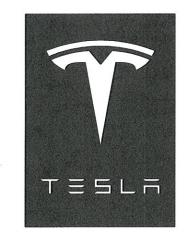


# **CHARGING STATION**

959 WEST AVENUE (TESLA STATION) MIAMI BEACH, FL 33139

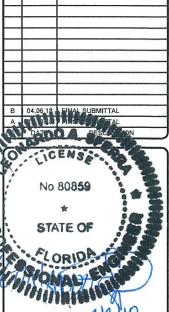




3500 DEER CREEK RD PALO ALTO, CA 94304

520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax: 330.572.2102

	GPD PROJECT NUMBER:	2018241.04
$\dashv$	DRAWN BY:	DTP
	CHECKED BY:	RP/EPM
	INSTALLATION MANAGER:	SHAWN GLEASON



T IS A VIOLATION OF THE LAW FOR ANY PERSON, NLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

959 WEST AVENUE (TESLA STATION) MIAMI BEACH, FL 33139

SHEET TITLE

TITLE SHEET & PROJECT DATA

SHEET NUMBER

T-1

	SITE INFORMATION	APPLICABLE CODES	PROJECT DESCRIPTION		DRAWING INDEX	
		711 FIGNISEE GODES				CHECKE
	ADDRESS:   LATITUDE (NAD83)   959 WEST AVENUE   N 25°46'48,95"   (TESLA STATION)   25.780264   MIAMI BEACH, FL 33139	ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  2017 FLORIDA BUILDING CODE, 6TH EDITION	INSTALL (9) TESLA CHARGING CABINETS     INSTALL (18) TESLA CHARGING POSTS     INSTALL (1) QED SWITCHGEAR ASSEMBLY     INSTALL (2) SUB-PANELS	T-1 CIVIL	TITLE SHEET & PROJECT DATA SHEET TITLE	INSTALL
- 1	LONGITUDE (NAD83)	2014 NATIONAL ELECTRICAL CODE	INSTALL (9) NLTC TRANSFORMERS	GN-1	GENERAL NOTES	+
	FP&L -80.141664	IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.	INSTALL (1) UTILITY TRANSFORMER	GN-2	GENERAL NOTES	+
	CONTACT: CHANDA YOUNG (954) 224-4052 PERMITTING JURISDICTION:			GN-3	GENERAL NOTES	$+\Box$
	CITY OF MIAMI BEACH				TOPOGRAPHIC SURVEY (BY OTHERS)	11
	PROPERTY OWNER: 1700 CONVENTION CENTER DRIVE GUMENICK PROPERTIES MIAMI BEACH, FL 33139	*			GROUND FLOOR ASBUILD DRAWING (BY OTHERS)	十十十
	CONTACT: IAN GONZALEZ CONTACT: MARIANO FERNADEZ			C-1	CONTEXT LOCATION PLAN	1
	(804) 658-7931 (305) 673-7610			C-2A	EXISTING SITE PLAN - GROUND LEVEL	11-
ĺ	EQUIPMENT SUPPLIER: COUNTY: DADE	DESIGN CRITERIA:		C-2B	EXISTING SITE PLAN - LEVEL 2	11
	3500 DEER CREEK RD	WIND SPEED = 170 MPH 3-SECOND GUST, ULTIMATE		C-3A	DEMOLITION PLAN - GROUND LEVEL	B 04
	PALO ALTO, CA 94304 (650) 681-5000	EXPOSURE = C CATEGORY = II		C-3B	DEMOLITION PLAN - LEVEL 2	Air
		FROST DEPTH = 0"		C-4A	SITE PLAN - GROUND LEVEL	-16-10
	GPD GROUP, INC. CONTACTS:	LOCATIONIMAD	V/OINITY/ MAD	C-4B	SITE PLAN - LEVEL 2	10
-	PROJECT ENGINEER: ZACHERY SHEETS, PE	LOCATION MAP	VICINITY MAP	C-5	GRADING PLAN	77
-	(330)572-2148	CITY CENTER	tal	C-6	VARIANCE DIAGRAM	<b>4</b>
	ZSHEETS@GPDGROUP.COM	17th St  The Ritz-Carlton, South Beach	Normanu	C-7	CIVIL DETAILS	11
	PROJECT COORDINATOR: TROY EVESLAGE	Lincoln Road Mall O South Beach	North Bay	C-8	CIVIL DETAILS	6:
	(317) 295-3179	Yardbird Southern     Loewe Miami Beach	Village	C-9	CIVIL DETAILS	. O.
	TEVESLAGE@GPDGROUP.COM	Bodega Taqueria Table & Bar		C-10	CIVIL DETAILS	
	UTILITY COORDINATOR:	y Tequila Y	ne B	C-11	INTERIOR PHOTOS	Total S
	STEVE STOUT (330) 572-3619	15th St 15th St	X III	C-12	EXTERIOR PHOTOS .	4400
- 1	SSTOUT@GPDGROUP.COM	As M Española Way	TI VUPPER AND THE TIME TO THE	C-13	EXTERIOR ELEVATIONS	
	PERMIT COORDINATOR: SARAH VARRECCHIA	PRO Ave (ATA)	Miami Beach	LANDSCAPE	SHEET TITLE	IT IS A \
- 1	(330) 572-3508 SVARRECCHIA@GPDGROUP.COM	Flamingo Park •		LN-1	LANDSCAPE NOTES	OF A L
- 1		13th St World Erotic ⊚		L-1	TREE DISPOSITION PLAN	
	TO OBTAIN LOCATION OF PARTICIPANTS	Art Museum ▼  12th St  SOUTH BEACH	MID BEACH	L-2	LANDSCAPE PLAN	
	UNDERGROUND FACILITIES BEFORE YOU DIG IN FLORIDA, CALL SUNSHINE 811	ondrian South Beach The Wolfsonian-Florida		L-3	LANDSCAPE DETAILS	41
- 1	• TOLL FREE: 1-800-432-4770 OR	International University Lummus Park				41
	www.sunshine811.com  FLORIDA STATUTE REQUIRES MIN OF 2  REQUIRES MIN OF 2	TOTAL TOTAL STATE OF THE STATE	WATER BAYSHORE )			_ М
	Call before you dig. WORKING DAYS NOTICE BEFORE YOU EXCAVATE	Pith St. Rith St. ADT Q	(AIA)			$\exists \vdash$
	FLOOD HAZARD AREA NOTE	Di 7th St 7th St St	Miami Beach			1
	THE SITE IS LOCATED IN FLOOD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD) PER FLOOD INSURANCE MAP NUMBER 12086C0319L, EFFECTIVE DATE - 09/11/2009.	Find d Ave	Jungle Island			#
Î	BEFORE SCALING	(ATA) 5th St				1
	CONTRACTORS SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND FIELD CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME	Monday Ave Michigan Ave Michigan Ave Michigan Ave	OWN MI			

South Pointe Park Pier

PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

### GENERAL CONSTRUCTION NOTES

- FOR THE PURPOSE CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY: GENERAL CONTRACTOR: TBD CONTRACTOR: TBD
- THE TOPOGRAPHIC SURVEY BY CLARK SURVEYING, DATED 2/01/2018 SHALL BE CONSIDERED A PART OF THESE PLANS. THE G.C. IS RESPONSIBLE FOR LOCATING IMPROVEMENTS PER THESE PLANS.
- 3. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THE PLAN ARE BASED ON FIELD SURVEYS
  AND CITY RECORDS. DUE TO THE LIMITATIONS IN TECHNOLOGY AND GROUND CONDITIONS, NOT ALL
  UNDERGROUND UTILITIES ARE ABLE TO BE LOCATED. IF AN EXISTING UTILITY LINE IS DAMAGED DURING
  CONSTRUCTION, IT SHALL BE DETERMINED IF SAID UTILITY LINE WAS ABLE TO BE LOCATED WITH
  CURRENT TECHNOLOGY BEFORE THE UTILITY LOCATES WOULD TAKE RESPONSIBILITY. IT SHALL BE THE
  CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR
  FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE
  CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- 4. ALL DIMENSIONS, GRADES, AND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE BASED ON A TOPOGRAPHIC SURVEY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION/PROJECT MANAGER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO INFORMATION SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 5. THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL CONTRACT DOCUMENTS, FIELD DOCUMENTS, DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- 6. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES, GENERAL CONTRACTOR SHALL ISSUES ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF WORK
- 7. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTION CODES, ORDINANCES AND APPLICABLE REGULATIONS
- UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES, AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATION ON THE DRAMMINGS.
- 9. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS THE MINIMUM REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS, SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. DETAILS ARE INTENDED TO SHOW DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF WORK AND PREPARED BY THE ENGINEER PRIOR TO PROCEEDING WITH WORK.
- 10. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
- 11. IF THE SPECIFIED EQUIPMENT CANNOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION SPACE FOR APPROVAL BY THE ENGINEER PRIOR TO PROCEEDING.

  37.
- 12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS AND THE LOCAL JURISDICTION.
- THE GENERAL CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WORK ACTIVITIES WITH OTHER DISCIPLINES.
- CONSTRUCTION SHALL BE DONE IN A WORKMANLIKE MANNER BY COMPETENT EXPERIENCED WORKMAN IN ACCORDANCE WITH APPLICABLE CODES AND THE BEST ACCEPTED PRACTICE.
- 15. WORK PREVIOUSLY COMPLETED IS REPRESENTED BY LIGHT SHADED LINES AND NOTES. THE SCOPE OF WORK FOR THIS PROJECT IS REPRESENTED BY DARK SHADED LINES AND NOTES. CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR OF ANY EXISTING CONDITIONS THAT DEVIATE FROM THE DRAWINGS PRIOR TO REGINNING CONSTRUCTION
- THE CONTRACTOR SHALL PROVIDE WRITTEN NOTICE TO THE CONSTRUCTION MANAGER 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- 17. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES PRIOR TO THE START OF CONSTRUCTION.
- 19. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAINTAIN ACCESS FOR ALL TRADES AND CONTRACTORS TO THE SITE AND/OR BUILDING.
- 20. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURITY OF THE SITE FOR THE DURATION OF CONSTRUCTION UNTIL JOB COMPLETION.
- 21. THE GENERAL CONTRACTOR SHALL MAINTAIN IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES.
- 22. THE GENERAL CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT

- LESS THAN 2-A OT 2-A:10-B:C AND SHALL BE WITHIN 25 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF WHERE THE WORK IS BEING COMPLETED DURING CONSTRUCTION.
- 23. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ENGINEER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. THE CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS SHALL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION. B) CONFINED SPACE. C) ELECTRICAL SAFETY. AND D) TRENCHING & EXCAVATION.
- 24. ONLY ITEMS SPECIFICALLY CALLED OUT TO BE REMOVED OR DEMOLISHED SHALL BE AFFECTED. ANY ITEMS INCLUDING, BUT NOT LIMITED TO, CURBS, PAVEMENT, UTILITY ITEMS, LANDSCAPING, ETC. SHALL REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE ANY AFFECTED ITEMS AT OWNERS DISCRETION.
- 25. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONNECTED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, AS DIRECTED BY THE ENGINEER, AND SUBJECT TO THE APPROVAL OF THE OWNER AND/OR LOCAL UTILITIES.
- 26. THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION
- 27. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE FEDERAL AND LOCAL JURISDICTION FOR EROSION AND SEDIMENT CONTROL.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND, FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- 29. THE SUBGRADE SHALL BE BROUGHT TO A SMOOTH UNIFORM GRADE AND COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY UNDER PAVEMENT AND STRUCTURES AND 80 PERCENT STANDARD PROCTOR DENSITY IN OPEN SPACE. ALL TRENCHES IN PUBLIC RIGHT OF WAY SHALL BE BACKFILLED WITH FLOWABLE FILL OR OTHER MATERIAL PRE-APPROVED BY THE LOCAL JURISDICTION.
- ALL NECESSARY RUBBISH, STUMPS, DEBRIS, STICKS, STONES, AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER.
- 31. ALL BROCHURES, OPERATING AND MAINTENANCE MANUALS, CATALOGS, SHOP DRAWINGS, AND OTHER DOCUMENTS SHALL BE TURNED OVER TO THE GENERAL CONTRACTOR AT COMPLETION OF CONSTRUCTION AND PRIOR TO PAYMENT.
- 32. THE CONTRACTOR SHALL SUBMIT A COMPLETE SET OF AS-BUILT REDLINES TO THE GENERAL CONTRACTOR UPON COMPLETION OF PROJECT AND PRIOR TO FINAL PAYMENT.
- 33. THE CONTRACTOR SHALL LEAVE PREMISES IN A CLEAN CONDITION.
- 34. THE PROPOSED FACILITY WILL BE UNMANNED AND DOES NOT REQUIRE POTABLE WATER OR SEWER SERVICE, AND IS NOT FOR HUMAN HABITATION (NO HANDICAP ACCESS REQUIRED FOR SERVICE EQUIPMENT). HANDICAP ACCESS MAY BE REQUIRED FOR CHARGING POSTS, SEE PLAN.
- 35. NO OUTDOOR STORAGE OR SOLID WASTE CONTAINERS ARE PROPOSED
- 36. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION. IF CONTRACTOR CANNOT OBTAIN A PERMIT, THEY MUST NOTIFY THE GENERAL CONTRACTOR IMMEDIATELY.
- 37. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- 38. INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM SITE VISITS AND/OR DRAWINGS PROVIDED BY THE SITE OWNER. CONTRACTORS SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL OR PROCEEDING WITH CONSTRUCTION.

### PROPOSED LEGEND SIGN ON POST **CURB** SIGN ON POST IN BOLLARD **CURB AND GUTTER** TRANSVERSE STRIPING LIGHT POLE PROPOSED CONCRETE METER PROPOSED ASPHALT 00-0 CHARGING POST PROPOSED RIVER ROCK WATER MAIN CHARGING CABINET WATER LINE IRRIGATION LINE QED SWITCHGEAR **GAS LINE** STORM LINE SANITARY LINE NLTC TRANSFORMER ELECTRIC MAIN **ELECTRIC LINE** LIGHT POLE CONDUIT





3500 DEER CREEK RD PALO ALTO, CA 94304 (650) 681-5000



520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax: 330.572.2102

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> 959 WEST AVENUE (TESLA STATION) MIAMI BEACH, FL 33139

> > SHEET TITLE

**GENERAL NOTES** 

SHEET NUMBER

GN-1

### GENERAL SITE WORK NOTES CONTINUED

CLEARING, GRUBBING, STRIPPING, EROSION CONTROL, SURVEY, LAYOUT, SUBGRADE PREPARATION AND FINISH GRADING AS REQUIRED TO COMPLETE THE PROPOSED WORK SHOWN IN THESE PLANS.

- REFERENCES
- (STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION-CURRENT EDITION).
- ASTM (AMERICAN SOCIETY FOR TESTING AND MATERIALS)
- C. OSHA (OCCUPATION SAFETY AND HEALTH ADMINISTRATION).
- 1.2 INSPECTION AND TESTING:
- A. FIELD TESTING OF EARTHWORK COMPACTION AND CONCRETE CYLINDERS SHALL BE PERFORMED BY AN INDEPENDENT TESTING LAB. THIS WORK TO BE COORDINATED BY THE CONTRACTOR
- ALL WORK SHALL BE INSPECTED AND RELEASED BY THE GENERAL CONTRACTOR WHO SHALL CARRY OUT THE GENERAL INSPECTION OF THE WORK WITH SPECIFIC CONCERN TO PROPER PERFORMANCE OF THE WORK AS SPECIFIED AND/OR CALLED FOR ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REQUEST TIMELY INSPECTIONS PRIOR TO PROCEEDING WITH FURTHER WORK THAT WOULD MAKE PARTS OF WORK INACCESSIBLE OR DIFFICULT TO INSPECT
- SITE MAINTENANCE AND PROTECTION:
- PROVIDE ALL NECESSARY JOB SITE MAINTENANCE FROM COMMENCEMENT OF WORK UNTIL COMPLETION
- AVOID DAMAGE TO THE SITE AND TO EXISTING FACILITIES, STRUCTURES, TREES, AND SHRUBS DESIGNATED TO REMAIN. TAKE PROTECTIVE MEASURES TO PREVENT EXISTING FACILITIES THAT ARE NOT DESIGNATED FOR REMOVAL FROM BEING DAMAGED BY THE WORK.
- KEEP SITE FREE OF ALL PONDING WATER
- D. PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH STATE DOT, LOCAL PERMITTING AGENCY
- PROVIDE AND MAINTAIN ALL TEMPORARY FENCING. BARRICADES, WARNING SIGNALS AND SIMILAR DEVICES NECESSARY TO PROTECT AGAINST THEFT FROM PROPERTY DURING THE ENTIRE PERIOD OF CONSTRUCTION, REMOVE ALL SUCH DEVICES UPON COMPLETION OF THE WORK.
- EXISTING UTILITIES: DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE CONSTRUCTION MANAGER AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED.
- G. PROVIDE A MINIMUM 48-HOUR NOTICE TO THE CONSTRUCTION MANAGER AND RECEIVE WRITTEN NOTICE TO PROCEED BEFORE INTERRUPTING ANY UTILITY SERVICE

### PART 2 - PRODUCTS

- 2.1 GRANULAR BACKFILL: SHALL MEET THE FOLLOWING GRADATION
- 2.2 GRANULAR BEDDING AND TRENCH BACKFILL: WELL-GRADED SAND MEETING THE GRADATION REQUIREMENTS OF ASTM D2487 (SE OR SW-SM).
- 2.3 UNSUITABLE MATERIAL: HIGH AND MODERATELY PLASTICS SILTS AND CLAYS (LL>45). MATERIAL CONTAINING REFUSE FROZEN LUMPS, DEMOLISHED BITUMINOUS MATERIAL VEGETATIVE MATTER. WOOD, STONES IN EXCESS OF 3 INCHES IN ANY DIMENSION, AND DEBRIS AS DETERMINED BY THE CONSTRUCTION MANAGER, TYPICAL THESE WILL BE SOILS CLASSIFIED BY ASTM AS PT. MH. CH. OH. MI. AND OL.

