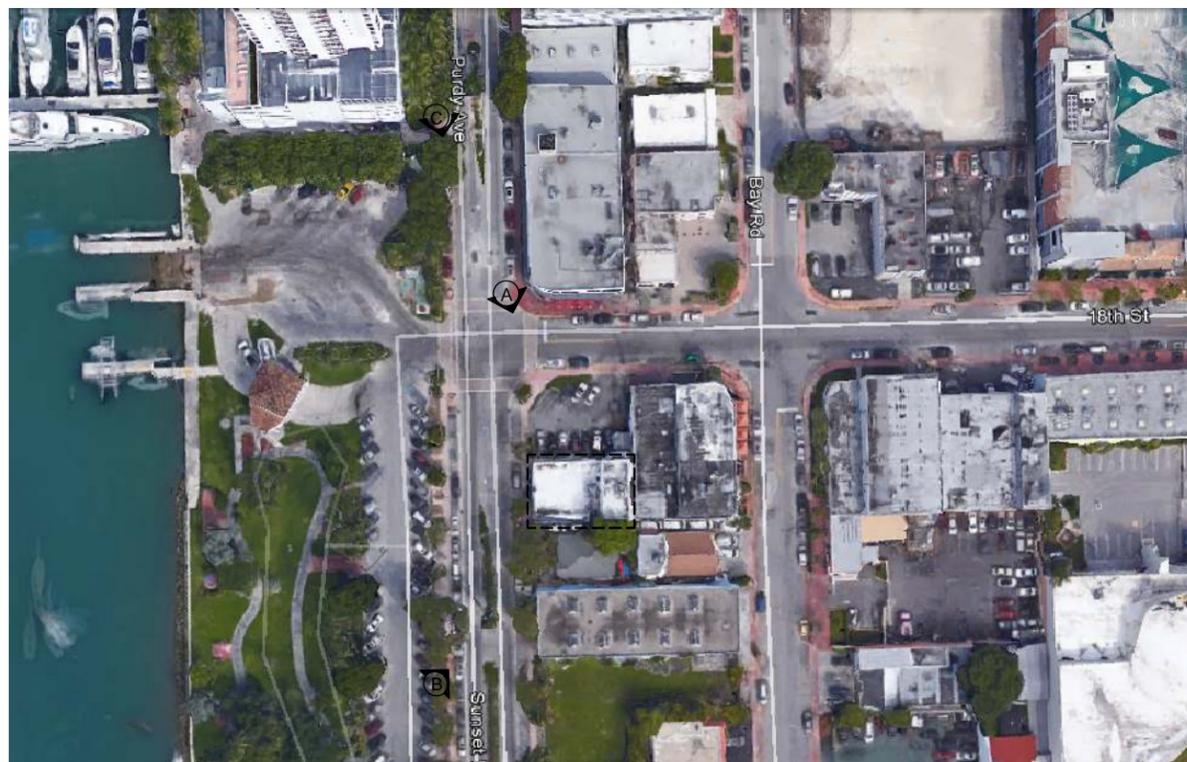
Drawing: Context Photos
Existing Site
Item #18.1



(A)

(B)

1 EXISTING SITE PHOTOS TAKEN 3/28/2015



(C)

1 EXISTING SITE KEY PLAN
NTS

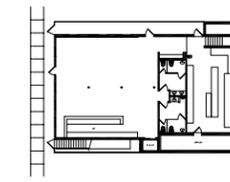


SAI

Sustainable Architecture Initiative, llc

John Otha McInnis
#AR95896

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Drawing: Context Photos
Existing Site
Item #18.2

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Miami Beach, FL 33139

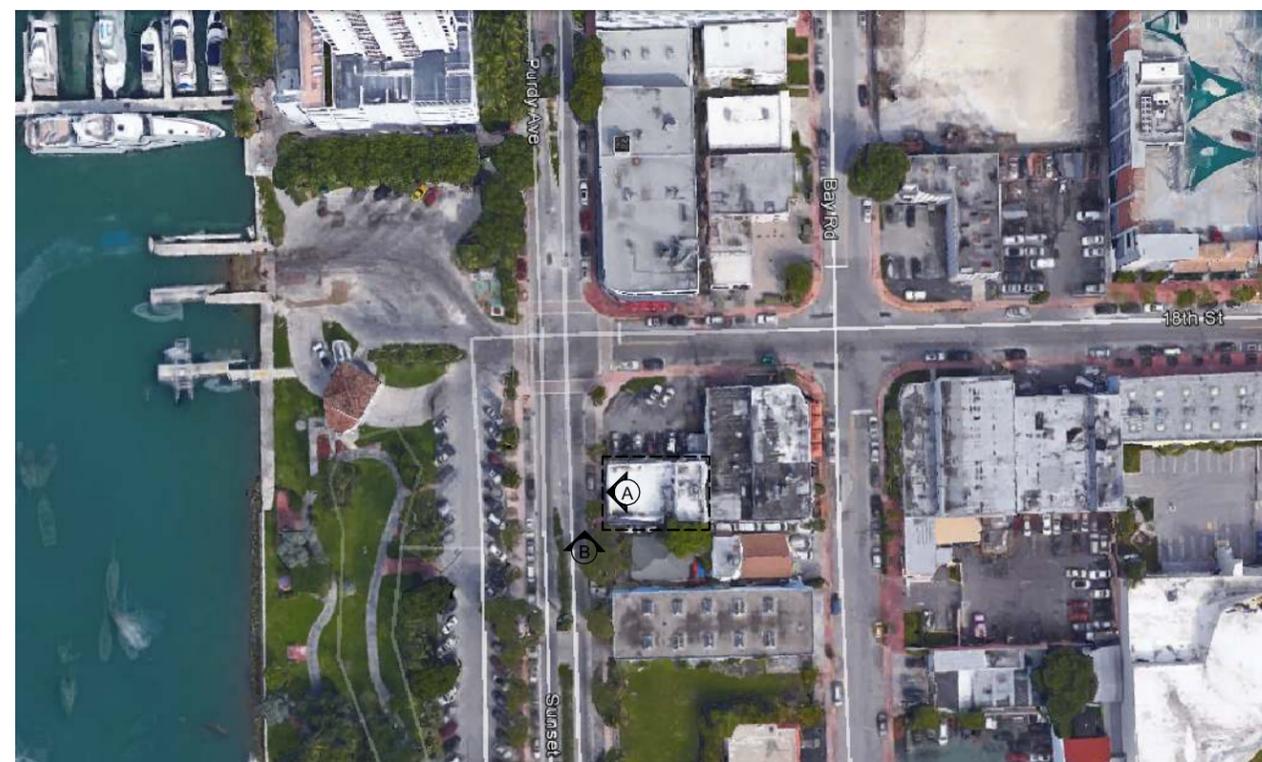


(A)

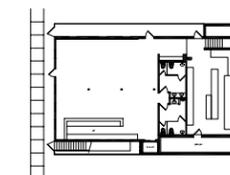
1 EXISTING SITE PHOTOS TAKEN 3/28/2016
1/32" = 1'-0"



(B)



1 EXISTING SITE KEY PLAN
NTS



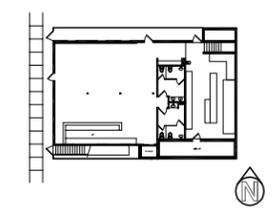
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Drawing: Context Photos
Existing Site
Item #18.3

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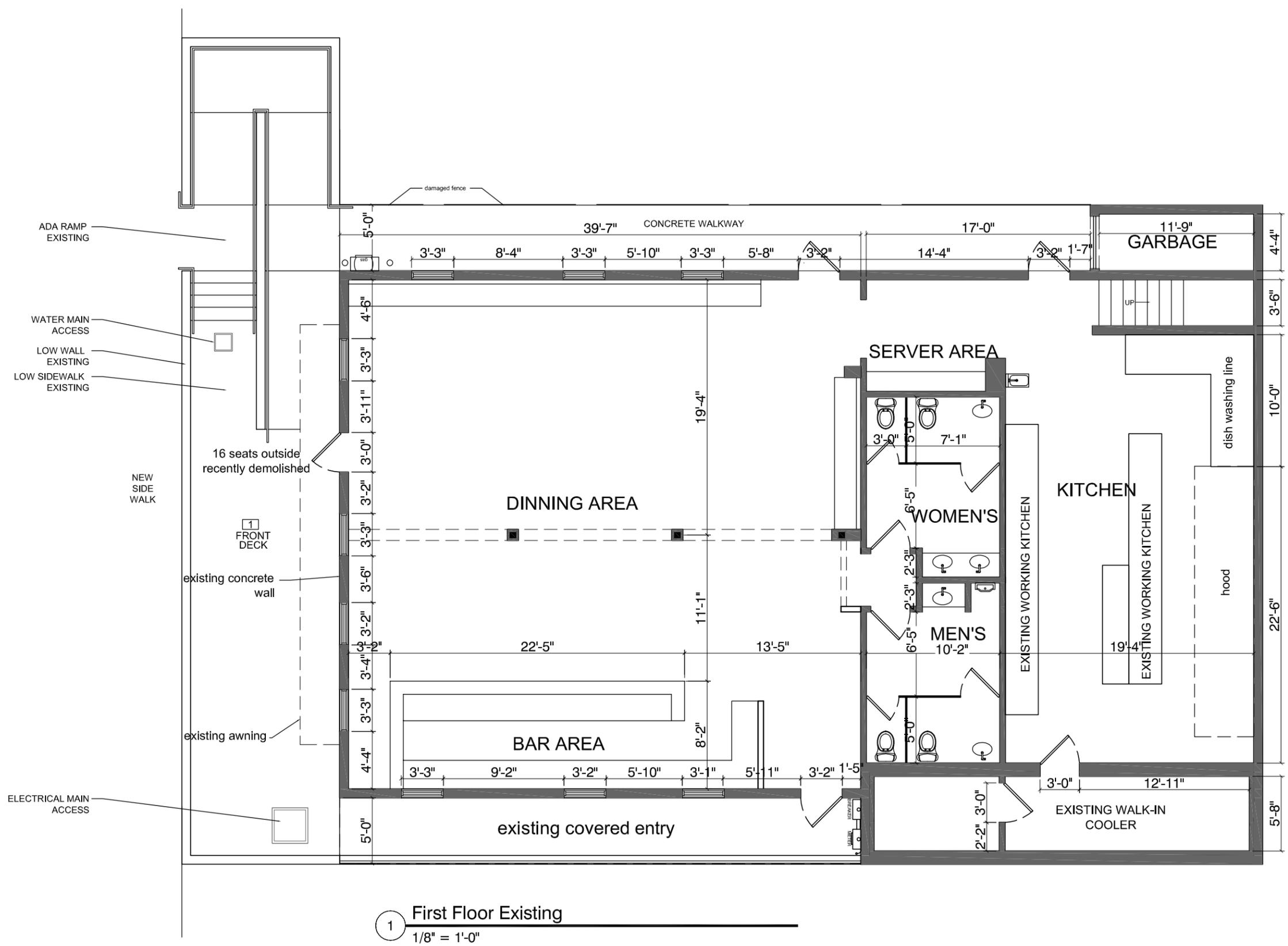


