

# 2040 N BAY RD

C A P D E S I G N R E V I E W S E T

2040 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

S E T 1 / 1



DVICE INC.

DESIGN HOUSE & BUILTWORKS  
810 793 4286 AA28082728  
8245 CORAL WAY MIAMI FLORIDA 33146

\*\*FINAL SUBMITTAL\*\*  
DRB HEARING 7/3/2018

I N D E X

COVER	
INDEX	
GN100	GENERAL SPECIFICATIONS
GN101	WATERPROOFING SPECIFICATIONS
GN103	SURVEY DATA

L A N D S C A P E	
L110	TREE DISPOSITION PLAN
L20	PLANTING PLAN
L21	LANDSCAPE NOTES & DETAILS

A R C H I T E C T U R E	
A100	SITE PLAN
A101	CMB ZONING COMPARISON DATA
A102	LOT COVERAGE DIAGRAMS
A103	UNIT SIZE CALCULATION DIAGRAMS
A104	VOLUMETRIC CALCULATION DIAGRAMS (WAIVER REQUEST)
A105	NORTH YARD WALL SECTION
A106	BUILDING LENGTH DIAGRAMS (WAIVER REQUEST)
IM01	SITE PHOTOS
IM02	SITE PHOTOS
IM03	LANDSCAPE PHOTOS & VIEW OBSTRUCTION AT NORTH NEIGHBOR
IS01	ISOMETRIC VIEWS
IS02	ISOMETRIC VIEWS
IS03	ISOMETRIC VIEWS

EX200	EXISTING FIRST FLOOR PLAN
EX201	EXISTING SECOND FLOOR PLAN
A200	PROPOSED FIRST FLOOR PLAN
A201	PROPOSED SECOND FLOOR PLAN
A500	OVERALL EXISTING vs PROPOSED ELEVATIONS
A501	OVERALL EXISTING vs PROPOSED ELEVATIONS
A502	DETAIL EXISTING vs PROPOSED ELEVATIONS
A503	DETAIL EXISTING vs PROPOSED ELEVATIONS
A504	DETAIL EXISTING vs PROPOSED ELEVATIONS
R100	RENDERINGS
R101	RENDERINGS
R102	RENDERINGS

\*\*\*FINAL SUBMITTAL\*\*\*

DRB HEARING 7/3/2018



REGION HOUSE & BUILDINGS  
DESIGN VISIONS  
5700 N. HIGHWAY 100, SUITE 100, MIAMI, FLORIDA, 33157





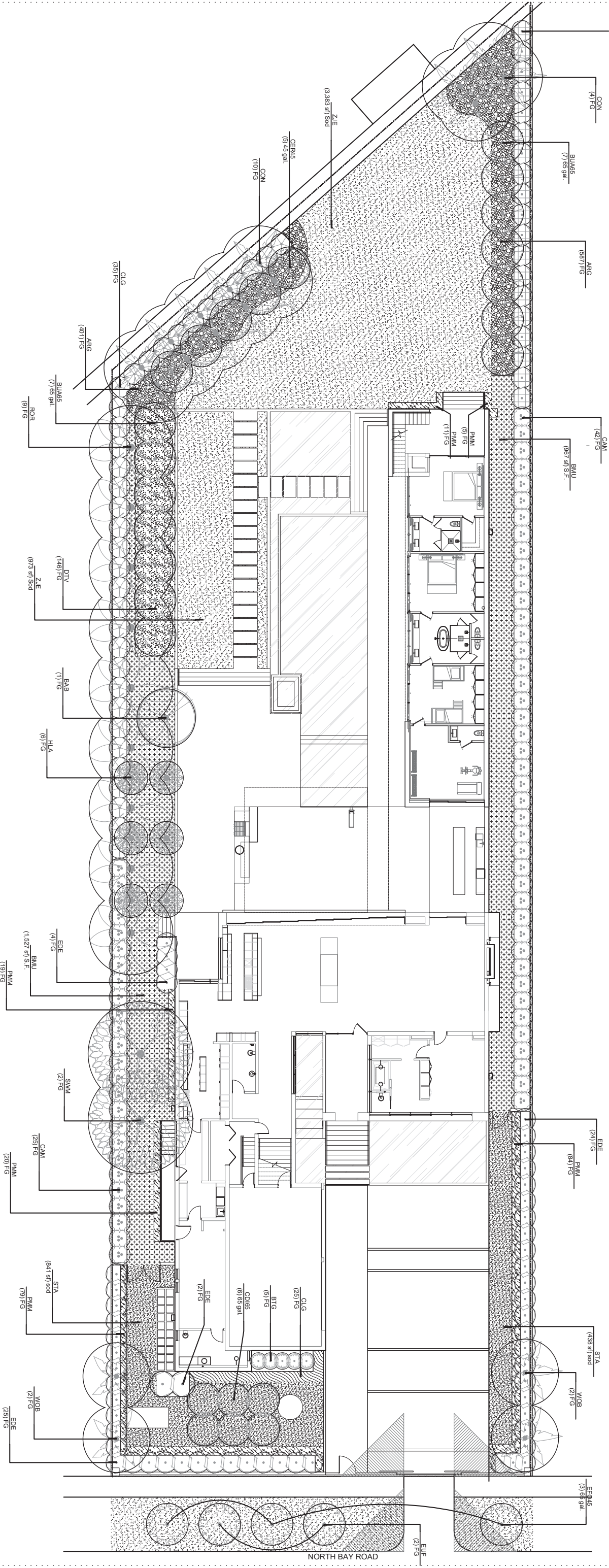


- NOTES
1. All mechanized equipment handling, but not limited to Back Flow Preventer, Pumps, Electric, Phone or Cable Boxes, Lift Stations, Etc. shall be screened on 3 sides from view using an approved hedge, fence or wall.
  2. All light poles (any shown or plan) shall be a minimum of 15' from tree locations.
  3. The Landscape Architect must be notified when the plant material has been set in place to approve final locations, prior to installation.

- GENERAL NOTES
1. Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and assessments prior to commencing work. All utility companies and/or the General Contractor shall be notified to verify utility locations prior to digging. Utility trenching is to be coordinated with the Landscape plans prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
  2. Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for change orders.
  3. Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In case of discrepancies planting plans shall take precedence over plant list.
  4. No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
  5. All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
  6. ALL PLANTED AREAS TO BE OUTFITTED WITH AUTOMATIC IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% OVERLAP. A RAIN SENSOR MUST BE PART OF THE IRRIGATION SYSTEM.
  7. Landscape Contractor shall be responsible for providing temporary hand watering to all proposed landscape areas, during construction.
  8. The Landscape Contractor is responsible for cordoning tree and palm removals and transplants shown on the Tree/Palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
  9. All limestone shall be removed from planting beds prior to installation of plant material.
  10. All permitting and fees to be the responsibility of the Contractor.