SIEVE SIZE	TOTAL PERCENT PASSING
1 1/2 INCH (37.5 MM)	100
1 INCH (25.0 MM)	75 TO 100
3/4 INCH (19.00 MM)	80 TO 100
3/8 INCH (9.5 MM)	35 TO 75
NO. 4 (4.75 MM)	30 TO 60
NO. 30 (0.600 MM)	7 TO 30
NO. 200 (0.75 MM)	3 TO 15

### PART 3 - EXECUTION

### 3.1 GENERAL

- BEFORE STARTING GENERAL SITE PREPARATION ACTIVITIES, INSTALL EROSION AND SEDIMENT CONTROL MEASURES. THE WORK AREA SHALL BE CONSTRUCTED AND MAINTAINED IN SUCH CONDITION THAT IN THE EVENT OF RAIN THE SITE WILL BE DRAINED AT ALL TIMES.
- BEFORE ALL SURVEY, LAYOUT, STAKING, AND MARKING, ESTABLISH AND MAINTAIN ALL LINES, GRADES, ELEVATIONS AND BENCHMARKS NEEDED FOR EXECUTION OF THE WORK
- C. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF THE SITE, REMOVE TREES, BRUSH, STUMPS, RUBBISH AND OTHER DEBRIS AND VEGETATION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE SITE
- REMOVE THE FOLLOWING MATERIALS TO A DEPTH OF NO LESS THAN 12 INCHES RELOW THE ORIGINAL GROUND SURFACE: ROOTS, STUMPS, AND OTHER DEBRIS, BRUSH, AND REFUSE EMBEDDED IN OR PROTRUDING THROUGH THE GROUND SURFACE, RAKE, DISK OR PLOW THE AREA TO A DEPTH OF NO LESS THAN 6 INCHES, AND REMOVE TO A DEPTH OF 12 INCHES ALL ROOTS AND OTHER DEBRIS THEREBY
- REMOVE TOPSOIL MATERIAL COMPLETELY FROM THE SURFACE UNTIL THE SOIL NO LONGER MEETS THE D. CONTRACTOR TO GRADE SITE TO DRAIN AND NOT POND WATER.

- DEFINITION OF TOPSOIL. AVOID MIXING TOPSOIL WITH SUBSOIL OR OTHER UNDESIRABLE MATERIALS
- EXCEPT WHERE EXCAVATION TO GREATER DEPTH IS INDICATED. FILL DEPRESSIONS RESULTING FROM CLEARING, GRUBBING AND DEMOLITION WORK COMPLETELY WITH SUITABLE FILL.
- REMOVE FROM THE SITE AND DISPOSE IN AN AUTHORIZED LANDFILL ALL DEBRIS RESULTING FROM CLEARING AND GRUBBING OPERATIONS. BURNING WILL NOT BE PERMITTED.
- PRIOR TO EXCAVATING, THOROUGHLY EXAMINE THE AREA TO BE EXCAVATED AND/OR TRENCHED TO VERIFY THE LOCATIONS OF FEATURES INDICATED ON THE DRAWINGS AND TO ASCERTAIN THE EXISTENCE AND LOCATION OF ANY STRUCTURE UNDERGROUND STRUCTURE OR OTHER ITEM NOT SHOWN THAT MIGHT INTERFERE WITH THE PROPOSED CONSTRUCTION. NOTIFY THE CONSTRUCTION MANAGER OF ANY 2. OTHER ACCEPTABLE COLORS CAN BE FOUND ON ENCYCOLORPEDIA.COM OBSTRUCTIONS THAT WILL PREVENT ACCOMPLISHMENT OF THE WORK AS INDICATED ON THE DRAWINGS.
- SEPARATE AND STOCK PILE ALL EXCAVATED MATERIALS SUITABLE FOR BACKFILL, ALL EXCESS EXCAVATED AND UNSUITABLE MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- DURING EXCAVATION, THE CONTRACTOR SHALL PROVIDE SHORING, SHEETING, AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF EXCAVATION.
- THE BASE OF ALL FOUNDATION EXCAVATIONS SHOULD BE FREE OF WATER AND LOOSE SOIL PRIOR TO PLACING CONCRETE. CONCRETE SHOULD BE PLACED AS SOON AS POSSIBLE AFTER EXCAVATING TO MINIMIZE BEARING SOIL DISTURBANCE. SHOULD THE SOILS AT BEARING LEVEL BECOME EXCESSIVELY DRY, SATURATED, DISTURBED OR OTHERWISE ALTERED, THE AFFECTED SOIL SHOULD BE REMOVED
- 3.2 BACKFILL
- AS SOON AS PRACTICAL, AFTER COMPLETING CONSTRUCTION OF THE RELATED STRUCTURE, INCLUDING EXPIRATION OF THE SPECIFIED MINIMUM CURING PERIOD FOR CAST-IN-PLACE CONCRETE, BACKFILL THE EXCAVATION WITH APPROVED MATERIAL TO RESTORE THE REQUIRED FINISHED GRADE
- PRIOR TO PLACING BACKFILL AROUND STRUCTURES. ALL FORMS SHALL BE REMOVED AND THE EXCAVATION CLEANED OF ALL TRASH, DEBRIS, AND UNSUITABLE MATERIALS.
- C. DO NOT PLACE FROZEN MATERIAL IN AS BACKFILL.
- BACKFILL BY PLACING AND COMPACTING SUITABLE BACKFILL MATERIAL OR SELECT GRANULAR BACKFILL MATERIAL WHEN REQUIRED IN UNIFORM HORIZONTAL LAYERS OF NO GREATER THAN 8-INCHES LOOSE THICKNESS AND COMPACTED, WHERE HAND OPERATED COMPACTORS ARE USED. THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 4 INCHES IN LOOSE DEPTH AND COMPACTED.
- WHENEVER THE DENSITY TESTING INDICATES THAT THE CONTRACTOR HAS NOT OBTAINED THE SPECIFIED DENSITY, THE SUCCEEDING LAYER SHALL NOT BE PLACED UNTIL THE SPECIFICATION REQUIREMENTS ARE MET UNLESS OTHERWISE AUTHORIZED BY THE CONSTRUCTION MANAGER. THE CONTRACTOR SHALL TAKE WHATEVER APPROPRIATE ACTION IS NECESSARY, SUCH AS DISKING AND DRYING, ADDING WATER, OR INCREASING THE COMPACTIVE EFFORT TO MEET THE MINIMUM COMPACTION REQUIREMENTS.
- THOROUGHLY COMPACT EACH LAYER OF BACKFILL TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.
- TRENCH EXCAVATION
- A. UTILITY TRENCHES SHALL BE EXCAVATED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE GENERAL CONTRACTOR, PROVIDE SHORING, SHEETING AND BRACING AS REQUIRED TO PREVENT CAVING OR SLOUGHING OF THE TRENCH WALLS.
- EXTEND THE TRENCH WIDTH A MINIMUM OF 6 INCHES BEYOND THE OUTSIDE EDGE OF THE OUTERMOST
- WHEN SOFT YIELDING, OR OTHERWISE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED. EXCAVATE THE REQUIRED TRENCH TO A DEPTH OF NO LESS THAN 12 INCHES BELOW THE REQUIRED ELEVATION, THEN BACKFILL WITH 12" OF GRANULAR BEDDING MATERIAL
- 3.4 TRENCH BACKFILL:
- A. PROVIDE GRANULAR BEDDING MATERIAL IN ACCORDANCE WITH THE DRAWINGS AND THE UTILITY REQUIREMENTS.
- B. NOTIFY THE GENERAL CONTRACTOR 24 HOURS IN ADVANCE OF BACKFILLING.
- C. CONDUCT UTILITY CHECK TESTS BEFORE BACKFILLING, BACKFILL AND COMPACT TRENCH BEFORE
- D. PLACE GRANULAR TRENCH BACKFILL UNIFORMLY ON BOTH SIDES OF THE CONDUITS IN 6-INCH UNCOMPACTED LIFTS UNTIL 12 INCHES OVER THE CONDUITS, SOLIDLY RAM AND TAMP BACKFILL INTO
- E. PROTECT CONDUIT FROM LATERAL MOVEMENT, IMPACT DAMAGE, OR UNBALANCED LOADING.
- ABOVE THE CONDUIT EMBEDMENT ZONE, PLACE AND COMPACT SATISFACTORY BACKFILL MATERIAL IN 8-INCH MAXIMUM LOOSE THICKNESS LIFTS TO RESTORE THE REQUIRED FINISHED SURFACE GRADE
- COMPACT FINAL TRENCH BACKFILL TO A DENSITY EQUAL TO OR GREATER THAN THAT OF THE EXISTING UNDISTURBED MATERIAL IMMEDIATELY ADJACENT TO THE TRENCH BUT NO LESS THAN A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS PROVIDED BY THE STANDARD PROCTOR TEST, ASTM D 698.
- 3.5 FINISH GRADING
- PERFORM ALL GRADING TO PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SMOOTH, EVEN SURFACE DRAINAGE OF THE ENTIRE AREA WITHIN THE LIMITS OF CONSTRUCTION. GRADING SHALL BE COMPATIBLE WITH ALL SURROUNDING TOPOGRAPHY AND STRUCTURES
- UTILIZE SATISFACTORY FILL MATERIAL RESULTING FROM THE EXCAVATION WORK IN THE CONSTRUCTION OF FILLS, EMBANKMENTS AND FOR REPLACEMENT OF REMOVED UNSUITABLE MATERIALS.
- REPAIR ALL ACCESS ROADS AND SURROUNDING AREAS USED DURING THE COURSE OF THIS WORK TO THEIR ORIGINAL CONDITION

- 3.6 ASPHALT PAVING
- A CONTRACTOR RESPONSIBLE FOR RE-STRIPING AND APPLYING SEALCOATING PER LOCAL DOT SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED.

### SIGN POST NOTES.

- ACCEPTABLE COLOR SUBSTITUTIONS:
- CONTRACTOR SHALL COORDINATE WITH CITY WHEN SPECIAL JURISDICTIONAL/CITY REQUESTS ARE NECESSARY FOR ANY SIGN POST INSTALLATIONS, I.E. POST MATERIAL, PAINT COLORS, HARDWARE, ETC. CONTRACTOR IS RESPONSIBLE FOR ENSURING CITY APPROVES ALL MATERIALS PRIOR TO INSTALLATION.

PAINT COLC	OR SUBSTITUTIONS
BRAND	COLOR
PANTONE	COOL GRAY #7 #a6a19e
BENJAMIN MOORE	FUSION / Af-675 #a6a3a1
BEHR	EQUINOX FF31-1 #9fa29d
SHERWIN - WILLIAMS	STAMPED CONCRETE - 7655 #a2a29b
VALSPAR	STONE MASON GRAY #a19c99



3500 DEER CREEK RD PALO ALTO, CA 94304 (650) 681-5000



Akron, OH 44311 330.572.2100 Fax: 330.572.2102

GPD PROJECT NUMBER 2018241.04 DRAWN BY DTF RP/EPN CHECKED BY INSTALLATION MANAGER: SHAWN GLEASON

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IT IS A VIOLATION OF THE LAW FOR ANY PERSON

959 WEST AVENUE (TESLA STATION) MIAMI BEACH, FL 33139

SHEET TITLE

**GENERAL NOTES** 

SHEET NUMBER

GN-2

### GOVERNING BUILDING CODE:

GOVERNING BUILDING CODE: 2017 FLORIDA BUILDING CODE

### DESIGN LOADINGS:

GRAVITY LOADS: UNIFORM CONCENTRATED FLOOR DEAD LOADS MECHANICAL SLABS

LATERAL LOAD DESIGN DATA MIND DESIGN DATA (ASCE 7-10):

BASIC WIND SPEED (Vasd) 89 MPH EXPOSURE CATEGORY SEISMIC DESIGN DATA (ASCE 7-10):

SEISMIC IMPORTANCE FACTOR (I) 1.0 SITE CLASS D (ASSUMED) MAPPED SPECTRAL RESPONSE SHORT PERIODS (Ss) 0.041 1 SEC. PERIODS (S1) 0.020 SPECTRAL RESPONSE COFFE SHORT PERIODS (SDS) 0.027 1 SEC, PERIODS (SD1) 0.013 SEISMIC DESIGN CATEGORY

### **GENERAL PROVISIONS:**

TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR UNLESS OTHERWISE NOTED.

DRAWINGS ARE NOT TO BE SCALED.

THE CONTRACTOR SHALL CAREFULLY REVIEW THE DRAWINGS TO IDENTIFY THE SCOPE OF WORK REQUIRED, VISIT THE SITE TO RELATE THE SCOPE OF WORK TO EXISTING CONDITIONS, AND DETERMINE THE EXTENT OF WHICH THOSE CONDITIONS AND PHYSICAL SURROUNDINGS WILL

EXISTING CONDITIONS, AS SHOWN ON THESE PLANS, ARE FOR REFERENCE ONLY. THE CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION

THE CONTRACTOR SHALL ASSUME THE MOST STRINGENT REQUIREMENTS APPLY IN CASE OF CONFLICT AMONG SPECIFICATIONS, STANDARDS, CODES AND DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.

ANY DEVIATION, MODIFICATION, OR SUBSTITUTION FROM THE BID SET OF STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR REVIEW/APPROVAL PRIOR TO ITS USE OR INCLUSION ON THE SHOP DRAWINGS. WITHOUT SUCH PRIOR APPROVAL DEVIATIONS. MODIFICATIONS, OR SUBSTITUTIONS WILL BE REJECTED. COSTS FOR DEMOLITION AND REWORK

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STARLE AFTER IT IS FULLY COMPLETED FOR IN-SERVICE LOADS ONLY. THE MEANS, METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHICH INCLUDE THE DETERMINATION OF ALLOWABLE CONSTRUCTION LOADING OF THE STRUCTURE. THE CONTRACTOR SHALL PROVIDE, DESIGN, MONITOR, AND MAINTAIN ALL NECESSARY TEMPORARY AND PERMANENT SYSTEMS (SHORING, BRACING, GUYS, FALSEWORK, FORMWORK, SHEETING, ETC.) TO ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION. ANY SYSTEMS SHOWN ON THE DOCUMENTS ARE PARTIAL AND SCHEMATIC IN NATURE AND EXTENTS ARE NOT ALL INCLUSIVE. ALL WORK SHALL BE PERFORMED WITHOUT DAMAGE TO ADJACENT

THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE STRUCTURAL CONTRACT DOCUMENTS AND SHALL NOTIFY THE STRUCTURAL ENGINEER OF ANY CONFLICTS BETWEEN THOSE DOCUMENTS AND ANY SAFETY REGULATIONS. SUCH REVIEW AND NOTIFICATION SHALL OCCUR PRIOR TO PRODUCTION OF SHOP

THE CONTRACTOR SHALL PROTECT ALL WORK, MATERIALS, AND EQUIPMENT FROM DAMAGE AND SHALL PROVIDE PROPER STORAGE FACILITIES FOR MATERIALS AND EQUIPMENT DURING

SITE VISITS PERFORMED BY THE ARCHITECT/ENGINEER DO NOT INCLUDE INSPECTIONS OF MEANS AND METHODS OF CONSTRUCTION PERFORMED BY THE CONTRACTOR

STRUCTURAL OBSERVATIONS PERFORMED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION ARE NOT THE CONTINUOUS AND SPECIAL INSPECTION SERVICES AND DO NOT WAIVE THE RESPONSIBILITY FOR THE INSPECTIONS REQUIRED OF THE BUILDING DEPARTMENT INSPECTOR OR THE TESTING AGENCY. ALSO, OBSERVATIONS DO NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.