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3	PB Hearing Approved	12/15/15
4	Revision 1st Submittal	03/16/16
5	Revision Final Submittal	04/06/16
6	PB Hearing	TBD

scale: 1/8" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

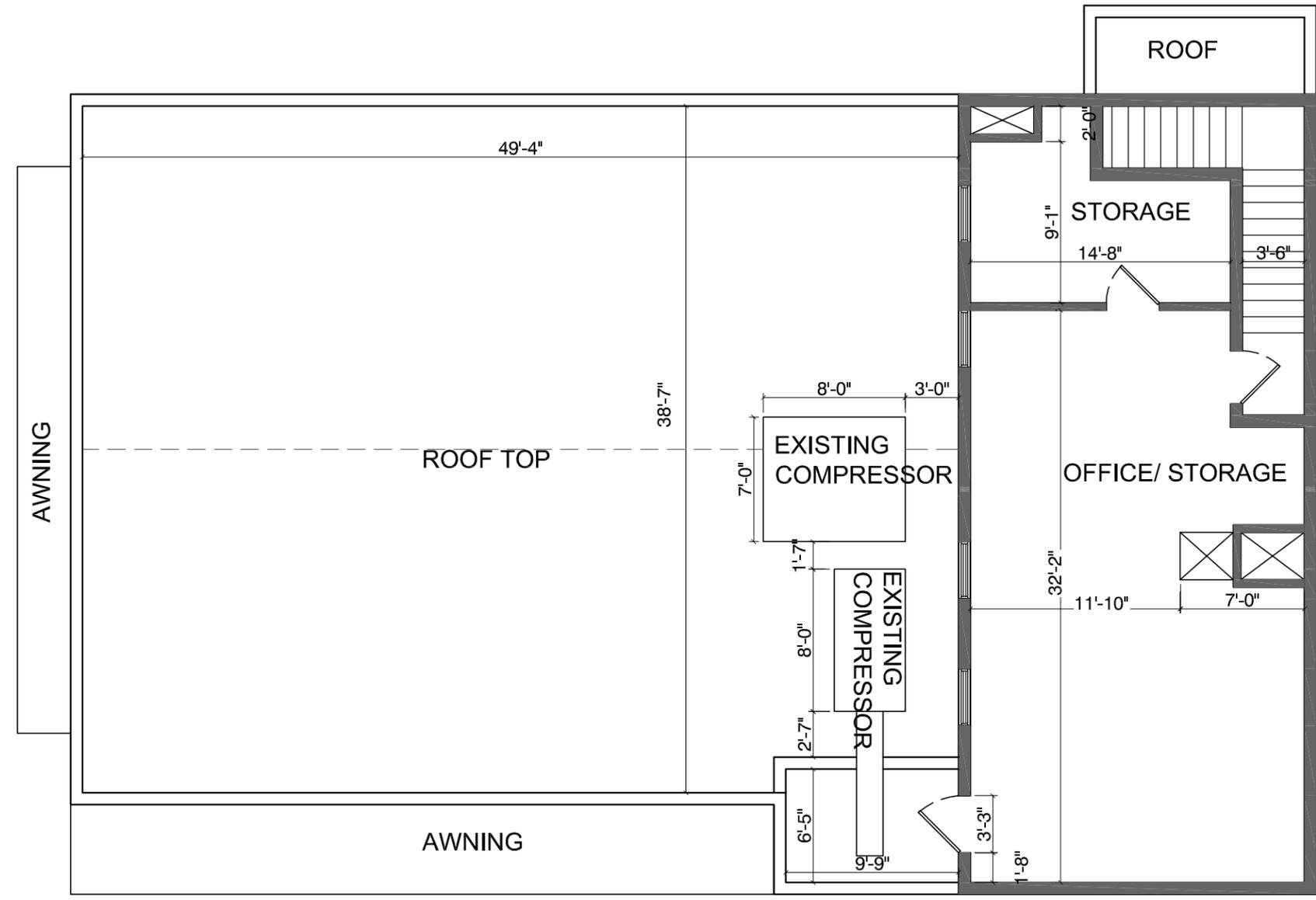
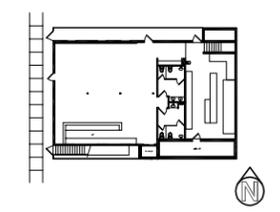
Drawing:
Existing First Floor
Item # 19.1



1 First Floor Existing
1/8" = 1'-0"

APPROVED 12/15/15
-SIDEWALK ELEVATION BY CITY HAS CHANGED

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



1 Second Floor & Roof Top Existing
1/8" = 1'-0"

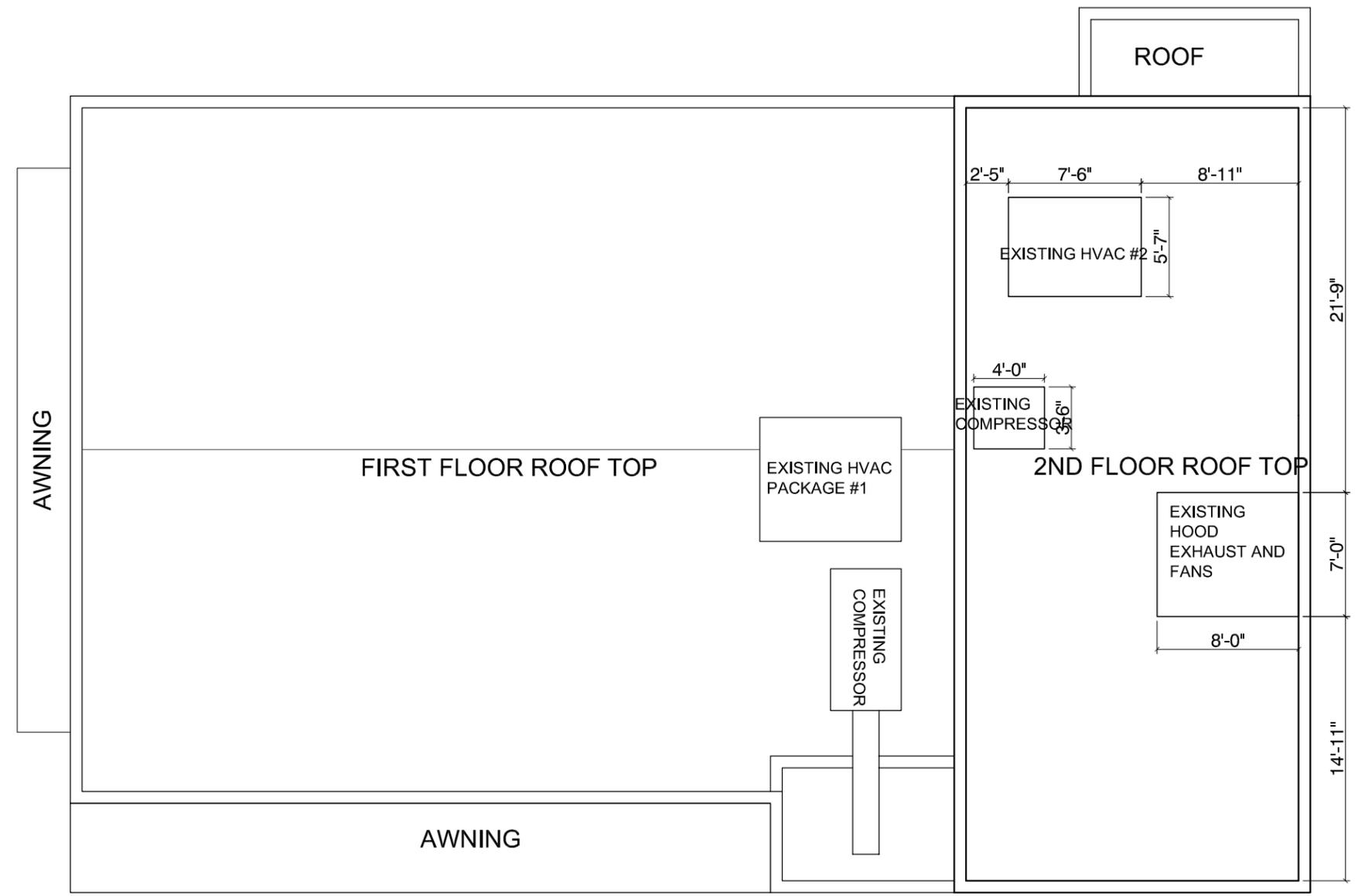
APPROVED 12/15/15

Drawing Issue

no.	revision/issue	date
1	First Submittal	09/14/15
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6	PB Hearing	TBD

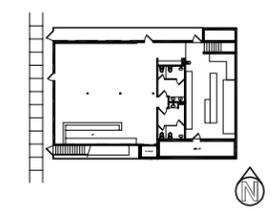
scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Existing Second Floor & Roof Top Item #19.2



1 Upper Roof Top Existing
1/8" = 1'-0"

APPROVED 12/15/15



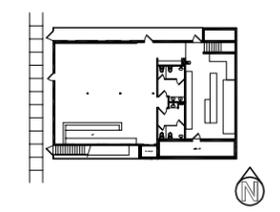
Drawing Issue

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6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11*x17"

Drawing:
Existing Second Floor Roof & Rooftop
Item #19.3

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139

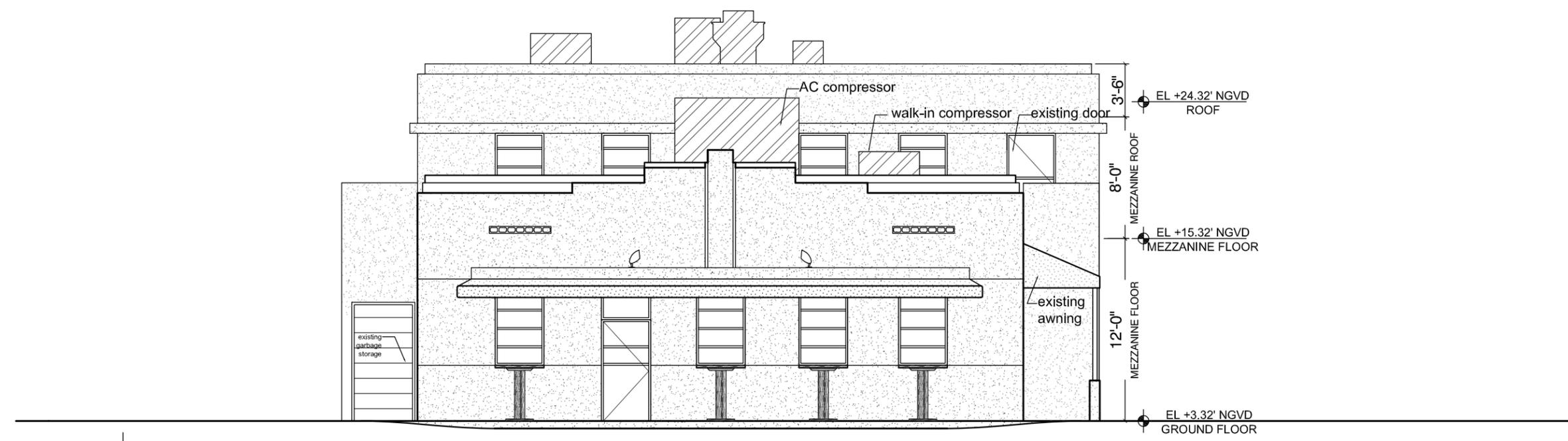


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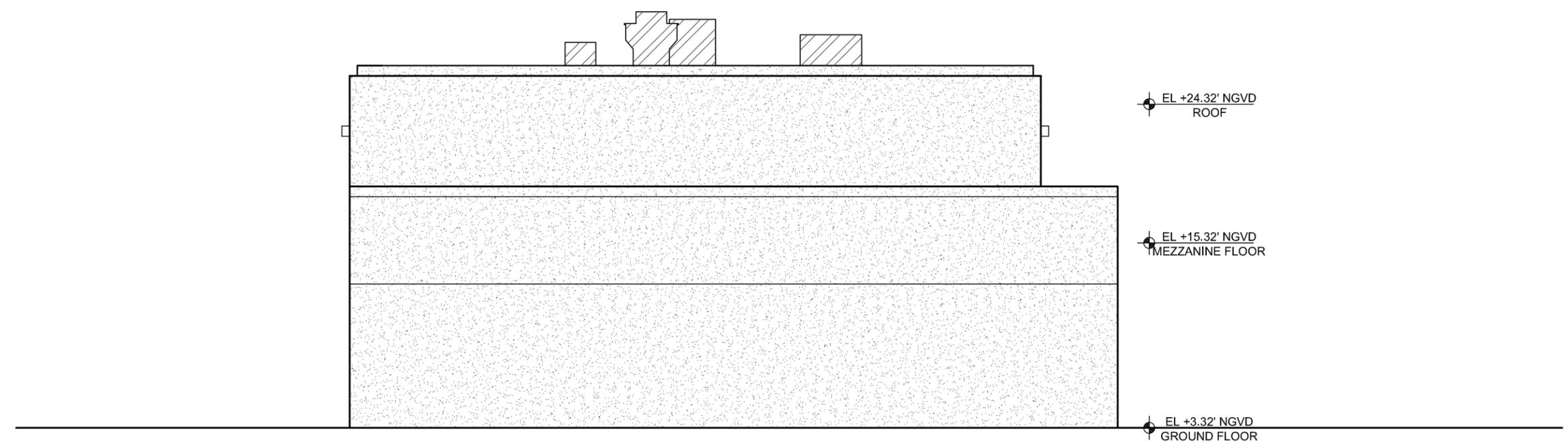
no.	revision/issue	date
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6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Existing Elevations
Item #19.4**