PLANTING NOTES

1. Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, herbicide, preemergence herbicide, seed, and mulch. Landscape Contractor to provide Landscape Architect with at least 5 days notice prior to tree installation. City Urban Forester and/or GreenSpace Management Division shall approve all ROW trees, palms and plant material before it is planted to ensure Florida Code No. 1 status.
2. Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
3. All plant material shall be Florida #1 or better, as defined in the Codes and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
4. Landscape Contractor is responsible for scheduling a nursery visit for Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site. Any substitutions in size and/or plant material must be approved by the Landscape Architect. City Urban Forester and/or applicable City Staff.
5. Landscape Architect shall be notified 5 days prior nursery visit.
6. Landscape Contractor shall coordinate his work with that of the Irrigation and Landscape Lighting Contractor.
7. The Landscape Contractor shall treat planted trees with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall apply pre emergent herbicide per manufacturer's recommendation, wait period prior to planting as specified. Planting soil mulch/skill shall be clean and free of construction debris, weeds, rock and noxious plants and disease.
8. All soil next to plant used for ground covers, shrubs, palms and trees shall be dressed with a minimum of 4" topsoil ("topsoil" required).
9. All planting areas and planting jobs shall be tested for soilborne pathogens prior to final planting and irrigation installation to ensure proper drainage. Practices in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
10. All planting areas shall be planted with a minimum of 18" of topsoil. All planting areas shall be planted with a minimum of 18" of topsoil. All planting areas shall be planted with a minimum of 18" of topsoil. All planting areas shall be planted with a minimum of 18" of topsoil.
11. Landscape Contractor is responsible for checking for root defects including decay/dieback in the root ball and circling roots. All root defects shall be removed and circling roots shall be removed. All root defects shall be removed and circling roots shall be removed. All root defects shall be removed and circling roots shall be removed.
12. All trees/plants in sod areas are to receive a 48" diameter mulch/seed source at the base of the trunk respectively.
13. Landscape Contractor shall give and stake all trees and palms as per specifications and details. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All girding and staking shall be removed twelve months after planting.
14. All palm and tree giv wires and bracing are to be tagged for visibility, for their duration. All unattended and untagged trees shall be properly banded and tagged during construction.
15. All broken branches and dead trunk branches on street trees are to be pruned according to ANSI A - 300 Guidelines for Tree Pruning to min. 5' - 0" height clearance to the base of canopy.
16. Landscape Contractor shall fertilize plant material as needed to support optimum healthy plant growth. All fertilization shall be performed in compliance with the latest AMS A200 (Part 2) Standards.
17. Stake all trees and palms for approval by Landscape Architect prior to installation. All girding and staking shall be removed from all trees and palms within twelve months after planting. Exceptions require written authorization from the City Urban Forester.
18. Any sod areas damaged by construction are to be replaced with St. Augustine Foreman sod.
19. St. Augustine Foreman - Contractor's responsibility to verify quantity.
20. Road barrier shall be Vespene Inc. or approved equal.
21. Install rubbermer as per manufacturer's recommendation on all large trees that are 6' or closer to any pavement or building, as shown on details page.
22. A final on-site inspection shall be required with GreenSpace Management staff prior to any official acceptance of ROW plant material. In order to verify proper planting depth, spacing and quality of the material. Failure to conduct the inspection could result in rejection of the plant material.
23. All trees and palms shall have a 1-year survival warranty starting from the date of final inspection.
24. Landscape contractor is responsible for verifying location of all underground utilities and easements prior to commencing work. Landscape Contractor must proceed very carefully with the excavations, the Owner or Landscape Architect shall not be responsible for damage to utility lines.











1 FRONT ELEVATION PANORAMA 2018/02/20



2 REAR YARD PANORAMA 2018/02/20

DESIGN HOUSE & BUILTWORKS  
010 738 4286 A458082789  
888 CORAL WAY MIAMI FLORIDA 3318

LANDSCAPE  
STRUCTURE  
LIGHTING DESIGN  
POOL DESIGN  
2018/02/20  
2018/02/20  
2018/02/20  
2018/02/20  
2018/02/20

SCALE ARCHITECT : JAMES RITCHIE ARCHITECTS

REVISION





1 SOUTH NEIGHBOR 2 (2030 N BAY)

2018/02/20



**2 SOUTH NEIGHBOR (2034 N BAY)**

2018/02/20



3 SUBJECT PROPERTY (2040 N BAY)

2018/02/20



**4** **SUBJECT PROPERTY (2040 N BAY)**

2018/02/20



5 NORTH NEIGHBOR 1 (2046 N BAY)

2018/02/20



6 NORTH NEIGHBOR 2 (2050 N BAY)

2018/02/20



A photograph of a house with a tiled roof, partially obscured by dense green foliage and trees. The sky is blue with white clouds.

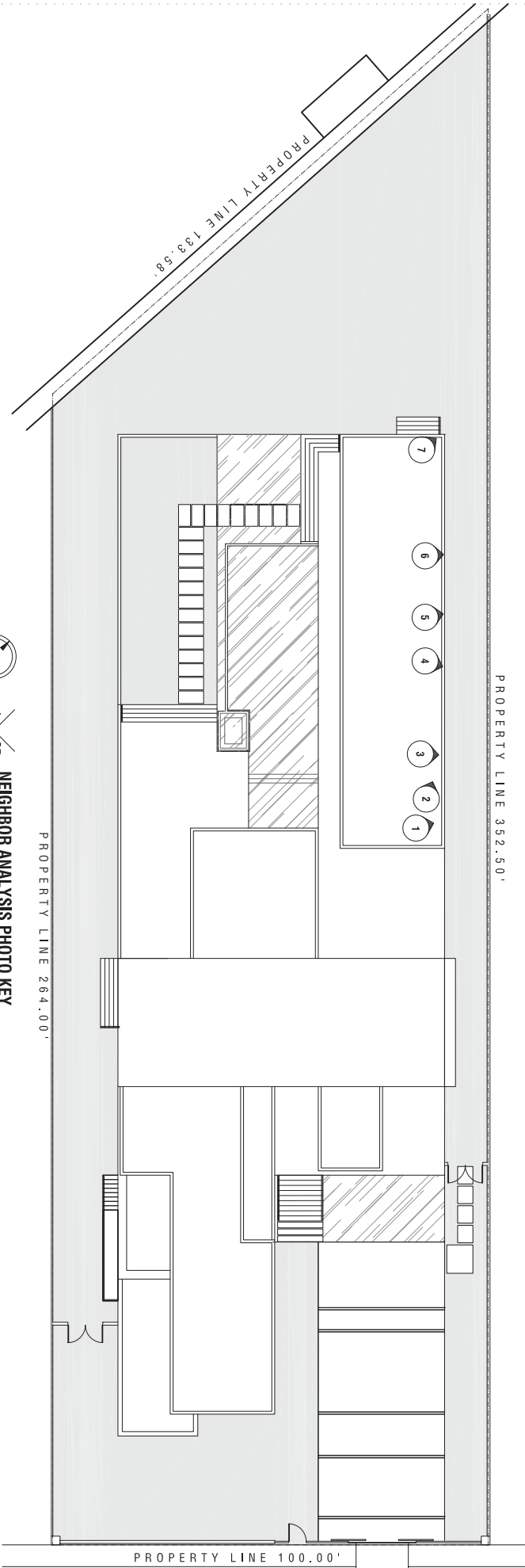
A photograph of a dense, lush green garden. In the foreground, there are various green plants, including some with long, narrow leaves and others with more rounded foliage. A large, thick tree trunk is visible on the right side of the image. The background is filled with more greenery and trees, creating a sense of a deep, wooded area. The lighting is bright, suggesting a sunny day.

A photograph of a dense garden. In the foreground, there are large, green, leafy plants, possibly banana leaves. A bamboo stalk is visible, leaning against a white building in the background. The garden is filled with various other plants and foliage, creating a lush, green environment.

A photograph of a lush garden. In the foreground, there is a large, dense, green plant with long, pointed leaves, possibly a type of palm or cycad. Behind it, a white building with a dark roof is partially visible, surrounded by more greenery and a fence. The scene is brightly lit, suggesting a sunny day.

