









PART 1 - GENERAL

### 1.1 REFERENCES:

- ## 1.2 INSPECTION AND TESTING:

- ### 1.3 SITE MAINTENANCE AND PROTECTION:

- ## PART 2 - PRODUCTS

- | SIEVE SIZE           | TOTAL PERCENT PASSING |
|----------------------|-----------------------|
| 1 1/2 INCH (37.5 MM) | 100                   |
| 1 INCH (25.0 MM)     | 75 TO 100             |
| 3/4 INCH (19.00 MM)  | 80 TO 100             |
| 3/8 INCH (9.5 MM)    | 35 TO 75              |
| NO. 4 (4.75 MM)      | 30 TO 60              |
| NO. 30 (0.600 MM)    | 7 TO 30               |
| NO. 200 (0.75 MM)    | 3 TO 15               |

### PART 3 - EXECUTION

- ### 3.1 GENERAL:

- DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNDESIRABLE MATERIALS.

- ### 3.2 BACKFILL:

- ### 3.3 TRENCH EXCAVATION:

- A. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWNGS OR AS DIRECTED BY THE GENERAL CONTRACTOR. PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
- B. EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST CONDUIT.
- C. WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR BEDDING MATERIAL.

- ### 3.4 TRENCH BACKFILL:

- A. PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
- B. NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.
- C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING. BACKFILL AND COMPACT TRENCH BEFORE ACCEPTANCE TESTING.
- D. PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS. SOLIDLY RAM AND TAMP BACKFILL INTO SPACE AROUND CONDUITS.
- E. PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
- F. ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE.
- G. COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.

- ### 3.5 FINISH GRADING:

- ### 3.6 ASPHALT PAVING:

- A. CONTRACTOR RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING PER LOCAL DOT SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED.

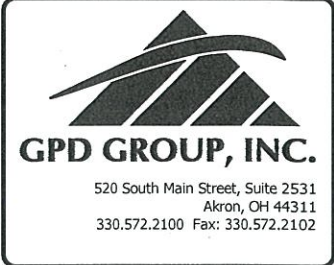
SIGN POST NOTES.

1. ACCEPTABLE COLOR SUBSTITUTIONS:
2. OTHER ACCEPTABLE COLORS CAN BE FOUND ON [ENCYCOLORPEDIA.COM](http://encycolorpedia.com)
3. CONTRACTOR SHALL COORDINATE WITH CITY WHEN SPECIAL JURISDICTIONAL/CITY REQUESTS ARE NECESSARY FOR ANY SIGN POST INSTALLATIONS, I.E. POST MATERIAL, PAINT COLORS, HARDWARE, ETC. CONTRACTOR IS RESPONSIBLE FOR ENSURING CITY APPROVES ALL MATERIALS PRIOR TO INSTALLATION.

PAINT COLOR SUBSTITUTIONS	
<u>BRAND</u>	<u>COLOR</u>
PANTONE	COOL GRAY #7 #a6a19e
BENJAMIN MOORE	FUSION / Af-675 #a6a3a1
BEHR	EQUINOX FF31-1 #9fa29d
SHERWIN - WILLIAMS	STAMPED CONCRETE - 7655 #a2a29b
VALSPAR	STONE MASON GRAY #a19c99

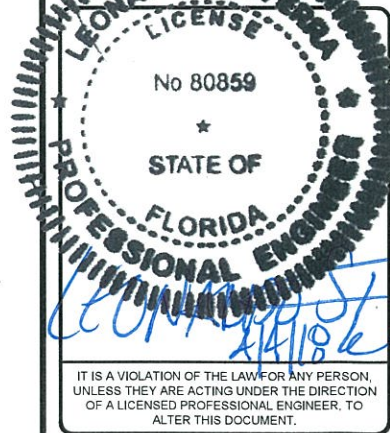
**TESLA**

3500 DEER CREEK RD  
PALO ALTO, CA 94304  
(650) 681-5000



GPD PROJECT NUMBER:	2018241.04
DRAWN BY:	DTP
CHECKED BY:	RP/EPM
INSTALLATION MANAGER:	SHAWN GLEASON

B	04.06.18	FINAL SUBMITTAL
A	06.07.18	FIRST SUBMITTAL
REVISION DATE DESCRIPTION		



959 WEST AVENUE  
(TESLA STATION)  
MIAMI BEACH, FL 33139

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

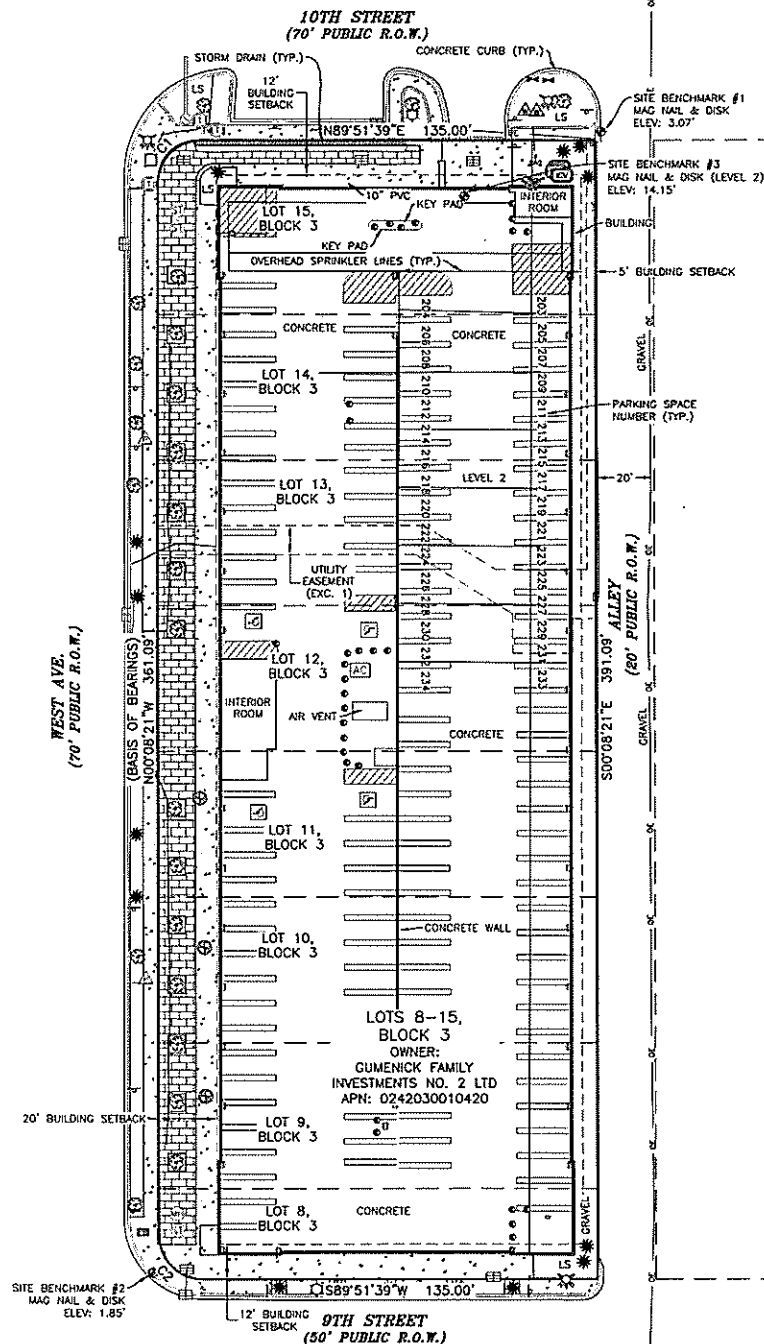
GN-2





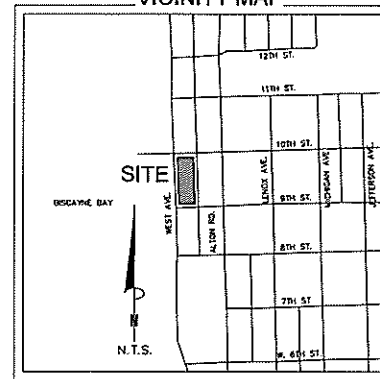


- FOR REFERENCE ONLY  
NOT TO SCALE



CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	15.00'	23.56'	90°00'00"	21.21'	N44°51'39"E
C2	15.00'	23.56'	90°00'00"	21.21'	N45°08'21"W

\_VICINITY MAP.



Lots 8, 9, 10, 11, 12, 13, 14 & 15, Block 3, Fleetwood Subdivision Amended, according to the Plat thereof, recorded in Plat Book 28, Page 34 of the Public Records of Dade County, Florida.

## Item No.

1. EASEMENT, November 27, 2002, BOOK 20B34 PAGE 2135.  
- AFFECTS SURVEY AREA AND IS SHOWN HEREON.
2. MATTERS AS SHOWN ON FILED MAP, November 27, 1927, BOOK 28 OF PLATS, PAGE 34.  
- NO EASEMENTS SHOWN ON PLAT.

Items not listed above are determined non-survey related items and are not plotted hereon.


1. This is a topographic map. This is not a boundary survey and is only intended to depict these topographic features or improvements shown. The property lines shown are record lines only and are shown for graphical reference only.
2. Any underground utilities shown have been located from field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available.
3. FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map, Map Number 12056C0319L effective date September 11, 2009, indicates this parcel of land is located in Zone AE (special flood hazard areas subject to inundation by the 1% annual chance flood).
4. This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Search Report, prepared by Pacific Corporate & Title Services with an order number of RC1949116-400601, dated January 29, 2018.
5. Elevations are based on NAVD 88 datum.
6. SITE BENCHMARKS:
  - Site Benchmark #1: Mog Nail & Disk in Concrete, as shown. Elevation: 3.07' (NAVD 88).
  - Site Benchmark #2: Mog Nail & Disk in Concrete, as shown. Elevation: 1.85' (NAVD 88).
  - Site Benchmark #3: Mog Nail & Disk in Concrete (Level 2), as shown. Elevation: 14.15' (NAVD 88).
7. BASIS OF BEARINGS: Bearings are relative to east right-of-way line of West Ave., as shown upon the plat of Amended Plat of Fittwood Subdivision, assumed to bear N00°08'21"W, recorded in Book 28, Page 34 of the Official Public Records of Dade County, Florida.
8. Field work for this survey was completed on January 16, 2018.
9. This site is zoned "RM-2" (Residential multifamily, medium intensity) per City of Miami Beach Planning Department. Building Setbacks:
  - Front: 20'
  - Side: 5'
  - Rear: 5'
10. Building setbacks may be subject to requirements that are unknown at the time of survey.

On the basis of my knowledge, information and belief, I hereby state and declare that this drawing was prepared under my direct supervision to the standard of care of surveyors practicing in the State of Florida and that the information shown hereon is true and correct to the best of my knowledge and belief.

This statement is neither a warranty nor a guarantee, either expressed or implied.



Alan J. Naumowicz  
Florida Professional Land Surveyor and Mapper No. LS6689  
For and on behalf of Clark Land Surveying, Inc.

**Clark**  **Surveying & ALTA & Mapping**  
177 S. Tiffany Dr., Unit 1 • Pueblo West, CO 81007 • 719.582.1270  
[www.clarkids.com](http://www.clarkids.com)

Revisions			
No.	Description	By	Date
1	Added Building Setbacks.	CME	3/28/2018

SITE NAME:  
Miami Beach, FL

## TOPOGRAPHIC SURVEY

A PORTION OF THE WEST HALF OF SECTION 3,  
TOWNSHIP 54 SOUTH, RANGE 42 EAST OF THE TALLAHASSEE MERIDIAN  
CITY OF MIAMI BEACH, DADE COUNTY, FLORIDA

Project 180018	Drawn By: ZAR	Date: 2/1/2018
lo.	Checked By: AJN	Sheet 1 of 1

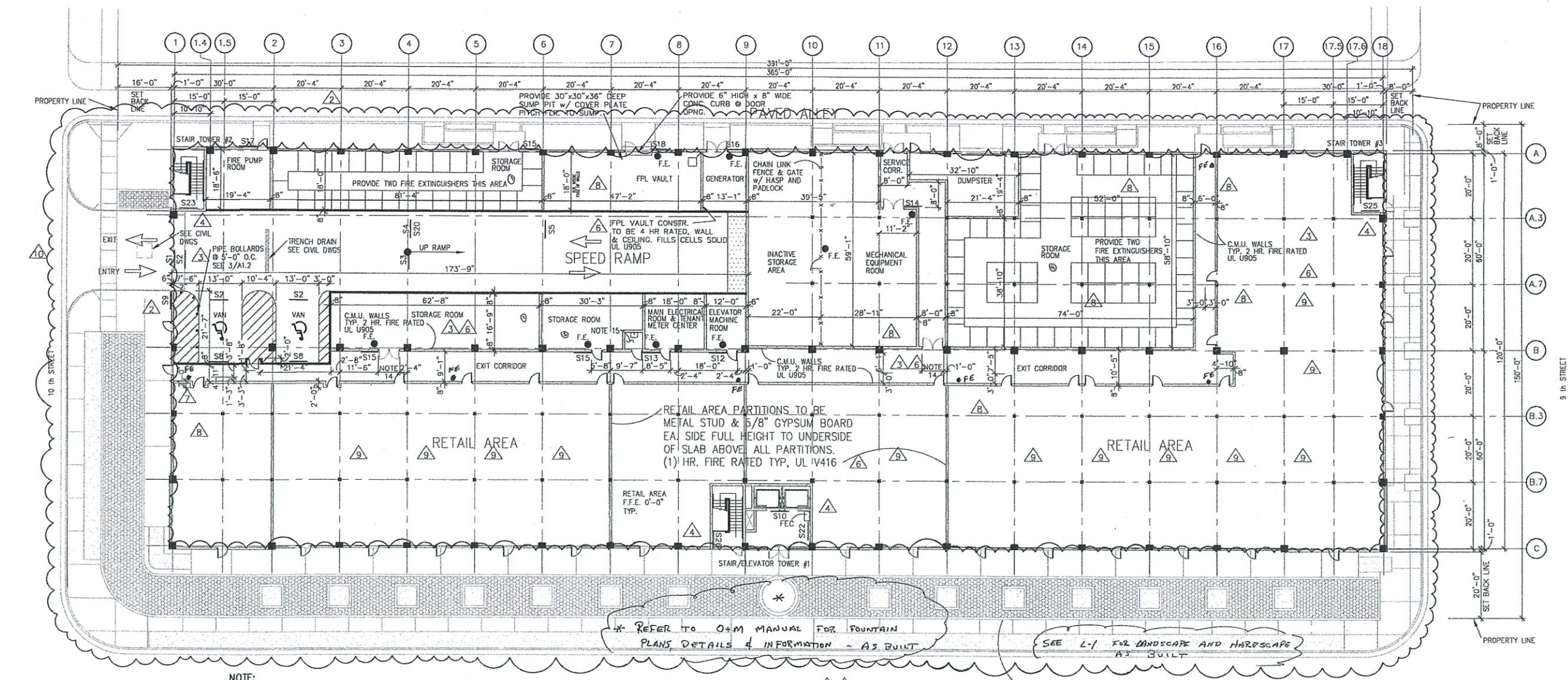


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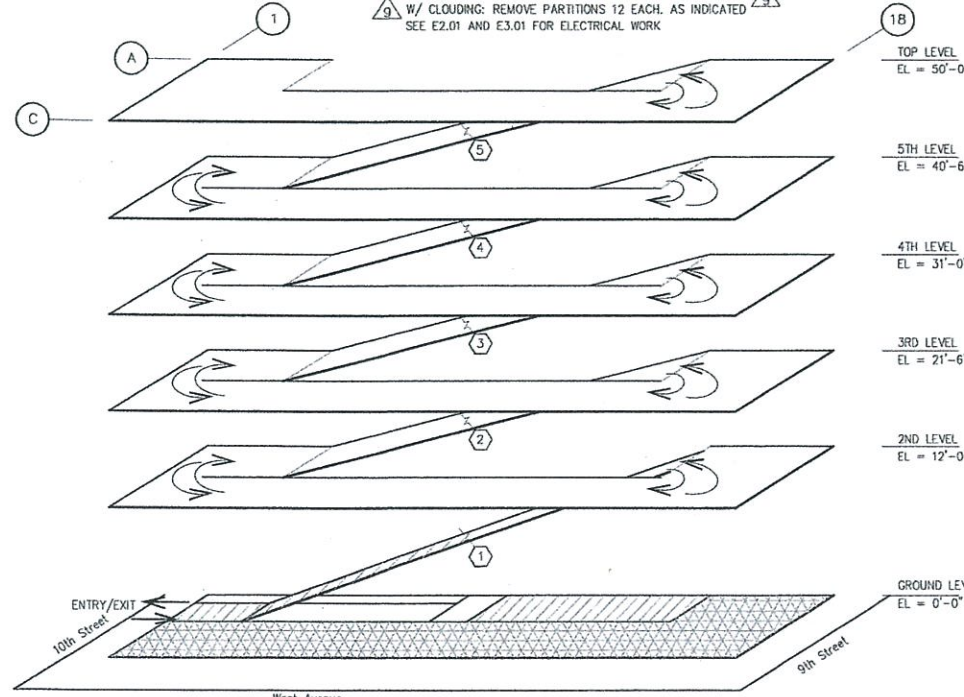
ISSUED:	NO.	DESCRIPTION	DATE	DRAWN	CHECKED
	1	REVISIONS AS-1	12.17.01	MLS	FRS
	2	REVISIONS AS-2	01.17.02	MLS	FRS
	3	REVISIONS AS-3	02.05.02	MLS	FRS
	4	REVISIONS AS-4	02.13.02	MLS	FRS
	5	REVISIONS AS-5	02.21.02	MLS	FRS
	6	PERMIT REVIEW COMMENTS AS-7	05.28.02	MLS	FRS
	7	REVISIONS AS-10	08.29.02	MLS	FRS
	8	REVISIONS AS-16	12.30.02	MLS	FRS
	9	DRAWING CORRELATION AS-26			