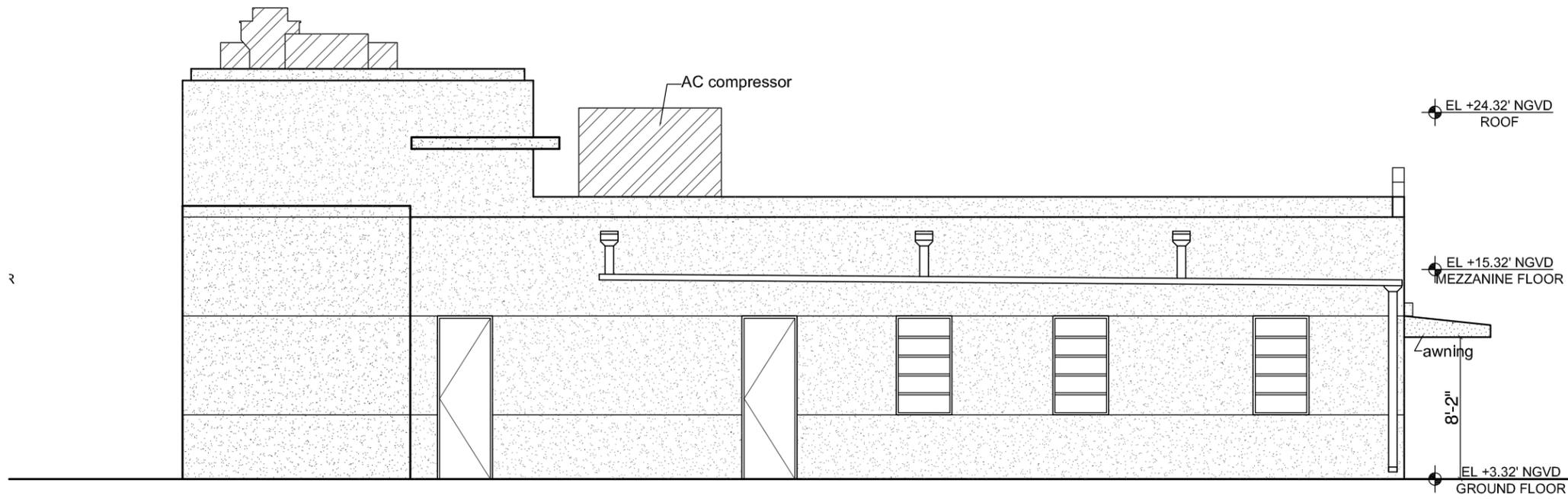


1 Existing Front Elevation (west)
1/8" = 1'-0"

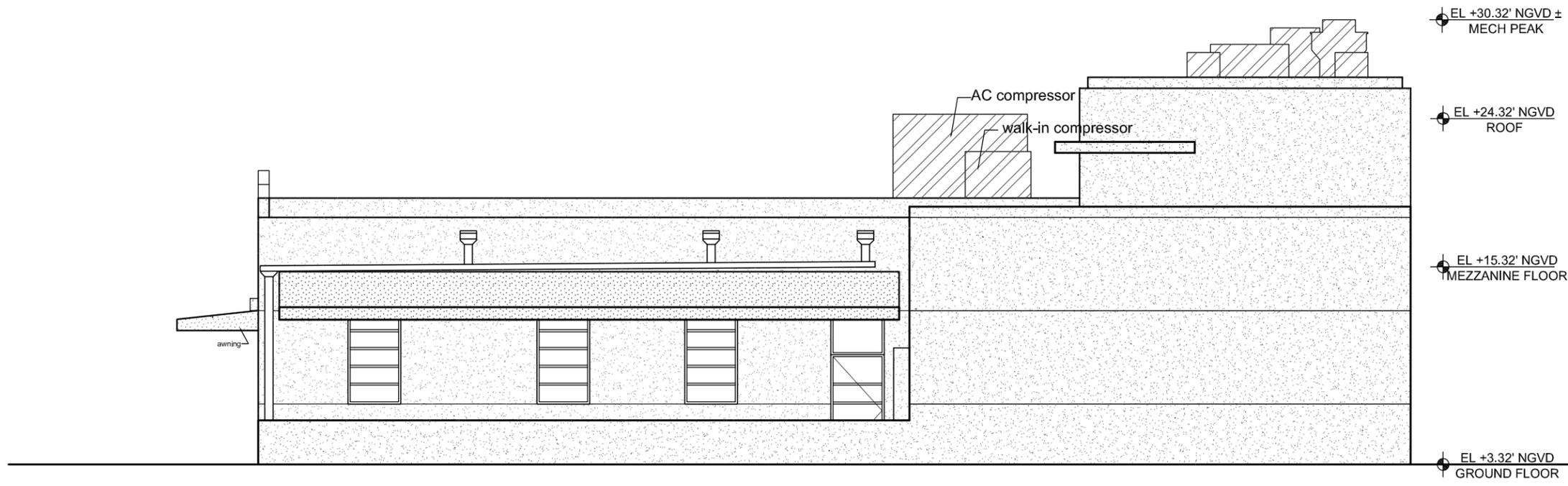


2 Existing Back Elevation (east)
1/8" = 1'-0"

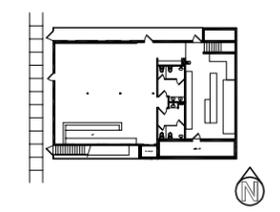
APPROVED 12/15/15



1 Existing Side Elevation (north)
1/8" = 1'-0"



2 Existing Side Elevation (south)
1/8" = 1'-0"



Drawing Issue

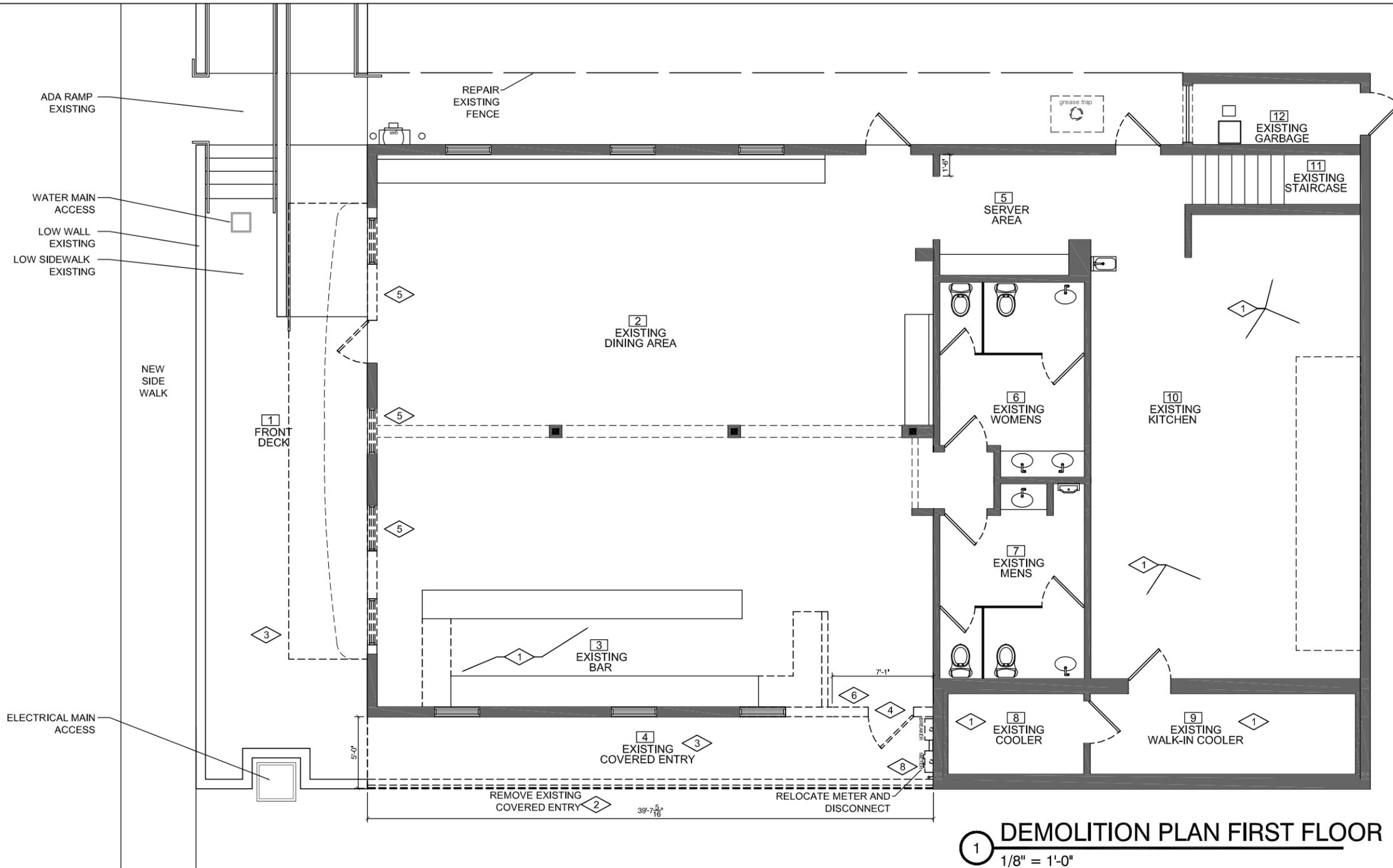
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6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Existing Elevations
Item #19.5

APPROVED 12/15/15

PROPOSED CHANGES/SITE CHANGES
-ROLL UP STOREFRONT REVISED
-CITY SIDEWALK RENOVATED



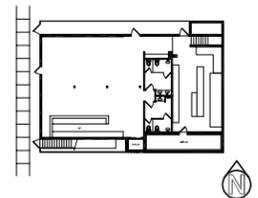
1 DEMOLITION PLAN FIRST FLOOR
 1/8" = 1'-0"

DEMOLITION SYMBOLS:

-  INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
-  INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED, PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.
-  INDICATES EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.
-  INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.
-  INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.
-  INDICATES PHOTOGRAPH / ELEVATION NUMBER
 INDICATES DWG. NUMBER

DEMOLITION NOTES:

-  EXISTING EQUIPMENT TO BE PROTECTED DURING INSTALLATION OF NEW FLOORING
-  REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
-  REMOVE AWNING
-  RELOCATE DOOR
-  DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
-  REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
-  REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
-  RELOCATE METER AND DISCONNECT
-  RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
-  RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL



Drawing Issue

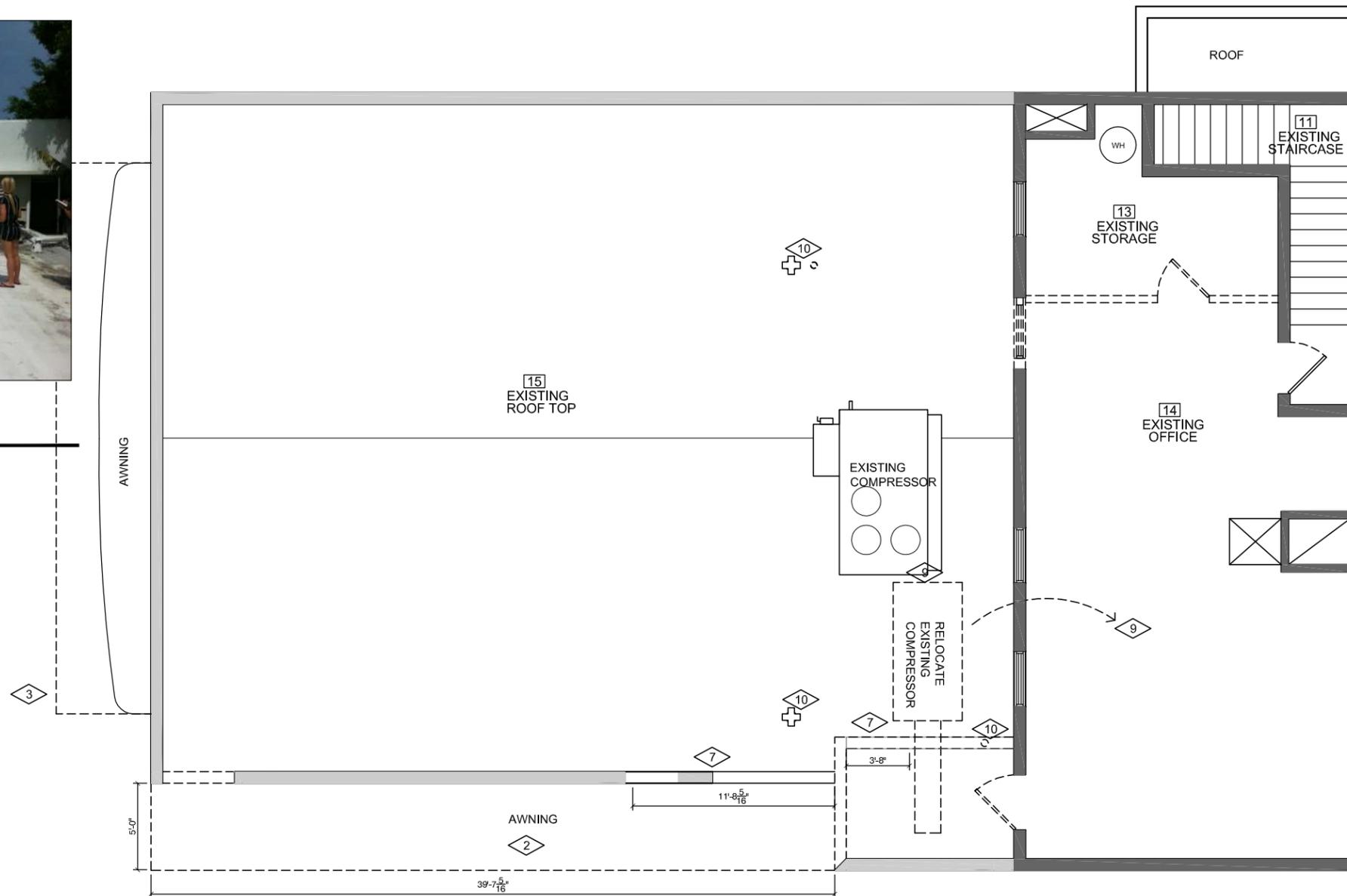
no.	revision/issue	date
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5	Revision Final Submittal	04/06/16
6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
 date: 4/6/16
 project: 1095.00 page: 11x17"