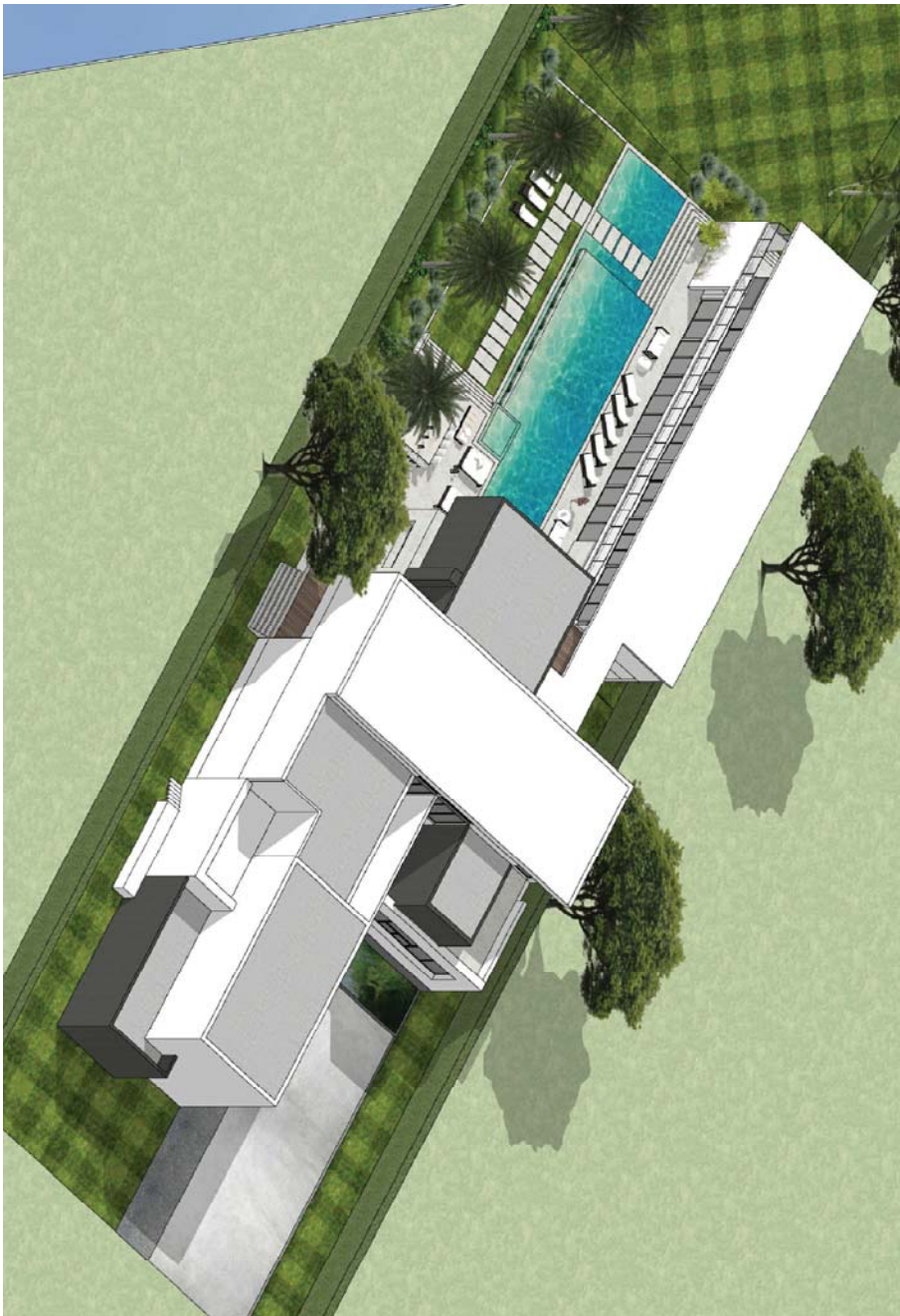
A photograph of a lush green wall installation. The wall is composed of various plants, including large green ferns in the foreground and taller, thinner bamboo-like plants in the background. A white structural frame is visible on the left side of the image, supporting the plants. The overall scene is vibrant and green, set against a light background.

**8 AERIAL AT SHARED PROPERTY LINE**



1. This is an analysis of North neighbor at shared property line.
2. Documentation of neighbor windows (small port-hole type)
3. Documentation of heavy planting occlusion (pre-existing viewing obstructions)





68%

FINAL SUBMITTAL 3 SOUTH ISOMETRIC MODEL (PROPOSED)  
DRB HEARING 7/3/2018 30%

3 SOUTH ISOMETRIC MODEL (PROPOSED) 90%

IT IS HEREBY CERTIFIED THAT THE CLAIMS AND SPECIFICATIONS ARE ESTIMATES OF SPACE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT UNLESS THE PROJECT FOR WHICH THEY WERE PREPARED IS EXTENDED OR NOT TAKEN UP IN ANY MANNER ON OTHER PROJECTS OR EXPANSION TO THIS PROJECT DESIRED BY WRITTEN AGREEMENT AND APPROPRIATE COMPENSATION TO THE ARCHITECT. REPRODUCTIONS OF SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.

---

2040 NORTH BAY ROAD, MIAMI BEACH, FL 33140

2040 NORTH BAY ROAD, MIAMI BEACH, FL 33140

LANDSCAPE	305 000 0000
STRUCTURE	964 533 3217
WEP	305 846 9928
LIGHTING DESIGN	305 000 0000
LOW VOLTAGE DESIGN	305 000 0000
POOL DESIGN	305 000 0000

305 000 0000

SEALING ARCHITECT : DANIEL PITOIE AR95253

REVISED

SCALE  
NO SCALE  
DESIGNATION  
VOLUMETRIC VIEWS

# ISO1





1 NORTHWEST ISOMETRIC



2 NORTHWEST ISOMETRIC MODEL (EXISTING) 68 %



3 NORTHWEST ISOMETRIC MODEL (PROPOSED) 100 %  
FINAL SUBMITTAL  
DBB HEARING 7/3/2018

SCALE  
NO SCALE  
DESIGNATION  
VOLUMETRIC VIEWS  
ISO2

**D VICE**  
INC.  
DESIGN HOUSE & BUILTWORKS  
910 733 4236 A43802789  
4400 CORAL WAY MIAMI FLORIDA 33186

LANDSCAPE  
ARCHITECT  
2000 NORTH BAY ROAD, SUITE 2000, FT. LAUDERDALE, FL 33304  
LAWRENCE  
2000 NORTH BAY ROAD, SUITE 2000, FT. LAUDERDALE, FL 33304  
LAWRENCE  
2000 NORTH BAY ROAD, SUITE 2000, FT. LAUDERDALE, FL 33304  
LAWRENCE  
2000 NORTH BAY ROAD, SUITE 2000, FT. LAUDERDALE, FL 33304

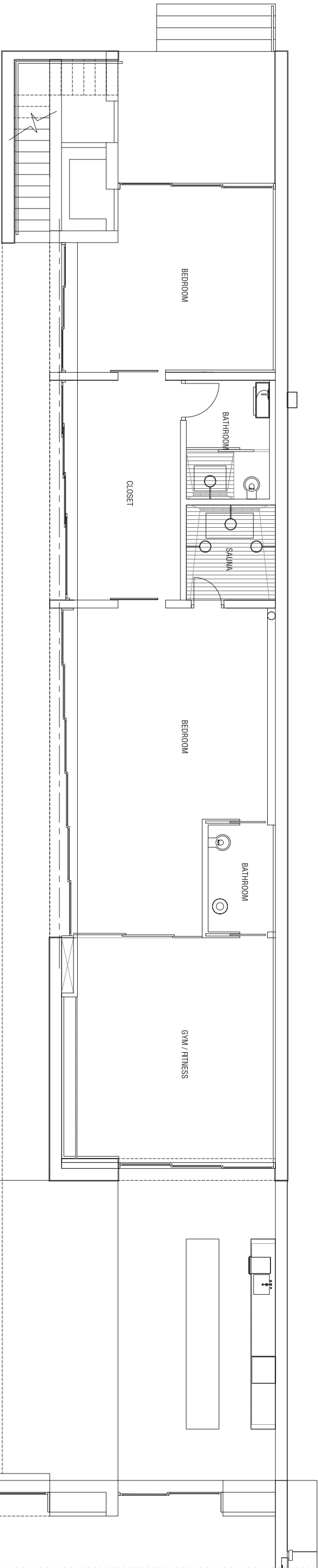
SEALING ARCHITECT : JAMES RITCHIE ARCHITECTS

REVISED









EXISTING FIRST FLOOR PLAN (POOL HOUSE)

ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD-VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES IMMEDIATELY REPORTED TO ARCHITECT.