**WEST AVENUE  
PARKING STRUCTURE**  
FLORIDA  
MIAMI BEACH

SEAL
SHEET TITLE: <b>GROUND LEVEL PLAN</b>
Scale: AS NOTED Project No: 15-1420.00 Sheet No:
<b>A1.1</b>



**NOTE:**  
W/ CLOUDING: REMOVE PARTITIONS 12 EACH, AS INDICATED  
SEE E2.01 AND E3.01 FOR ELECTRICAL WORK



**GROUND LEVEL PLAN**

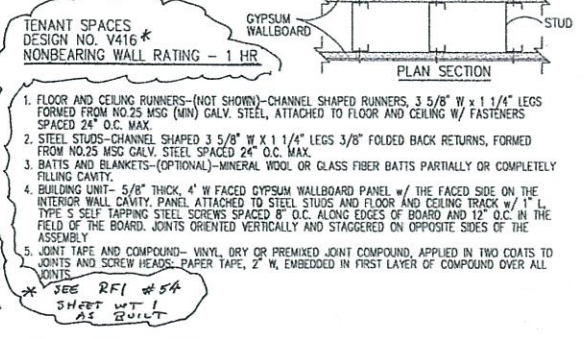
**SIGN KEY**  
(TYPICAL ALL TIERS)  
MARK (SEE SIGN SCHEDULE)  
FACE OF SIGN

**NOTE:** SEE SHEETS G1.1 & G1.2 FOR SIGN SCHEDULE & GRAPHICS DETAILS.



**FLOOD PROOFING PLAN - LEGEND**  
NO SCALE

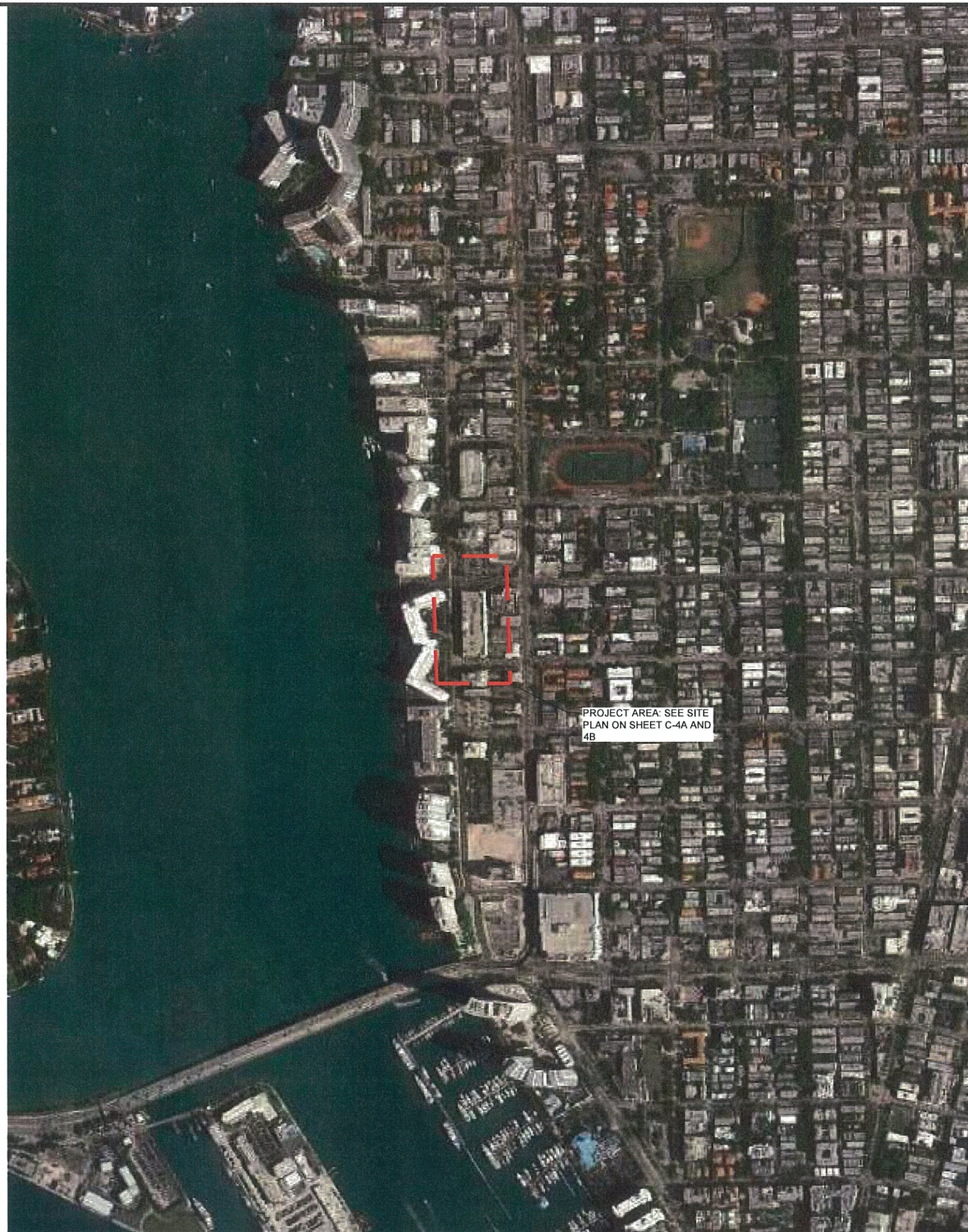
**FIRE RATED WALL ASSEMBLIES**



- SHEET NOTES**
1. FOR SYMBOLS AND ABBREVIATIONS, SEE SHEET A0.1
  2. FOR STRIPING DETAILS, SEE SHEET A0.2
  3. FOR WALL SECTIONS, SEE SHEET A4.1
  4. FOR STAIR/ELEVATOR TOWER SECTIONS ELEVATIONS AND DETAILS, SEE SHEETS AS1.1 THRU AS2.1
  5. FOR BUILDING SECTIONS SEE SHEET A3.1
  6. FOR SPOT ELEVATIONS SEE SHEETS S2.1 THRU S2.4
  7. FOR GRAPHIC SIGNAGE SCHEDULE SEE G1.1
  8. THE TERM G.C. THROUGHOUT THESE DOCUMENTS SHALL MEAN THE GENERAL CONTRACTOR OR HIS DESIGNATED SUB-CONTRACTOR.
  9. FOR GENERAL CODE REQUIREMENTS, SQUARE FOOTAGES, CAR COUNTS, SEE SHEET A0.2
  10. [FE] = FIRE EXTINGUISHER CABINET
  11. [FE] = FIRE EXTINGUISHER
  12. PROVIDE MINIMUM (1) FIRE EXTINGUISHER AND CABINET PER TENANT SPACE
  13. TENANT SPACE PARTITION LOCATION TO BE VERIFIED WITH OWNER
  14. FOR ALL DOOR OPENINGS AND FRAMES SEE SCHEDULE ON A6.1
  15. JANITORS CLOSET 6'-0" x 6'-0" WITH UTILITY SINK
  16. FOR PLUMBING, MECHANICAL, FIRE PROTECTION AND ELECTRICAL INFORMATION REFER TO THOSE DRAWINGS
  17. SEE SHEET L-1 FOR LANDSCAPING AND HARDSCAPING.

FOR REFERENCE ONLY  
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3500 DEER CREEK RD  
PALO ALTO, CA 94304  
(650) 681-5000



520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax: 330.572.2102

GPD PROJECT NUMBER: 2018241.04

DRAWN BY: DTP

CHECKED BY: RP/EPM

INSTALLATION MANAGER: SHAWN GLEASON

B	04.06.18	FINAL SUBMITTAL
A	03.19.18	FIRST SUBMITTAL
REV	DATE	



IT IS A VIOLATION OF THE LAW FOR ANY PERSON,  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ENGINEER, TO  
ALTER THIS DOCUMENT.

959 WEST AVENUE  
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SHEET TITLE  
CONTEXT LOCATION  
PLAN

SHEET NUMBER

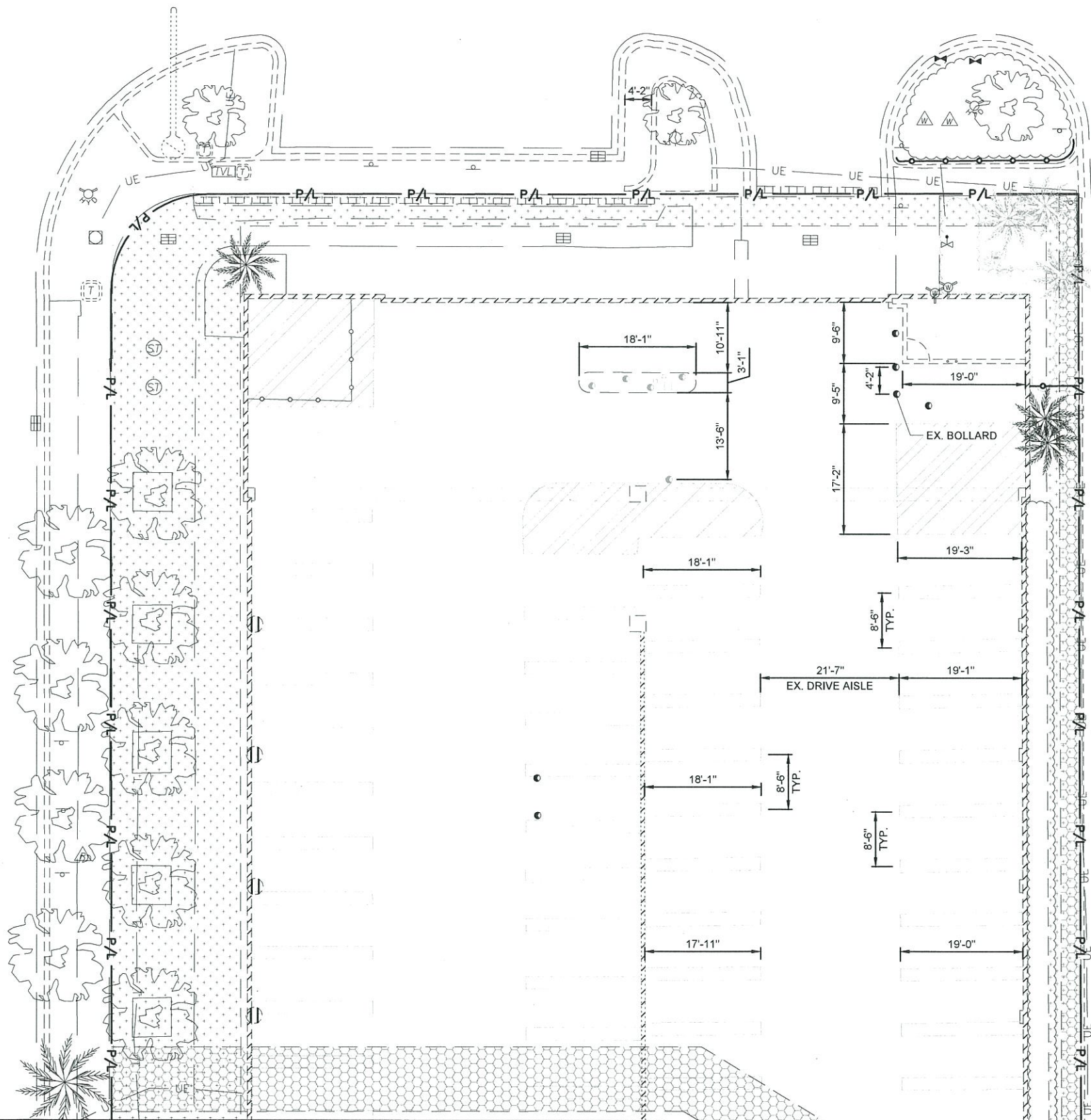
C-1









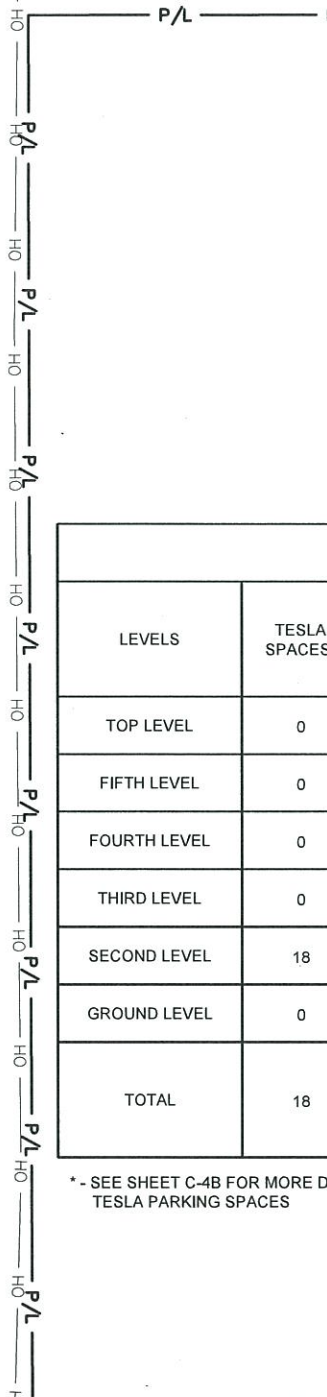


EXISTING SITE PLAN - LEVEL 2

EASEMENT LEGEND

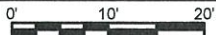
EXISTING UTILITY EASEMENT

5' BUILDING SETBACK



GARAGE PARKING SCHEDULE						
LEVELS	TESLA SPACES*	STANDARD CAR	ACCESSIBLE PARKING	SCOOTER PARKING	MOTORCYCLE PARKING	TOTAL
TOP LEVEL	0	115	0	12	0	127
FIFTH LEVEL	0	136	0	3	10	149
FOURTH LEVEL	0	131	4	3	12	150
THIRD LEVEL	0	131	4	3	12	150
SECOND LEVEL	18	108	4	0	0	130
GROUND LEVEL	0	0	2 VAN	0	0	2 VAN
TOTAL	18	621	14	21	34	708

\* - SEE SHEET C-4B FOR MORE DETAILED INFORMATION ON THE PROPOSED TESLA PARKING SPACES



SCALE: 1"=20'



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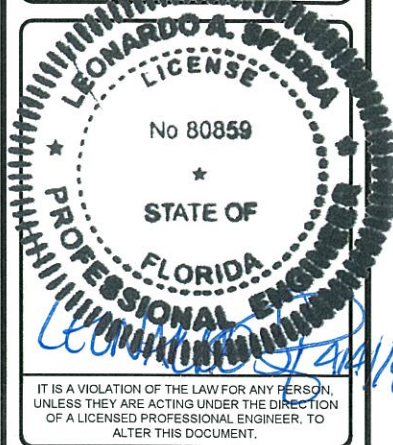


GPD GROUP, INC.