ALL WALLS, FLOORS, AND ROOF MEMBERS SHALL BE SECURELY SHORED AND BRACED AT ALL

NO PIPES OR DUCTS SHALL BE EMBEDDED INTO STRUCTURAL MEMBERS UNLESS SO SHOWN ON THE PLANS OR APPROVED BY THE ENGINEER

NO STRUCTURAL ELEMENTS ARE TO BE CUT UNLESS SPECIFICALLY APPROVED BY THE ENGINEER.

### **FOUNDATION SYSTEMS:**

### GENERAL:

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL VERIFY ANY EXISTING FIELD CONDITION THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM.

THE CONTRACTOR SHALL EXERCISE GREAT CARE DURING EXCAVATION. UNDERGROUND UTILITY LOCATIONS IF SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL PREDETERMINE LITHLITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF DEVIATION FROM PLANS EXIST. THE CONTRACTOR IS RESPONSIBLE FOR THE SAFE SUPPORT OF UTILITIES ACROSS EXCAVATIONS

SHEETING, SHORING, AND DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR

NO GEOTECHNICAL REPORT WAS PROVIDED AT THE TIME OF FOUNDATION DESIGN. A SOILS TESTING LABORATORY SHALL BE RETAINED BY THE OWNER TO PROVIDE CONSTRUCTION REVIEW TO ENSURE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS DURING THE EXCAVATIONS, BACKFILL, AND FOUNDATION PHASES OF THE PROJECT

### SPREAD/TRENCH FOOTINGS

DETERMINATION OF FINAL BEARING ELEVATIONS, TOPSOIL AND EXCAVATION STRIPPING DEPTH INSPECTION OF ALL SUBSOIL EXPOSED DURING STRIPPING, SITE GRADING, EXCAVATION OPERATIONS, APPROVAL OF FILL MATERIALS, DENSITY TESTING OF FILLS TO ENSURE PLACEMENT PER SPECIFICATION REQUIREMENTS, INSPECT FOUNDATION BEARING SURFACES, AND VERIFY ALLOWABLE BEARING PRESSURES IS THE TESTING LABORATORIES RESPONSIBILITY

ALL FOUNDATIONS ARE TO REST ON FIRM UNDISTURBED SOIL OR COMPACTED FILL FREE FROM ORGANIC MATTER. IF POOR SOIL CONDITIONS ARE ENCOUNTERED AT FOUNDATION DEPTHS SHOWN, NOTIFY OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH CONSTRUCTION

ALL FOUNDATIONS SHALL REST ON AND AGAINST FIRM UNDISTURBED SOIL FREE FROM WATER ORGANIC MATTER, AND FORM WORK. CONTRACTOR SHALL COMPACT SUBGRADE. SEE FROST/NO FROST DESIGN NOTES BELOW.

FOUNDATIONS HAVE BEEN DESIGNED BASED ON AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY

NEW FOOTINGS PLACED ADJACENT TO EXISTING FOOTINGS SHALL BEAR AT THE SAME ELEVATION,

STEP FOOTINGS AT A RATIO OF ONE (1) VERTICAL TO TWO (2) HORIZONTAL WITH A MAXIMUM VERTICAL STEP OF 2'-0" UNLESS NOTED OTHERWISE

INUNDATION AND LONG TERM EXPOSURE OF BEARING SURFACES, WHICH WILL RESULT IN DETERIORATION OF BEARING FORMATIONS, SHALL BE PREVENTED. FOOTINGS SHALL BE PLACED IMMEDIATELY FOLLOWING FOOTING EXCAVATIONS AND BEARING SURFACE INSPECTION.

UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE APPROVAL OF THE ENGINEER OF RECORD

GROUNDWATER ASSUMED TO BE BELOW EXCAVATION DEPTH, IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION ON SITE, CONTRACTOR SHALL PROVIDE FOR ANY SITE DRAINAGE AND

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING PUBLIC AND PRIVATE UTILITIES PRIOR TO EXCAVATION, IF NECESSARY, UTILITIES SHALL BE RELOCATED PRIOR TO FOUNDATION INSTALLATION

## CHARGING POST - FROST DESIGN NOTES (I.E. BOTTOM OF FOUNDATION ABOVE FROST LEVEL):

CONCRETE FOUNDATIONS SHOULD BEAR DIRECTLY ON A PROPERLY COMPACTED FREE-DRAINING GRANULAR FILL CONSISTING OF NO. 57 STONE OR AN APPROVED EQUIVALENT

GRANULAR FILL SHOULD EXTEND VERTICALLY TO THE MINIMUM RECOMMENDED REGIONAL FROST DEPTH AND LATERALLY 2/3D FROM THE FOUNDATION PERIMETER, GRANULAR FILL SHOULD BE PLACED IN 8 INCH LOOSE LIFTS AND COMPACTED WITH A VIBRATORY COMPACTOR. THE COMPACTION EQUIPMENT SHOULD BE OPERATED OVER THE FULL WIDTH OF THE FOUNDATION UNDERCUT AREA UNTIL VISIBLE DEFORMATION OF THE BACKFILL CEASES

GEOTEXTILE (FILTER FABRIC) SHOULD BE PLACED BETWEEN THE GRANULAR BACKFILL AND COHESIVE SOILS TO PRECLUDE THE INFILTRATION OF FINES.

# CHARGING POST - NO FROST DESIGN NOTES (I.E. BOTTOM OF FOUNDATION BELOW FROST LEVEL):

CONCRETE FOUNDATIONS SHOULD BE SUPPORTED ON A 6 INCH COMPACTED LAYER OF APPROVED FREE-DRAINING GRANULAR MATERIAL

APPROVED MATERIAL SHOULD BE COMPACTED OVER THE FULL WIDTH OF THE INFILL AREA UNTIL VISIBLE DEFORMATION OF THE BACKFILL CEASES

### SPECIAL INSPECTIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND OVERSEEING OF ALL SPECIAL INSPECTIONS REQUIRED BY THE AUTHORITY HAVING JURISDICTION. SPECIAL INSPECTIONS MUST BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL

### CONCRETE:

### GENERAL

ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACL 301-10. "STANDARD SPECIFICATION FOR STRUCTURAL CONCRETE" AND ACI 302, 305 AND 306 UNLESS NOTED OTHERWISE

ALL DETAILING, FABRICATION AND PLACING OF CONCRETE SHALL CONFORM TO ACI 318-14 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" AND THE LATEST ACI "MANUAL OF STANDARD PRACTICE FOR DETAIL REINFORCED CONCRETE STRUCTURES" UNLESS NOTED

SAFETY AND PERFORMANCE OF THE STRUCTURE ARE THE RESPONSIBILITY OF THE CONTRACTOR INSOFAR AS THEY ARE AFFECTED BY THE LOCATION AND DETAILS OF CONSTRUCTION JOINTS. SHOP DRAWINGS OF THE PROPOSED CONSTRUCTION JOINT LOCATIONS AND DETAILS ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.

MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 1/3 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING. MAXIMUM SIZE MAY BE INCREASED TO 2/3 CLEAR DISTANCE PROVIDED WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIRRATING WILL PREVENT HONEYCOMBS OR VOIDS

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS AS FOLLOWS:

ALL CONCRETE - 4000 PSI

ALL CONCRETE EXPOSED TO WEATHER SHALL CONTAIN 6% (± 1%) AIR ENTRAINMENT.

REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60.

WELDED WIRE FABRIC REINFORCING SHALL CONFORM TO ASTM A1064 AND BE FURNISHED IN FLAT SHEETS AND INSTALLED ON CHAIRS OR PRECAST CONCRETE BLOCKS.

NO TACK WELDING OF REINFORCING IN THE FIELD IS PERMITTED.

PROVIDE CORNER BARS AT ALL LOCATIONS WHERE REINFORCEMENT CHANGES DIRECTION.

PROVIDE STRAIGHT AND DIAGONAL BARS AT EDGES OF ALL OPENINGS

REINFORCING EMBEDMENT AND LAP SPLICES (INCHES) FOR 4000 PSI CONCRETE

	OTHER		TOP*		
BAR SIZE	ANCHORAGE	SPLICE	ANCHORAGE	SPLICE	
#3	15	19	19	24	
# 4	19	25	25	33	
# 5	24	31	31	41	
#6	29	37	37	49	

\* HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE BELOW BAR

NON-SHRINK GROUT SHALL MEET A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 6000 PSI

### STRUCTURAL STEEL (CONT.)

### GENERAL:

MATERIAL PROPERTIES:

PLATE: ASTM A53, TYPE E OR S. GRADE B PIPE: ASTM A500 GRADE B (Fy = 46 KSI) TUBE

DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE 2010 AISC (360-10)

ALL WELDING SHALL BE DONE USING E-70XX ELECTRODES IN ACCORDANCE WITH AWS D1.1

FIELD VERIFY ALL CONDITIONS AT AND CONNECTIONS TO THE EXISTING CONSTRUCTION

ALL EXPOSED STRUCTURAL STEEL AND BOLTS SHALL BE HOT DIP GALVANIZED PER ASTM

PRIME ALL STEEL NOT IN CONTACT WITH CONCRETE.

UNLESS NOTED OTHERWISE ON THE DRAWING, ALL ANCHOR RODS SHALL CONFORM TO ASTM F1554 WITH HEAVY HEXAGONAL NUT.

ALL EXPOSED STRUCTURAL STEEL AND ANCHOR RODS SHALL BE HOT DIP GALVANIZED PER

SUBMIT FABRICATION AND ERECTION DRAWINGS SHOWING ALL DETAILS CONNECTIONS MATERIAL DESIGNATIONS, AND TOP STEEL ELEVATIONS FOR APPROVAL. THE SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL CONFORMANCE TO THE CONTRACT DRAWINGS. SUCH APPROVAL SHALL NOT RELIEVE THE FABRICATOR/CONTRACTOR OF THE RESPONSIBILITY FOR FITHER THE ACCURACY OF THE DETAILED DIMENSIONS IN THE SHOP AND ERECTION DRAWINGS OR THE GENERAL FIT-UP OF PARTS THAT ARE TO BE ASSEMBLED

ALL EXPOSED STEEL SHALL BE GALVANIZED UNLESS NOTED OTHERWISE. AS APPLICABLE, PRIMER SHALL BE RED OXIDE-CHROMATE PRIME COMPLYING WITH STEEL STRUCTURES PAINTING COUNCIL (SSPC) PAINT SPECIFICATION NUMBER 11. SEE DETAILS AND PLAN.



3500 DEER CREEK RD PALO ALTO, CA 94304 (650) 681-5000



520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax: 330.572.2102

GPD PROJECT NUMBER 2018241.0 DRAWN BY DTF CHECKED BY RP/EPI

NSTALLATION MANAGER: SHAWN GLEASON

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959 WEST AVENUE

ALTER THIS DOCUMENT.

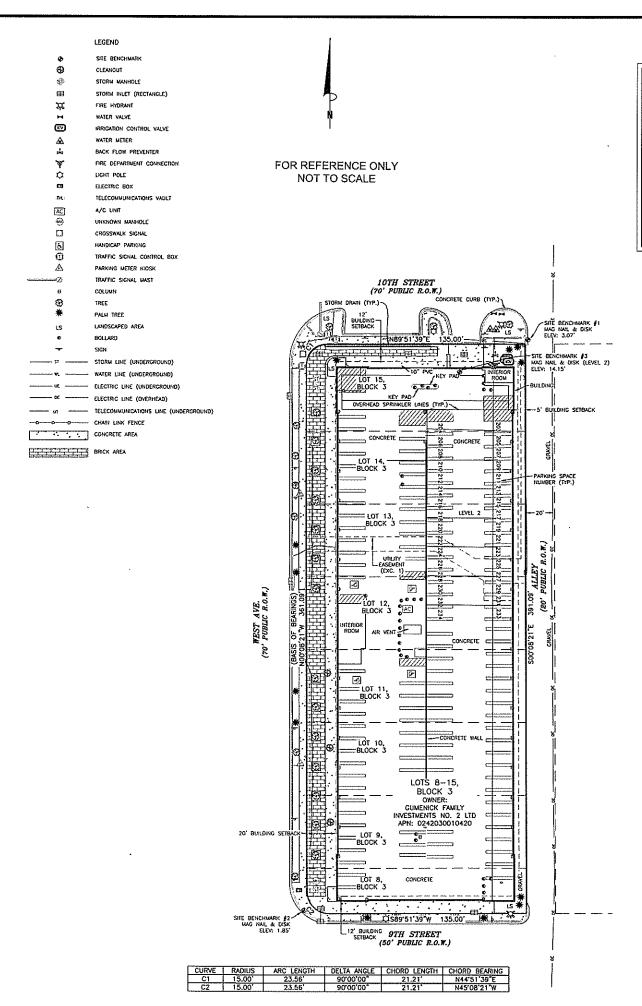
(TESLA STATION) MIAMI BEACH, FL 33139

SHEET TITLE

**GENERAL NOTES** 

SHEET NUMBER

GN-3





### PROPERTY DESCRIPTION:

Lots 8, 9, 10, 11, 12, 13, 14 & 15, Block 3, Fleetwood Subdivision Amended, according to the Plot thereof, recorded in Plot Book 28, Page 34 of the Public Records of Dade County, Florida.

### SCHEDULE B2 EXCEPTIONS:

- EASEMENT, November 27, 2002, BOOK 20834 PAGE 2135.
   AFFECTS SURVEY AREA AND IS SHOWN HEREON.
- MATTERS AS SHOWN ON FILED MAP, November 27, 1927, BOOK 28 OF PLATS, PAGE 34.
   NO EASEMENTS SHOWN ON PLAT.

Items not listed above are determined non-survey related items and are not platted herean

- This is a topographic map. This is not a boundary survey and is only intended to depict those topographic features
  or improvements shown. The property lines shown are record lines only and are shown for graphical reference only.
- Any underground utilities shown have been located from field survey information. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated atthough he does certify that they are located as accurately as possible from the information available.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Role Map, Map Number 12086C0319L effective date September 11, 2009, indicates this parcel of land is located in Zone AE (special flood hazard areas subject to inundation by the 1π annual chance flood).
- 4. This survey does not constitute a title search by Clark Land Surveying, Inc. to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Clark Land Surveying, Inc. relied upon a Search Report, prepared by Pacific Corporate & Title Services with an order number of RC1949116-400601, dated January 29, 2018.
- 5. Elevations are based on NAVD 88 datum.

- SITE BENCHMARKS:
  Site Benchmark #1: Mag Noil & Disk in Concrete, as shown. Elevation: 3.07' (NAVD 88).
  Site Benchmark #2: Mag Noil & Disk in Concrete, as shown. Elevation: 1.85' (NAVD 88).
  Site Benchmark #3: Mag Noil & Olsk in Concrete (Level 2), as shown. Elevation: 14.15' (NAVD 88).
- BASIS OF BEARINGS: Bearings are relative to east right-of-way line of West Ave., as shown upon the plat of Amended Plat of Fleetwood Subdivision, assumed to bear N00'08'21"W, recorded in Book 28, Page 34 of the Official Public Records of Dado County, Florida.
- 8. Field work for this survey was completed on January 16, 2018.
- This site is zoned "RM-2" (Residential multifamily, medium intensity) per City of Miorni Beach Planning Department, Building Setbacks: Front: 20' Side: 5'

Rear: 5'

10. Building setbacks may be subject to requirements that are unknown at the time of survey.

## SURVEYOR'S STATEMENT:

On the basis of my knowledge, information and belief, I hereby state and declare that this drawing was prepared under my direct supervision to the standard of care of surveyors practicing in the State of Florida and that the information shown hereon is true and correct to the best of my knowledge and belief.