DESIGN HOUSE & BUILTWORKS  
810 733 4285 AA2808728  
888 CORAL VAY BLVD FLORIDA 33138

ALL RIGHTS RESERVED. THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF DVICE INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DVICE INC.

2020 NORTH BAY POOL, MIAMI BEACH, FL 33140

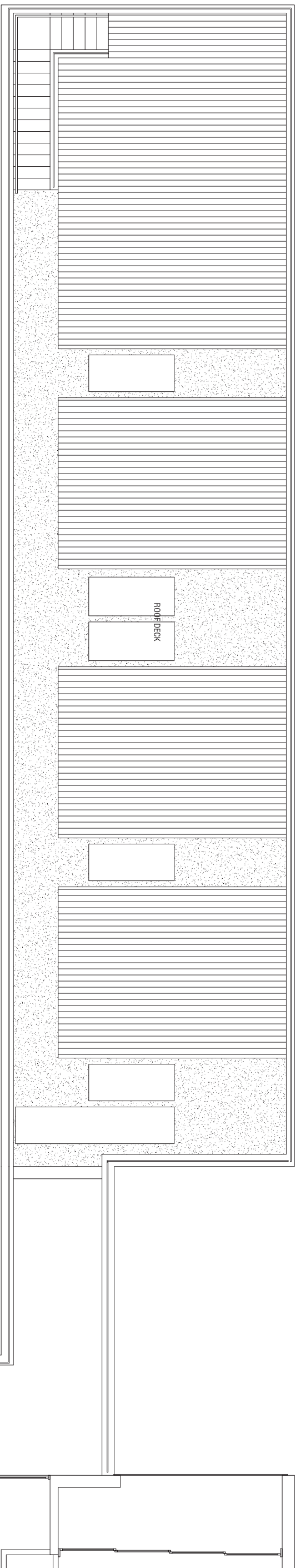
LANDSCAPE	1/4" = 1'	200 000 0000
ARCHITECTURE	1/4" = 1'	200 000 0000
MECHANICAL/ELECTRICAL	1/4" = 1'	200 000 0000
PLUMBING/HEATING/COOLING	1/4" = 1'	200 000 0000
POOL DESIGN	1/4" = 1'	200 000 0000

SCALE: PROJECT : DVICE INC. 08/2023

REVISION

SCALE: 1/4"=1'  
DESIGNATION: EX FLOOR PLAN  
EX200



~~1 P~~

**EXISTING SECOND FLOOR PLAN (POOL HOUSE)**  
1/4 SCALE

\* ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD-VERIFIED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.



**DIVICE INC.**  
DESIGN HOUSE & BUILTWORKS  
810 733 4295 A42602722  
8248 CORAL WAY MIAMI FLORIDA 33185

ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. NO PART OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE USED IN ANY MANNER THAT MIGHT BE CONSIDERED AS CONSTITUTING A PROFESSIONAL ENGINEERING OR ARCHITECTURAL DESIGN OR AS A BASIS FOR SUCH DESIGN. NO PART OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE USED IN ANY MANNER THAT MIGHT BE CONSIDERED AS A BASIS FOR SUCH DESIGN. NO PART OF THESE DRAWINGS AND SPECIFICATIONS SHALL BE USED IN ANY MANNER THAT MIGHT BE CONSIDERED AS A BASIS FOR SUCH DESIGN.

2040 NORTH BAY ROAD, MIAMI BEACH, FL 33140

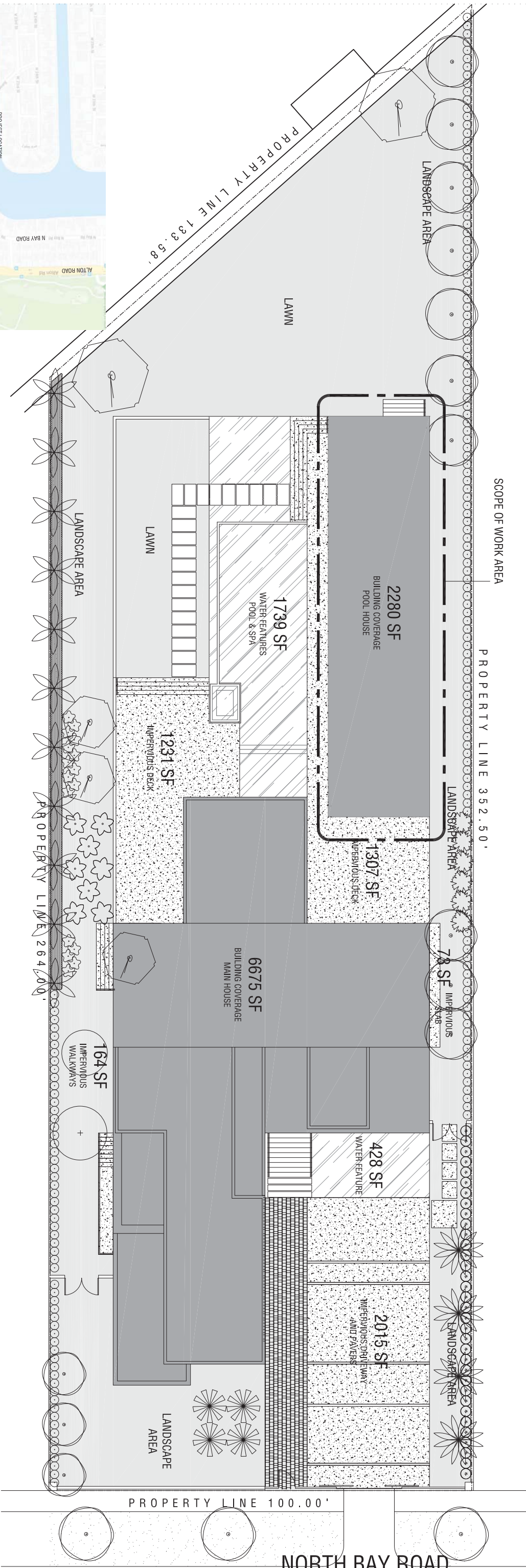
LANDSCAPE	305 000 000
STRUCTURE	954 533 323
MEP	305 846 982
LIGHTING DESIGN	305 000 000
LOW VOLTAGE DESIGN	305 000 000
POOL DESIGN	305 000 000