**Demolition Plan
 First Floor
 Item #20.1**



A EXISTING ROOF
NTS



APPROVED 12/15/15

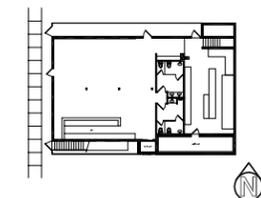
1 DEMOLITION PLAN SECOND FLOOR / ROOF
1/8" = 1'-0"

DEMOLITION SYMBOLS:

- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
- INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED. PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.
- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.
- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.
- INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.
- INDICATES PHOTOGRAPH / ELEVATION NUMBER INDICATES DWG. NUMBER

DEMOLITION NOTES:

- EXISTING EQUIPMENT TO BE PROTECTED DURING INSTALLATION OF NEW FLOORING
- REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- REMOVE AWNING
- RELOCATE DOOR
- DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
- REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
- RELOCATE METER AND DISCONNECT
- RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
- RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL

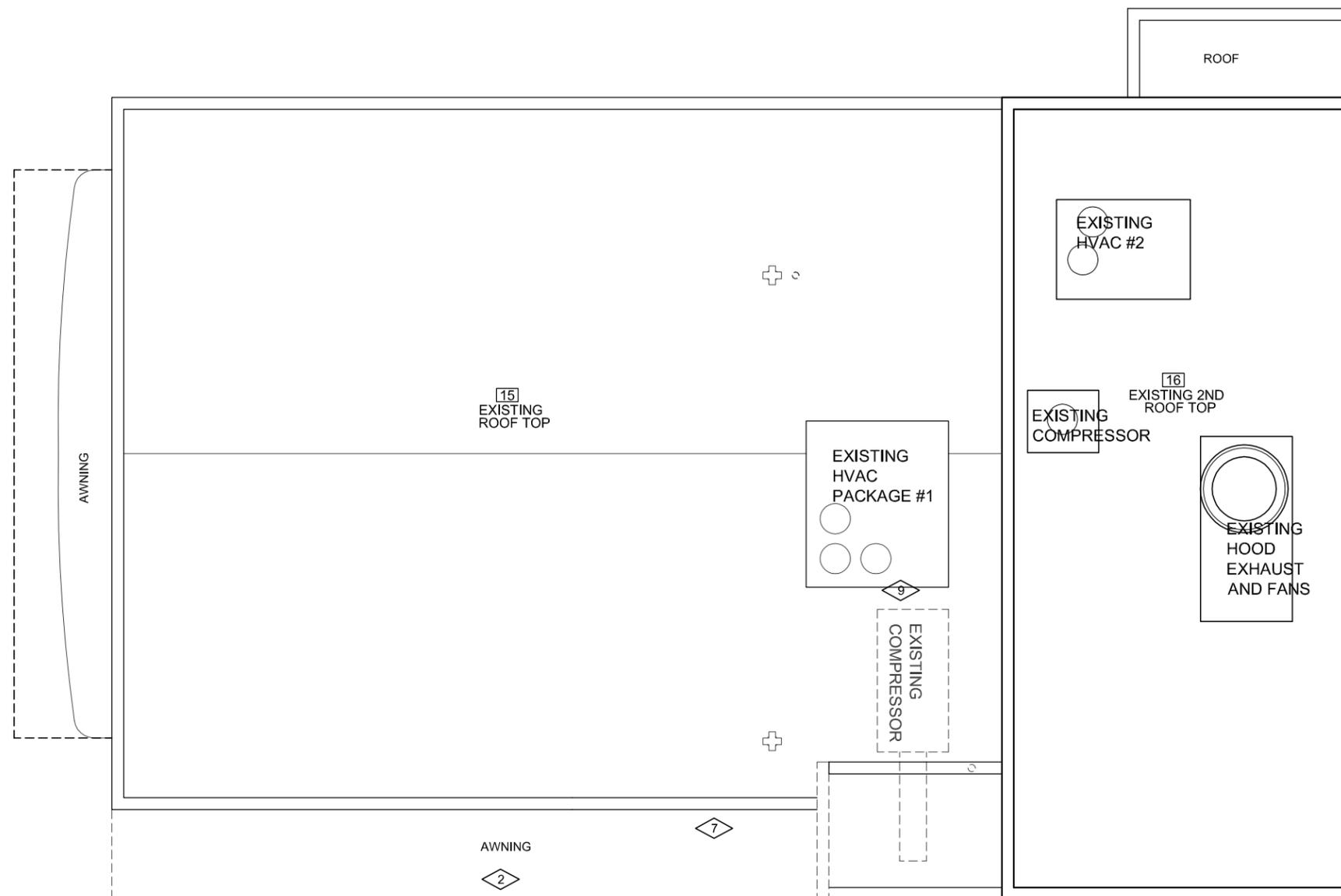


Drawing Issue

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6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Demolition Plan
Second Floor
Item #20.2**



APPROVED 12/15/15

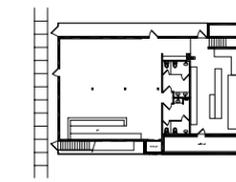
1 DEMOLITION PLAN UPPER ROOF
1/8" = 1'-0"

DEMOLITION SYMBOLS:

- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
- == INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED. PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.
- ⌋ INDICATES EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.
- ⌋ INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.
- # INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.
- #-A-# INDICATES PHOTOGRAPH / ELEVATION NUMBER
INDICATES DWG. NUMBER

DEMOLITION NOTES:

- 1 EXISTING EQUIPMENT TO BE PROTECTED DURING INSTALLATION OF NEW FLOORING
- 2 REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- 3 REMOVE AWNING
- 4 RELOCATE DOOR
- 5 DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
- 6 REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- 7 REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
- 8 RELOCATE METER AND DISCONNECT
- 9 RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
- 10 RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL

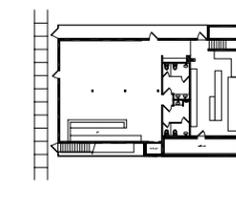


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6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Demolition Plan
Roof Top Floor
Item #20.3**



Drawing Issue

no.	revision/issue	date
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scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

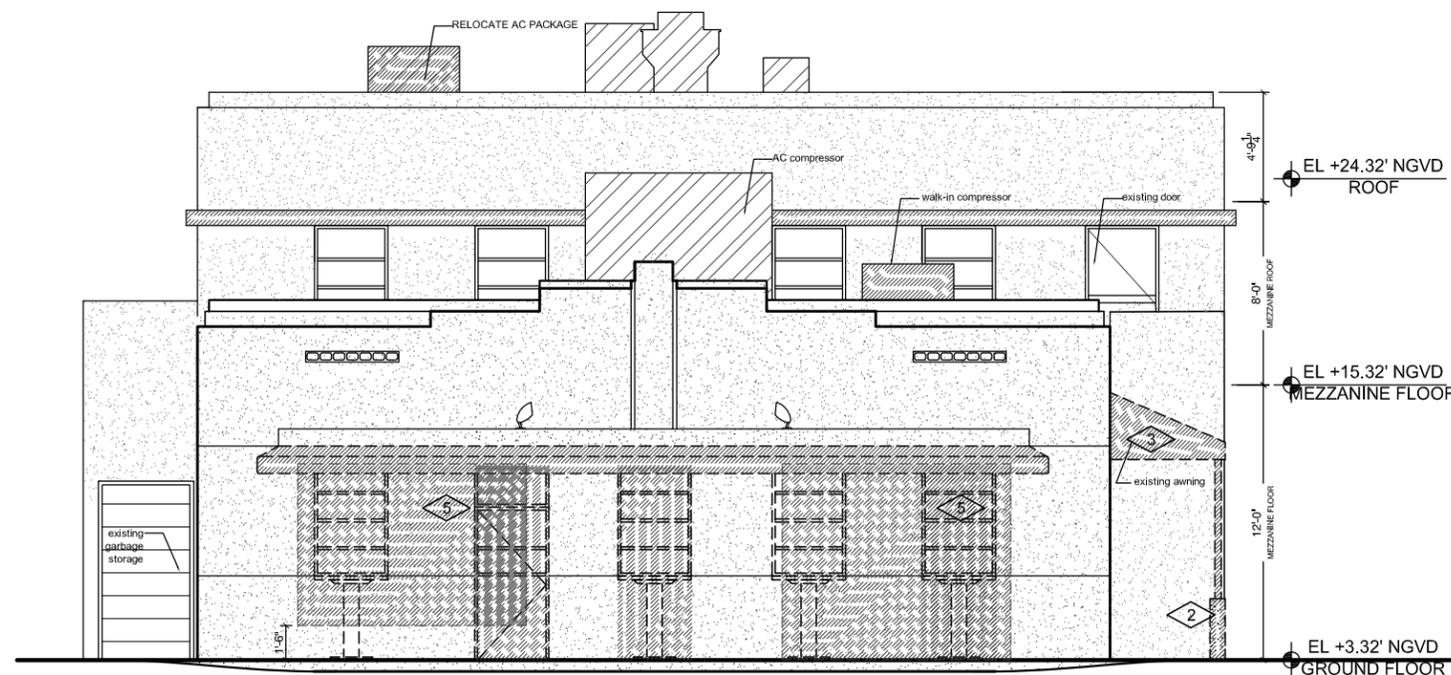
Drawing:
Demolition Elevation Front / Rear
Item #20.4

DEMOLITION SYMBOLS:

- INDICATES EXISTING BUILDING CORE, DEMISING OR INTERIOR PARTITION TO REMAIN. PATCH AS REQUIRED
- INDICATES EXISTING PARTITION TO BE REMOVED AND DISCARDED. PATCH WALLS TO REMAIN AS REQUIRED. ALL EXISTING OUTLETS AT DEMOLISHED WALLS TO BE REMOVED. WIRING TO BE REMOVED BACK TO SOURCE.
- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO REMAIN, U.O.N.
- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.
- INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.
- INDICATES PHOTOGRAPH / ELEVATION NUMBER INDICATES DWG. NUMBER