This statement is neither a warranty nor a guarantee, either expressed or implied



M O D D I O S 121 S 22 127 V O S 100 Yns Snr

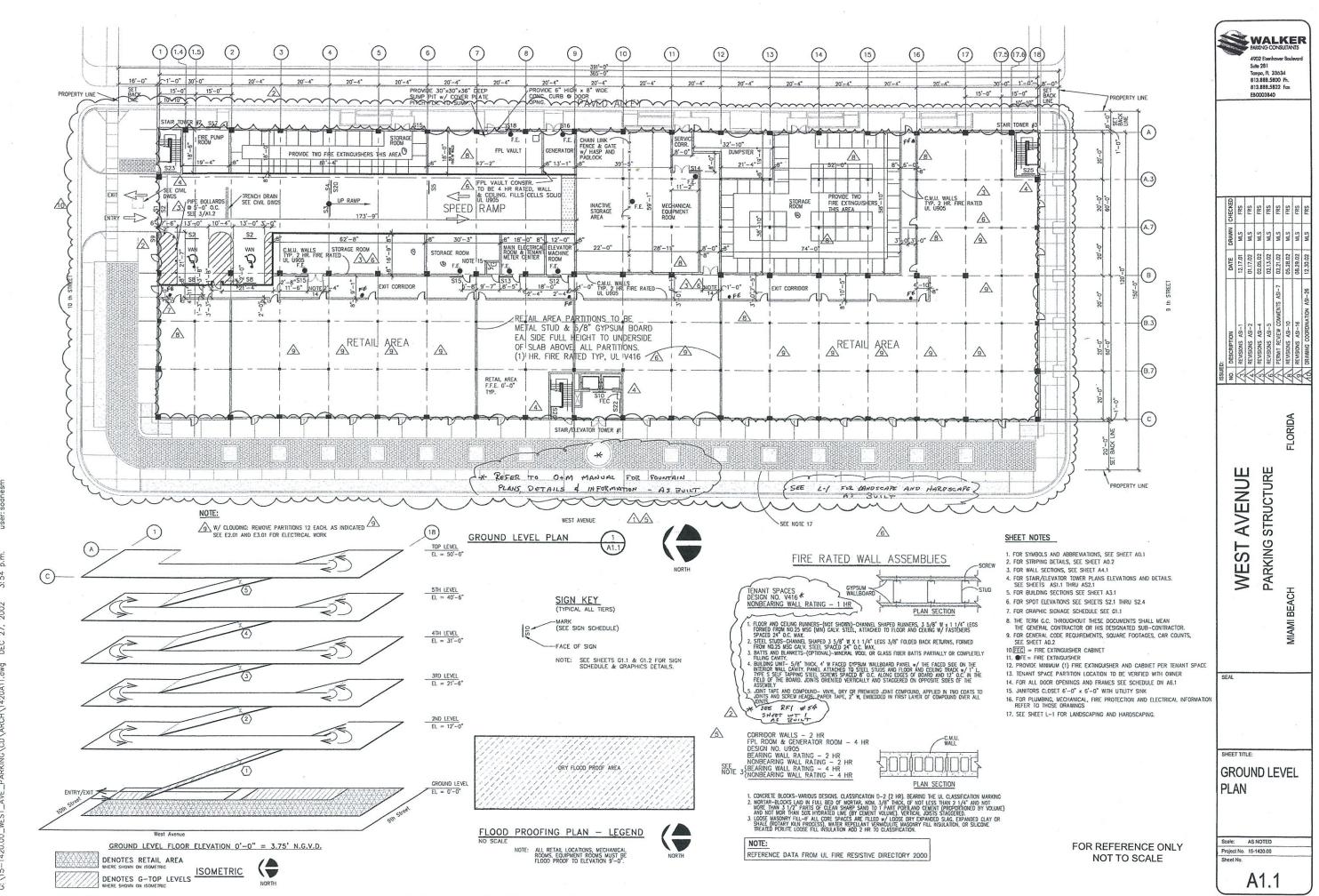
교 SITE NAME: Miami Beach, F

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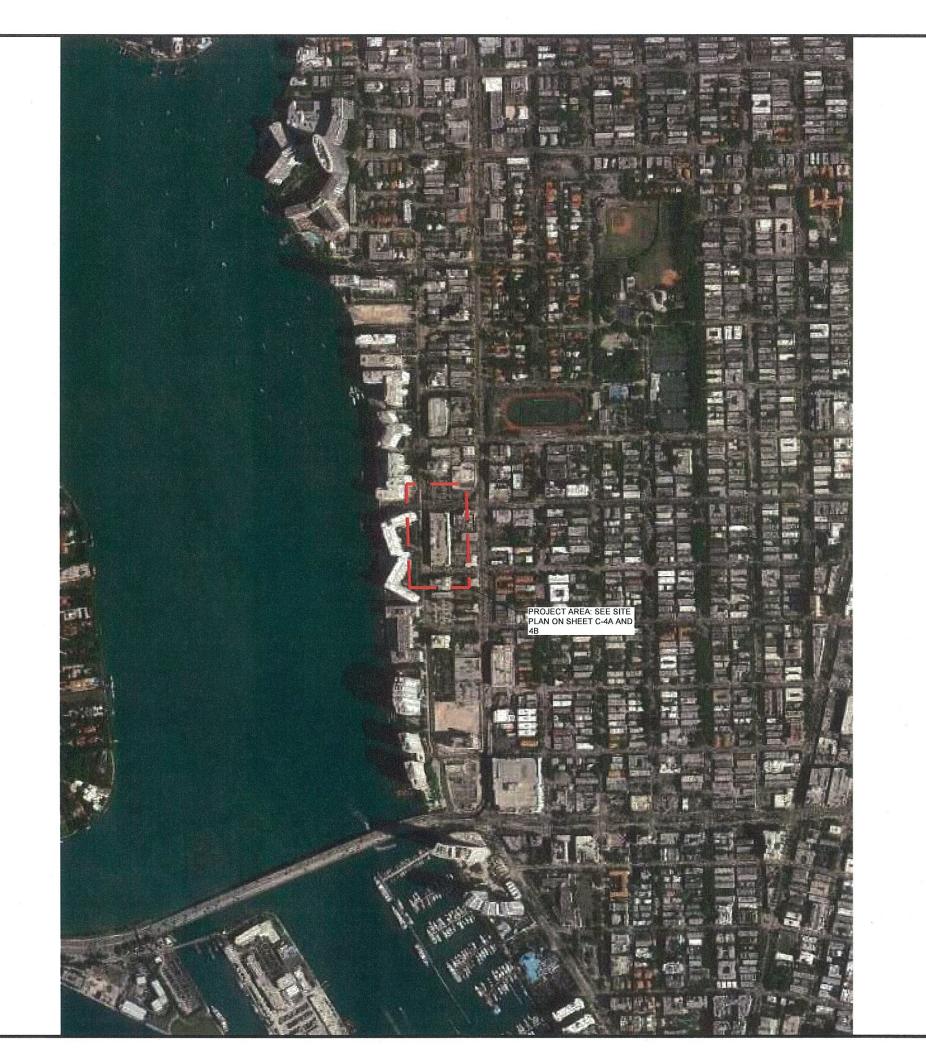
TOPOGRAPHIC SURVEY
SOUTH, RANGE 42 EAST HALF OF SECTION 3,
SOUTH, RANGE 42 EAST OF THE TALLAHASSEE ME
OF MIAMI BEACH, DADE COUNTY, FLORIDA

| Drown By: ZAR | | Date: 2/1/201

A PORTION ( HIP 54 SOUTH, I CITY OF MIA!



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3500 DEER CREEK RD PALO ALTO, CA 94304 (650) 681-5000



520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax: 330.572.2102

 GPD PROJECT NUMBER:
 2018241.04

 DRAWN BY:
 DTP

 CHECKED BY:
 RP/EPM

 INSTALLATION MANAGER:
 SHAWN GLEASON

B 04.06.18 FINAL SUBMITTAL
A 03.19.18 FIRST SUBMITTAL
REV DATE



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

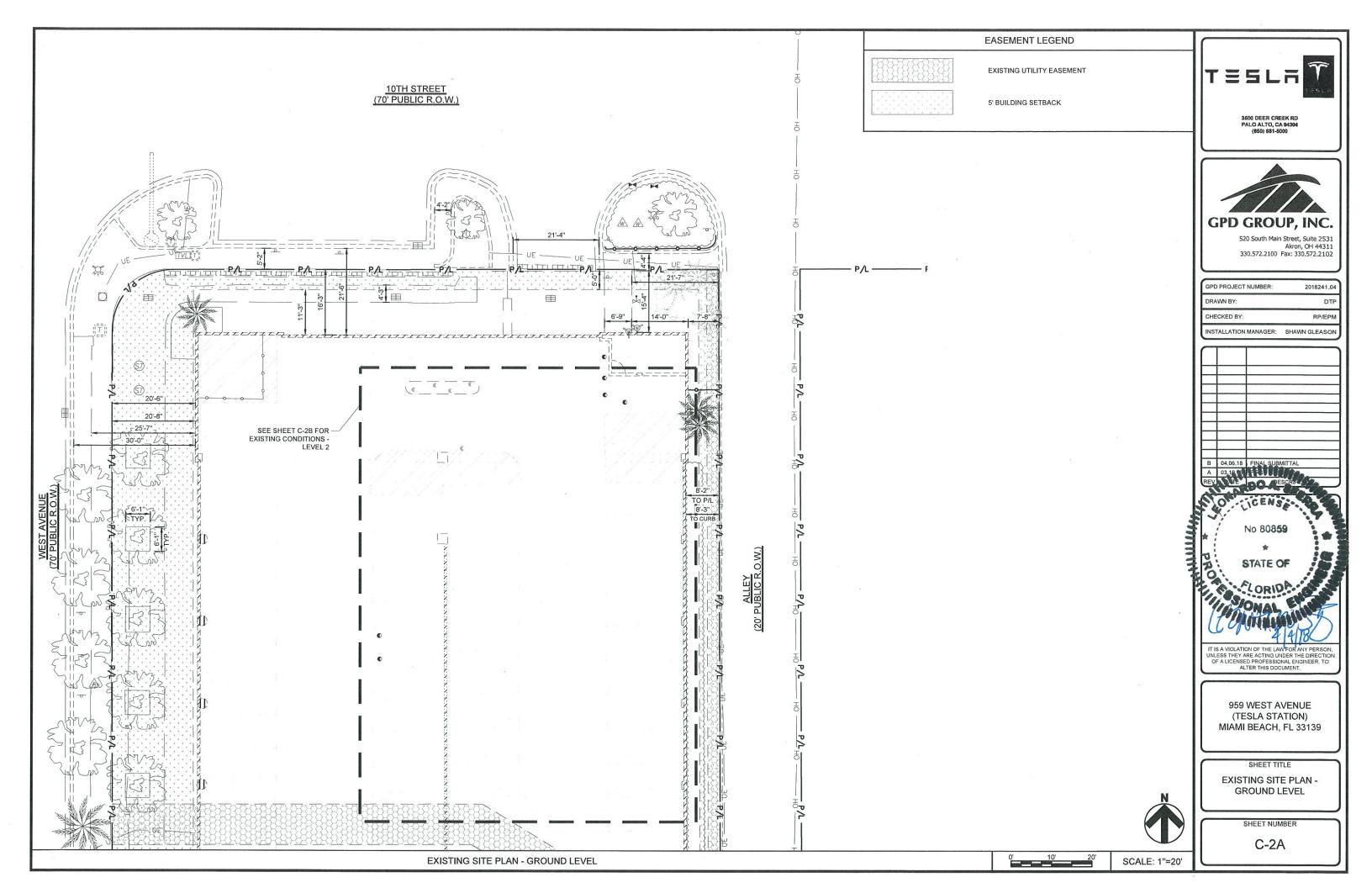
959 WEST AVENUE (TESLA STATION) MIAMI BEACH, FL 33139

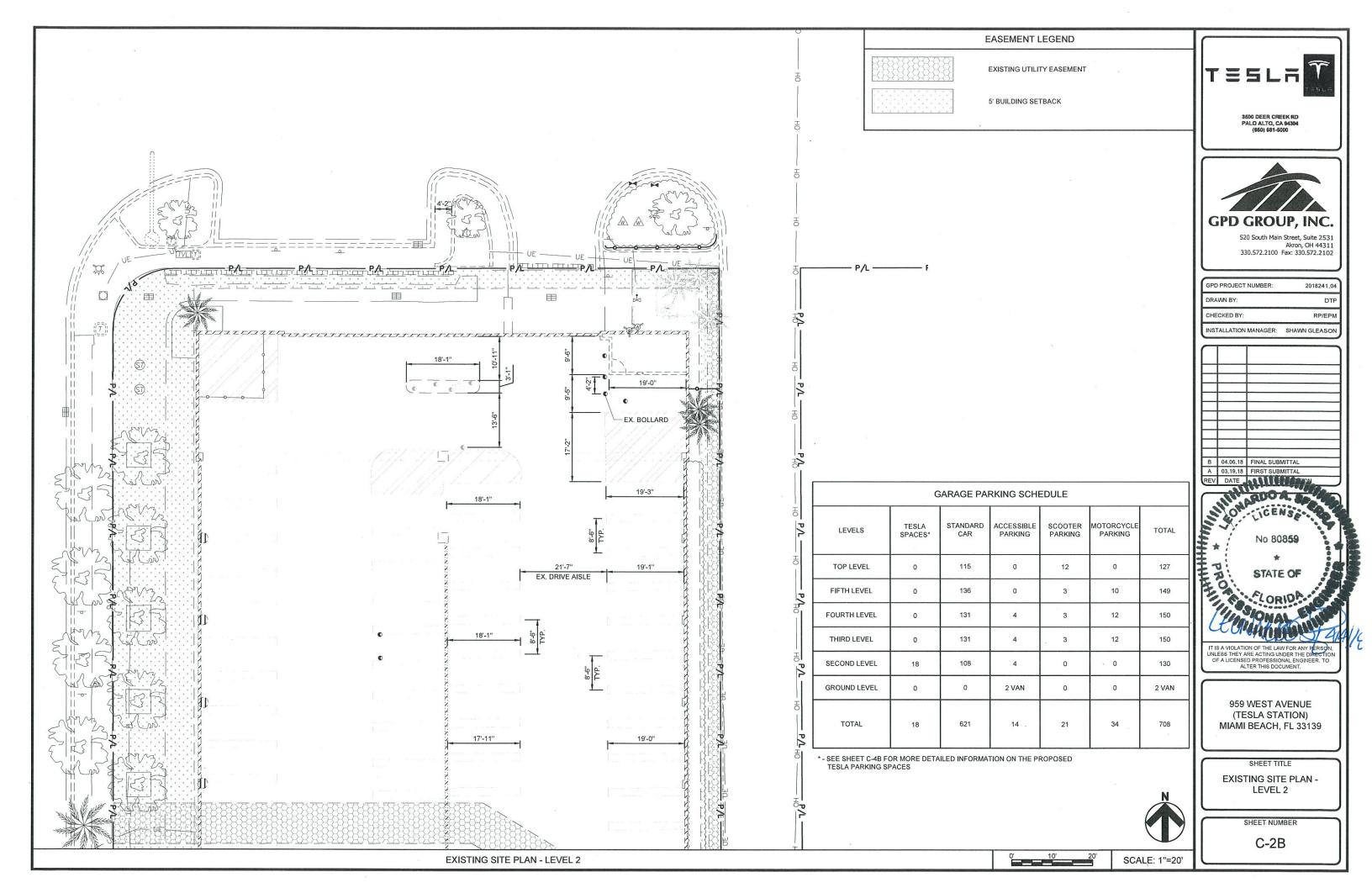
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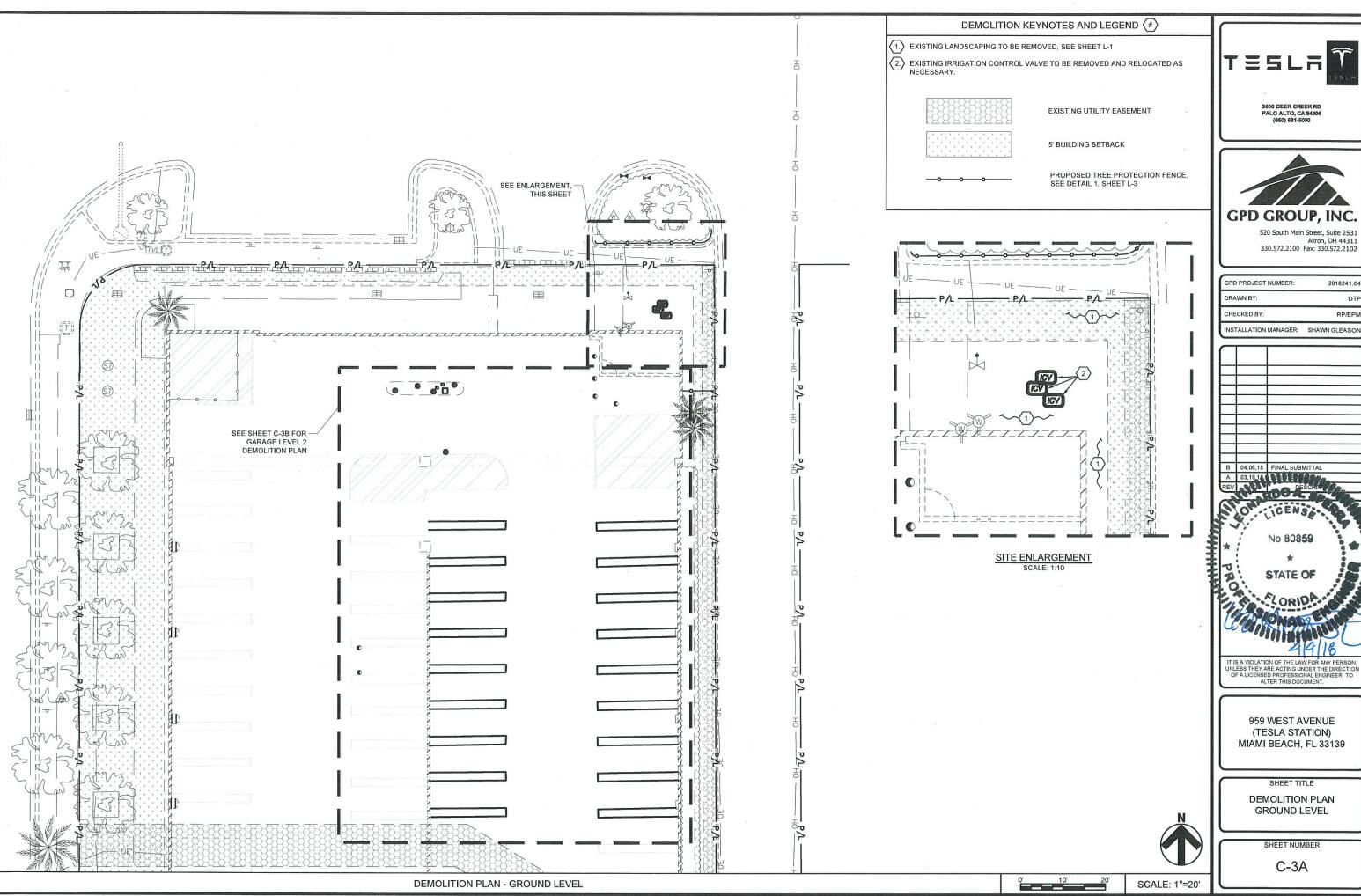
CONTEXT LOCATION PLAN