520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax: 330.572.2102

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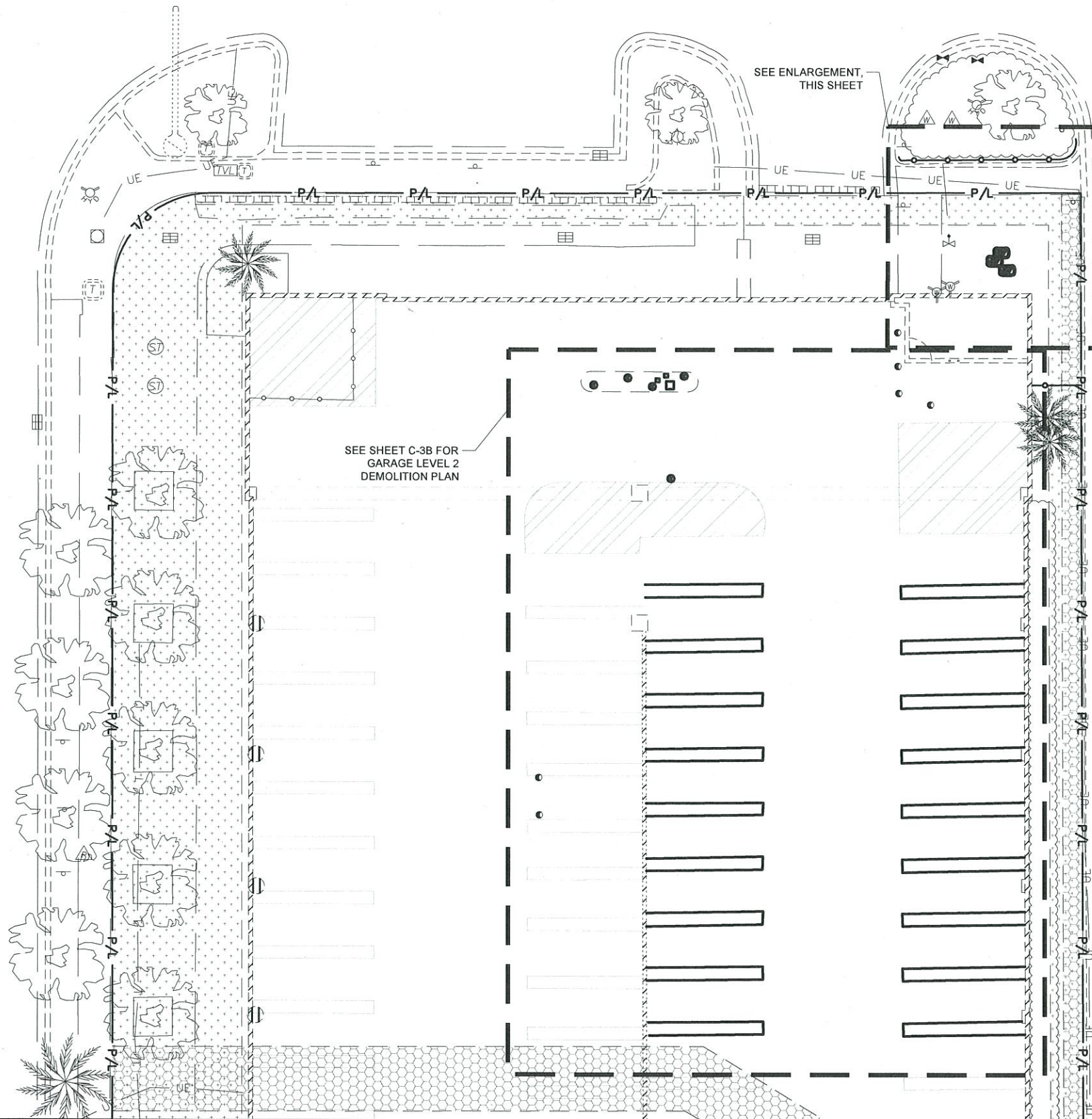


959 WEST AVENUE  
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MIAMI BEACH, FL 33139

SHEET TITLE  
EXISTING SITE PLAN -  
LEVEL 2

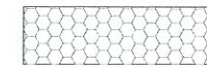
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C-2B



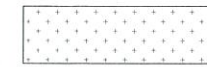


# DEMOLITION KEYNOTES AND LEGEND #

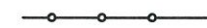
1. EXISTING LANDSCAPING TO BE REMOVED, SEE SHEET L-1
2. EXISTING IRRIGATION CONTROL VALVE TO BE REMOVED AND RELOCATED AS NECESSARY.



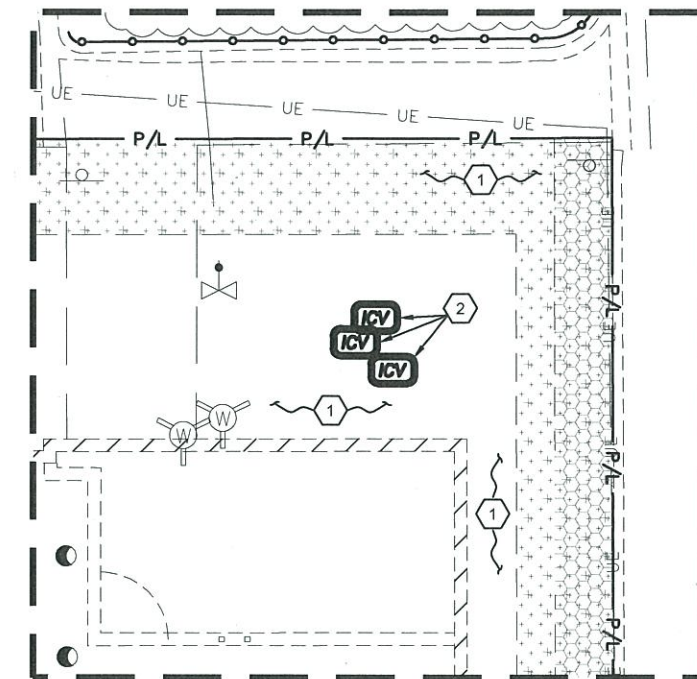
EXISTING UTILITY EASEMENT



5' BUILDING SETBACK



PROPOSED TREE PROTECTION FENCE, SEE DETAIL 1, SHEET L-3



3600 DEER CREEK RD  
PALO ALTO, CA 94304  
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520 South Main Street, Suite 2531  
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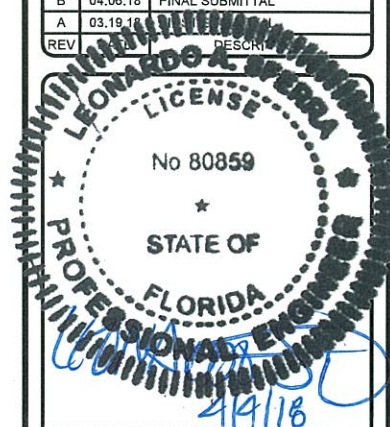
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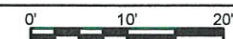
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

959 WEST AVENUE  
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SHEET TITLE  
DEMOLITION PLAN  
GROUND LEVEL

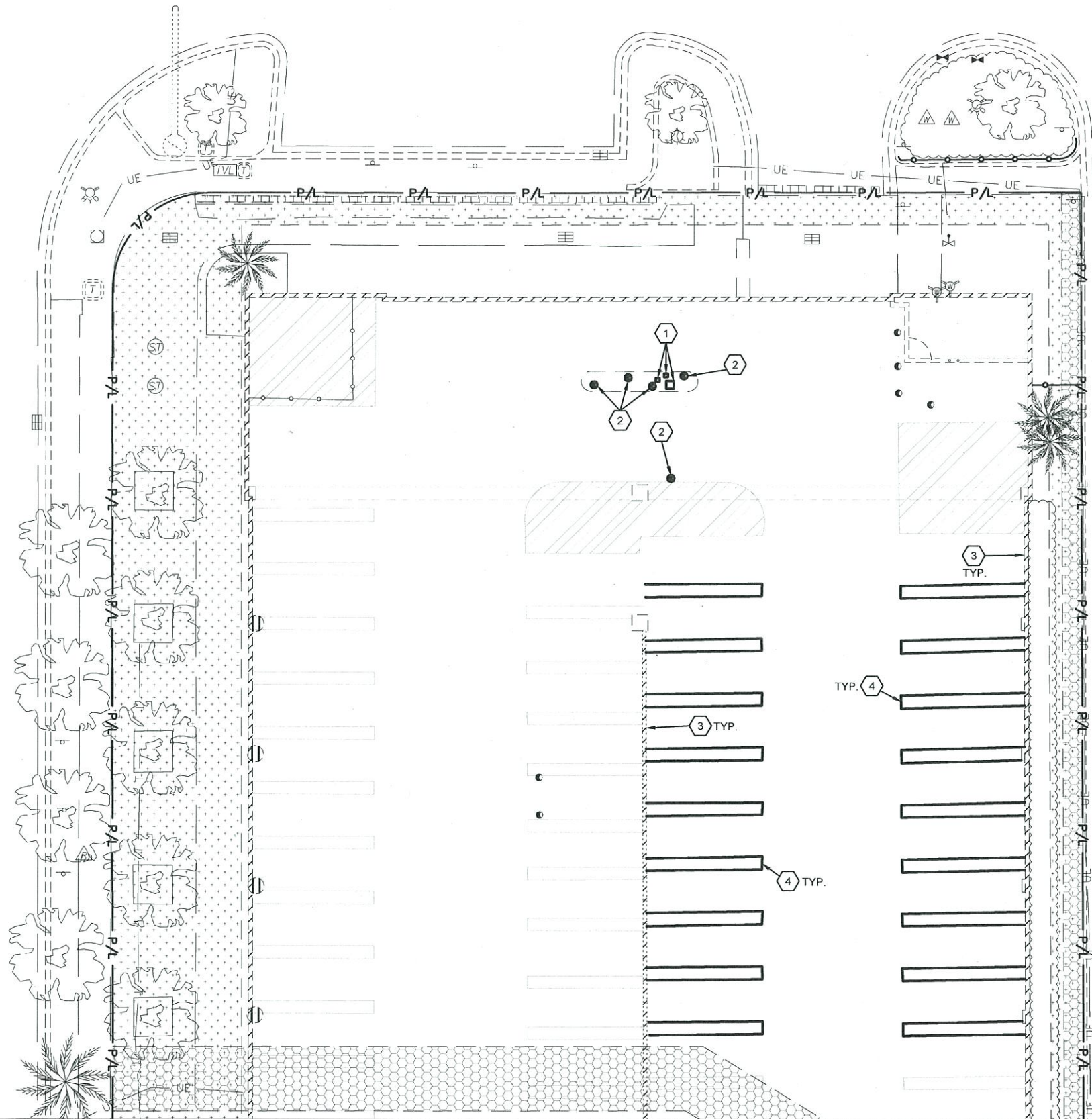
SHEET NUMBER

C-3A



SCALE: 1"=20'

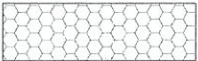




DEMOLITION PLAN - LEVEL 2

DEMOLITION KEYNOTES AND LEGEND #

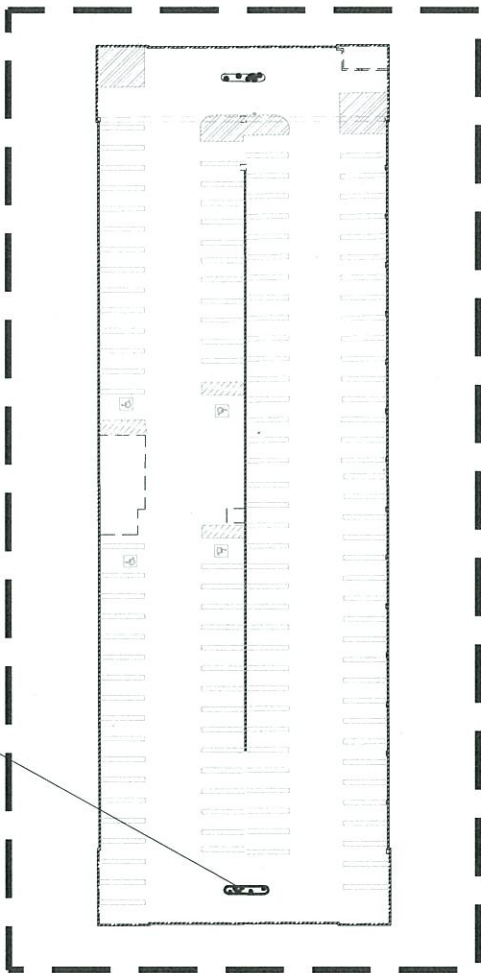
1. EXISTING PARKING KIOSK EQUIPMENT TO BE REMOVED AND RELOCATED BY OTHERS. SEE GARAGE LEVEL 2 SCHEMATIC, ON THIS SHEET FOR APPROXIMATE LOCATION.
2. EXISTING BOLLARD TO BE REMOVED (TYPICAL OF 5).
3. EXISTING 'VALET PARKING ONLY' SIGN TO BE REMOVED (TYPICAL OF 18).
4. CONTRACTOR SHALL REMOVE ALL EXISTING PAVEMENT MARKINGS WITH SMALL HANDHELD GRINDERS OR SCARIFIERS OR OTHER METHODS, WITH THE APPROVAL OF THE ENGINEER. TAKE CARE DURING MARKING REMOVAL NOT TO SCAR, DISCOLOR, OR OTHERWISE DAMAGE THE PAVEMENT SURFACE. DO NOT OVERPAINT OR USE OTHER METHODS OF COVERING MARKINGS INSTEAD OF REMOVAL.



EXISTING UTILITY EASEMENT



5' BUILDING SETBACK



GARAGE LEVEL 2 SCHEMATIC

SCALE: 1"=20'

APPROXIMATE LOCATION OF  
RELOCATED PARKING KIOSK  
EQUIPMENT. RELOCATION  
BY OTHERS.



0' 10' 20'

SCALE: 1"=20'



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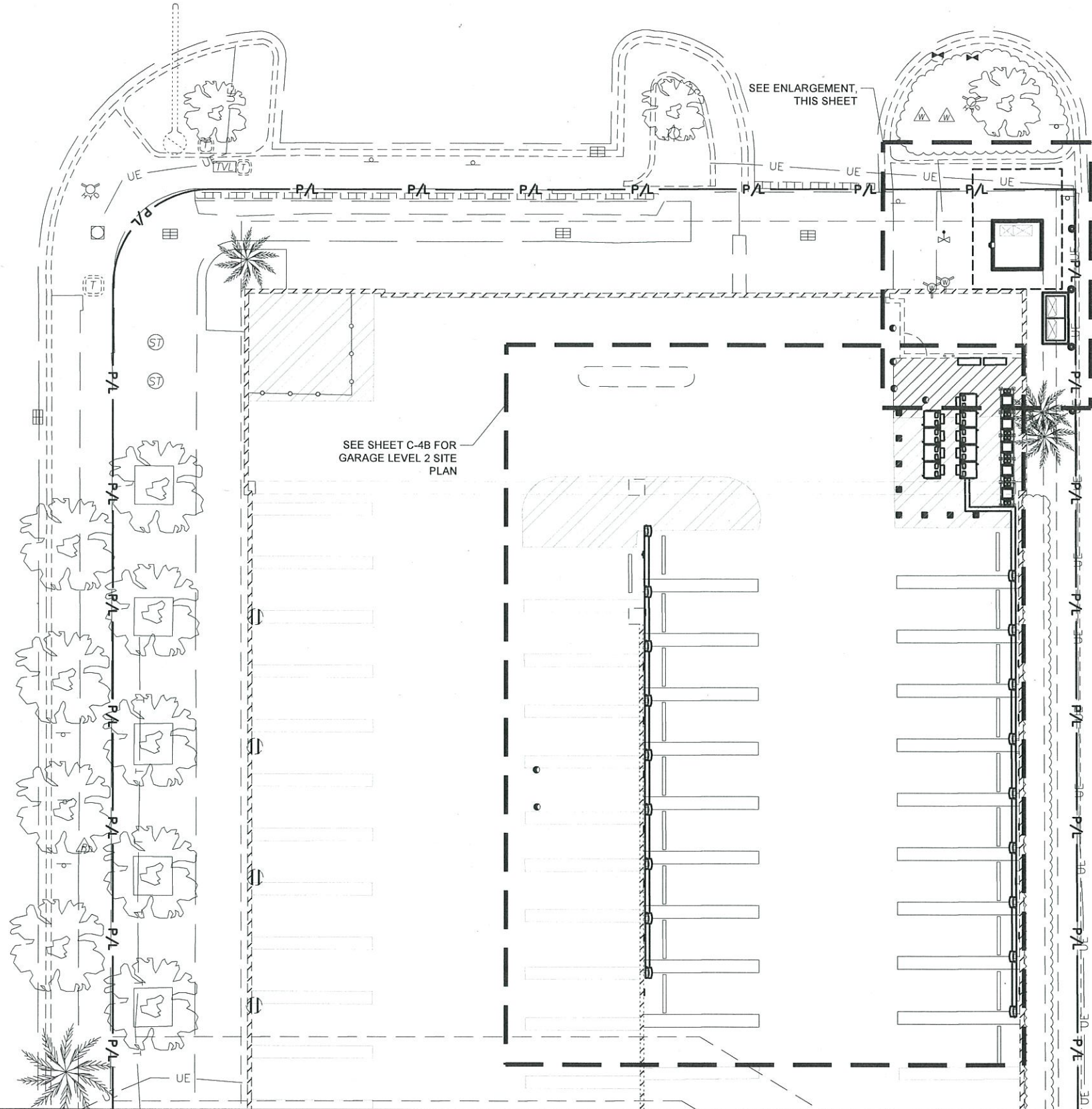
SHEET TITLE  
DEMOLITION PLAN  
LEVEL 2

SHEET NUMBER  
C-3B



72KW TESLA INDOOR EQUIPMENT SCHEDULE			
TESLA EQUIPMENT	DESCRIPTION	PART NUMBER	QUANTITY
CHARGING CABINET	CHARGER CABINET GEN. 1	1133063-00	9
CHARGING POST	CHARGE POST VER. 1	1108926-00	18
CHARGING CABINET MOUNT BASE	DALSIN PREFAB	1145118-00-A	9
CHARGING POST MOUNT BASE	DALSIN PREFAB	1145086-00-A	18
CHARGING POST MOUNT HARDWARE	AFC FASTENERS	1145087-00-A	18