SEALING ARCHITECT : DANIEL RITONE AR06253

REVISÉD

3/4"=1'  
DESIGNATION  
EX. FLOOR PLAN  
**EX201**





DESCRIPTION OF WORK			
NEW ADDITION OF 1846 SQUARE FEET A/C SPACE ADDED TO SECOND FLOOR, DIRECTLY ABOVE EXISTING POOL HOUSE STRUCTURE.			
PROGRAM CONSISTS OF NEW BEDROOMS AND BATHROOMS.			
RECONFIGURATION OF EXISTING SPACE ON FIRST FLOOR OF EXISTING POOL HOUSE.			
LEGAL DESCRIPTION	LOT 14, BLOCK 15, PLANNED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.		
ADDRESS	2040 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140		
FOLIO	RS-2	RESIDENTIAL SINGLE-FAMILY	
ZONING	CITY OF MIAMI BEACH		
MUNICIPALITY	ZONE AE	BASE FLOOD ELEVATION 8.00' NSFD	
		FINISH FLOOR ELEVATION TO MINIMUM BFE +1	
OCCUPANCY	R-3	AS PER FBC 2017 SECTION 360.1	
CONST. TYPE	TYPE V	AS PER FBC 2017 SECTION 602.5	
NET LOT AREA	30,825 SF		
LOT COVERAGE	MAXIMUM BUILDING COVERAGE (2-STORY)	30% X 30,875 SF	
	PERMITTED	9748 SF	30%
	EXISTING	8955 SF	29%
	PROPOSED	8955 SF	29%
			29% (NO CHANGE)

UNIT SIZE	MAXIMUM UNIT SIZE FOR 2-STORY BUILDING		
PERMITTED		50' ± 30'x25' SF	
EXISTING		15,413 SF	
FIRST FLOOR MAIN HOUSE	5550 SF	12,899 SF	
FIRST FLOOR POOL HOUSE	2280 SF	4,182	
SECOND FLOOR MAIN HOUSE	5063 SF		
<hr/>			
PROPOSED NEW TOTAL			
SECOND FLOOR POOL HOUSE	+1668 SF	14,565 SF	
		4,722	
<hr/>			
IMPERVIOUS GROUND/COVER	IMPERVIOUS GROUND/COVER	4,790 SF	15.5% (NO CHANGE)
EXTERIOR DECK	2538 SF		
WALKWAYS	237 SF		
DRIVEWAY	2015 SF		
<hr/>			
WATER FEATURES	POOL & SPA TUB	2167 SF	7%
<hr/>			
LANDSCAPED AREA		13,822 SF	44.9%
<hr/>			
SETBACKS	REQUIRED	PROVIDED	
PRINCIPAL FRONT SETBACK (1-5 STORY)	20'-0"	30'-9.5"	
PRINCIPAL FRONT SETBACK (2-5 STORY)	30'-0"	30'-9.5"	
SUM OF SIDE SETBACKS AS PERCENTAGE OF LOT WIDTH (100'-0")	25'-0" 25%	25'-0" 25%	(10' ± 15')
REAR SETBACK	50'-0"	50'-0.5"	
<hr/>			
BUILDING HEIGHT	28'-0" (FLAT)	24'-0" (NEW AREA)	

EXISTING BUILDING AREAS	
FIRST FLOOR (A/C)	4,794 SF
LIVING, DINING, KITCHEN, GUEST, PAINTERS, SERVICE, LANDSCAPE	2,835 SF
POOL HOUSE	1,560 SF
HOUSEKEEPER	409 SF
FIRST FLOOR (NON A/C)	
GARAGE	7644 SF
MECH / STOR	922 SF
ENTRANCE PORCH	50 SF
OUTDOOR BAR	424 SF
PREPARE VERANDA	343 SF
EXTERIOR STAIRS	385 SF
EXTERIOR DECKS AND WALKS	101 SF
	5,419 SF
SECOND FLOOR (A/C)	
MASTER, BED1, BED2, FAMILY, PLAYROOM, SCREENING ROOM	3816 SF
SECOND FLOOR (NON A/C)	
BALCONIES	1302 SF
TOTAL A/C	
TOTAL NON A/C	8610 SF
TOTAL AREAS	8946 SF
TOTAL AREAS (EXISTING + NEW)	
FIRST FLOOR A/C AREA	NO CHANGE
SECOND FLOOR A/C AREA	+1646 SF
TOTAL AREAS (EXISTING + NEW)	19,202 SF

NOTES

FINAL GRADING TO PROVIDE DRAINAGE OR RUN-OFF WATER WITHIN PROPERTY LINE (PREFER TO LANDSCAPE FOR GRADING)

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR PREVENTION OF SUBTERRANEAN TERMITES IN ACCORDANCE WITH SECTION 904.23 OF THE FBC.

BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT FOR TERMITES AS PER R320 FBC.

ALL SUBSURFACE SOIL SHALL BE COMPACTED PER SOIL REPORT AND STRUCTURAL DRAWINGS SPECIFICATIONS.

REFER TO LANDSCAPE DRAWINGS FOR TREE, SHRUB, GROUND COVER, AND HARDSCAPE LOCATION AND SPECIFICATIONS.

MINIMUM HEIGHT FOR NEW TREES SHALL BE 18'

REFER TO LANDSCAPE PLANS FOR NEW LANDSCAPING, LANDSCAPE LIGHTING, AND IRRIGATION, AS WELL AS ADDITIONAL SITE NOTES, DETAILS, AND DIMENSIONS.

LANDSCAPING WILL ADHERE TO DADE COUNTY CHAPTER 9A ORDINANCE #96-13

MUST MEET SECTION R0001.5 FBC.

ALL ELEVATIONS GIVEN THIS SHEET ARE N.G.V.D.

FINISHES REQUIRE SEPARATE REPORT AND APPLICATION

[illegible]









**\*\* NO CHANGE \*\***

MAXIMUM LOT COVERAGE FOR 2-STORY BUILDING PERMITTED	.30 x 30,825 SF	9248 SF	30%
EXISTING		8955 SF	29%
FIRST FLOOR MAIN HOUSE	6675 SF		
FIRST FLOOR POOL HOUSE	2280 SF		