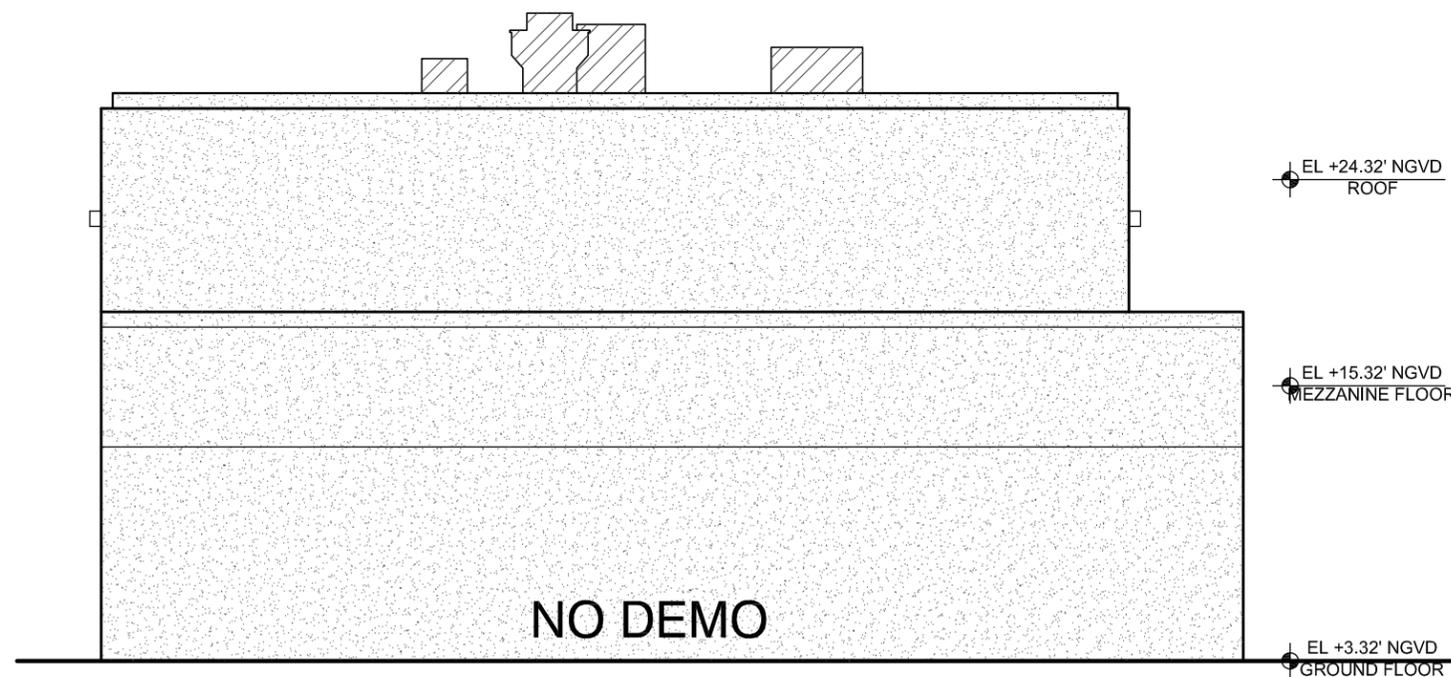
DEMOLITION NOTES:

- EXISTING EQUIPMENT TO BE PROTECTED DURING INSTALLATION OF NEW FLOORING
- REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- REMOVE AWNING
- RELOCATE DOOR
- DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
- REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
- RELOCATE METER AND DISCONNECT
- RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
- RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL



1 DEMOLITION ELEVATION FRONT

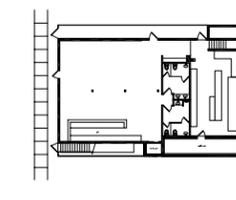
1/8" = 1'-0"



2 DEMOLITION ELEVATION REAR

1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-LARGER OPENING FOR ROLL UP STOREFRONT



Drawing Issue

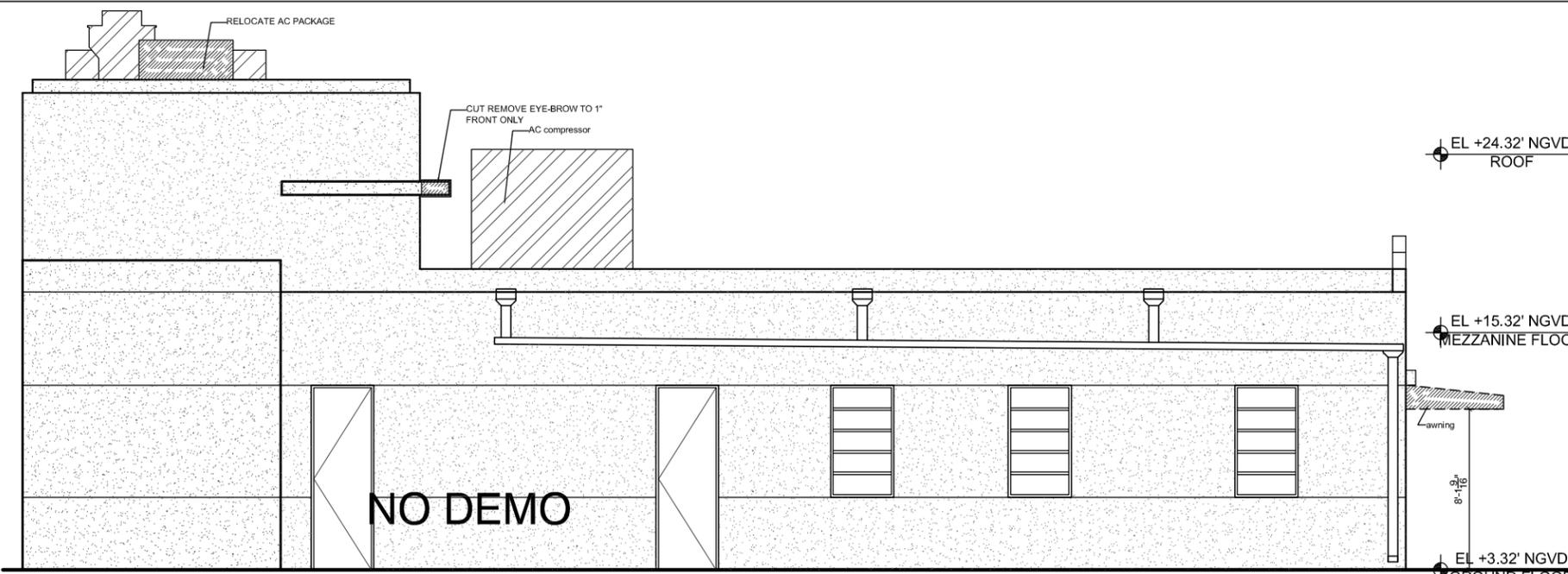
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scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Demolition Elevation Sides
Item #20.5

DEMOLITION SYMBOLS:

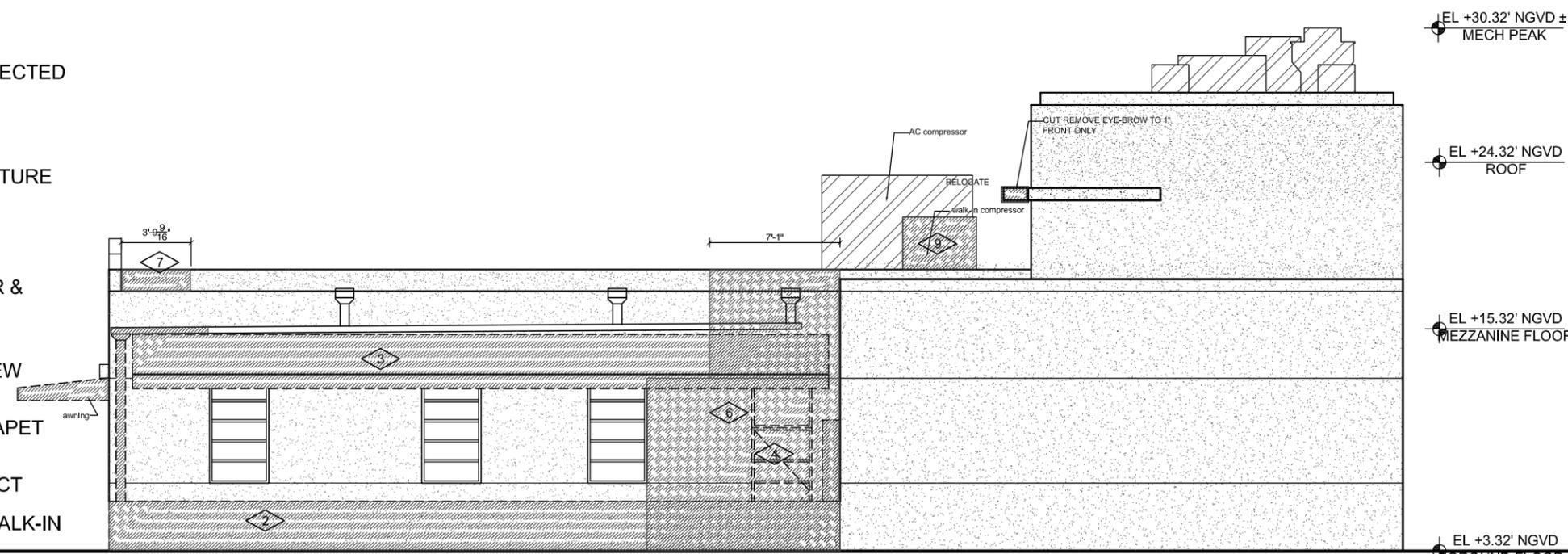
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- INDICATES EXISTING DOOR, FRAME AND HARDWARE TO BE REMOVED AND DISCARDED.
- INDICATES SPECIFIC INFORMATION WITHIN PLAN - SEE "PLAN NOTES" FOR INFORMATION.
- INDICATES PHOTOGRAPH / ELEVATION NUMBER
- INDICATES DWG. NUMBER



1 DEMOLITION NORTH ELEVATION
1/8" = 1'-0"

DEMOLITION NOTES:

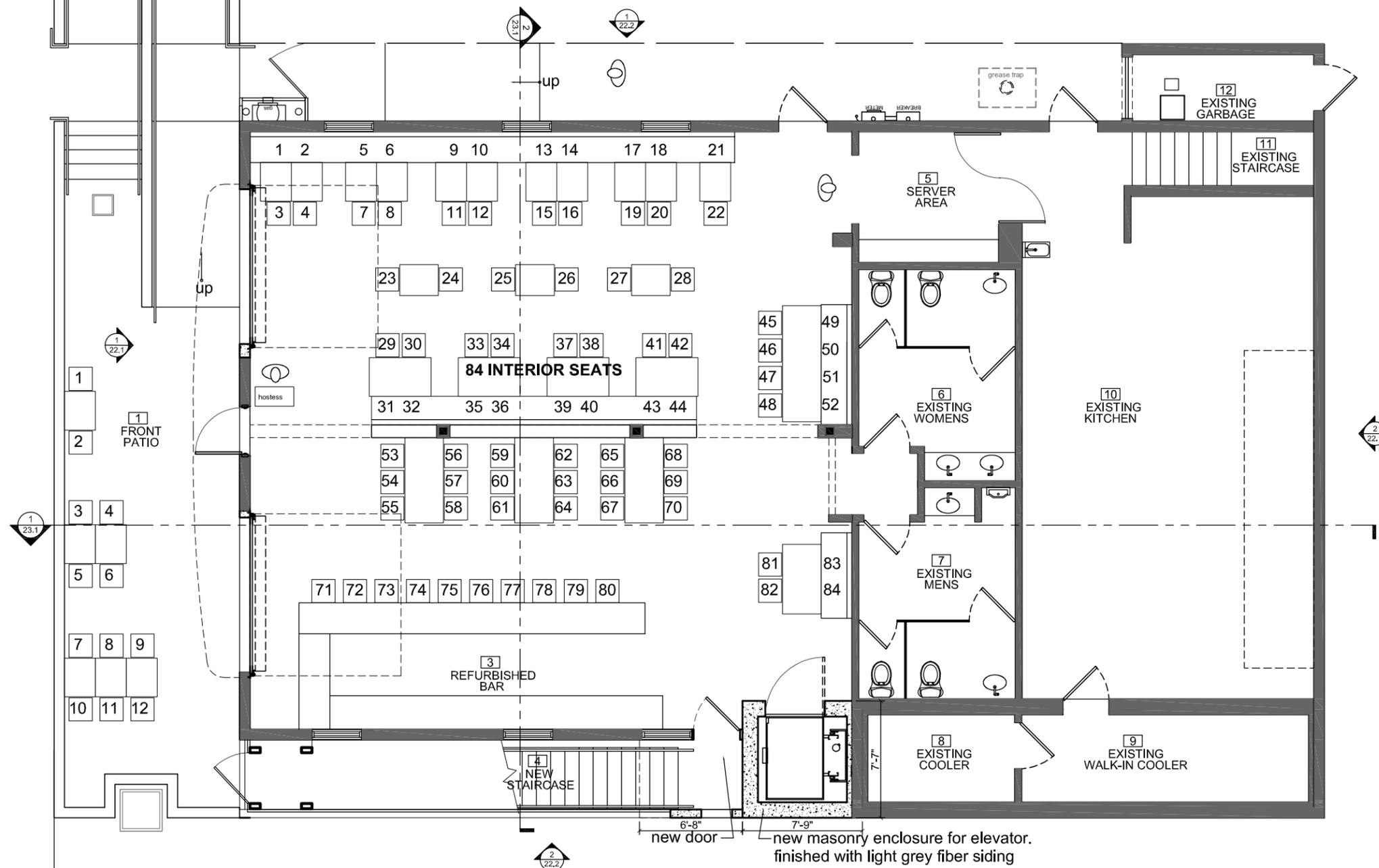
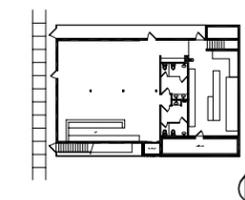
- EXISTING EQUIPMENT TO BE PROTECTED DURING INSTALLATION OF NEW FLOORING
- REMOVE DECK & KNEE WALL AS REQUIRED FOR NEW STAIR STRUCTURE
- REMOVE AWNING
- RELOCATE DOOR
- DEMOLISH TO R.O. FOR NEW DOOR & WINDOW
- REMOVE WALL AS NEEDED FOR NEW ELEVATOR SHAFT
- REMOVE UPPER PORTION OF PARAPET WALL FOR STAIRCASE
- RELOCATE METER AND DISCONNECT
- RELOCATE COMPRESSORS FOR WALK-IN AND REMOTE UNITS
- RELOCATE EXHAUST AND RISER TO UP ROOF SEE MECHANICAL