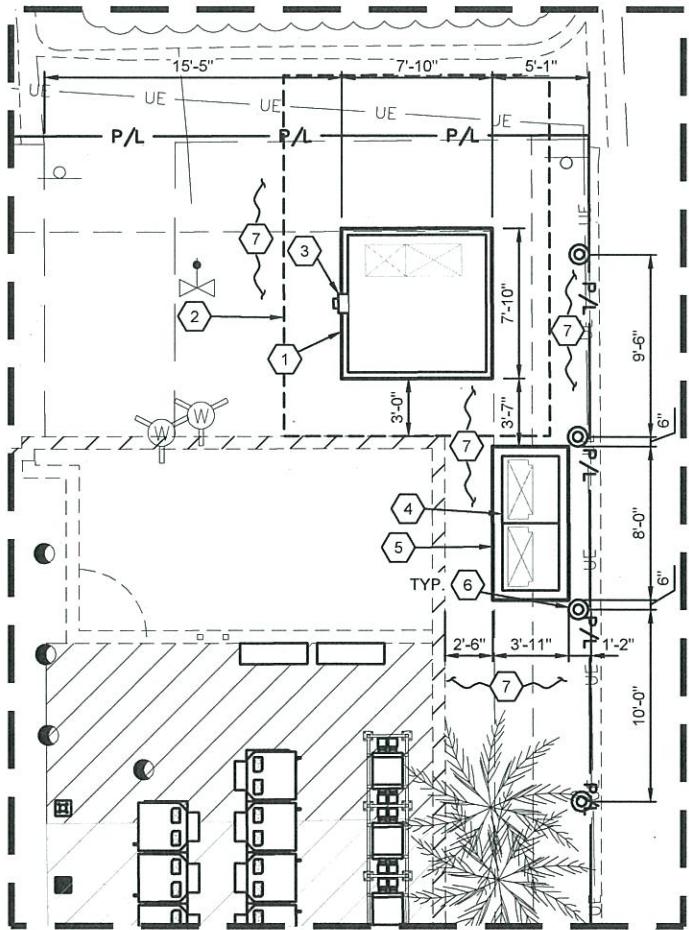
PARKING STALL SCHEDULE	
EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	18
PROPOSED TESLA STALLS	18
PROPOSED STANDARD STALLS	0
NET STALL COUNT	+0



SITE PLAN - GROUND LEVEL

CONSTRUCTION KEYNOTES AND LEGEND #

1. PROPOSED PAD MOUNTED ELECTRICAL UTILITY TRANSFORMER (BY UTILITY). CONTRACTOR SHALL PROVIDE CONCRETE PAD PER UTILITY SPECIFICATIONS. COORDINATE FINAL LOCATION WITH UTILITY. SEE ELECTRICAL PLANS FOR PROPOSED ROUTING.
2. PROPOSED TRANSFORMER CLEAR SPACE.
3. PROPOSED ELECTRIC METER MOUNTED TO TRANSFORMER PER ELECTRIC COMPANY SPECIFICATIONS AND DETAILS ON ELECTRICAL SHEETS.
4. PROPOSED QED SWITCHGEAR ASSEMBLY PER ELECTRICAL DRAWINGS.
5. PROPOSED CONCRETE PAD. SEE DETAIL ON SHEET C-8.
6. PROPOSED CONCRETE BOLLARD (TYP. OF 4). SEE DETAIL ON SHEET C-7.
7. PROPOSED LANDSCAPE, SEE SHEET L-2.



SITE ENLARGEMENT  
SCALE: 1:10



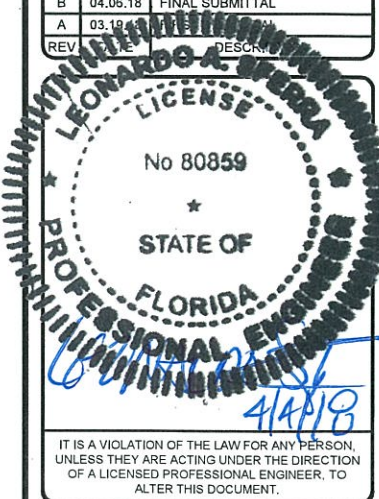
0' 10' 20'

SCALE: 1"=20'



GPD PROJECT NUMBER:	2018241.04
DRAWN BY:	DTP
CHECKED BY:	RP/EPM
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B	04.05.18	FINAL SUBMITTAL
A	03.19.18	
REV		DESCR



959 WEST AVENUE  
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SHEET TITLE  
SITE PLAN  
GROUND LEVEL

SHEET NUMBER  
C-4A



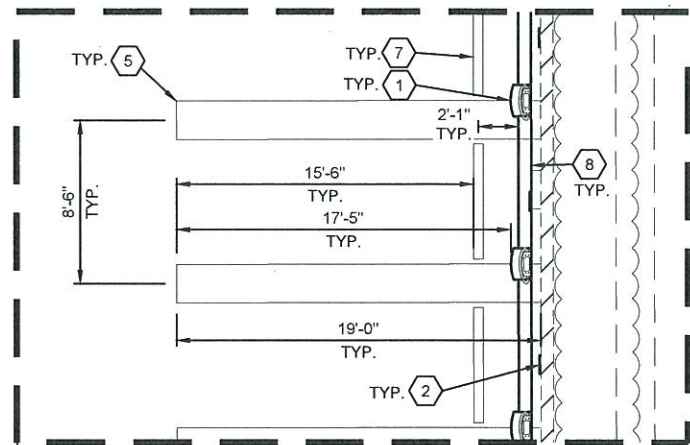
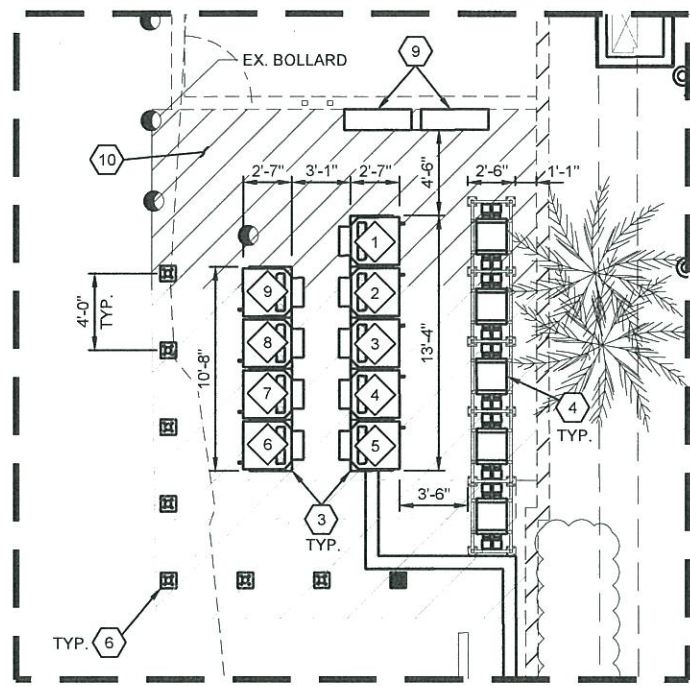
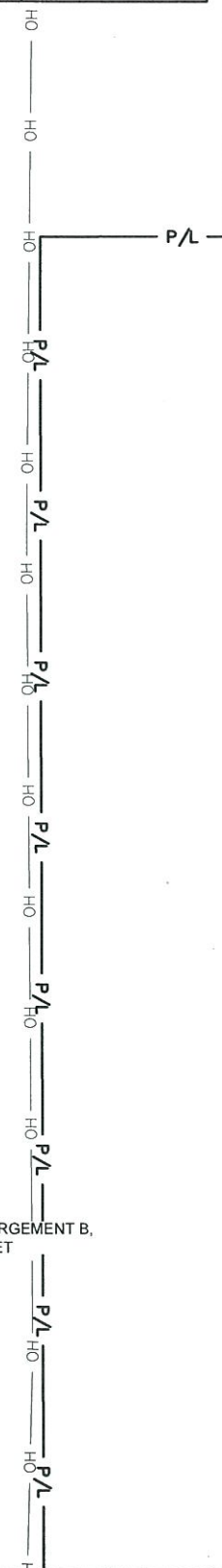
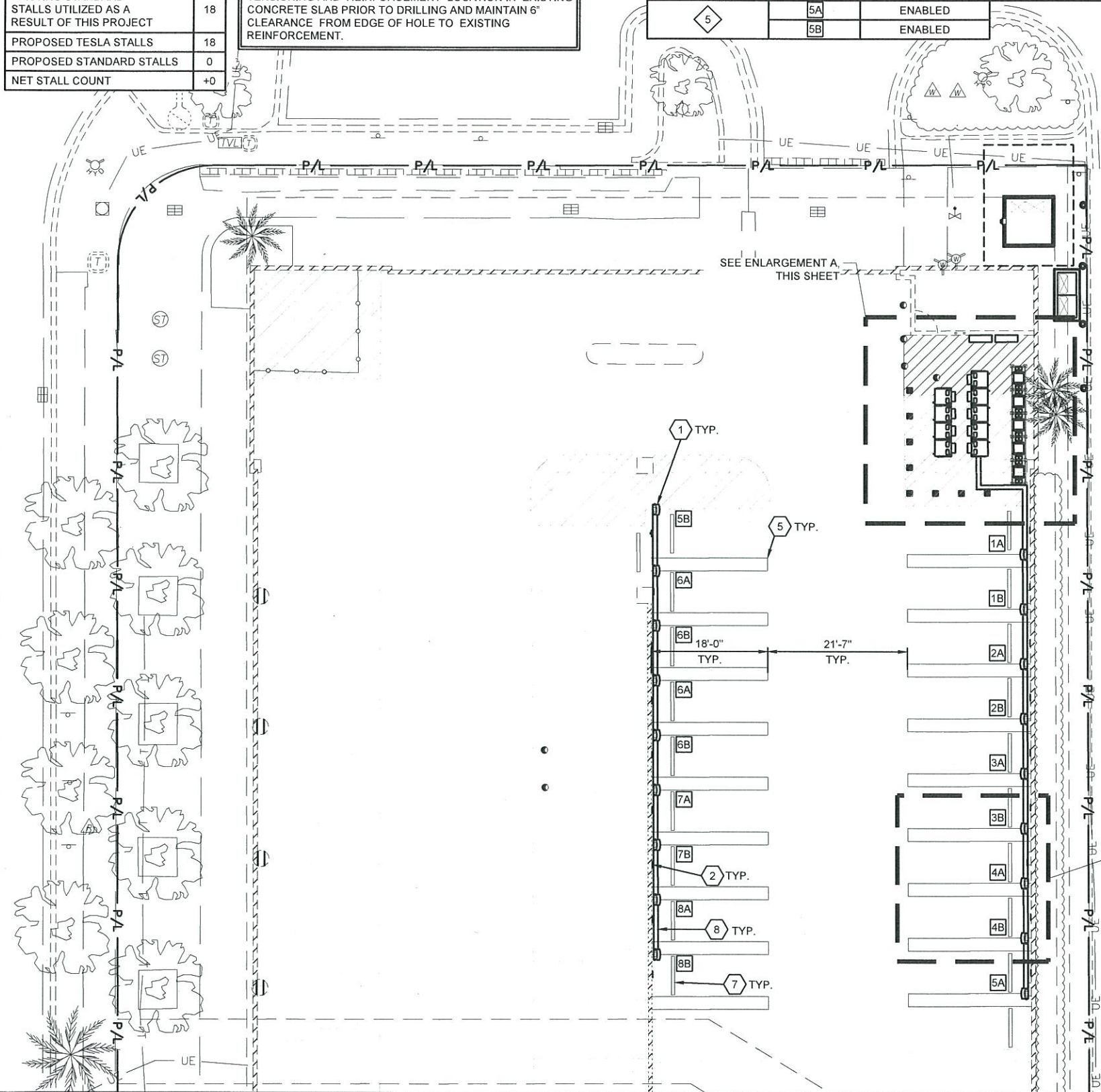
72KW TESLA INDOOR EQUIPMENT SCHEDULE			
TESLA EQUIPMENT	DESCRIPTION	PART NUMBER	QUANTITY
CHARGING CABINET	CHARGER CABINET GEN. 1	1133063-00	9
CHARGING POST	CHARGE POST VER. 1	1108926-00	18
CHARGING CABINET MOUNT BASE	DALSIN PREFAB	1145118-00-A	9
CHARGING POST MOUNT BASE	DALSIN PREFAB	1145086-00-A	18
CHARGING POST MOUNT HARDWARE	AFC FASTENERS	1145087-00-A	18

PARKING STALL SCHEDULE	
EXISTING STANDARD STALLS UTILIZED AS A RESULT OF THIS PROJECT	18
PROPOSED TESLA STALLS	18
PROPOSED STANDARD STALLS	0
NET STALL COUNT	+0

NOTE:  
AS NECESSARY, CONTRACTOR SHALL VERIFY POST TENSIONING AND REINFORCEMENT LOCATION IN EXISTING CONCRETE SLAB PRIOR TO DRILLING AND MAINTAIN 6" CLEARANCE FROM EDGE OF HOLE TO EXISTING REINFORCEMENT.

CHARGING POST CIRCUIT SCHEDULE					
CHARGING CABINET	CHARGE POST	DEDICATED/ENABLED	CHARGING CABINET	CHARGE POST	DEDICATED/ENABLED
1	1A	ENABLED	6	6A	ENABLED
	1B	ENABLED		6B	ENABLED
2	2A	ENABLED	7	7A	ENABLED
	2B	ENABLED		7B	ENABLED
3	3A	ENABLED	8	8A	ENABLED
	3B	ENABLED		8B	ENABLED
4	4A	ENABLED	9	9A	ENABLED
	4B	ENABLED		9B	ENABLED
5	5A	ENABLED			
	5B	ENABLED			

- CONSTRUCTION KEYNOTES AND LEGEND #
- PROPOSED TESLA ILLUMINATED CHARGE POST BASE MOUNTED (TYP. OF 18). SEE DETAILS ON SHEET C-7.
  - PROPOSED TESLA NON-ILLUMINATED PARKING SIGN (TYPICAL OF 18). SEE DETAILS ON SHEET C-7. SEE CHARGING POST SCHEDULE THIS SHEET.
  - PROPOSED TESLA CHARGING CABINET (TYP. OF 9). SEE DETAILS ON SHEET C-7.
  - PROPOSED SPACE FOR NLTC TRANSFORMERS (IF REQUIRED). SEE ELECTRICAL SHEETS.
  - PROPOSED PAINTED 4" WIDE SOLID WHITE STRIPE.
  - PROPOSED PARKING GARAGE BOLLARD (TYP. OF 8). SEE DETAIL ON SHEET C-8.
  - PROPOSED WHEELSTOPS. SEE DETAIL ON SHEET C-7.
  - PROPOSED FLOOR MOUNTED WIREWAY. SEE ELECTRICAL SHEETS FOR DETAILS.
  - PROPOSED SUB PANEL PER ELECTRICAL DRAWINGS. MOUNT TO WALL (TYP. OF 2).
  - PROPOSED PAINTED 4" WIDE WHITE TRANSVERSE STRIPING. STRIPING SHALL BE 3'-0" O.C. SEE DETAIL ON SHEET C-8.



3500 DEER CREEK RD  
PALO ALTO, CA 94304  
(650) 681-5000



520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax: 330.572.2102

GPD PROJECT NUMBER: 2018241.04  
DRAWN BY: DTP  
CHECKED BY: RP/EPM  
INSTALLATION MANAGER: SHAWN GLEASON

B	04.06.18	FINAL SUBMITTAL
A	03.19.18	FIRST SUBMITTAL
REV	DATE	DESCRIPTION



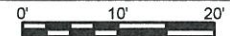
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MIAMI BEACH, FL 33139