SHEET NUMBER











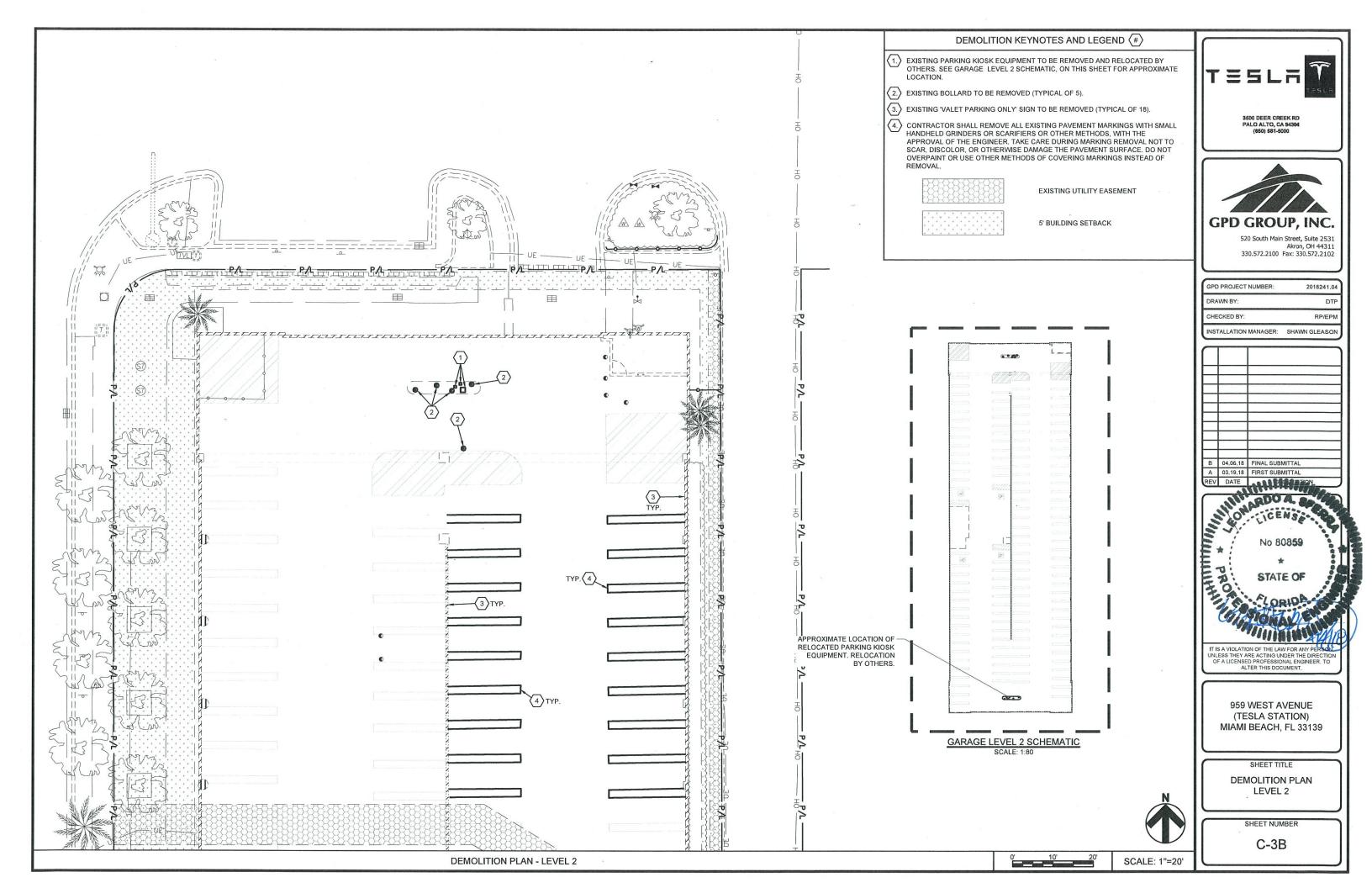
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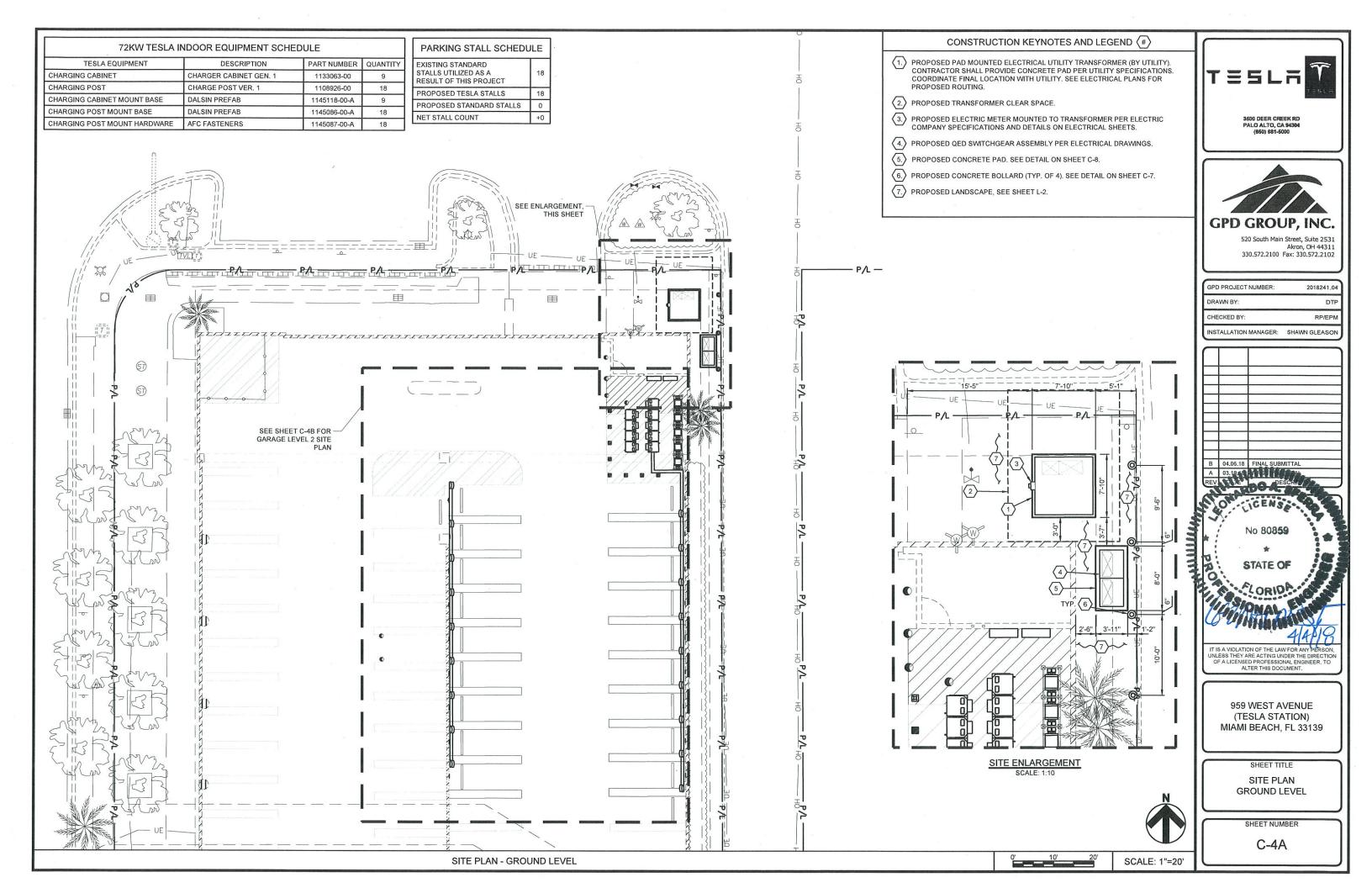
2018241.04 DTP RP/EPM

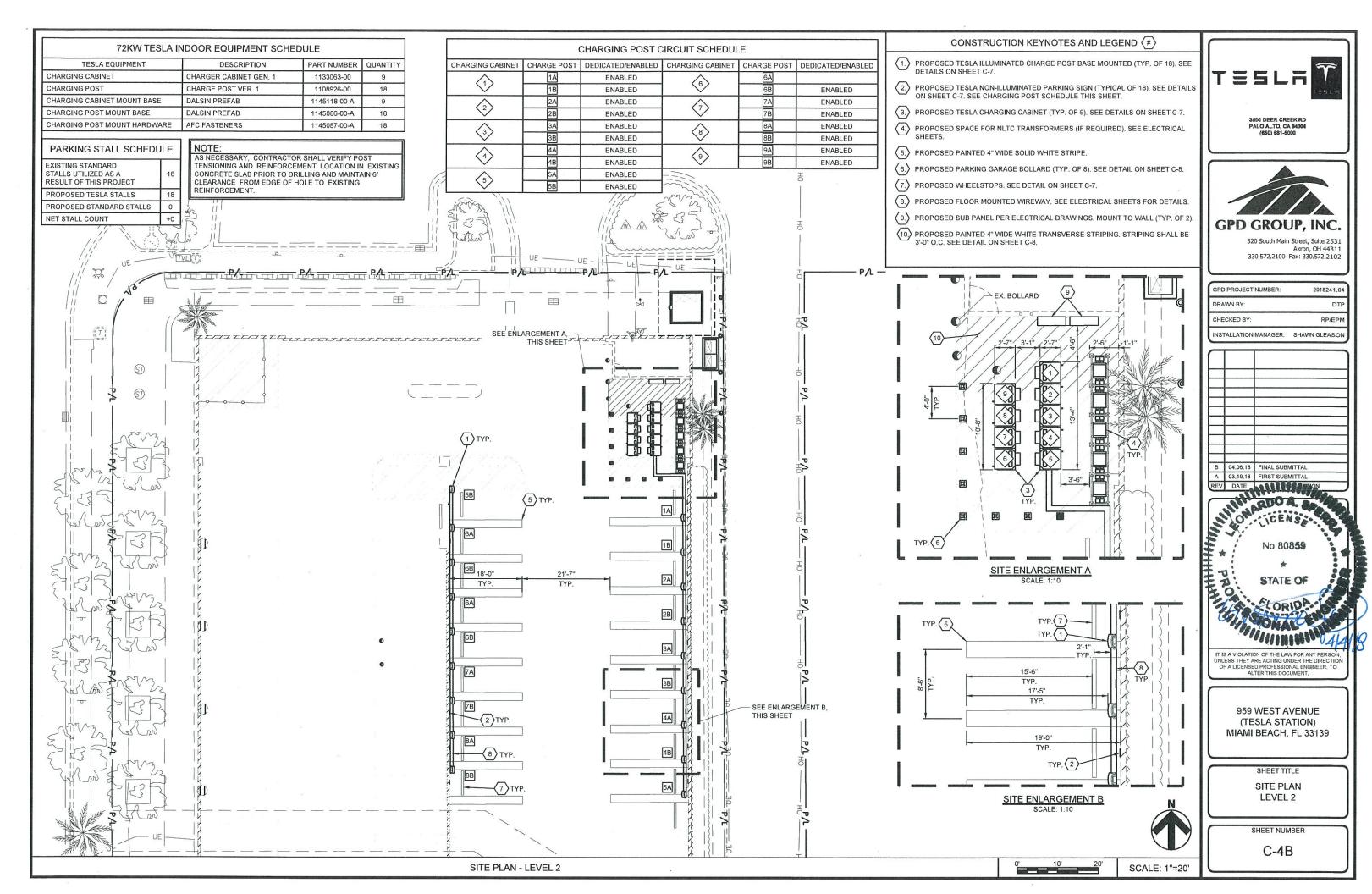
INSTALLATION MANAGER: SHAWN GLEASON

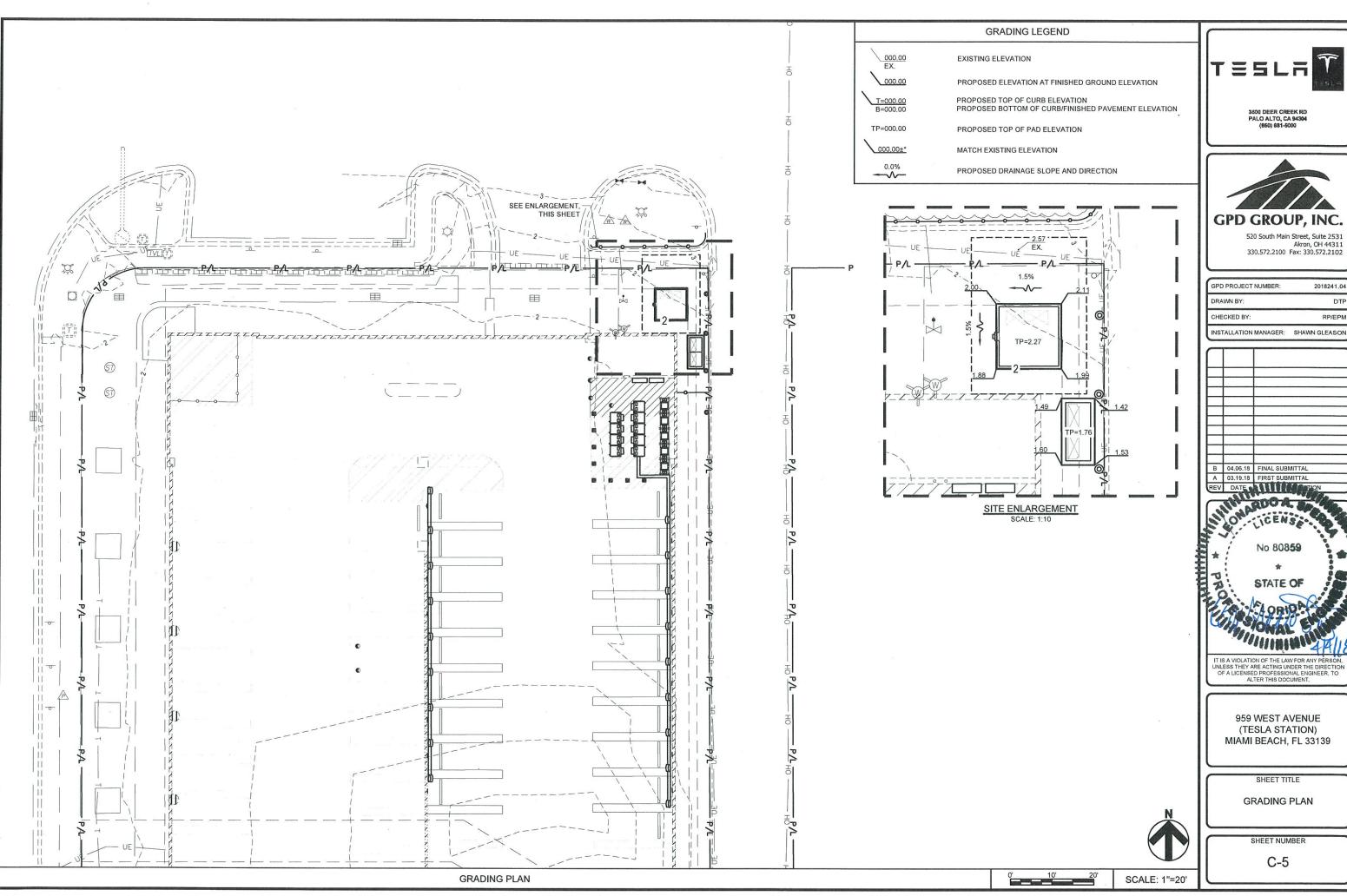
959 WEST AVENUE (TESLA STATION)