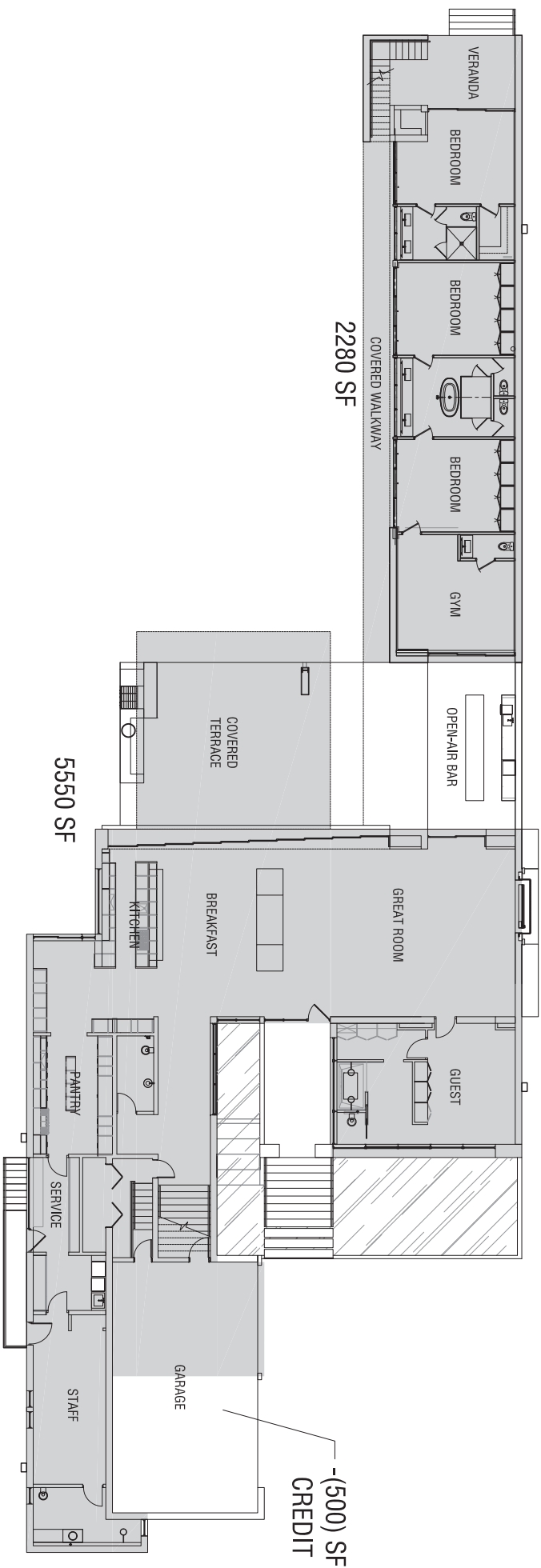
PROPOSED NEW TOTAL

8955 SF

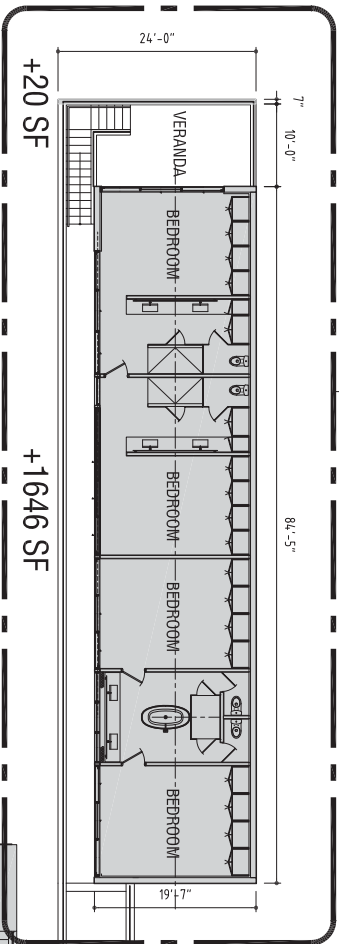
0% CHANGE

[illegible]

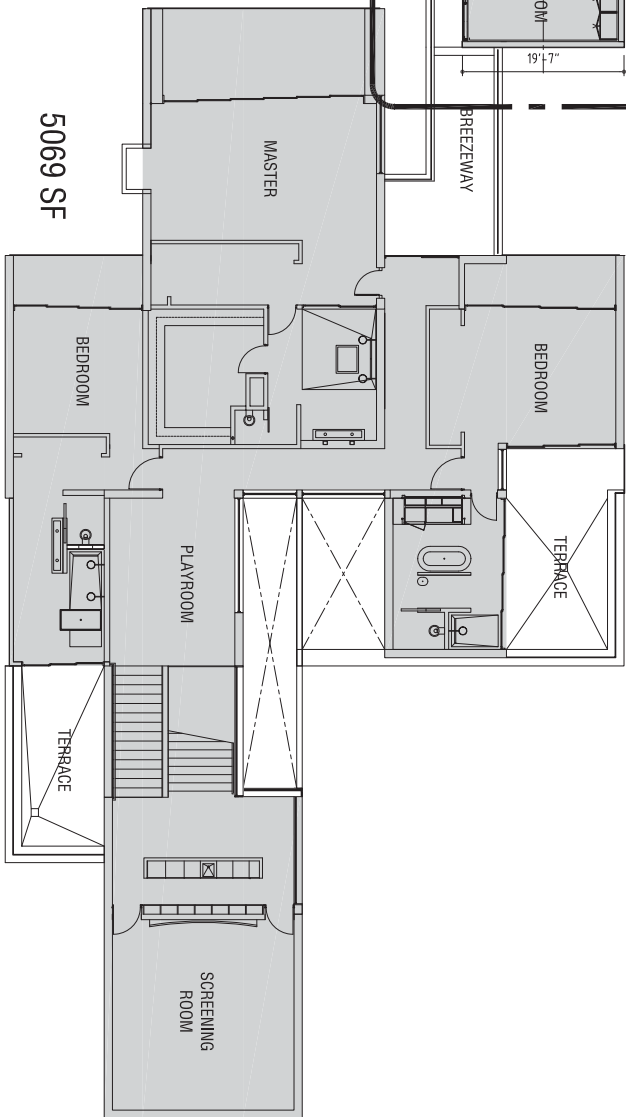




~~1 SP~~ **EXISTING 1ST FLOOR UNIT SIZE**  
1/16 SCALE



SCOPE OF UNIT SIZE INCREASE

~~2~~ ~~SP~~ **EXISTING 2ND FLOOR UNIT SIZE + PROPOSED INCREASE**

\*\*\*FINAL SUBMITTAL\*\*\* DRB HEARING 7/3/2018

## UNIT SIZE CALCULATION

MAXIMUM UNIT SIZE FOR 2-STORY BUILDING	
PERMITTED	50 x 30,825 SF 15,413 SF 50%
EXISTING	12,899 SF 418%
FIRST FLOOR MAIN HOUSE	5550 SF
(INCLUDES 500 SF CREDIT FOR NON-STREET-ORIENTED GARAGE)	
FIRST FLOOR POOL HOUSE	2280 SF
SECOND FLOOR MAIN HOUSE	5069 SF
PROPOSED NEW TOTAL	14,565 SF 47.2%
NEW SECOND FLOOR POOL HOUSE	+1666 SF

DESIGN HOUSE & BUILDWORKS  
810 793 4288 AAS0002729  
8845 CORAL WAY MIAMI FLORIDA 33138

ALL RIGHTS RESERVED. THESE DRAWINGS ARE PROPRIETARY AND CONFIDENTIAL. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE PROJECT'S ARCHITECT IS PROHIBITED. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF THE PROJECT'S ARCHITECT IS PROHIBITED.

2040 NORTH BAY POOL, MIAMI BEACH, FL 33140

LANDSCAPE	300 000 0000
FITZ THUNDER	300 000 0000
MRP	300 000 0000
LANDING DESIGN	300 000 0000
POOL DESIGN	300 000 0000

DESIGN ARCHITECT : JAMES RICHIE ARCHITECTS

REVISED

SCALE  
1/16" = 1'

DESIGNATION  
UNIT SIZE DIAGRAM

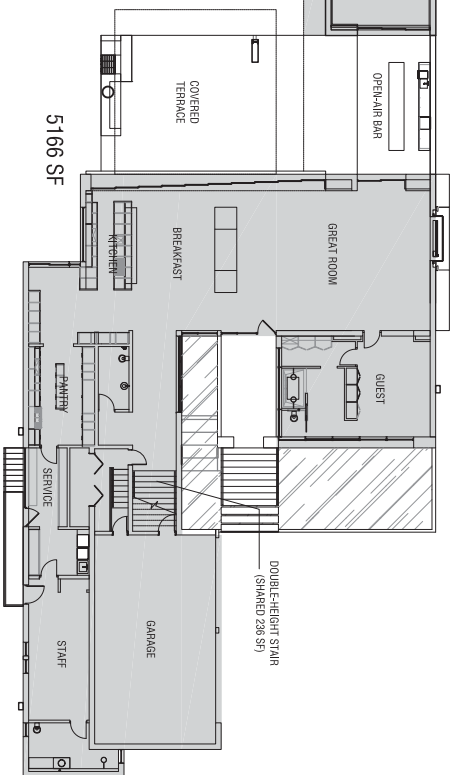
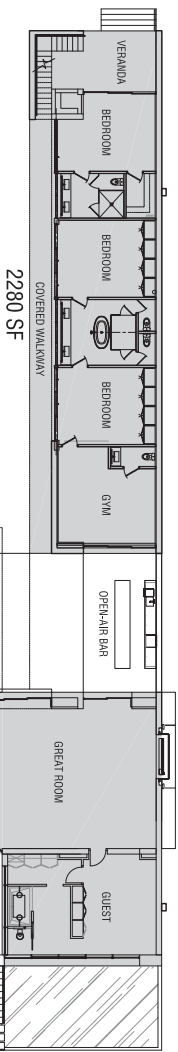