2 DEMOLITION SOUTH ELEVATION
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-STAIRCASE RISES WEST TO EAST

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



1 First Floor Proposed
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-ROLL UP STOREFRONT REVISED
-CITY SIDEWALK RENOVATED

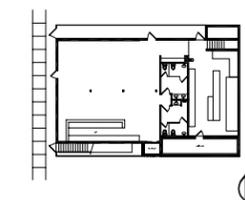
Drawing Issue

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6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Proposed Floor Plans
First Floor
Item #21.1

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



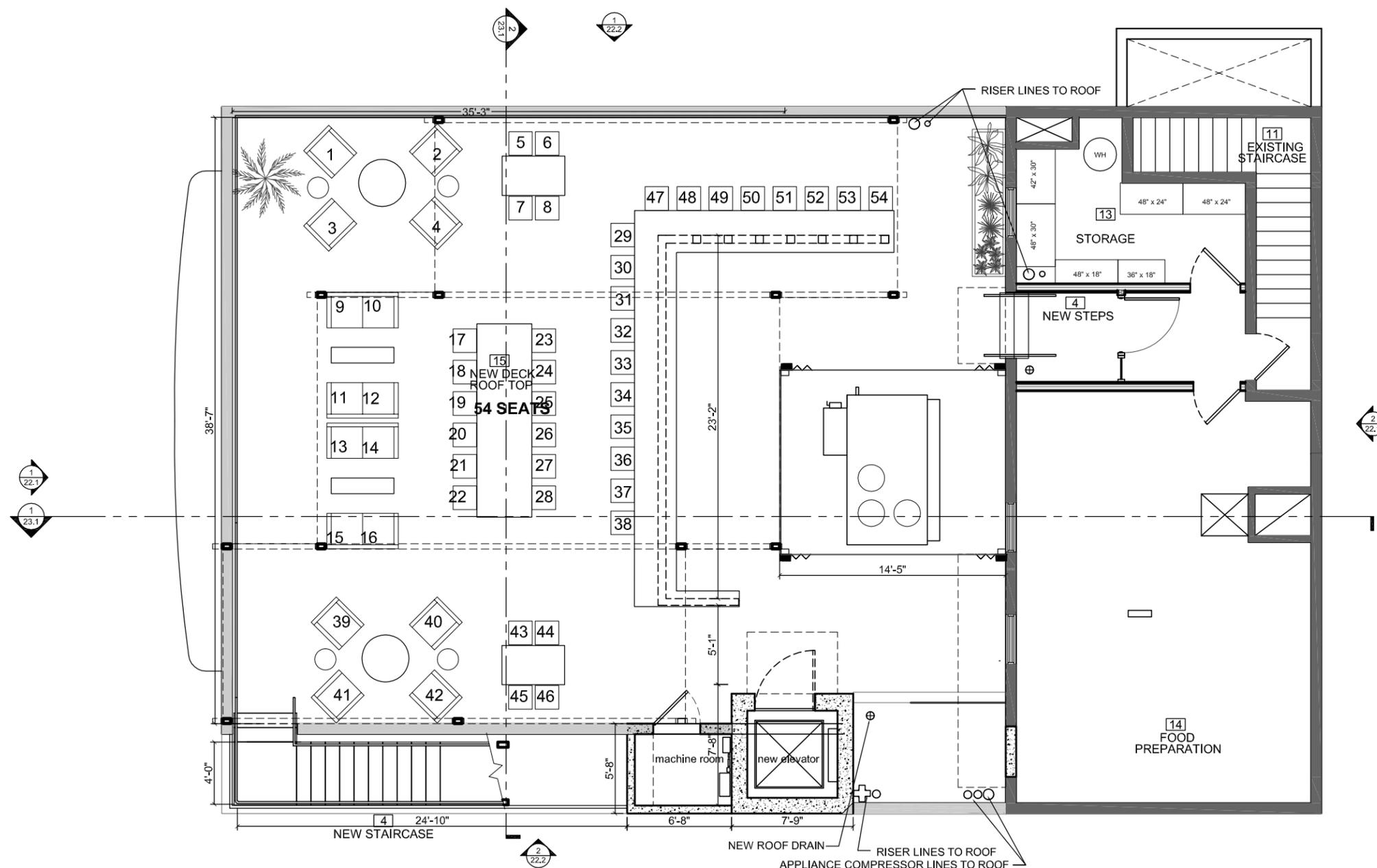
Drawing Issue

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scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:

Proposed Floor Plans
Second Floor
Item #21.2



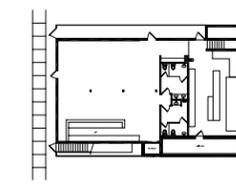
1 Second Floor & Rooftop Deck Proposed
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES

-8 SEATS ADDED

-EGRESS ROUTE UPDATED (STAIR ACCESS THROUGH BUILDING NOT SIDEWALK)

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



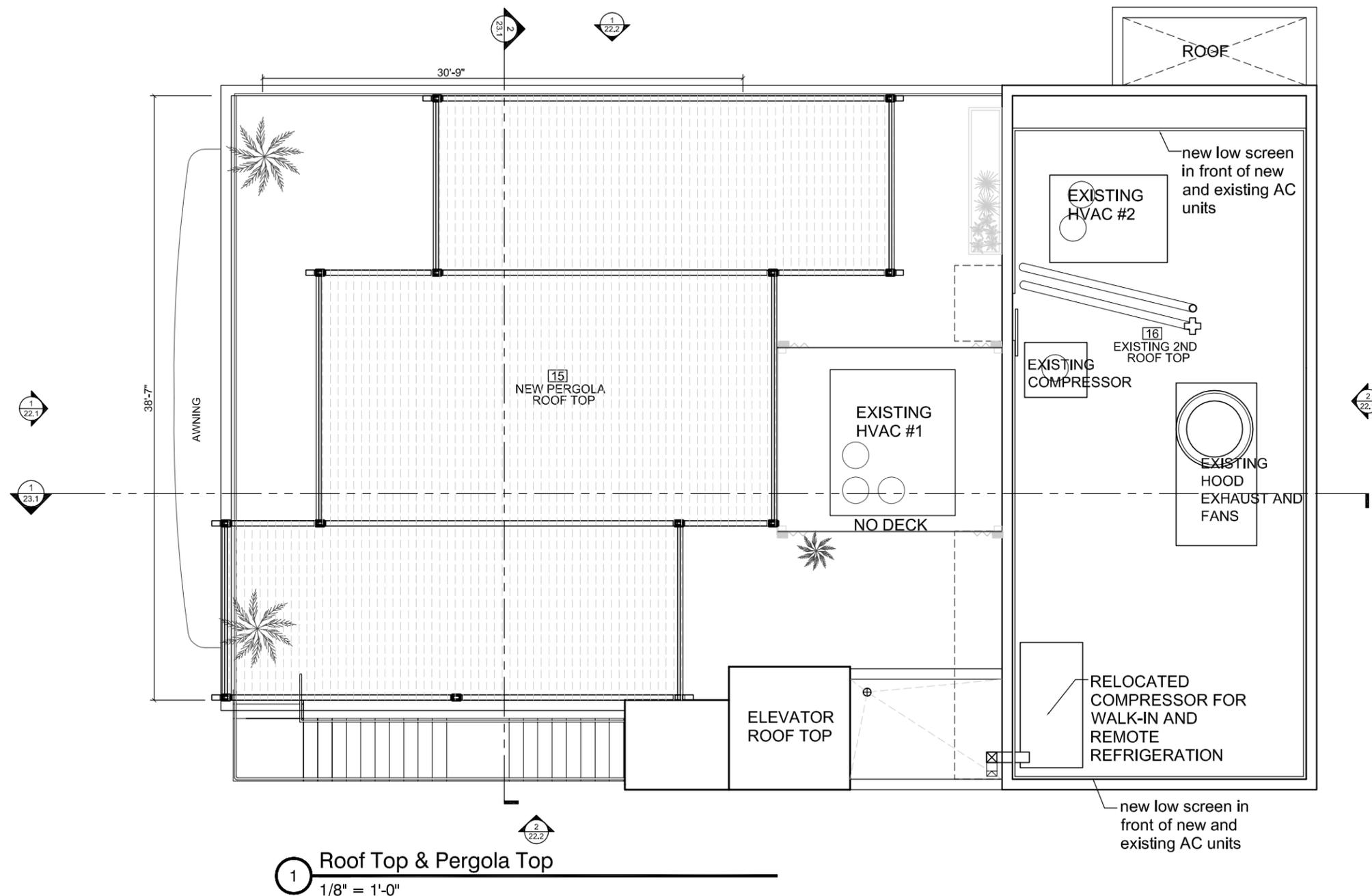
Drawing Issue

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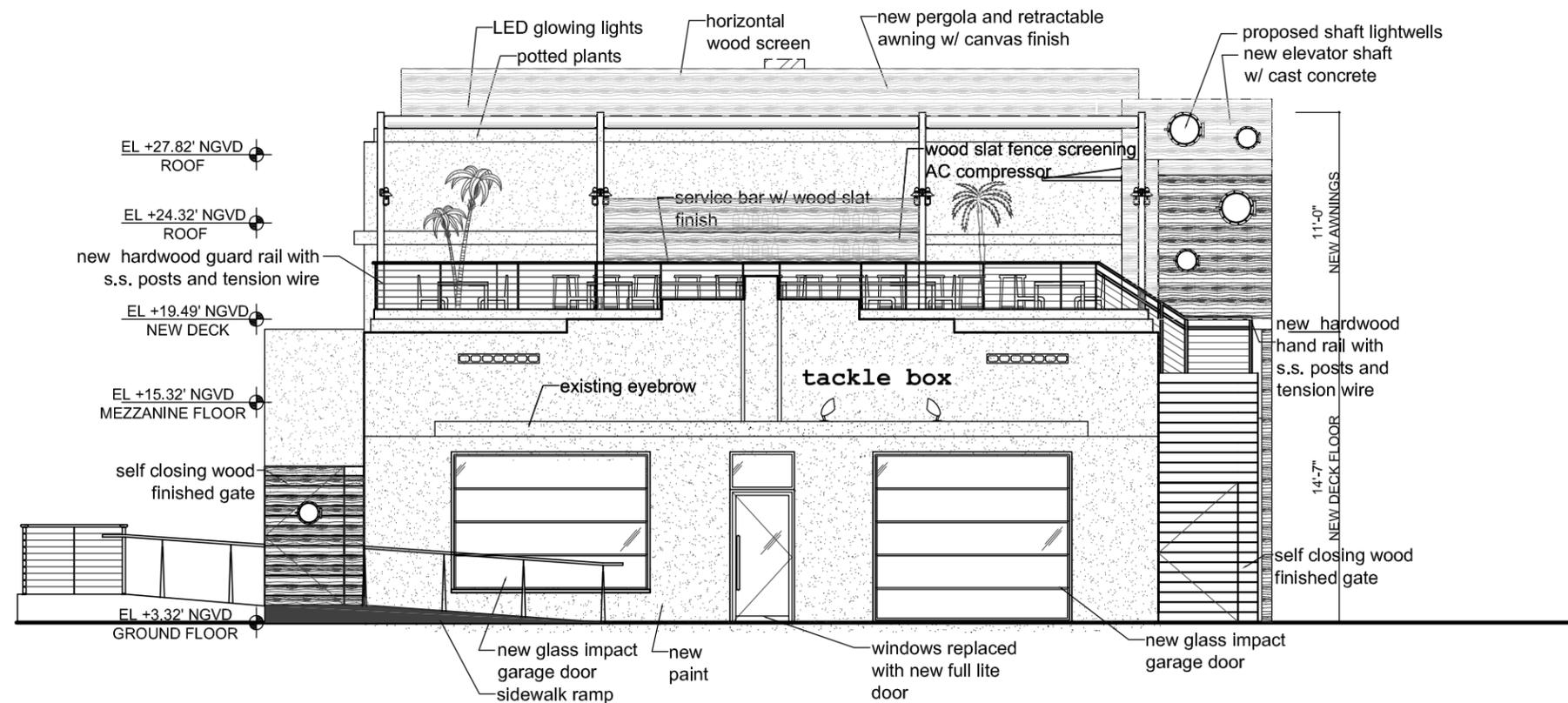
scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:

Proposed Floor Plans
Roof Top
Item #21.3

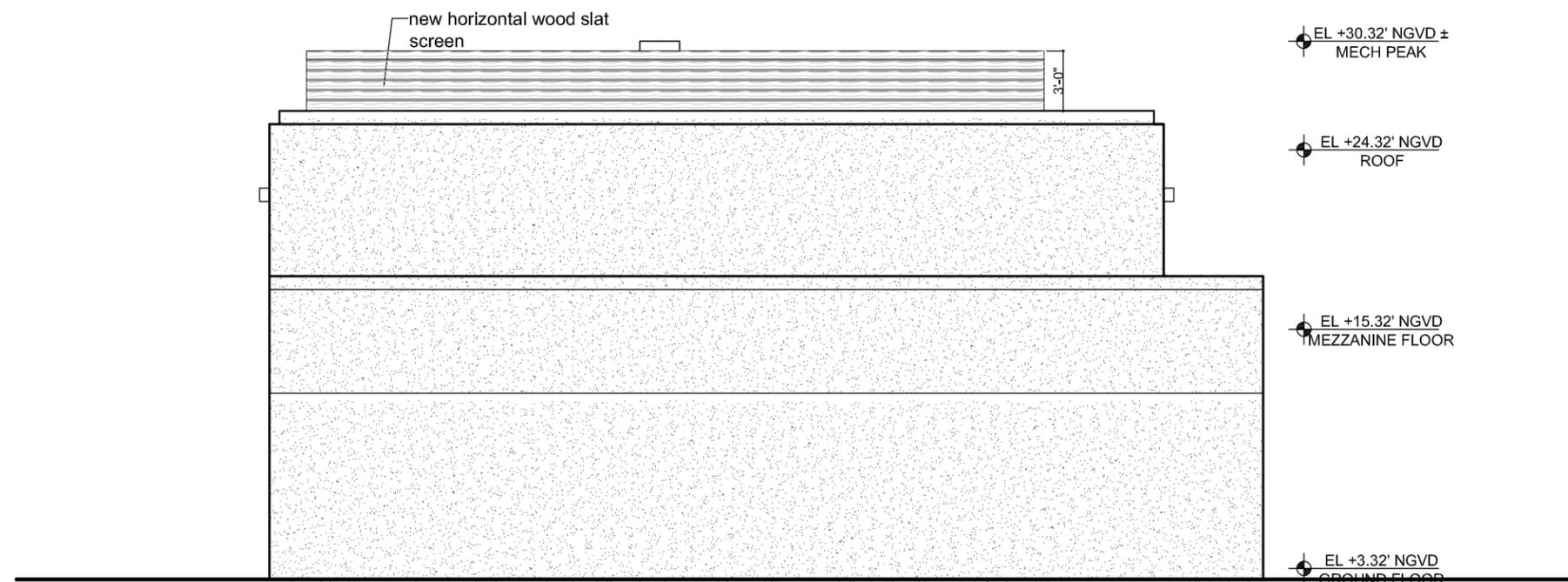


APPROVED BY PB 12/15/15

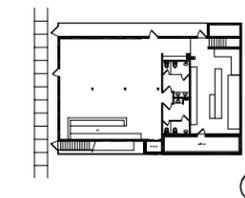


1 Proposed Front Elevation (west)
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES -ROLL UP, STOREFRONT REVISED



2 Proposed Back Elevation (east)
1/8" = 1'-0"

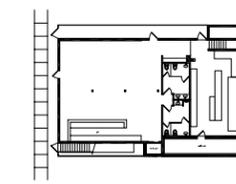


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scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Proposed Elevations
Item #22.1

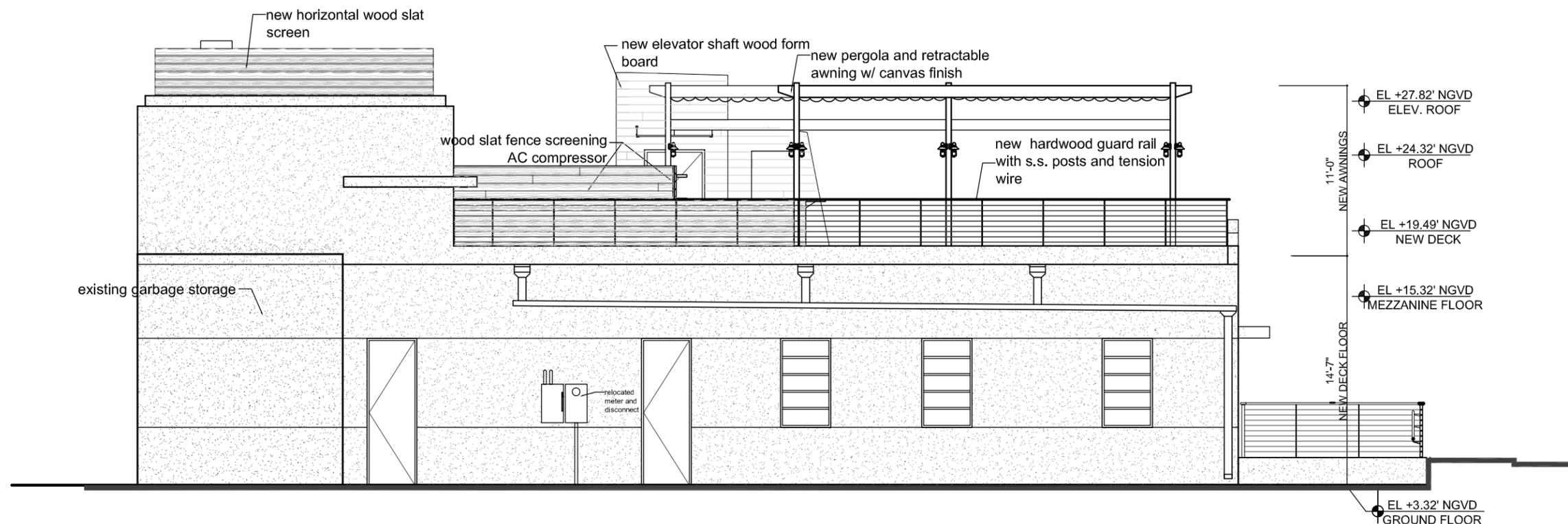


Drawing Issue

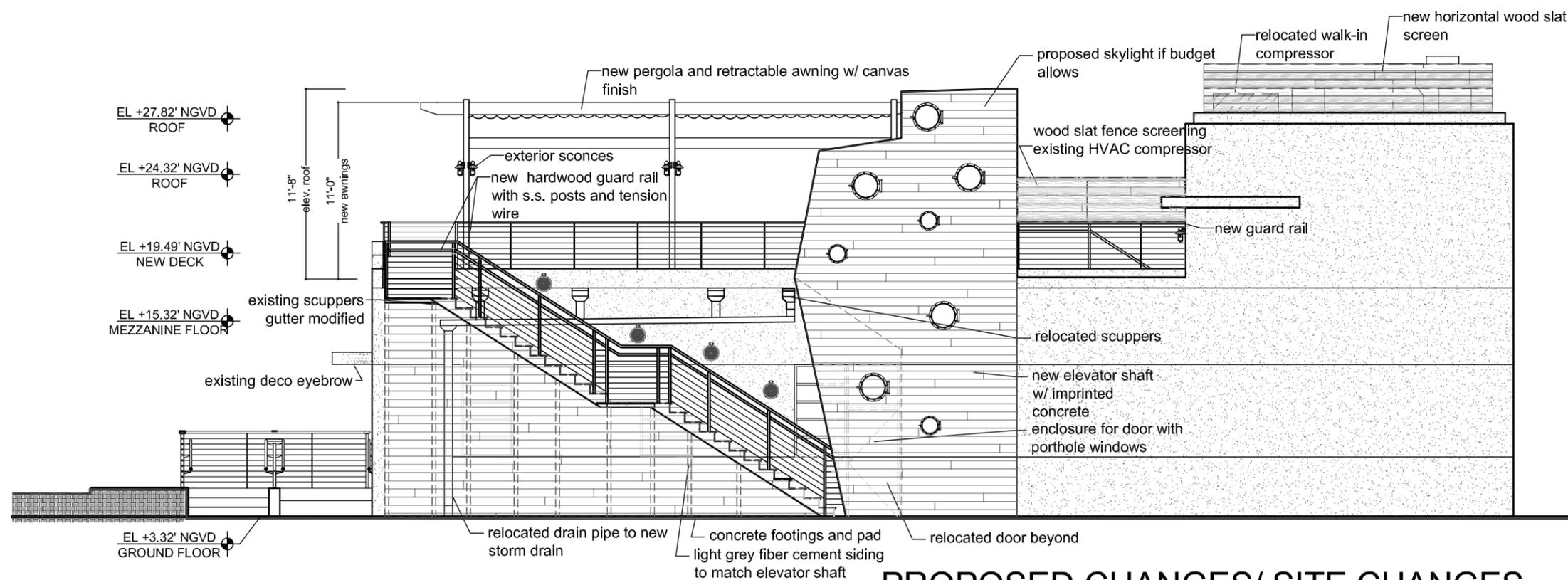
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scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11x17"