SHEET TITLE  
SITE PLAN  
LEVEL 2

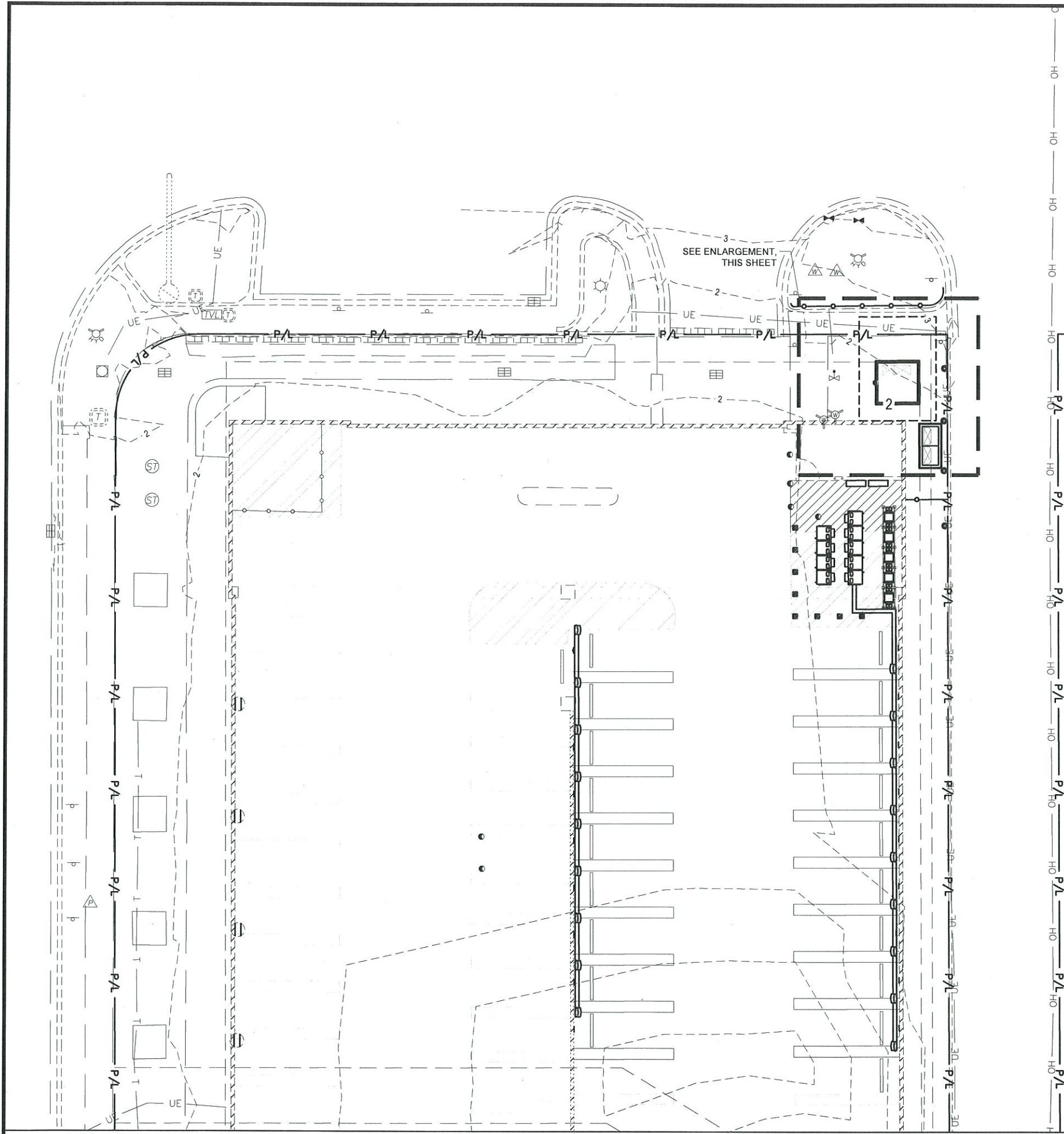
SHEET NUMBER  
C-4B

SITE PLAN - LEVEL 2



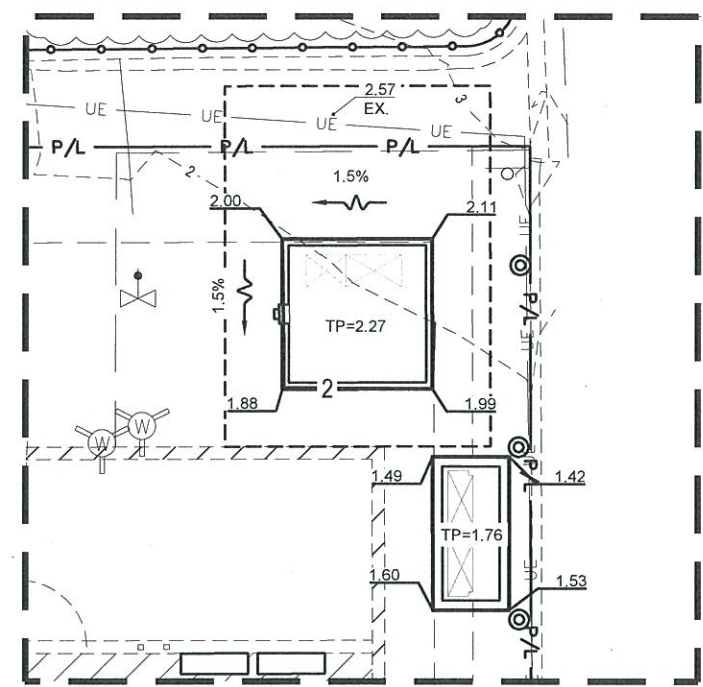
SCALE: 1"=20'





GRADING PLAN

GRADING LEGEND	
	EXISTING ELEVATION
	PROPOSED ELEVATION AT FINISHED GROUND ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB/FINISHED PAVEMENT ELEVATION
	PROPOSED TOP OF PAD ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED DRAINAGE SLOPE AND DIRECTION



SITE ENLARGEMENT  
SCALE: 1:10



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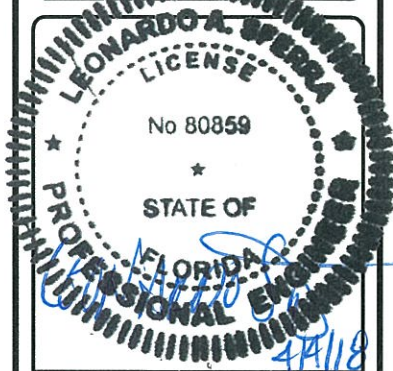


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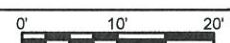


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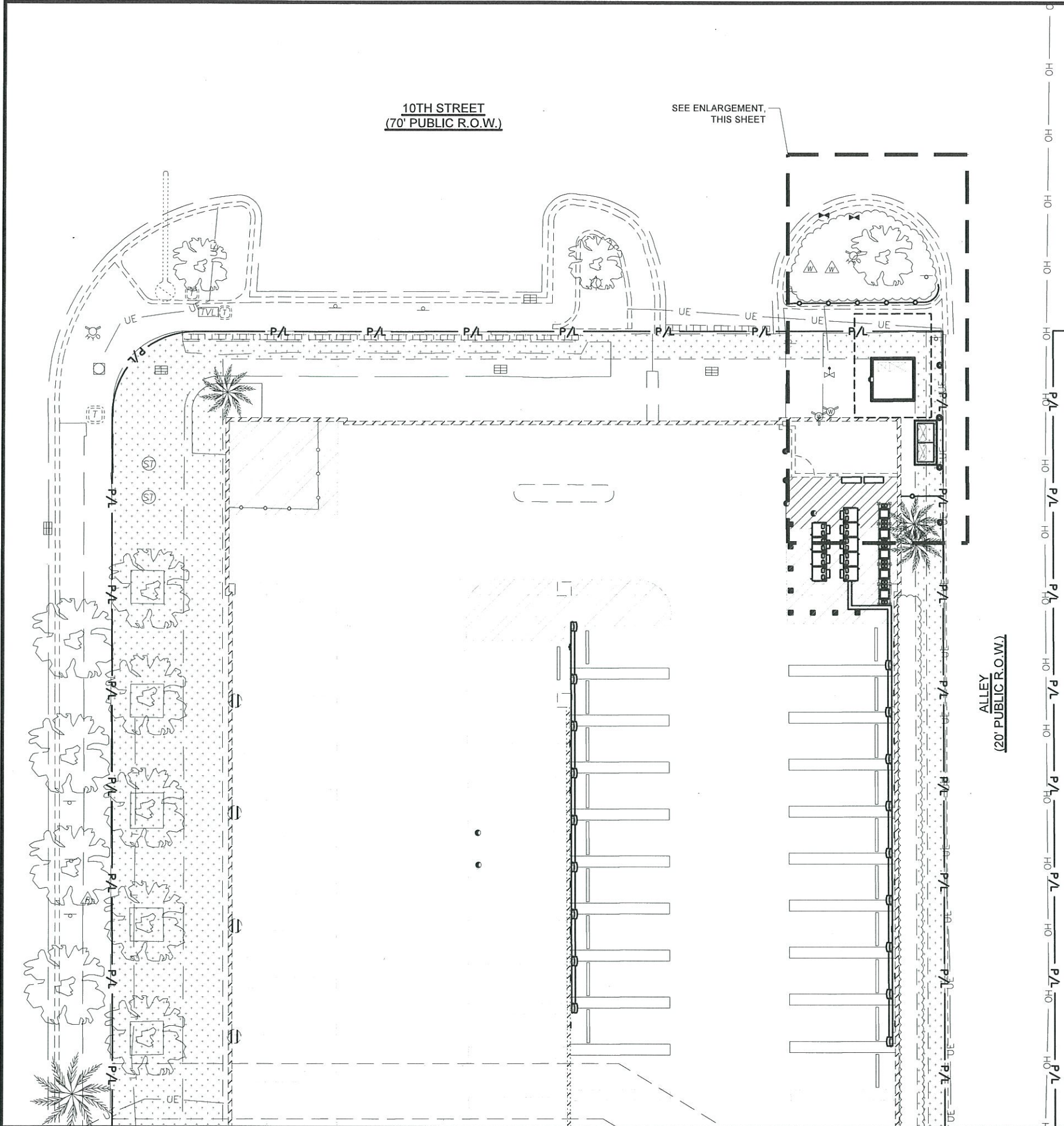
SHEET TITLE  
GRADING PLAN

SHEET NUMBER  
C-5



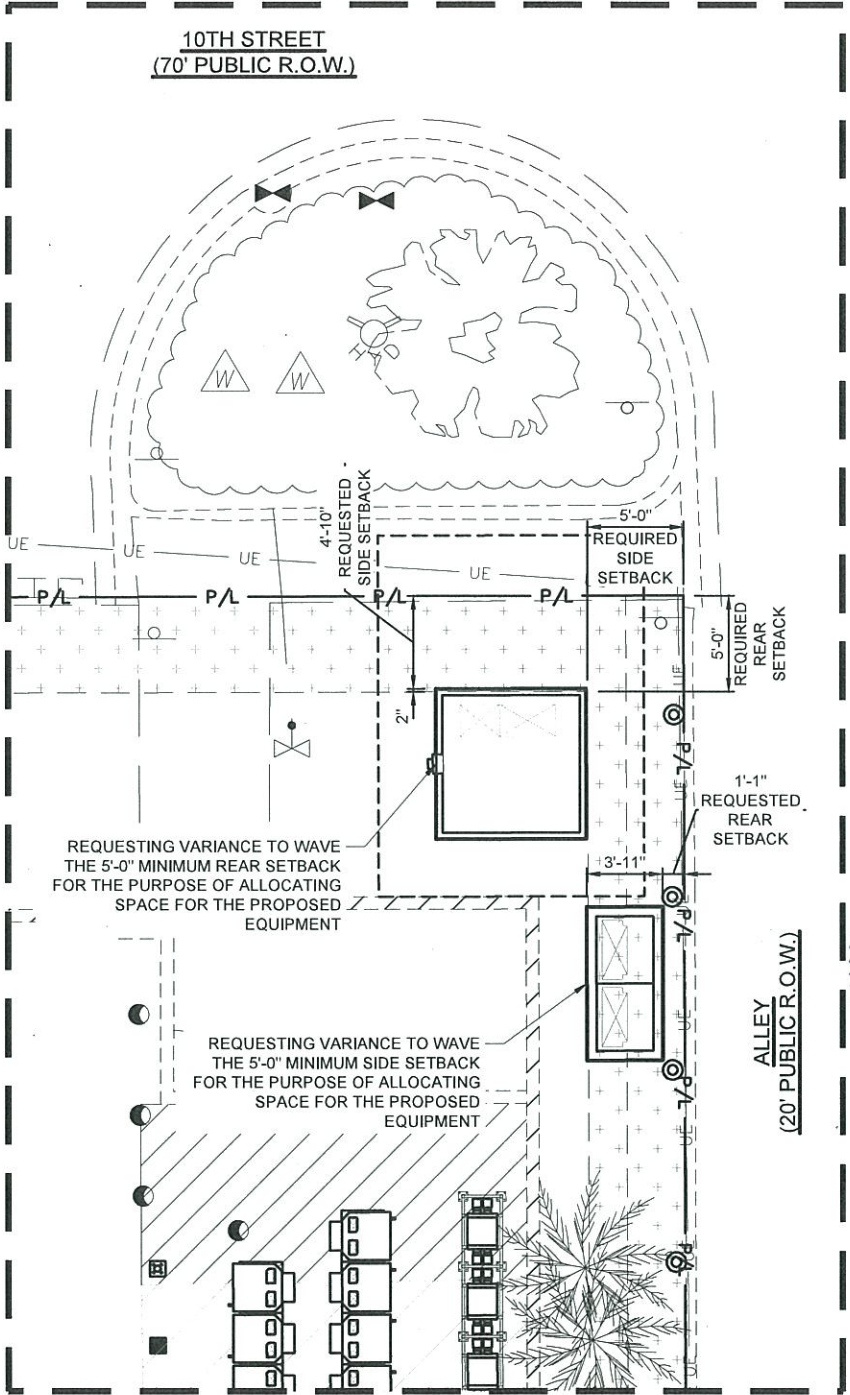
SCALE: 1"=20'





LEGEND

5' BUILDING SETBACK



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**LEONARDO A. SPERRA**  
LICENSE  
No 80859  
STATE OF  
FLORIDA  
PROFESSIONAL ENGINEER

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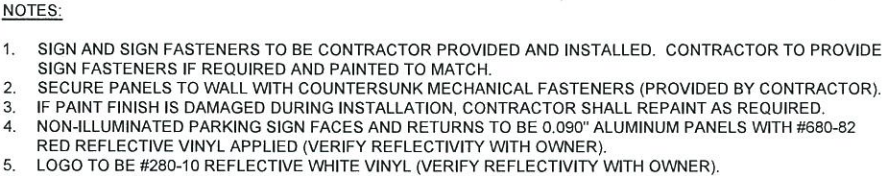
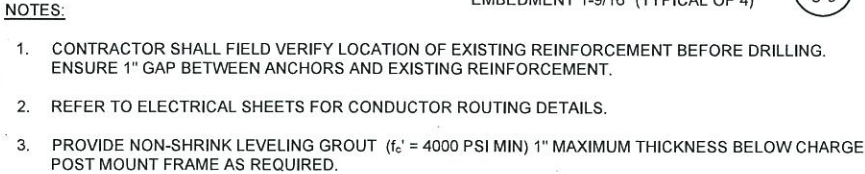
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SHEET TITLE  
VARIANCE  
DIAGRAM

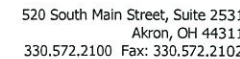
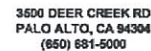
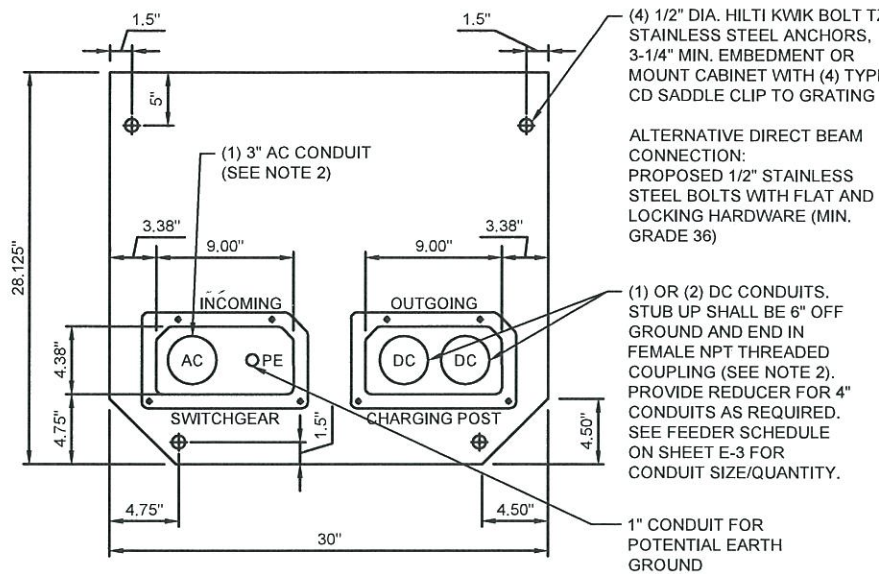
SHEET NUMBER  
C-6

SCALE: 1"=20'



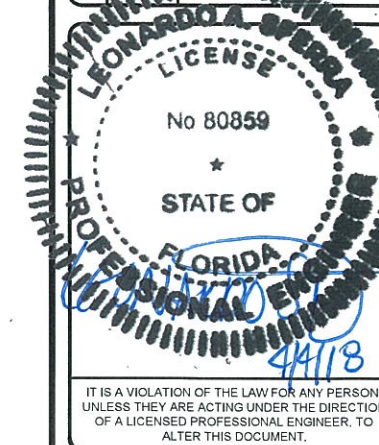


- NOTE:**
1. TESLA PROVIDED TEMPLATE PLATE TO BE USED TO LAYOUT CHARGING CABINET ANCHORING BOLT LOCATIONS AND CONDUIT STUB UP LOCATIONS.
  2. BOLT HOLES FOR REFERENCE ONLY.
  3. USE DOTTIE DUCT SEAL COMPOUND PC 6130 (CAT NO LHD1) TO SEAL ENDS OF CONDUIT (TYP. ALL CONDUITS FOR CHARGING CABINETS AND CHARGE POSTS)
  4. USE BELL FITTINGS ON ALL AC AND DC CONDUIT STUBS



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INSTALLATION MANAGER:	SHAWN GLEASON