**DEMOLITION PLAN** 







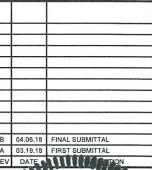






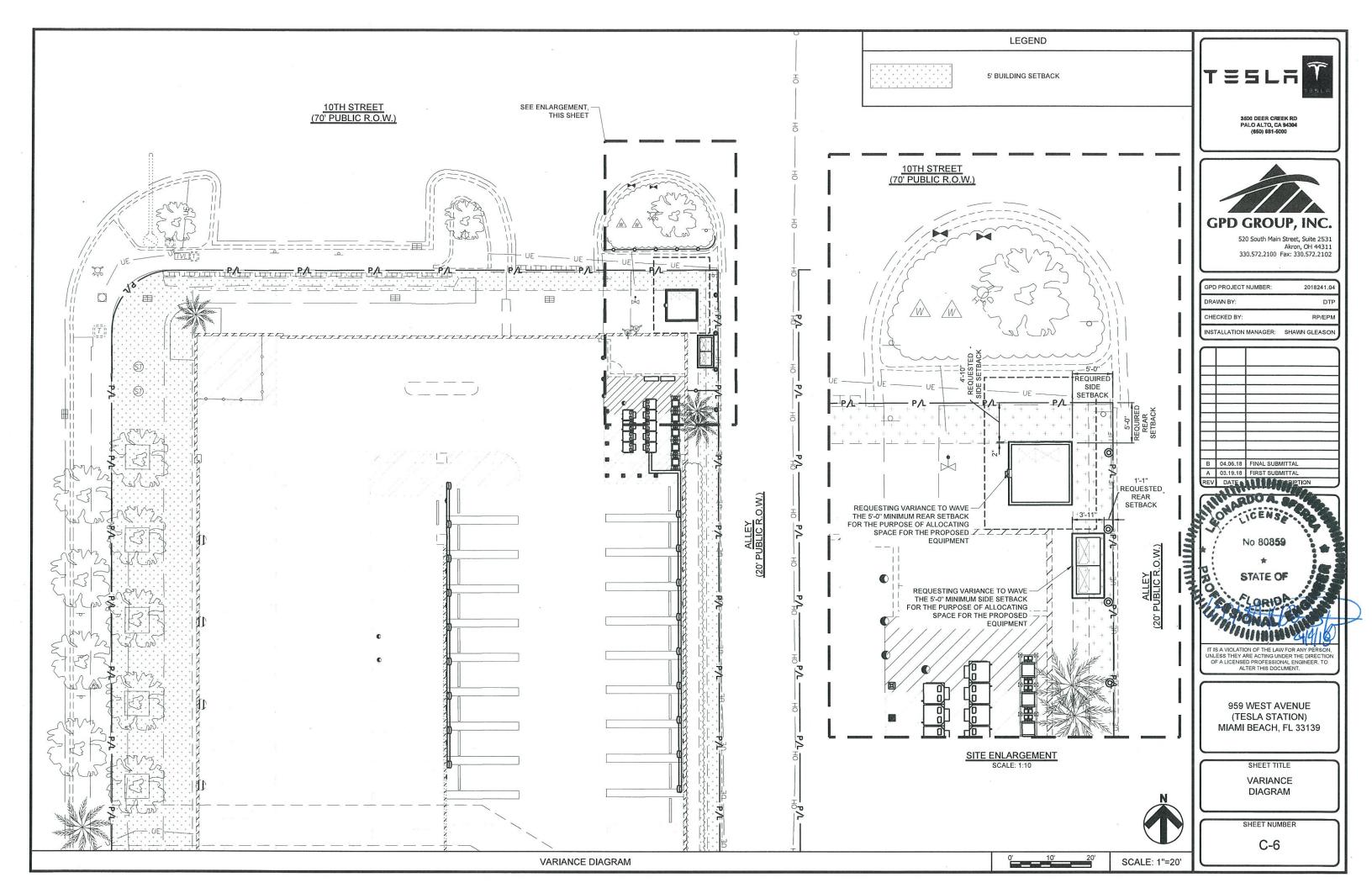
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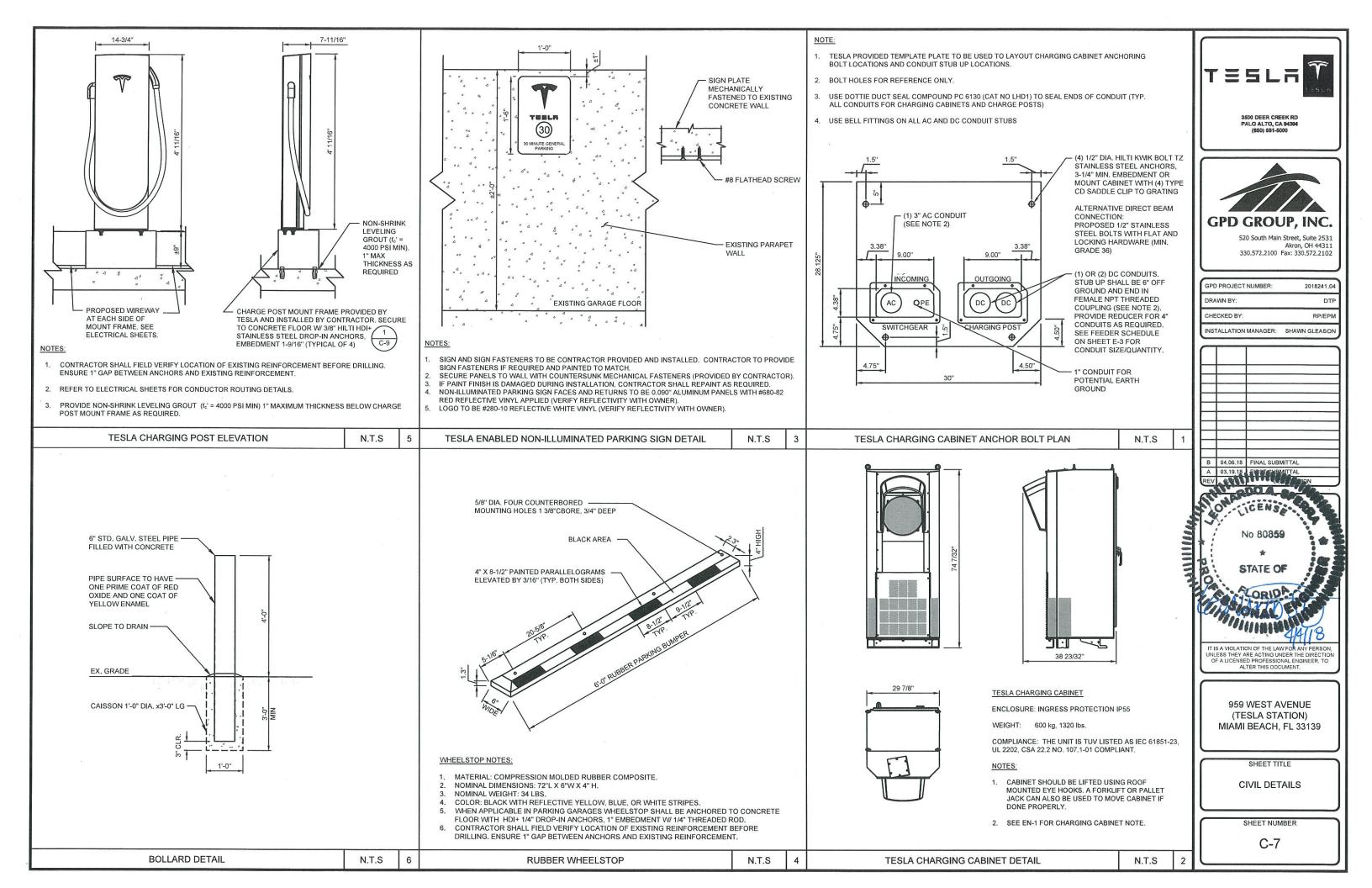
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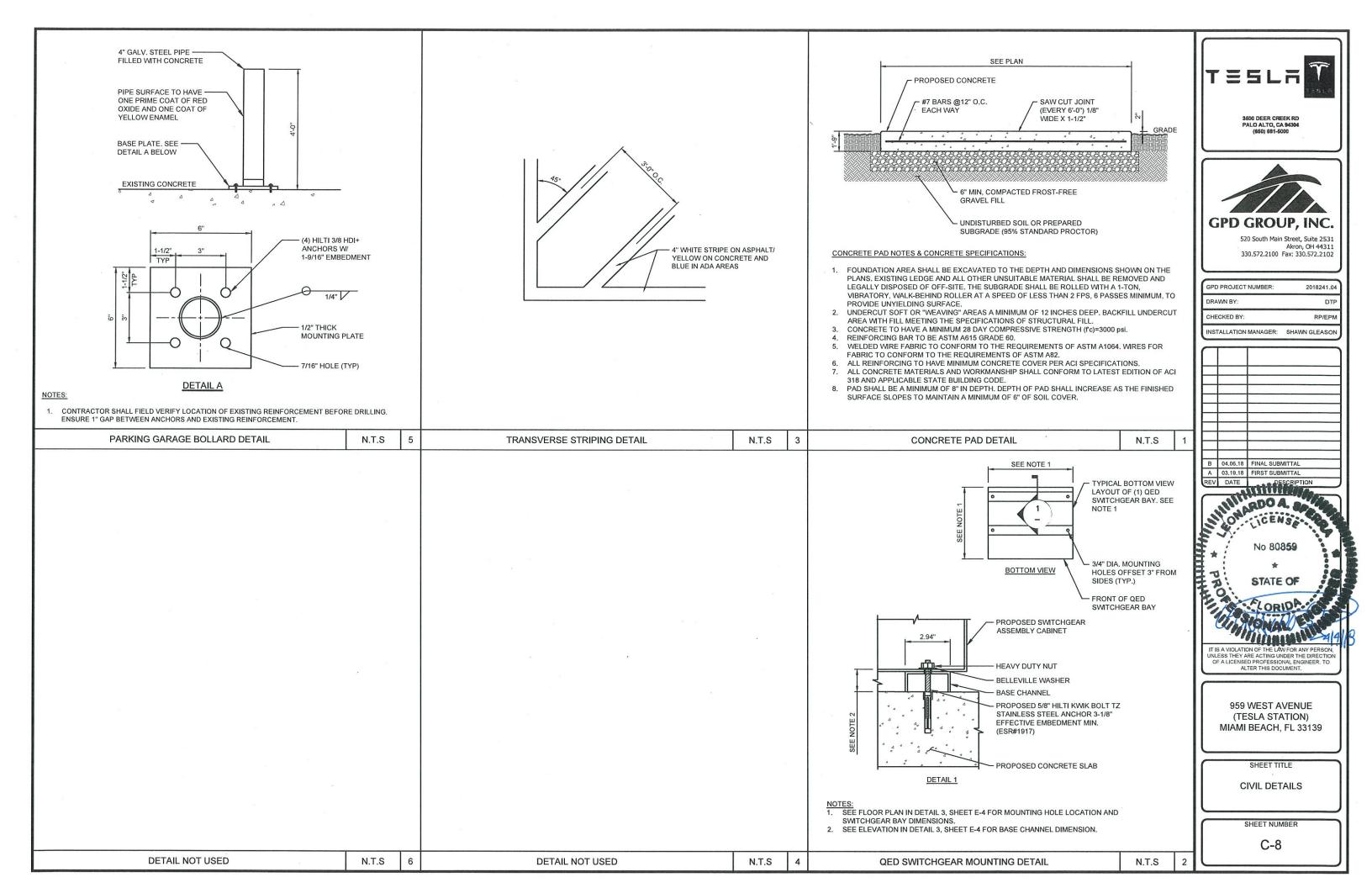


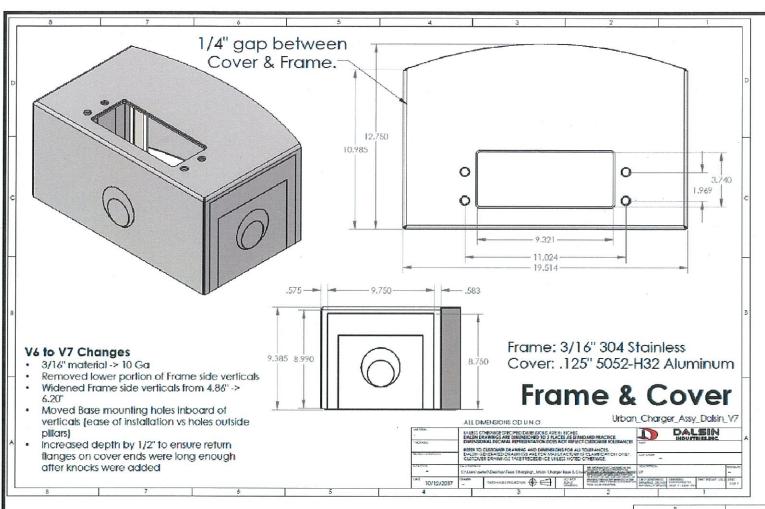


(TESLA STATION) MIAMI BEACH, FL 33139









# FRAME NOTES

- CHARGING POST STEEL MOUNTING BASE IS DESIGNED AND ENGINEERED BY DALSIN INDUSTRIES, INC. INTERIOR EDGES OF CHARGING POST STEEL MOUNTING BASE AND ASSOCIATED HARDWARE SHALL BE COVERED TO PROTECT CABLES FROM DAMAGE.
- CHARGING POST STEEL MOUNTING BASE IS PROVIDED BY TESLA AND INSTALLED BY
- CHARGING POST STEEL MOUNTING BASE SHALL BE COVERED BY ALUMINUM SLEEVE COVER (PROVIDED BY TESLA AND INSTALLED BY CONTRACTOR). SLEEVE COVER SHALL SLIP OVER ENTIRE STEEL FRAME AND END/EDGE OF WIREWAY RUNS.
- GROUND/BOND CHARGING POST STEEL MOUNTING BASE PER NEC REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE WEATHERTIGHT CONNECTIONS BETWEEN CHARGING POST STEEL MOUNTING BASE & WIREWAY JUNCTION W/ TESLA PROVIDED ADAPTER.