2ND FLOOR VOLUME MUST BE LESS THAN 70% FIRST FLOOR VOLUME

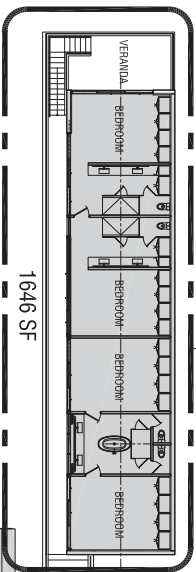
2ND FLOOR VOLUME MUST BE LESS THAN 70% FIRST FLOOR VOLUME		
EXISTING FIRST FLOOR VOLUME	7446 SF	
MAIN HOUSE VOLUME	5166 SF	
POOL HOUSE VOLUME	2280 SF	
EXISTING SECOND FLOOR VOLUME	5069 SF	= 68%

PROPOSED NEW SECOND FLOOR VOLUME	6715 SF	= 90% (20% INCREASE OVER CODE MAX.)
SECOND FLOOR POOL HOUSE	+ 1646 SF	

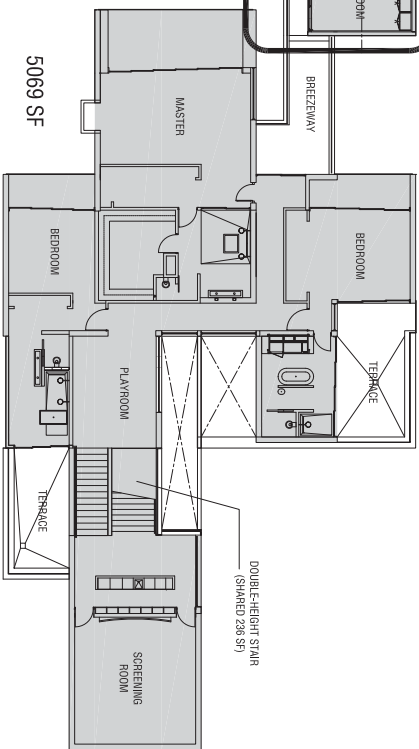
# \*WAIVER 1 REQUEST\*



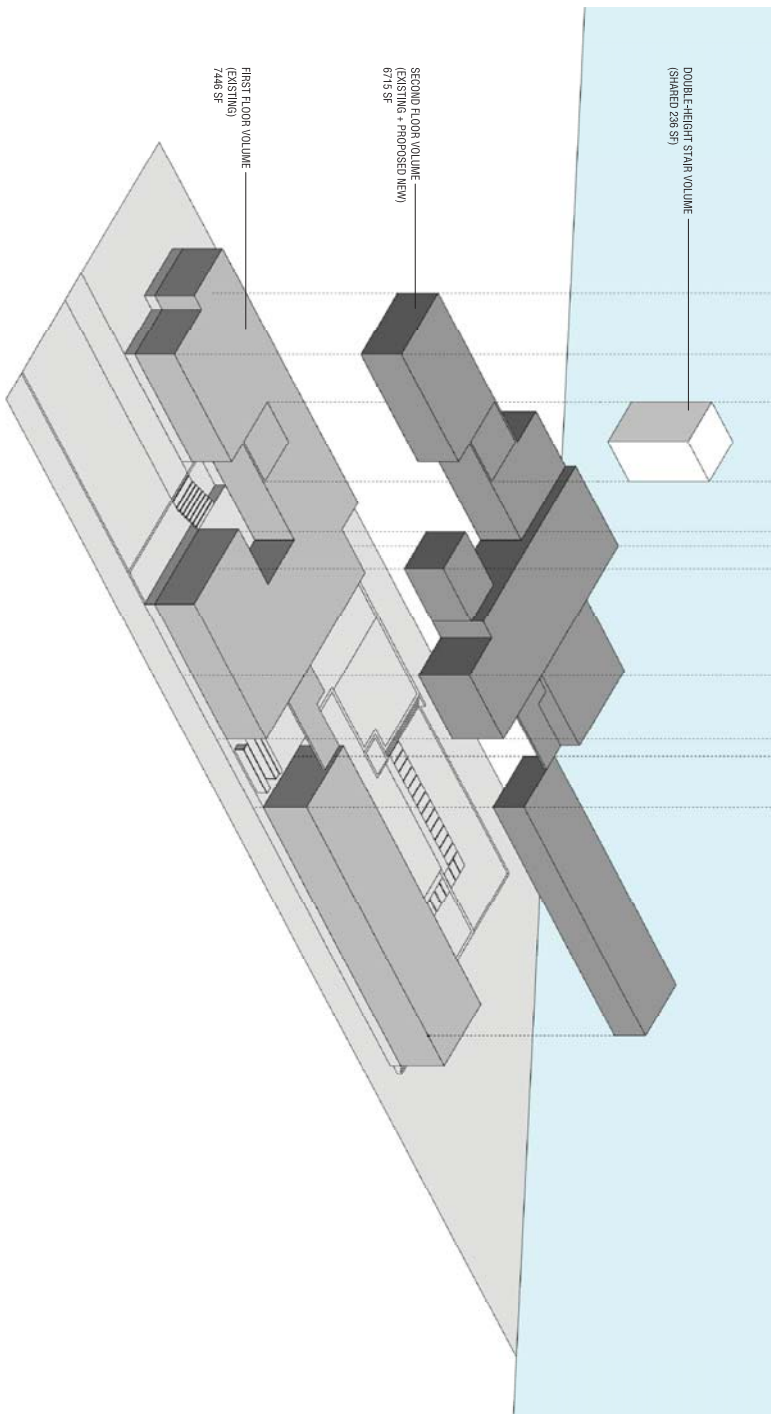
 ~~1 SP~~ **FIRST FLOOR VOLUME**  
1/16 SCALE



SCOPE OF VOLUMETRIC INCREASE




**SECOND FLOOR VOLUME**  
1/16 SCALE



# D/VICE

INC.

DESIGN HOUSE & BUILDWORKS  
610 738 4285 A48808278  
8848 CORAL WAY MIAMI FLORIDA 33168



---

ALL RIGHTS RESERVED. THESE DRAWINGS ARE PROPRIETARY AND CONFIDENTIAL. ANY REUSE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF DESIGN HOUSE & BUILDWORKS IS STRICTLY PROHIBITED. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. ANY DISPUTES SHALL BE REFERRED TO THE JUDICIAL SYSTEM OF THE STATE OF FLORIDA.