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REV		DESCRIPTION



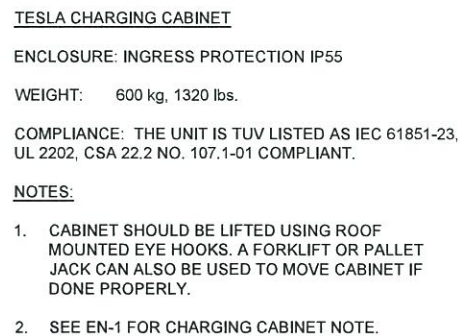
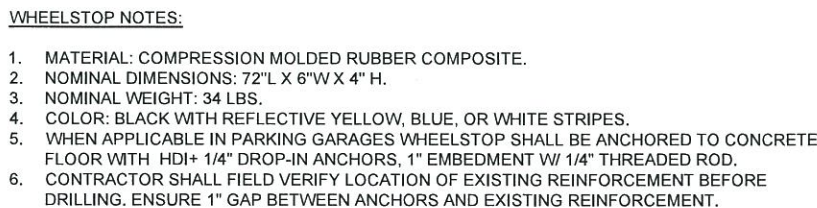
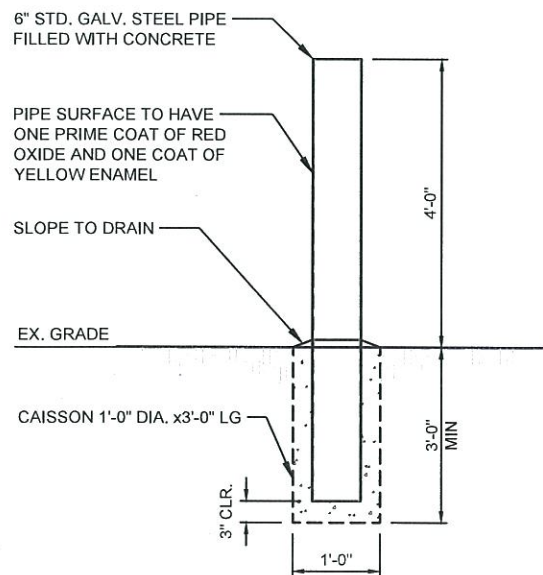
959 WEST AVENUE  
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MIAMI BEACH, FL 33139

SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

C-7



### BOLLARD DETAIL

N.T.S

6

RUBBER WHEELSTOP

N.T.S

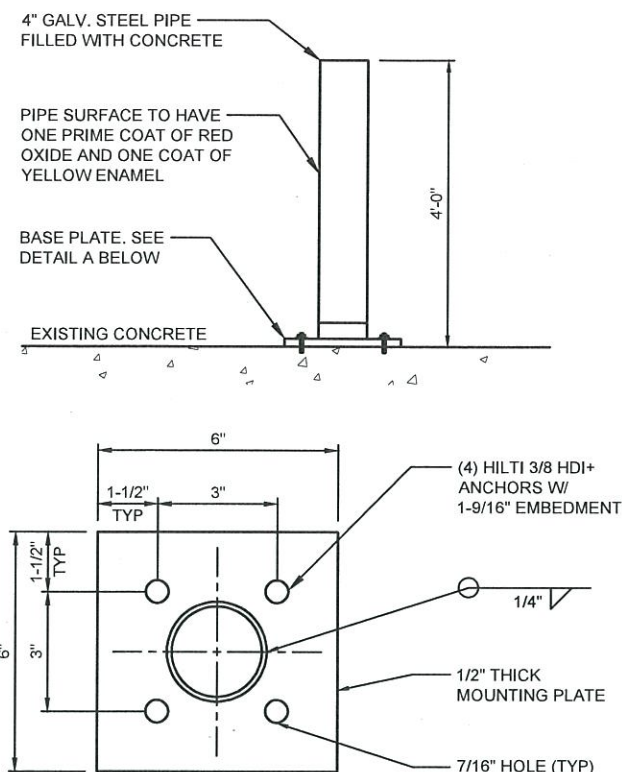
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TESLA CHARGING CABINET DETAIL

NTS

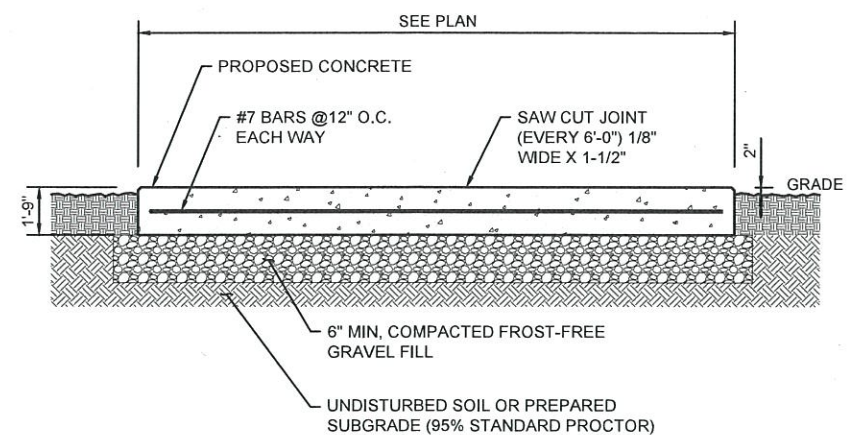
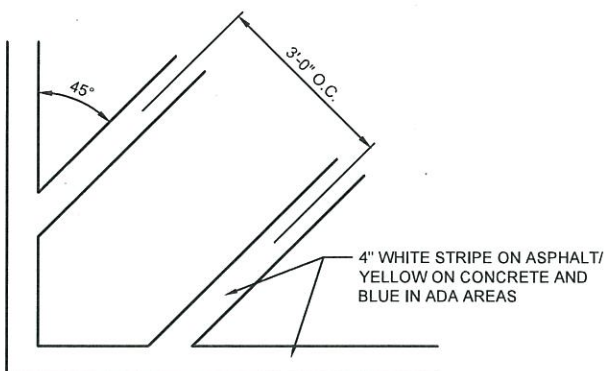
1





DETAIL A

- NOTES:
- 1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING REINFORCEMENT BEFORE DRILLING. ENSURE 1" GAP BETWEEN ANCHORS AND EXISTING REINFORCEMENT.



- CONCRETE PAD NOTES & CONCRETE SPECIFICATIONS:
- 1. FOUNDATION AREA SHALL BE EXCAVATED TO THE DEPTH AND DIMENSIONS SHOWN ON THE PLANS. EXISTING LEDGE AND ALL OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE. THE SUBGRADE SHALL BE ROLLED WITH A 1-TON, VIBRATORY, WALK-BEHIND ROLLER AT A SPEED OF LESS THAN 2 FPS, 6 PASSES MINIMUM, TO PROVIDE UNYIELDING SURFACE.
  - 2. UNDERCUT SOFT OR "WEAVING" AREAS A MINIMUM OF 12 INCHES DEEP. BACKFILL UNDERCUT AREA WITH FILL MEETING THE SPECIFICATIONS OF STRUCTURAL FILL.
  - 3. CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH (f'c)=3000 psi.
  - 4. REINFORCING BAR TO BE ASTM A615 GRADE 60.
  - 5. WELDED WIRE FABRIC TO CONFORM TO THE REQUIREMENTS OF ASTM A1064. WIRES FOR FABRIC TO CONFORM TO THE REQUIREMENTS OF ASTM A82.
  - 6. ALL REINFORCING TO HAVE MINIMUM CONCRETE COVER PER ACI SPECIFICATIONS.
  - 7. ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO LATEST EDITION OF ACI 318 AND APPLICABLE STATE BUILDING CODE.
  - 8. PAD SHALL BE A MINIMUM OF 8" IN DEPTH. DEPTH OF PAD SHALL INCREASE AS THE FINISHED SURFACE SLOPES TO MAINTAIN A MINIMUM OF 6" OF SOIL COVER.

PARKING GARAGE BOLLARD DETAIL

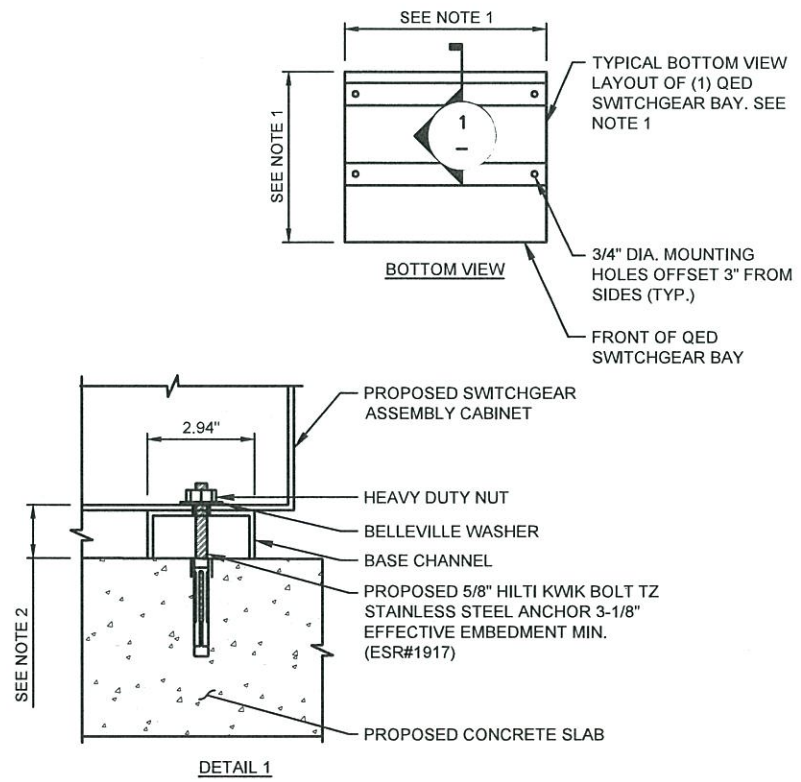
N.T.S 5

TRANSVERSE STRIPING DETAIL

N.T.S 3

CONCRETE PAD DETAIL

N.T.S 1



- NOTES:
- 1. SEE FLOOR PLAN IN DETAIL 3, SHEET E-4 FOR MOUNTING HOLE LOCATION AND SWITCHGEAR BAY DIMENSIONS.
  - 2. SEE ELEVATION IN DETAIL 3, SHEET E-4 FOR BASE CHANNEL DIMENSION.

DETAIL NOT USED

N.T.S 6

DETAIL NOT USED

N.T.S 4

QED SWITCHGEAR MOUNTING DETAIL

N.T.S 2

**TESLA**

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330.572.2100 Fax: 330.572.2102

GPD PROJECT NUMBER:	2018241.04
DRAWN BY:	DTP
CHECKED BY:	RP/EPM
INSTALLATION MANAGER:	SHAWN GLEASON

REV	DATE	DESCRIPTION
B	04.06.18	FINAL SUBMITTAL
A	03.19.18	FIRST SUBMITTAL

**LEONARDO A. SPERDA**

LICENSE

No 80859

STATE OF FLORIDA

PROFESSIONAL ENGINEER

4/4/18

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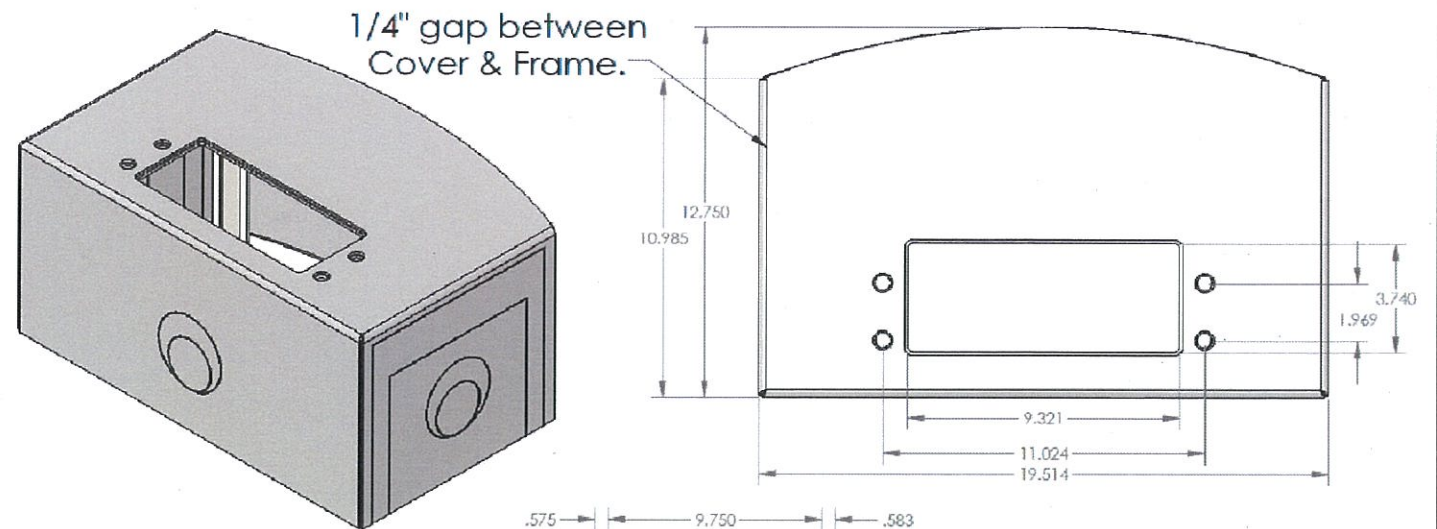
SHEET TITLE

CIVIL DETAILS

SHEET NUMBER

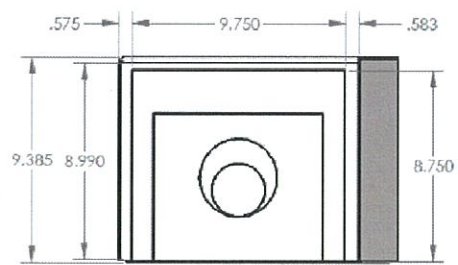
C-8





#### V6 to V7 Changes

- 3/16" material -> 10 Ga
- Removed lower portion of Frame side verticals
- Widened Frame side verticals from 4.86" -> 6.20"
- Moved Base mounting holes inboard of verticals (ease of installation vs holes outside pillars)
- Increased depth by 1/2" to ensure return flanges on cover ends were long enough after knocks were added

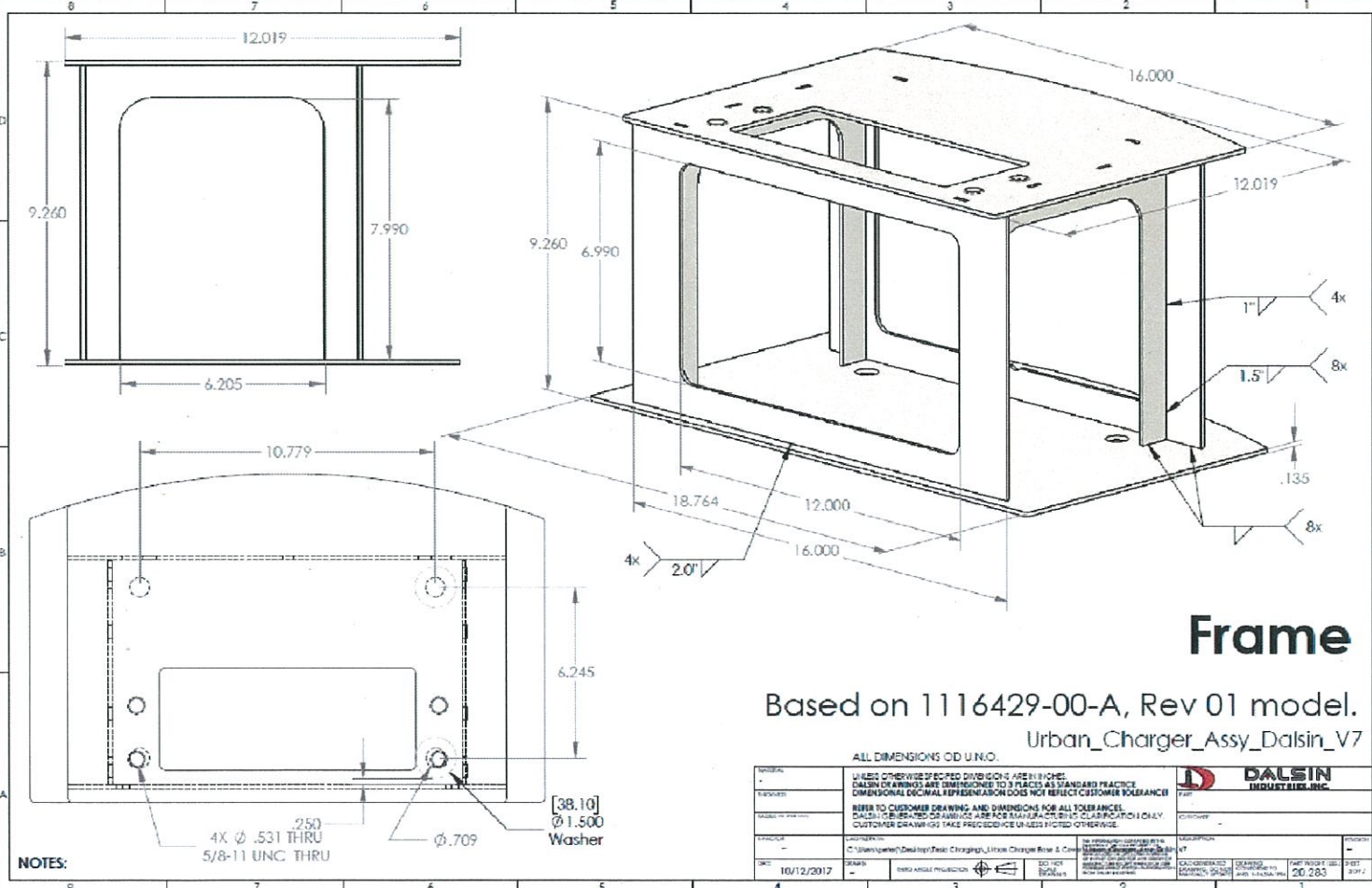


Frame: 3/16" 304 Stainless  
Cover: .125" 5052-H32 Aluminum

### Frame & Cover

Urban\_Charger\_Assy\_Dalsin\_V7

ALL DIMENSIONS IN UNITS	
DATE	10/12/2017
DRAWN BY	TECHNICAL PRODUCTION
CHECKED BY	
DESIGNED BY	
APPROVED BY	
REVISIONS	



Based on 1116429-00-A, Rev 01 model.  
Urban\_Charger\_Assy\_Dalsin\_V7

ALL DIMENSIONS IN UNITS	
DATE	10/12/2017
DRAWN BY	TECHNICAL PRODUCTION
CHECKED BY	
DESIGNED BY	
APPROVED BY	
REVISIONS	

#### FRAME NOTES

- CHARGING POST STEEL MOUNTING BASE IS DESIGNED AND ENGINEERED BY DALSIN INDUSTRIES, INC. INTERIOR EDGES OF CHARGING POST STEEL MOUNTING BASE AND ASSOCIATED HARDWARE SHALL BE COVERED TO PROTECT CABLES FROM DAMAGE.
- CHARGING POST STEEL MOUNTING BASE IS PROVIDED BY TESLA AND INSTALLED BY CONTRACTOR.
- CHARGING POST STEEL MOUNTING BASE SHALL BE COVERED BY ALUMINUM SLEEVE COVER (PROVIDED BY TESLA AND INSTALLED BY CONTRACTOR). SLEEVE COVER SHALL SLIP OVER ENTIRE STEEL FRAME AND END/EDGE OF WIREWAY RUNS.
- GROUND/BOND CHARGING POST STEEL MOUNTING BASE PER NEC REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE WEATHERTIGHT CONNECTIONS BETWEEN CHARGING POST STEEL MOUNTING BASE & WIREWAY JUNCTION W/ TESLA PROVIDED ADAPTER.