3500 DEER CREEK RD PALO ALTO, CA 94304 (650) 681-5000



520 South Main Street, Suite 2531 Akron, OH 44311 330.572.2100 Fax: 330.572.2102

2018241.04

	CHECKED BY:	RP/EPM	
ı	INSTALLATION MANAGER:	SHAWN GLEASON	
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GPD PROJECT NUMBER:

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DESCRIPTION

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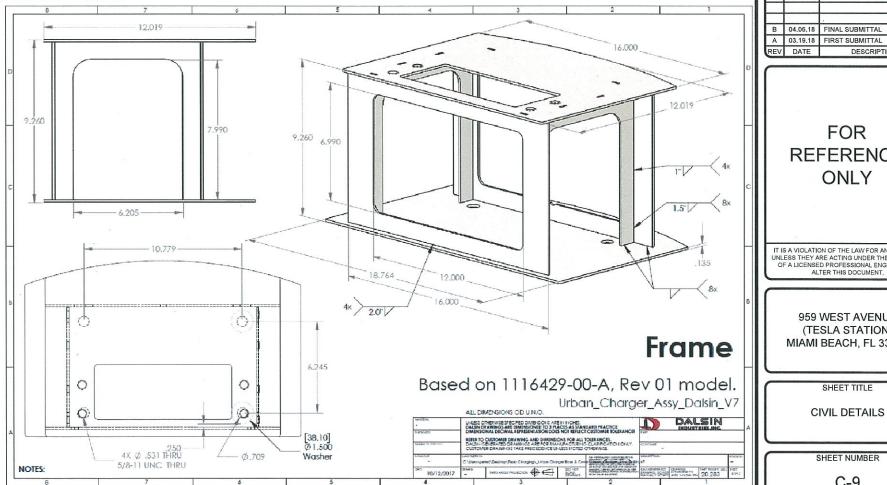
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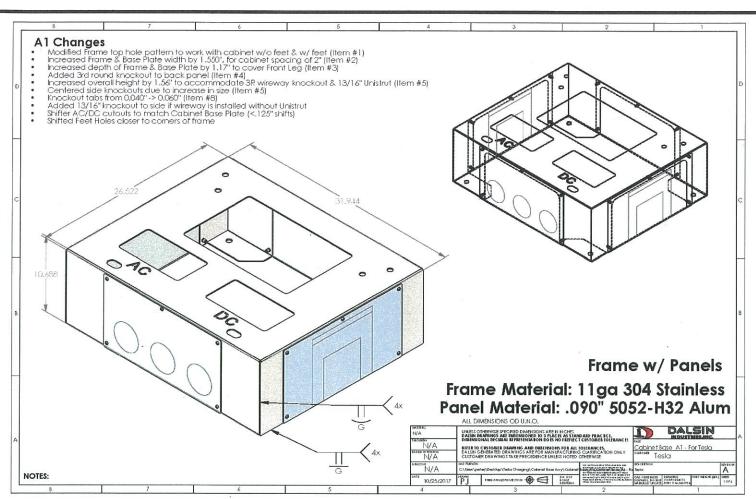
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### MOUNT NOTES

- CHARGING CABINET STEEL MOUNTING BASE IS DESIGNED AND ENGINEERED BY DALSIN INDUSTRIES, INC. INTERIOR EDGES OF CHARGING POST STEEL MOUNTING BASE AND ASSOCIATED HARDWARE SHALL BE COVERED TO PROTECT CABLES FROM DAMAGE.
- 2. CHARGING CABINET STEEL MOUNTING BASE IS PROVIDED BY TESLA AND INSTALLED BY CONTRACTOR.
- 3. GROUND/BOND CHARGING CABINET STEEL MOUNTING BASE PER NEC REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE WEATHERTIGHT CONNECTIONS BETWEEN CHARGING CABINET STEEL MOUNTING BASES & WIREWAY JUNCTIONS.
- 5. BOTTOM STEEL PLATE PROVIDED WITH BASE, GROUND/BOND PER NEC REQUIREMENTS.

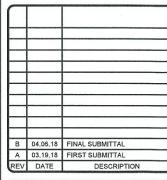


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ı	GPD PROJECT NUMBER:	2018241.04
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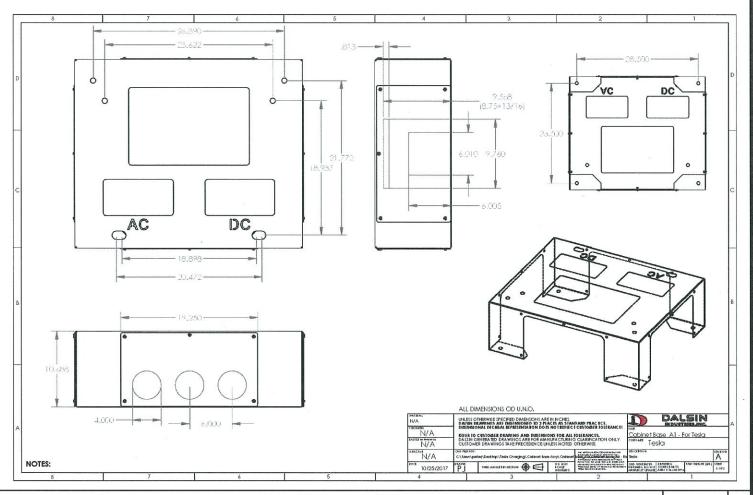
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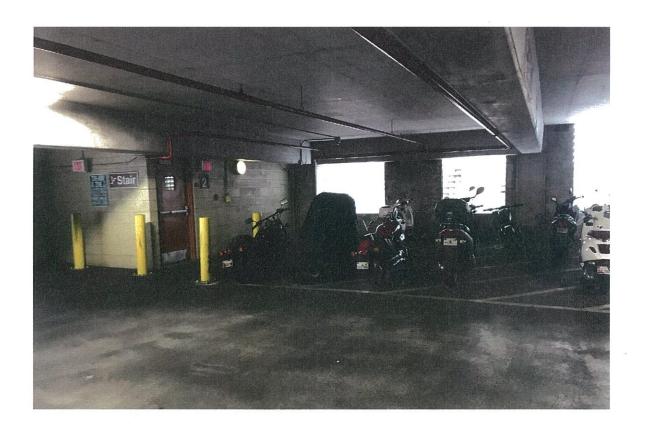
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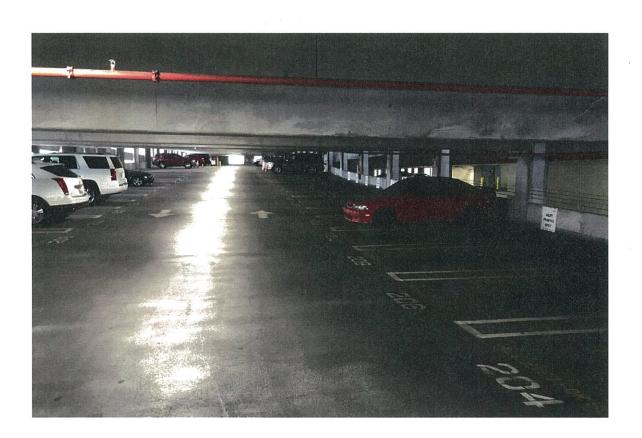
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SHEET TITLE

INTERIOR PHOTOS

SHEET NUMBER









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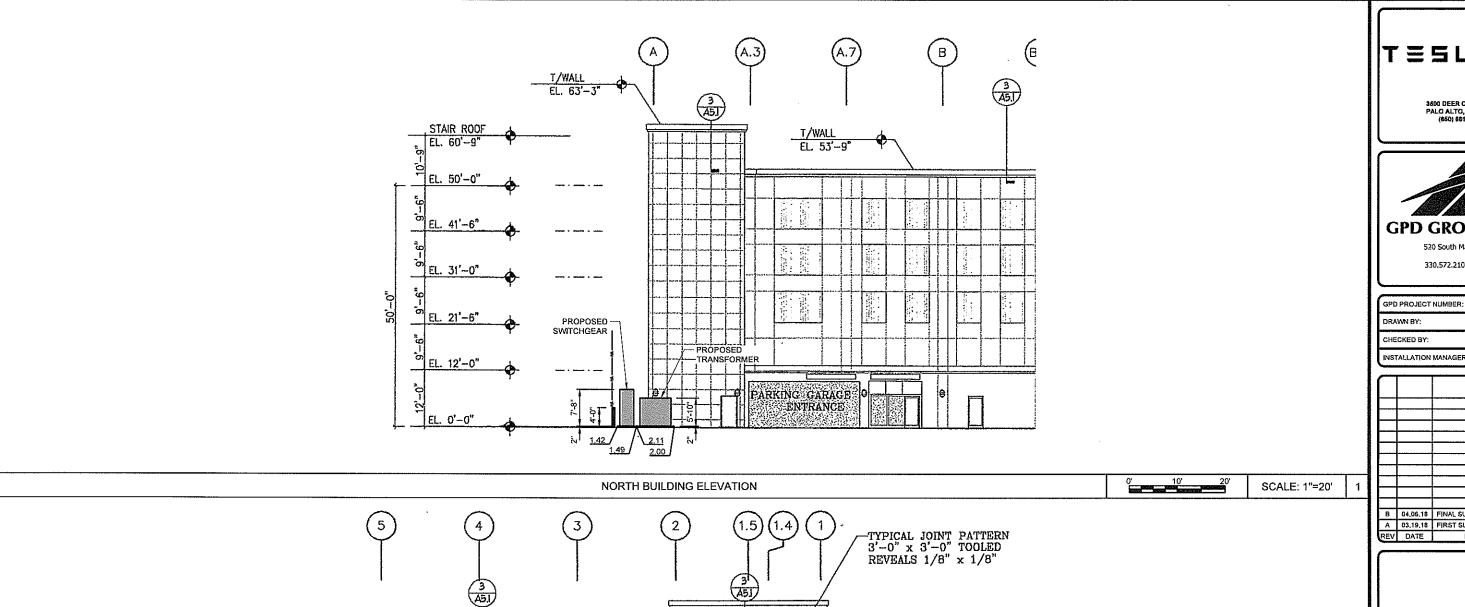
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SHEET TITLE

EXTERIOR PHOTOS

SHEET NUMBER



PROPOSED SWITCHGEAR

TYPICAL OF 4

EAST BUILDING ELEVATION

PROPOSED

TRANSFORMER

EX. SIDEWALK



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2018241.04

DTP CHECKED BY: RP/EPM INSTALLATION MANAGER: SHAWN GLEASON

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SHEET TITLE

EXTERIOR **ELEVATIONS** 

SHEET NUMBER

C-13

SCALE: 1"=20'

### ANDSCAPE CONSTRUCTION NOTES PART 1 - GENERAL

### 1.1 SCOPE OF WORK

- THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND GRUBBING, SOIL PREPARATION, FINISH 2.4 OTHER MATERIALS: GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT
- QUANTITY TAKEOFF IS SUPPLIED FOR CONTRACTOR'S ASSISTANCE ONLY. CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL PLANT MATERIALS AS PER PLAN.
- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR WITHIN EASEMENT OR RIGHT-OF-WAY LIMITS.
- 1.2 PRESERVATION/PROTECTION (IF APPLICABLE):
- CONTRACTOR SHALL MAINTAIN AND PRESERVE TREES AND SHRUBS NOT BEING REMOVED, INCLUDING THEIR ROOTS. TREE PROTECTION FENCING SHALL BE USED AT THE DRIP LINE OF ALL TREES AND SHRUBS WITHIN 50 FEET OF CONSTRUCTION EXCEPT AS SHOWN ON PLAN. FENCING SHALL REMAIN IN PLACE UNTIL FINAL PLANT INSPECTION FOLLOWING CONSTRUCTION. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL 3.1 GENERAL WORK PROCEDURES: COMPACTION.
- FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE CIRCUMFERENCE (MEASURED 6" ABOVE THE GROUND LINE IN INCHES) EXPRESSED IN FEET. (EXAMPLE: A CIRCUMFERENCE OF 10" WOULD HAVE A 'NO CUT' ZONE OF 20 FEET IN ALL DIRECTIONS FROM THE TREE). THIS SHOULD APPLY TO UTILITY SERVICES, IF FEASIBLE. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THE LANDSCAPE ARCHITECT, SPECIFICATIONS OR AS INDICATION ON THE
- C. TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH THE ARBOR CULTURAL STANDARDS OF THE CITY.

### PART 2 - PLANTING MATERIALS

### 2.1 PLANT MATERIALS:

- A. GENERAL ALL MATERIALS SHALL BE OF ITS KIND AVAILABLE AND SHALL HAVE BEEN GROWN IN A CLIMATE
- PLANTS ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, ERFE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO ANSI Z60.1 "AMERICAN STANDARDS
- C. VARIETIES AND SIZES OF PLANTS SHALL BE AS SHOWN ON DRAWINGS
- PLANTS SHALL BE IN A HEALTHY, VIGOROUS CONDITION, FREE OF DEAD OR BROKEN BRANCHES, SCARS THAT ARE NOT COMPLETELY HEALED, FROST CRACKS, DISFIGURING KNOTS, BROKEN OR ABRADED BARK, REDUNDANT LEADERS OR BRANCHES, OR ABERRATIONS OF ANY KIND. PLANTS SHALL NOT HAVE MULTIPLE LEADERS, UNLESS THIS IS THE NATURAL FORM.
- BALLED AND BURLAPPED (B&B) PLANTS SHALL BE DUG WITH A FIRM ROOT BALL OF NATURAL EARTH, OF A SIZE IN PROPORTION TO THE PLANT'S SIZE, AS MEASURED BY CALIPER, HEIGHT, OR SPREAD, BALLED AND BURLAPPED PLANTS SHALL BE HANDLED ONLY BY THE ROOT BALL, NOT BY THE TRUNK OR BRANCHES, AS THIS MAY BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM, CONTAINER PLANTS SHALL HAVE BEEN ESTABLISHED FOR A MINIMUM OF ONE FULL GROWING SEASON IN THEIR CONTAINERS BEFORE INSTALLATION, CONTAINER PLANTS SHALL BE HANDLED ONLY BY THE CONTAINER, NOT BY THE STEMS OR BRANCHES, AS THIS MAY PULL THE PLANT OUT OF THE CONTAINER AND BREAK OR LOOSEN THE ROOT BALL AND DAMAGE THE ROOT SYSTEM.
- PLANTS SHALL BE PROTECTED FROM DRYING OUT DURING SHIPPING WITH TARPAULINS OR OTHER COVERINGS. PLANTS SHALL BE PROTECTED FROM DRYING OUT AFTER DELIVERY BY PLANTING IMMEDIATELY; IF THIS IS NOT POSSIBLE, THE ROOT BALL SHALL BE COVERED WITH PEAT MOSS OR EARTH, AND WATERED FREQUENTLY TO KEEP IT MOIST UNTIL PLANTING.
- DO NOT HANDLE, MOVE, BIND, TIE OR OTHERWISE TREAT PLANTS SO AS TO DAMAGE THE ROOT BALL, ROOTS, TRUNK, OR BRANCHES IN ANY WAY.

### 2.2 TOPSOIL:

TOPSOIL HAS BEEN (OR WILL BE) STOCKPILED FOR REUSE IN LANDSCAPE WORK IF QUANTITY OF STOCKPILED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO COMPLETE LANDSCAPE WORK, IMPORTED TOPSOIL SHALL CONSIST OF LOOSE, FRIABLE, LOAMY TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL OR REFUSE. ACCEPTABLE TOPSOIL SHALL CONTAIN NOT LESS THAN 3 PERCENT NOR MORE THAN 20 PERCENT ORGANIC MATTER.

### 2.2 SOIL CONDITIONING:

- OBTAIN LABORATORY ANALYSIS OF STOCKPILED AND IMPORTED TOPSOIL COMPLETE WITH 3.5 GROUND COVER (IF APPLICABLE): RECOMMENDATIONS FOR SOIL AMENDMENT.
- BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL OR TOXIC TO PLANT GROWTH.
- C. MIX SPECIFIED SOIL AMENDMENTS AND FERTILIZERS WITH TOPSOIL AT RATES SPECIFIED BY THE LAB C. IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND REPORT. DELAY MIXING OF FERTILIZER IF PLANTING WILL NOT FOLLOW PLACING OF PLANTING SOIL
- FOR PLANTING BEDS AND LAWNS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING. MIX LIME WITH DRY SOIL PRIOR TO MIXING OF
- PREVENT LIME FROM CONTACTING ROOTS OF ACID-LOVING PLANTS.
- APPLY PHOSPHORIC ACID FERTILIZER (OTHER THAN THAT CONSTITUTING A PORTION OF COMPLETE FERTILIZERS) DIRECTLY TO SUBGRADE BEFORE APPLYING PLANTING SOIL AND TILLING.