Drawing:
Proposed Elevations
Item #22.2

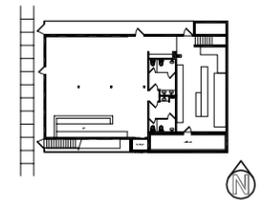


1 Proposed Side Elevation (north)
1/8" = 1'-0"



2 Proposed Front Elevation (south)
1/8" = 1'-0"

PROPOSED CHANGES/ SITE CHANGES
-STAIRCASE RISES EAST TO WEST
-SIDEWALK ELEVATION

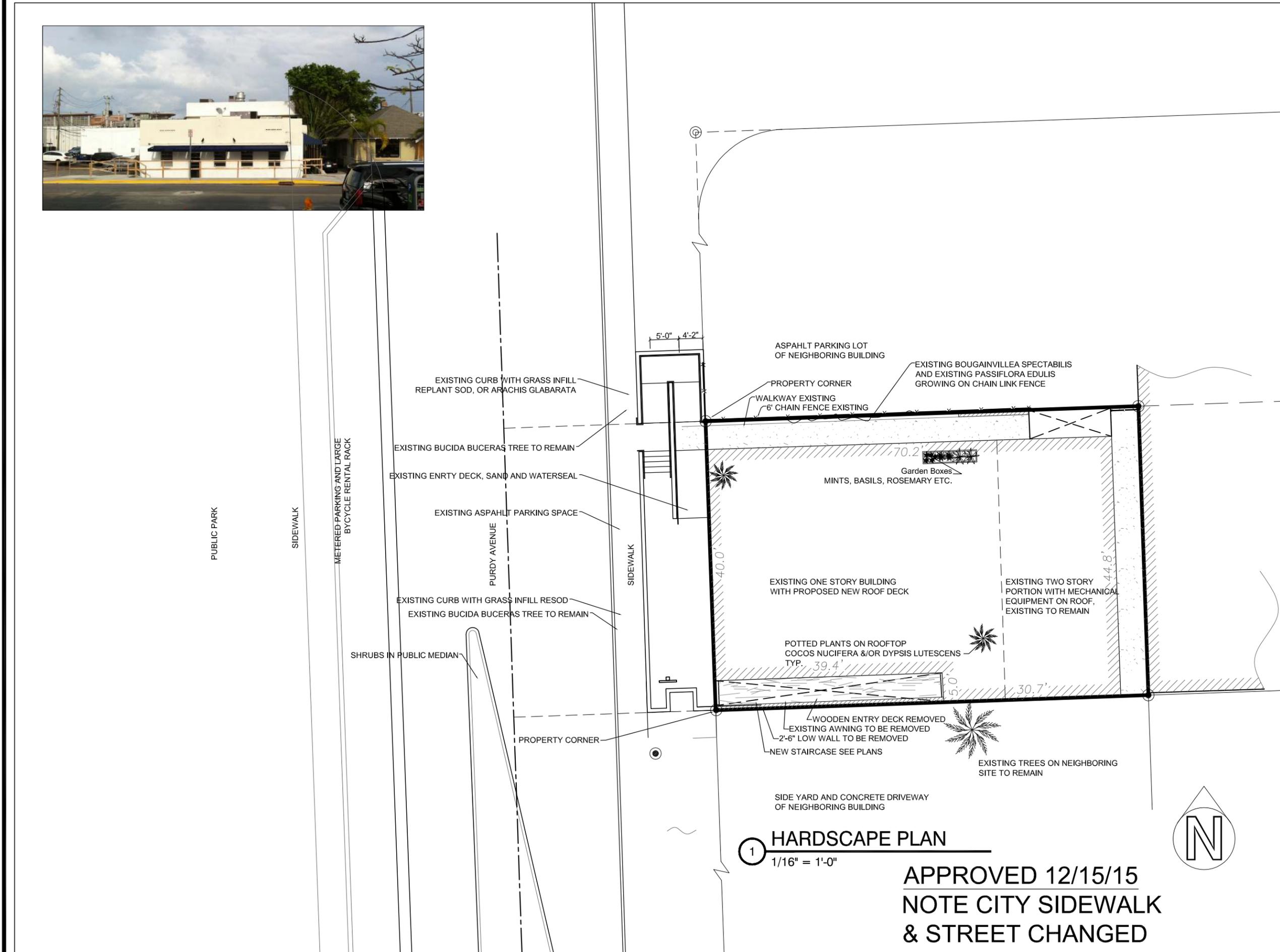


Drawing Issue

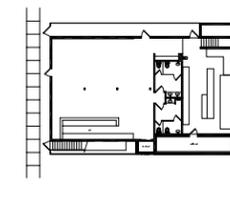
no.	revision/issue	date
1	First Submittal	09/14/15
2	Final Submittal Approved	09/30/15
3	PB Hearing Approved	12/15/15
4	Revision 1st Submittal	03/16/16
5	Revision Final Submittal	04/06/16
6	PB Hearing	TBD

scale: 1/16" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
Landscape Plan
Item #24.1



Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139

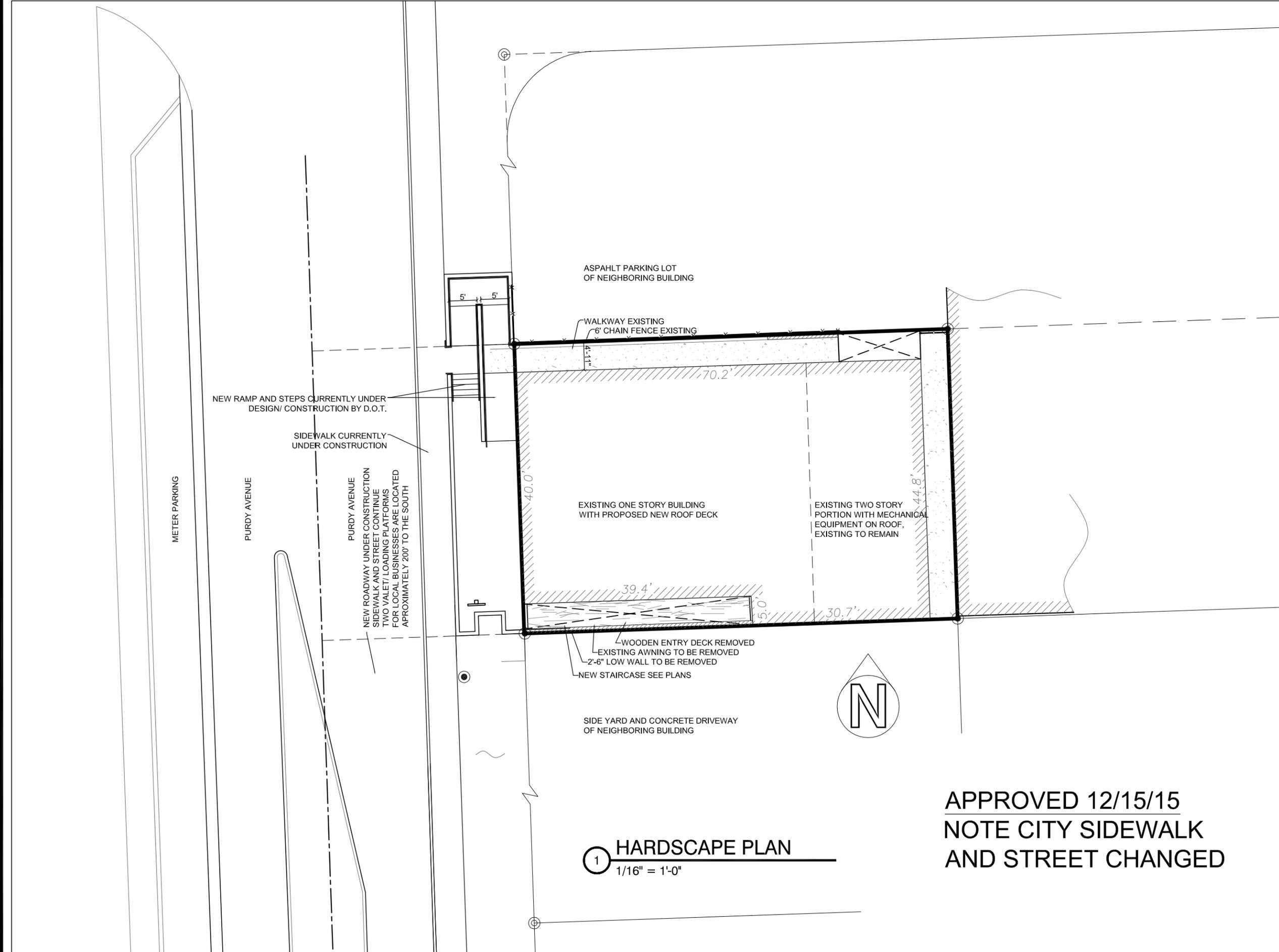


Drawing Issue

no.	revision/issue	date
1	First Submittal	09/14/15
2	Final Submittal Approved	09/30/15
3	PB Hearing Approved	12/15/15
4	Revision 1st Submittal	03/16/16
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6	PB Hearing	TBD

scale: 1/16" = 1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

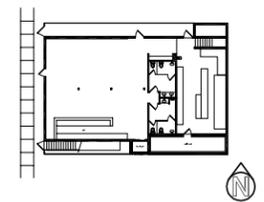
Drawing:
Hardscape Plan
Item #25.1



1 **HARDSCAPE PLAN**
1/16" = 1'-0"

APPROVED 12/15/15
NOTE CITY SIDEWALK
AND STREET CHANGED

Tackle Box
Interior Renovation & Roof Deck Addition
1787 Purdy Avenue
Miami Beach, FL 33139



1 Proposed Front Elevation Rendering (west)
NTS

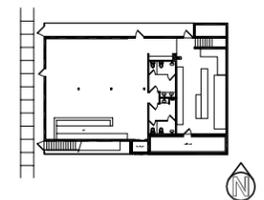
**PROPOSED
NEW ROLL UP STOREFRONT**

Drawing Issue

no.	revision/issue	date
1	First Submittal	09/14/15
2	Final Submittal Approved	09/30/15
3	PB Hearing Approved	12/15/15
4	Revision 1st Submittal	03/16/16
5	Revision Final Submittal	04/06/16
6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Proposed
Rendering
Item #26.1**

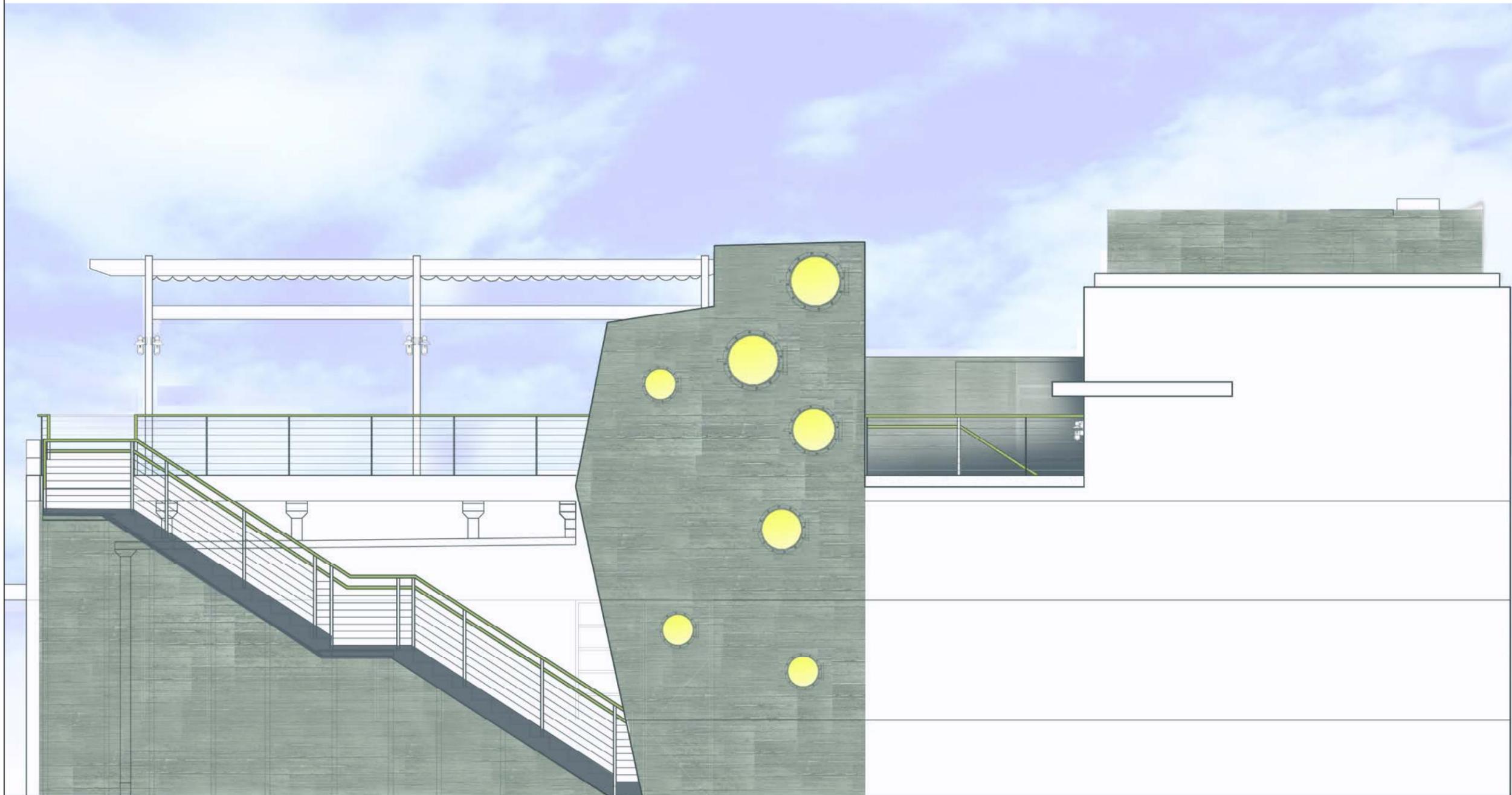


Drawing Issue

no.	revision/issue	date
1	First Submittal	09/14/15
2	Final Submittal Approved	09/30/15
3	PB Hearing Approved	12/15/15
4	Revision 1st Submittal	03/16/16
5	Revision Final Submittal	04/06/16
6	PB Hearing	TBD

scale: 1/8"=1'-0" drawn by: John McInnis
date: 4/6/16
project: 1095.00 page: 11"x17"

Drawing:
**Proposed
Rendering
Item #26.2**



1 Proposed Side Elevation Rendering (south)
NTS

**PROPOSED
NEW STAIR ORIENTATION AND MECHANICAL ROOM ON
ELEVATOR SHAFT**