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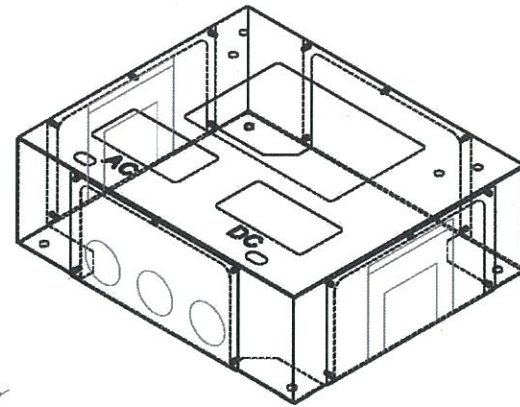
SHEET TITLE  
CIVIL DETAILS

SHEET NUMBER  
C-9



### A1 Changes

- Modified Frame top hole pattern to work with cabinet w/o feet & w/ feet (Item #1)
- Increased Frame & Base Plate width by 1.530", for cabinet spacing of 2" (Item #2)
- Increased depth of Frame & Base Plate by 1.17" to cover Front Leg (Item #3)
- Added 3rd round knockout to back panel (Item #4)
- Increased overall height by 1.56" to accommodate 3R wireway knockout & 13/16" Unistrut (Item #5)
- Centered side knockouts due to increase in size (Item #5)
- Knockout tabs from 0.040" -> 0.060" (Item #8)
- Added 13/16" knockout to side if wireway is installed without Unistrut
- Shifter AC/DC cutouts to match Cabinet Base Plate (<.125" shifts)
- Shifted Feet Holes closer to corners of frame

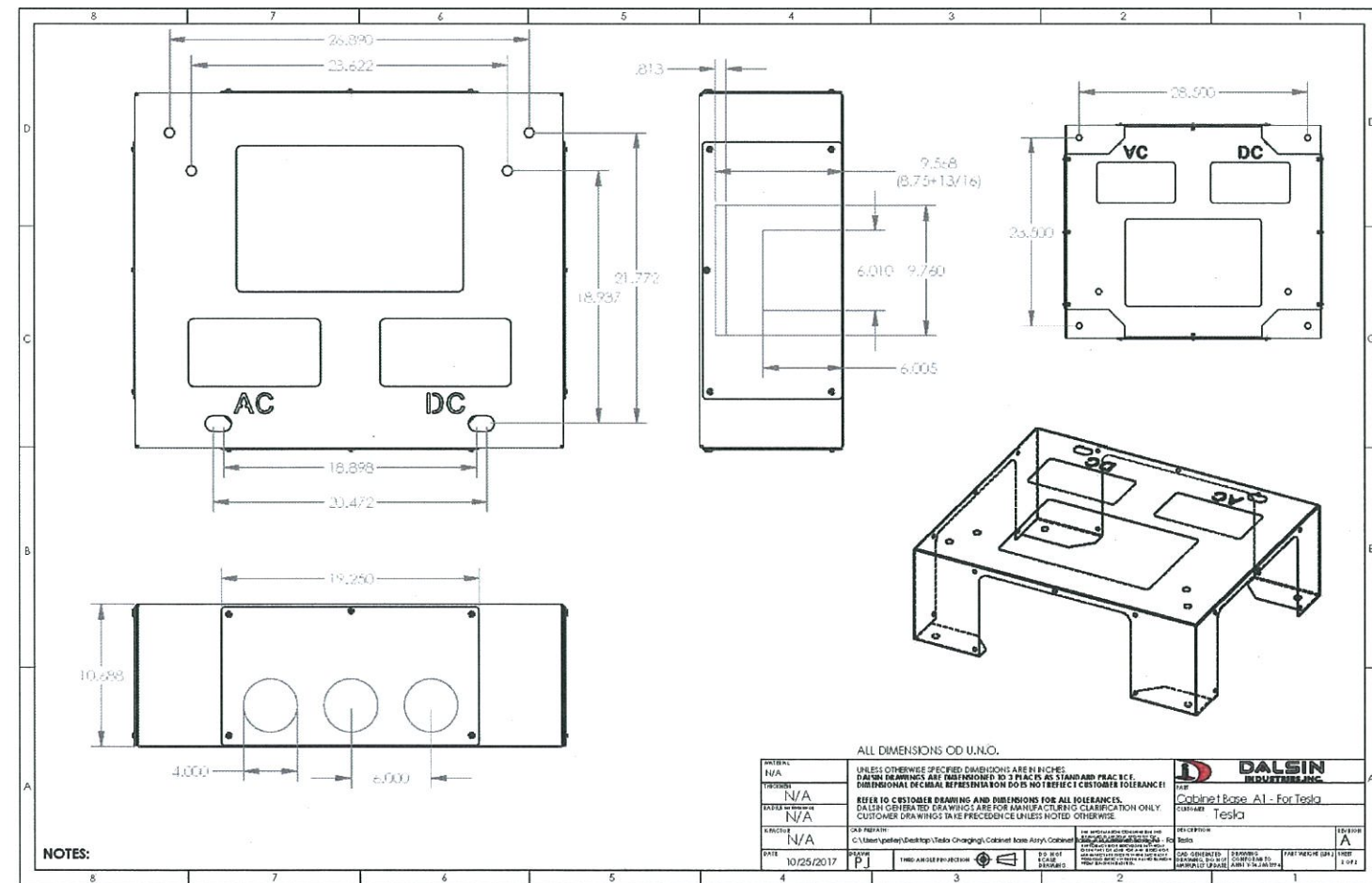


### Frame w/ Panels

Frame Material: 11ga 304 Stainless  
Panel Material: .090" 5052-H32 Alum

ALL DIMENSIONS OD U.N.O.

DATE	10/25/2017	DESIGN	PJ	TIME	1:02
REVISION		DESCRIPTION			
1		Initial Design			
2		Revised Design			
3		Final Design			
4		As-Built			



ALL DIMENSIONS OD U.N.O.

DATE	10/25/2017	DESIGN	PJ	TIME	1:02
REVISION		DESCRIPTION			
1		Initial Design			
2		Revised Design			
3		Final Design			
4		As-Built			

### MOUNT NOTES

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- CHARGING CABINET STEEL MOUNTING BASE IS PROVIDED BY TESLA AND INSTALLED BY CONTRACTOR.
- GROUND/BOND CHARGING CABINET STEEL MOUNTING BASE PER NEC REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE WEATHERTIGHT CONNECTIONS BETWEEN CHARGING CABINET STEEL MOUNTING BASES & WIREWAY JUNCTIONS.
- BOTTOM STEEL PLATE PROVIDED WITH BASE. GROUND/BOND PER NEC REQUIREMENTS.



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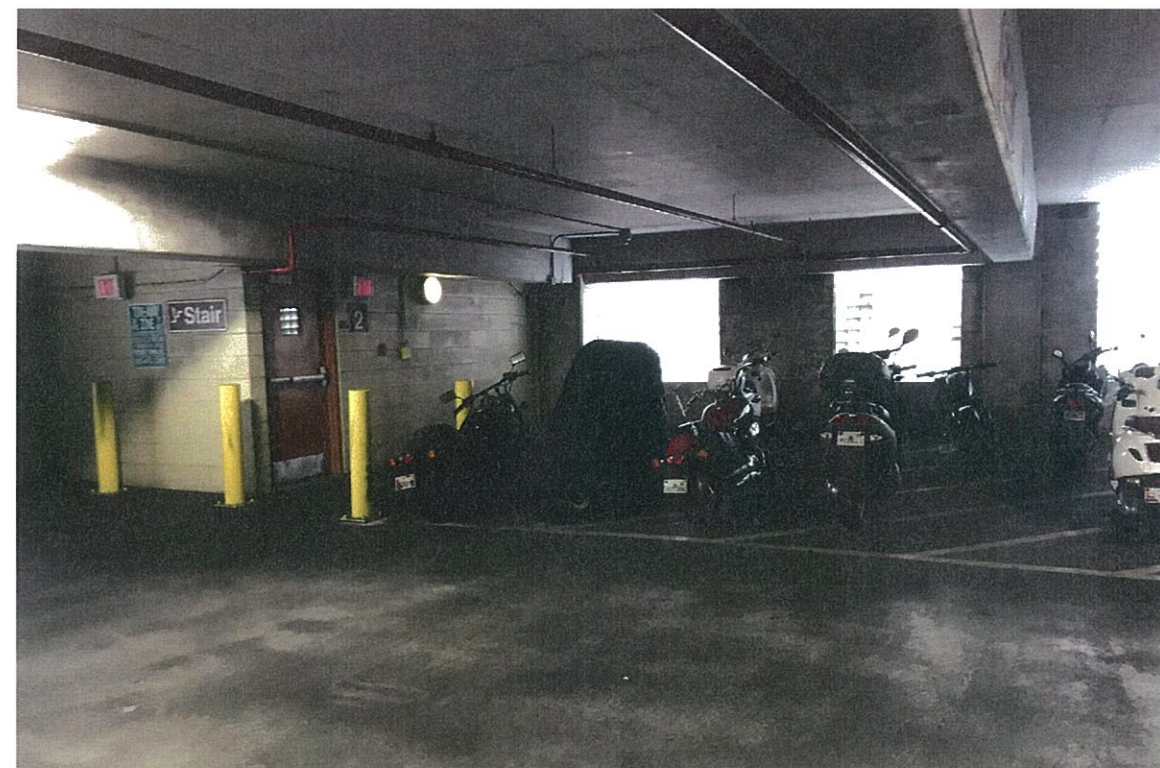
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SHEET TITLE  
CIVIL DETAILS

SHEET NUMBER  
C-10





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SHEET TITLE  
INTERIOR  
PHOTOS

SHEET NUMBER

C-11





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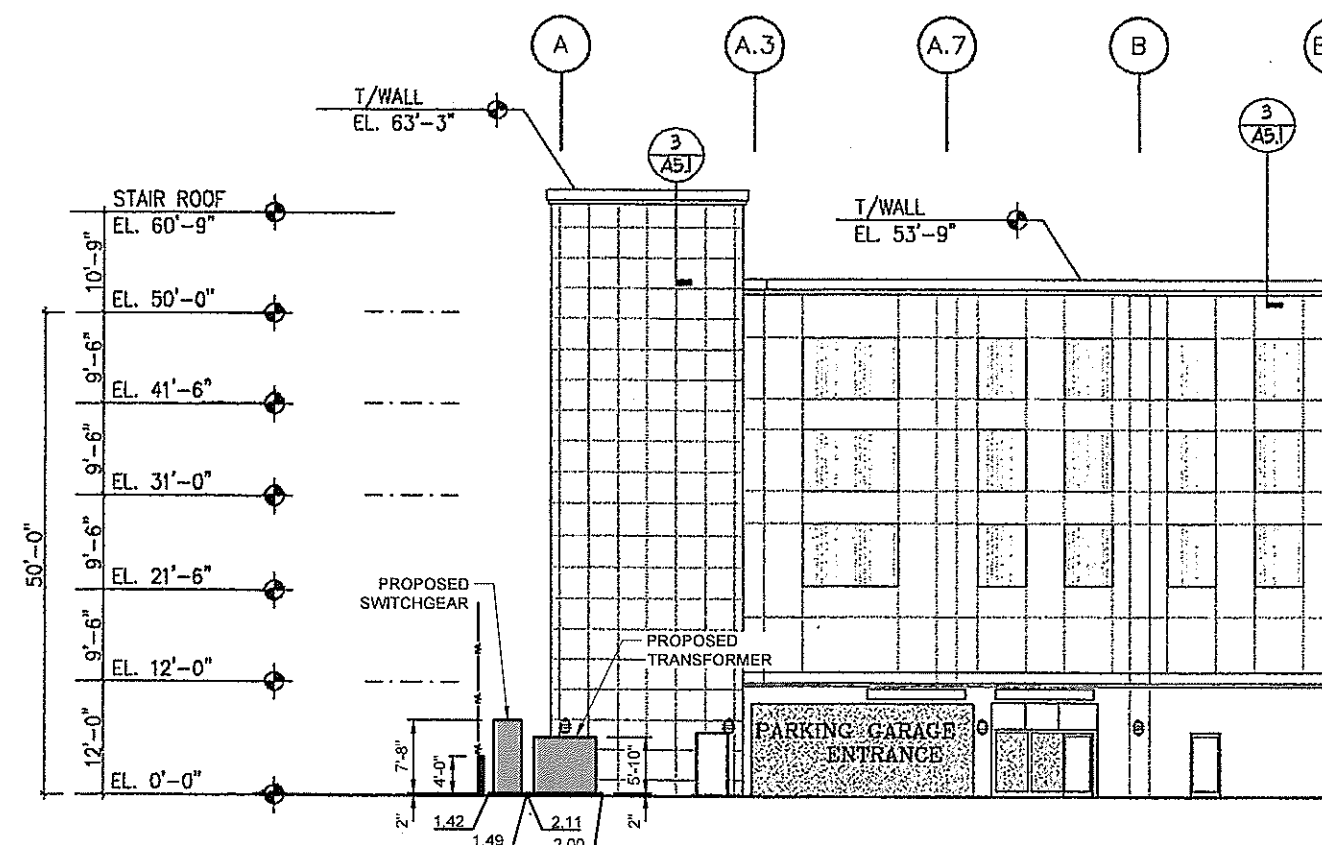
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SHEET TITLE  
EXTERIOR  
PHOTOS

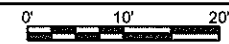
SHEET NUMBER

C-12



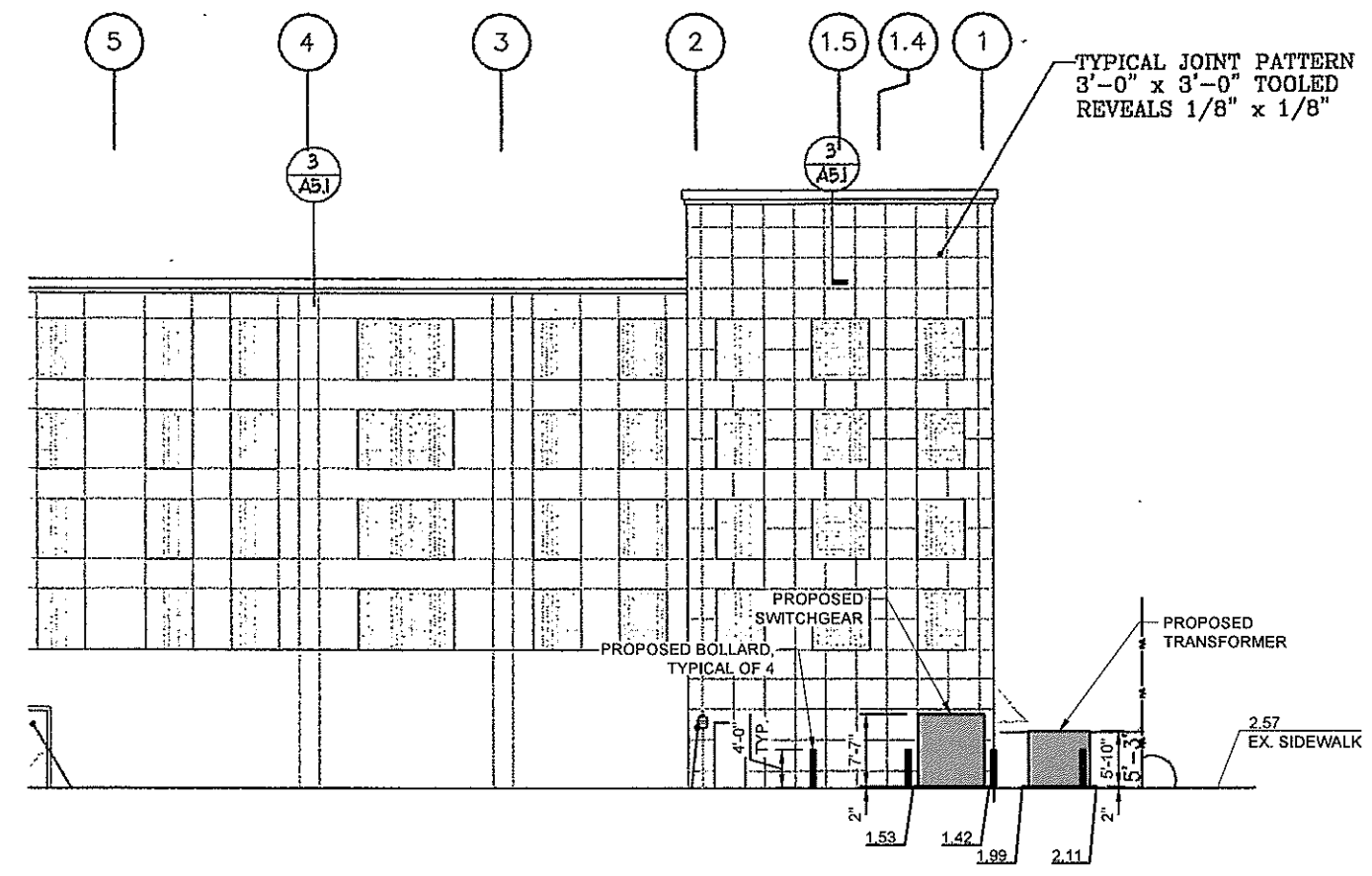


NORTH BUILDING ELEVATION

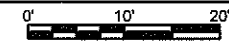


SCALE: 1"=20'

1



EAST BUILDING ELEVATION



SCALE: 1"=20'

2



3600 DEER CREEK RD  
PALO ALTO, CA 94304  
(650) 681-5000



**GPD GROUP, INC.**  
520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax: 330.572.2102

GPD PROJECT NUMBER:	2018241.04
DRAWN BY:	DTP
CHECKED BY:	RP/EPM
INSTALLATION MANAGER:	SHAWN GLEASON

REV	DATE	DESCRIPTION
B	04.06.18	FINAL SUBMITTAL
A	03.19.18	FIRST SUBMITTAL

FOR  
REFERENCE  
ONLY

IT IS A VIOLATION OF THE LAW FOR ANY PERSON,  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ENGINEER, TO  
ALTER THIS DOCUMENT.