### 2.3 PLANTING SOIL:

1. PLANTING SOIL MIX SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE A. FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL

- BED EDGING TRENCH AROUND LANDSCAPE BEDS TO CREATE SHARP, 45 DEGREE EDGE. TYPICAL AT ALL PLANTING BED EDGES WHERE THEY MEET LAWNS
- MULCH: ALL LANDSCAPE AREAS SHALL BE MULCHED WITH ANGULAR AGGREGATE MULCH, GRAY IN COLOR, AND SIZE TO MATCH EXISTING CONDITIONS. MULCH SHALL BE FREE FROM DELETERIOUS B. MATERIALS AND SUITABLE FOR TOP DRESSING OF TREES, SHRUBS, OR PLANTS. INSTALL MULCH TO A DEPTH OF THREE (3) INCHES AND COLOR TO BE DETERMINED BY OWNER.
- C. WEED BARRIER POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH-TO BE INSTALLED IN ALL PLANTING BEDS.

### PART 3 - EXECUTION

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR F. LANDSCAPE CONSTRUCTION AND PLANTING IN THE STATE STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCES
- CONTRACTOR SHALL OBTAIN A COPY OF LOCAL ORDINANCES REGARDING ACCEPTABLE PLANT AND PLANTING DETAILS AND ABIDE BY THOSE ORDINANCES AND DETAILS.
- C. ENGINEER RESERVES THE RIGHT TO REJECT ALL PLANT MATERIAL DEEMED NOT ACCEPTABLE.
- D. ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE EQUIVALENT IN FORM, HABIT, STRUCTURE, BRANCHING H. AND LEAF TYPE AND MUST BE ISSUED TO THE LANDSCAPE ARCHITECT FOR APPROVAL, IN WRITING, PRIOR TO INSTALLATION.
- BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE PART 4 IRRIGATION DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE OWNER BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- B. PLANTING PITS SHALL BE AS PER DETAILS
- PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT. FILL WITH PLANTING SOIL AROUND BALL OF C. PLANT. COMPLETE BACKFILLING AND WATER THOROUGHLY.
- D. EACH TREE AND SHRUB SHALL RECEIVE THE LANDSCAPER'S BIONUTRITION (3-0-3) GRANULAR WITH MYCORRHIZAL TECHNOLOGY FERTILIZER OR APPROVED OTHER. APPLY FERTILIZER PER
- WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE E.
- INSTALL BED EDGING AND MULCH PER MATERIALS SPECIFICATION AND DETAILS.
- G. REMOVE ALL SALES TAGS, STRINGS, STRAPS, WIRE, ROPE OR OTHER MATERIALS THAT MAY INHIBIT PLANT GROWTH BOTH ABOVE AND BELOW THE SURFACE OF THE SOIL.
- REMOVE ANY BROKEN, SUCKERING, DISEASED, CRISSCROSSED OR AESTHETICALLY DISPLEASING BRANCHES BACK TO LIVE LEADER OR SIDE LATERAL WITH A FLUSH CUT.
- 3.4 FINISH GRADING
- A. ALL AREAS WILL BE GRADED BY THE CONTRACTOR TO SUBSTANTIALLY PLUS/MINUS 0.1 FOOT OF FINISH A.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH EVEN LINIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE, SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE 5.2 MAINTENANCE:
- C. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
- D. PARKING LOT ISLAND SHALL BE BACKFILLED AS PART OF THIS CONTRACT
- A. SPACING AND VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
- B. MULCH GROUND COVER WITH 2" THICKNESS OF SPHAGNUM PEAT.
- COVER
- D. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEEDED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION

### 3.6 SODDING (IF APPLICABLE):

WITHIN 48 HOURS AFTER BEING CUT.

SOD SHALL BE FIRST GRADE CERTIFIED BLENDS OF THE FOLLOWING SPECIES PER HARDINESS ZONE CONTAINING NOT MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL

> ZONES 3, 4 & 5: APPROVED BLUE GRASS BLEND ZONE 6: APPROVED FESCUE BLEND ZONES 7 & 8: APPROVED BERMUDA BLEND ZONES 9 & 10: APPROVED ST AUGUSTINE FLORATAM BLEND

- SOD SHALL BE RECENTLY MOWED TO A HEIGHT OF NOT LESS THAN 3 INCHES. IT SHALL BE CUT INTO STRIPS OF NOT LESS THAN 3 FEET AND NOT OVER 6 FT. WITH A UNIFORM WIDTH OF NOT OVER 24 INCHES
- C. SOD SHALL BE CUT TO A DEPTH EQUAL TO THE GROWTH OF THE FIBROUS ROOTS BUT IN NO CASE LESS
- D. SOD SHALL BE DELIVERED TO THE JOB WITHIN 24 HOURS AFTER BEING CUT AND SHALL BE INSTALLED
- E. BEFORE SOD IS PLACED, THE SOD BED WILL HAVE BEEN EXCAVATED TO SUCH A DEPTH THAT WHEN THE SOD IS IN PLACE THE TOP OF THE SOD WILL BE FLUSH WITH THE SURROUNDING GRADE
- NO SOD SHALL BE PLACED WHEN THE TEMPERATURE IS BELOW 32 DEGREES F. NO FROZEN SOD SHALL BE PLACED NOR SHALL ANY SOD BE PLACED ON FROZEN SOIL. WHEN SOD IS PLACED BETWEEN THE DATES OF JUNE 1ST AND OCTOBER 15TH, IT SHALL BE COVERED IMMEDIATELY WITH A STRAW MULCH: INCH THICK (LOOSE MEASUREMENT).
- AFTER LAYING, THE SOD SHALL BE WATERED THOROUGHLY AND TAMPED WITH APPROVED SOD TAMPERS SUFFICIENTLY TO BRING THE SOD INTO CLOSE CONTACT WITH THE SOD BED AND INSURE TIGHT JOINTS BETWEEN THE SECTIONS OR STRIPS.
- THE CONTRACTOR SHALL KEEP ALL SODDED AREAS INCLUDING SUBGRADE, THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING.
- THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER, SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

### 4.1 IRRIGATION RELOCATION

- CONTRACTOR SHALL FIELD VERIFY IF EXISTING IRRIGATION IS PRESENT, DETERMINE POINT OF CONNECTION, SYSTEM PRESSURE, FIXTURE TYPES, AND POTENTIAL FOR EXPANSION
- IF FOUND THAT THE EXISTING IRRIGATION SYSTEM IS CAPABLE OF EXPANSION AND REUSE THAN IT SHALL BE MODIFIED TO PROVIDE 100% COVERAGE OF THE LANDSCAPE AREA.
- IF THE EXISTING IRRIGATION SYSTEM IS NOT CAPABLE OF EXPANSION, CONTRACTOR TO INSTALL, A NEW CONTROLLER, BOOSTER PUMP, AND OTHER APPARATUSES NEEDED FOR A COMPLETE IRRIGATION
- IRRIGATED AREAS SHALL BE IRRIGATED BY DRIP IRRIGATION OR SIMILAR FIXTURES BY THE SAME SUPPLIER, CONTRACTOR SHALL ENSURE BUILDING WALLS AND WINDOWS WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES.
- SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, DRIP TUBING, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE.
- PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO ENGINEER FOR APPROVAL.
- UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

# PART 5 - CLEANUP AND MAINTENANCE

### 5.1 CLEANUP:

UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE. THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK, AN 'ACCEPTABLE CONDITION' SHALL BE AS DEFINED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- C. MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- MAINTAIN THE LANDSCAPING BY KEEPING ALL PLANTS DISEASE-FREE AND PLANTING BEDS GROOMED, EXCEPT IN NATURALLY OCCURRING VEGETATION AREAS.
- REPLACE ANY REQUIRED PLANTING(S). WHICH SEVERELY DECLINE OR DIE AFTER THE DATE OF PLANTING SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

### PART 6 - ACCEPTANCE AND GUARANTEE

### 6.1 GUARANTEE

CONTRACTOR SHALL GUARANTEE ALI. PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.



3600 DEER CREEK RD PALO ALTO, CA 94304 (850) 681-5000



Akron, OH 44311

330.572.2100 Fax: 330.572.2102

GPD PROJECT NUMBER 2018241.04 DRAWN BY: OTE CHECKED BY: RP/EPM INSTALLATION MANAGER: SHAWN GLEASON

В	04.06.18	FINAL SUBMITTAL
Α	03.19.18	FIRST SUBMITTAL
REV	DATE	DESCRIPTION



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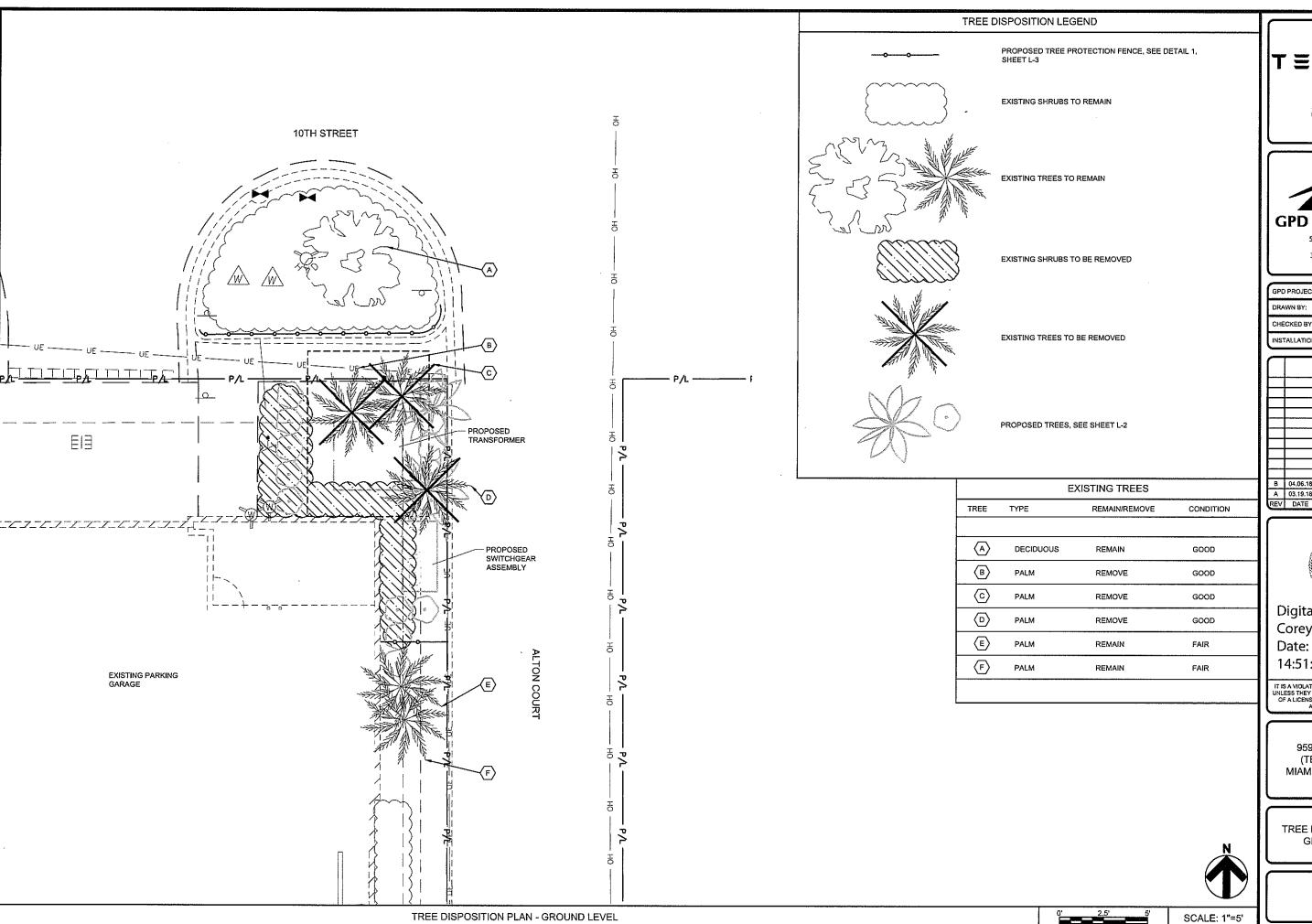
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SHEET TITLE

LANDSCAPING NOTES

SHEET NUMBER

LN-1



TESLA

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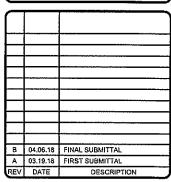
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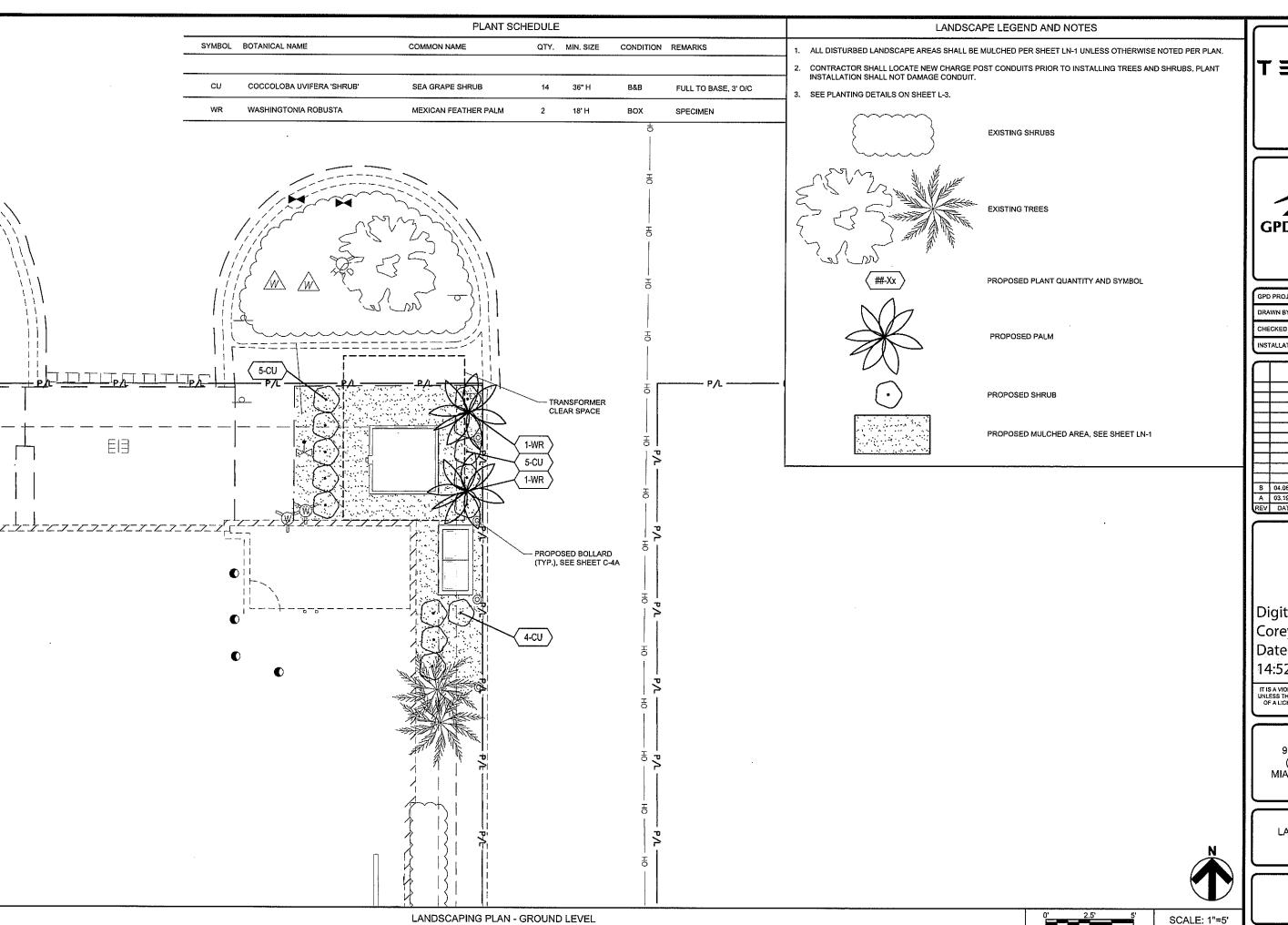
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SHEET TITLE

TREE DISPOSITION PLAN GROUND LEVEL

SHEET NUMBER

L-1



TESLA

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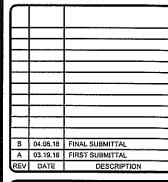
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> > SHEET TITLE

LANDSCAPING PLAN GROUND LEVEL

SHEET NUMBER

L-2