959 WEST AVENUE  
(TESLA STATION)  
MIAMI BEACH, FL 33139

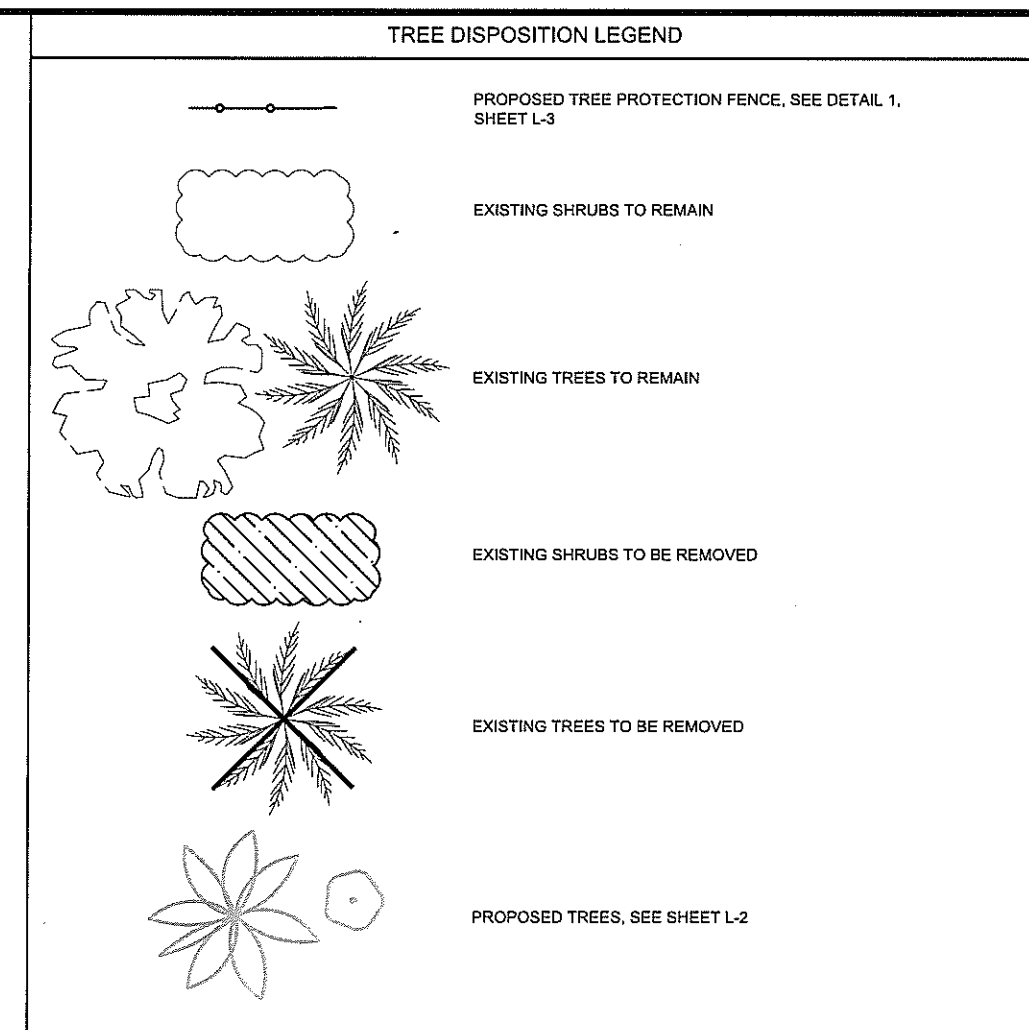
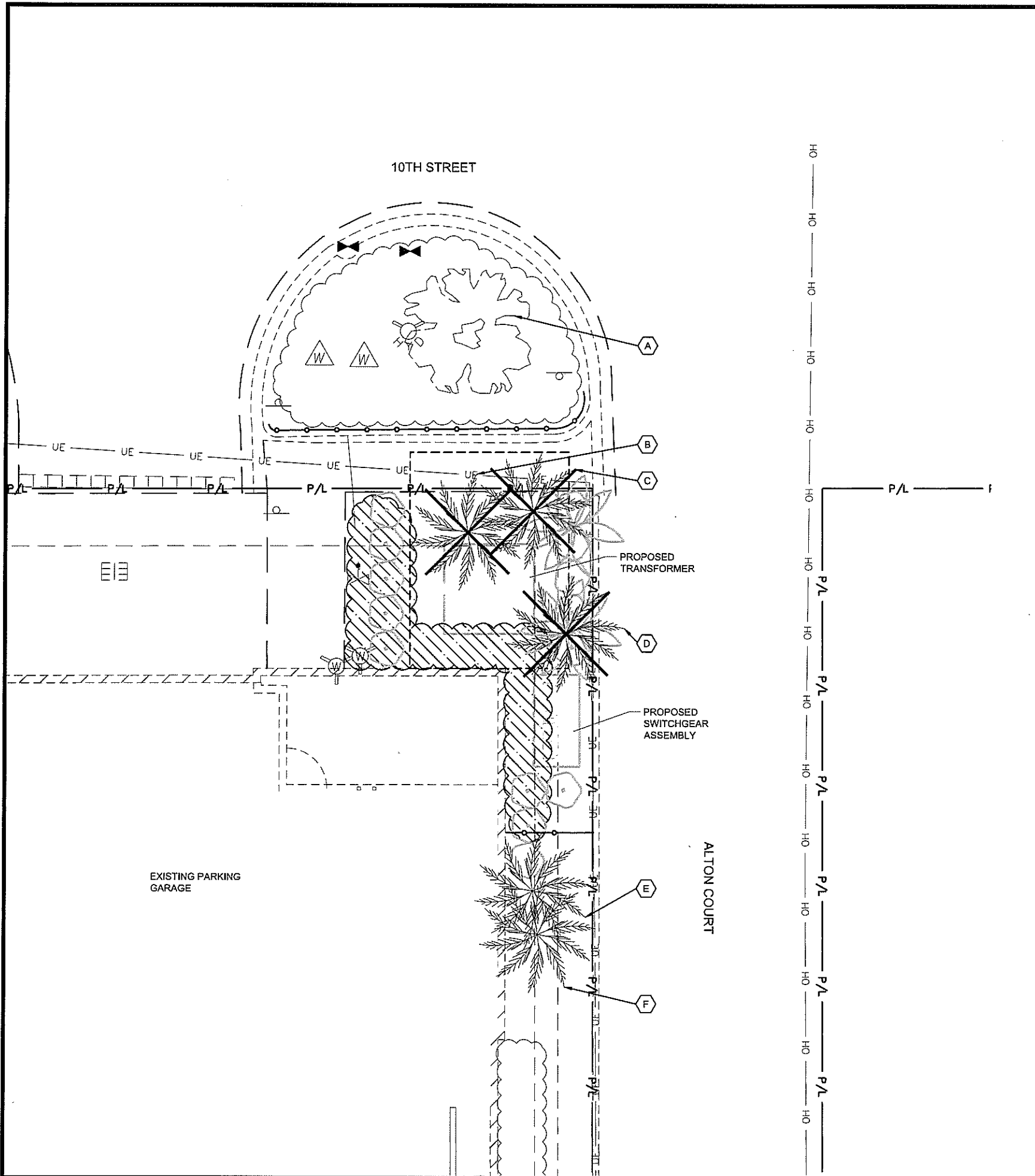
SHEET TITLE  
EXTERIOR  
ELEVATIONS

SHEET NUMBER  
C-13









EXISTING TREES			
TREE	TYPE	REMAIN/REMOVE	CONDITION
A	DECIDUOUS	REMAIN	GOOD
B	PALM	REMOVE	GOOD
C	PALM	REMOVE	GOOD
D	PALM	REMOVE	GOOD
E	PALM	REMAIN	FAIR
F	PALM	REMAIN	FAIR

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B	04.06.18	FINAL SUBMITTAL
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Digitally signed by  
Corey J Mills  
Date: 2018.04.02  
14:51:25 -04'00'

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MIAMI BEACH, FL 33139

SHEET TITLE  
TREE DISPOSITION PLAN  
GROUND LEVEL

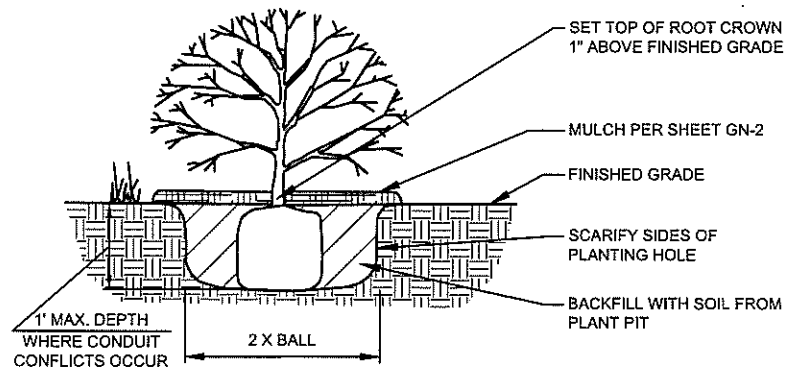
SHEET NUMBER  
L-1

TREE DISPOSITION PLAN - GROUND LEVEL

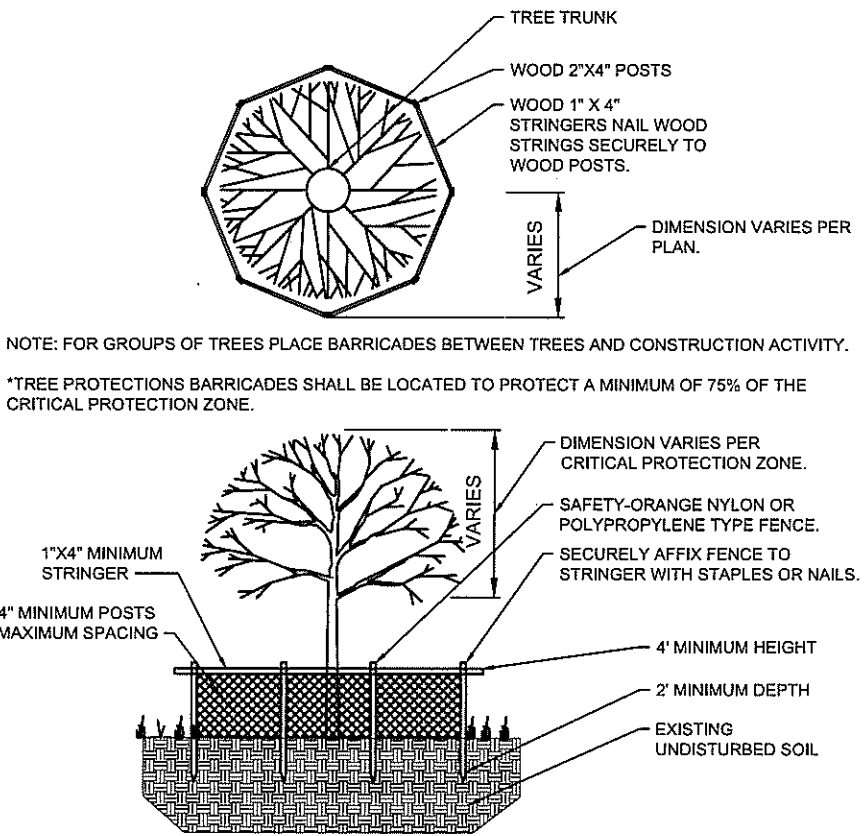




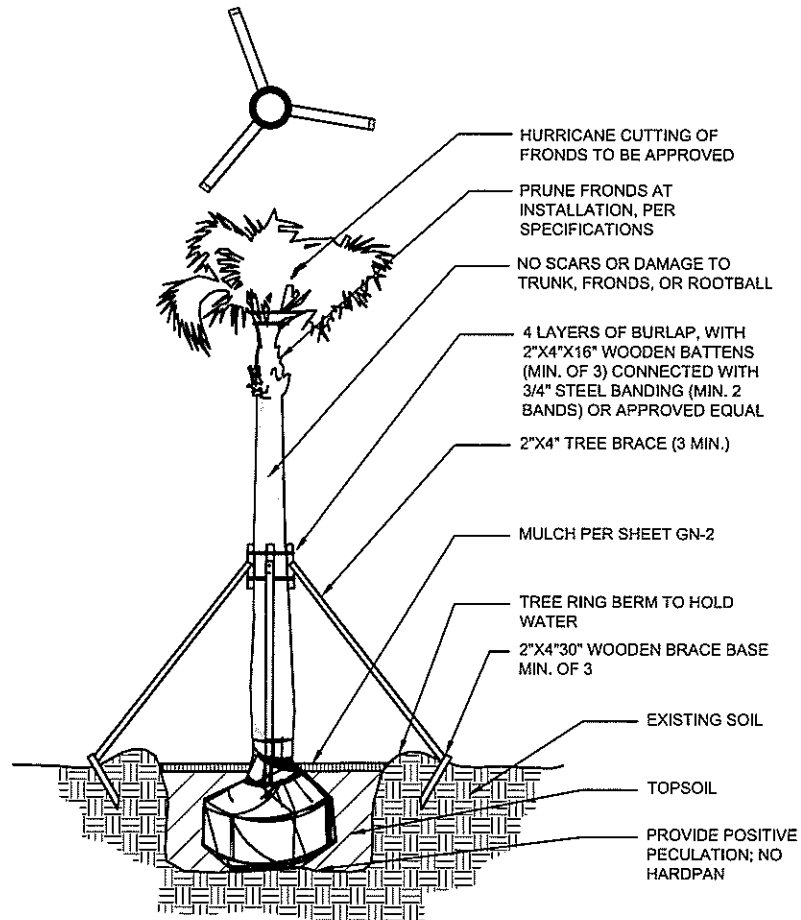




- GENERAL NOTES:
1. PRUNE ROOTS IF BALL IS ROOTBOUND. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
  2. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.



NOTE: FOR GROUPS OF TREES PLACE BARRICADES BETWEEN TREES AND CONSTRUCTION ACTIVITY.  
\*TREE PROTECTIONS BARRICADES SHALL BE LOCATED TO PROTECT A MINIMUM OF 75% OF THE CRITICAL PROTECTION ZONE.



**TESLA**

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PALO ALTO, CA 94304  
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**GPD GROUP, INC.**

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GPD PROJECT NUMBER:	2018241.04
DRAWN BY:	DTP
CHECKED BY:	RP/EPH
INSTALLATION MANAGER:	SHAWN GLEASON

REV	DATE	DESCRIPTION
B	04.06.18	FINAL SUBMITTAL
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Digitally signed by  
Corey J Mills  
Date: 2018.04.02  
14:52:34 -04'00'

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MIAMI BEACH, FL 33139

SHEET TITLE  
LANDSCAPING DETAILS

SHEET NUMBER  
L-3