JOHN WORTH BAY POLLS, MIAMI BEACH, FL 33140

---

LANDSCAPE	300 000 0000
WATER	300 000 0000
LIGHTING DESIGN	300 000 0000
POOL DESIGN	300 000 0000
	300 000 0000
	300 000 0000

---

SCALE  
1/16" = 1'  
DESIGNATION  
VOLUME DIAGRAM

REUSED

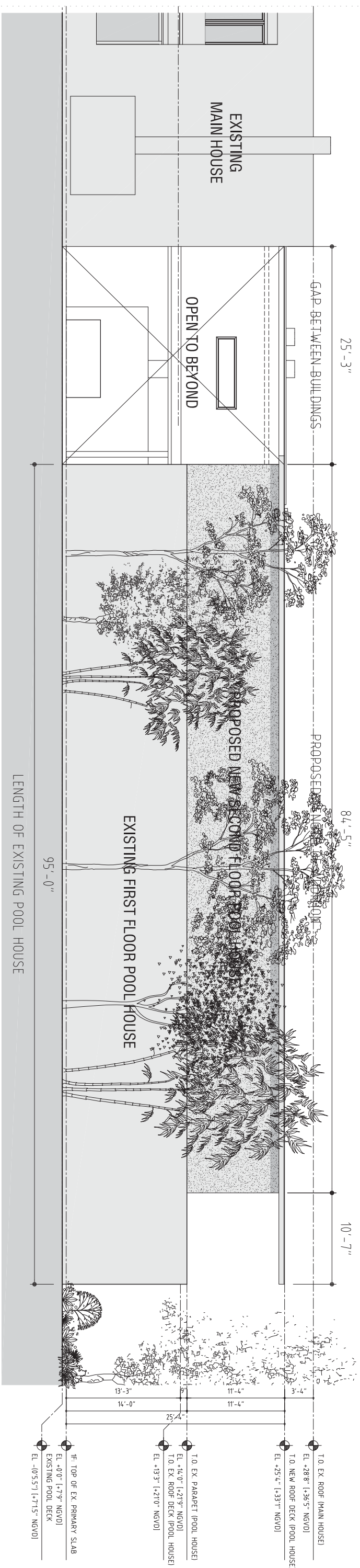
# A104





HARD / STONE WORK	1	CONCRETE SLAB - REFER STRUCT. DWGS.	
	2	CONCRETE BEAM - REFER STRUCT. DWGS.	
	3	CONCRETE COLUMN - REFER STRUCT. DWGS.	
	4	CANILEVERED CONCRETE CANOPY WITH TAPERED PERIMETER	
	5	3/4" STONE TILE FLOOR FINISH, RECTIFIED	
	6	3" THICK SOLID STONE SLABS	
	7	3/4" THICK SOLID STONE SLABS	
	8	3/4" RECESS	
	9	1" RECESS	
	10	2" RECESS	
	11	1/2" RECESS IN STEMWALL TO RECEIVE POOL FINISH	
	12	4" CONCRETE MASONRY UNIT	
	13	8" CONCRETE MASONRY UNIT	
	14	12" CONCRETE MASONRY UNIT	
	15	VERTICAL STONE FINISH ON ENGINEERED METAL CLIP SYSTEM	
	16	ROUTE STONE SLAB TO CONCEAL LED LIGHT FIXTURE, TYP.	
	17	STONE SLAB SILL	
	18	CONCRETE LINTEL BEAM	
	19	CONCRETE GRADE BEAM, REFER STRUCT. DWGS.	
	20	CONCRETE STEM WALL, REFER STRUCT. DWGS.	
	21	9"9 CONCRETE PIER TO MIN. 36" DEPTH (OR PER STRUCT. DWGS)	
	22	EXPOSED BOARD-FORMED CONCRETE W/ SURECRETE XS327 SEALANT (BOARDS = SPLIT 2X8 SPF, SAW-CUT + SAND-BLAST FINISH)	
	23	6" CONCRETE DRIVEWAY PAVER, SALT-ROCK FINISH	
	24	OVERHANGING STONE SLAB 4"	
	25	OVERHANGING STONE SLAB 4"	
SOFT / FINISHING WORK	30	MORTAR BASE AND SCREED	
	31	3/4" MORTAR BASE AND SCREED (OR EPOXY)	
	32	WALL FINISH - REFER WALL TYPES	
	33	5/8" DRYWALL, LEVEL 5 FINISH	
	34	3/4" SMOOTH STUCCO FINISH, PAINTED W/ LIME WASH STUCCO - VERIFIED COLOR W/ ARC.	
	35	EXPOSED STRUCTURAL POLYSTYRENE FOAM	
	36	SOIL-SAND MIXTURE L - STRUCTURAL TOP SOIL, INTEGRATED DRIP-LEAK IRRIGATION LINE, REFER LANDSCAPE SPEC.	
	37	GRAVEL FINISH GRADE OVER COMPACTED FILL	
	38	1" MORAR BASE AND SCREED	
	39	3/4" SMOOTH STUCCO FINISH UNDER EACH TREAD	
	40	5/8" DRYWALL COVER WHERE PLENUM CONDITION EXISTS	
	41	EPOXY COATED GARAGE FLOORING	
	42	1/8" SOUND AND CRACK ISOLATION MEMBRANE	
	43	1/4" FINISH GAP	
	44	NON-SHRINK GROUT, NOT TO EXCEED 3" HEIGHT - ANY ANCHORS MUST PENETRATE THRU TO CONCRETE, ENCAPSULATE IN WATERPROOFING SEALANT	
	45	1/2" PREMOLOD EXPANSION JOINT	
	46	1/2" DUKORCK	
	47	REINFORCED STUCCO BEAD (SUB S.S.T. OR ANOD. ALUMINUM)	
	48	ALUMINUM METAL J-BEAD, TO ANCHOR TP0 OVERLAP AT PARAPET, SEALED WITH TP0-COATED METAL FLASHING ON TOP	
	49	1" SAND BASE OVER 4" COMPACTED CRUSHED ROCK FILL	
	WATERPROOFING	50	VULKEM 350/351 WATERPROOFING SPEC.
		51	VULKEM 350NF WATERPROOFING SPEC., AGGREGATED TO ACCEPT FINISH
		52	XYPEX CONCRETE WATERPROOFING SPEC.
		53	GAF 80ML EXTREME TP0 ROOF MEMBRANE
		53a	FLEECE-BACK GAF TP0 MEMBRANE LAPPED OVER PARAPET
54		GAF TOPCOAT (WHITE) ELASTOMERIC COATING	
55		TP0-COATED METAL FLASH, ADHERED TO TP0 UNDERLAY; 1" DRIP	
56		VULKEM 350NF - REFER PLANTING WATERPROOFING SPEC.	
57		10 MIL MINIMUM WATER VAPOR BARRIER AT ALL SLAB AND STEM WALLS	
58		LATICRETE HYDRO BAN, FLUID-APPLIED, SILICA AGGREGATE	
INSULATION	60	RIGID INSULATION BOARD, MIN. R=4.1	
	61	RIGID INSULATION BOARD, MIN. R=7	
	62	ICYNENE HD SPRAY-FOAM INSULATION, MIN. R=7	
	63	ICYNENE HD SPRAY-FOAM INSULATION, MIN. R=30	
	64	TAPERED POLYISOCYANURATE ROOF INSULATION, MIN. R=30	
	METALS	70	1-1/2" GALV. METAL 2-CLIP FURRING
		71	3-5/8" 29ga GALV. METAL STUD FRAMING
		72	GALV. METAL CEILING FRAMING
		73	29ga EXTERIOR GALV. METAL CEILING FRAMING
		74	GALV. METAL LATH
75		3/4" SQUARE ALUMINUM REVEAL SEPARATING DISSIMILAR FINISHES	
76		CAST BRONZE SITE DRAIN, POWDER-COATED BLACK	
77		1/4" SQUARE CONTINUOUS ANODIZED ALUMINUM DRIP GROOVE	
78		ST. STEEL BASE SHOE, TOP FLUSH WITH FINISH FLOOR, ANCHOR THRU BOTTOM	
79		STAINLESS STEEL STUCCO BEAD TO SEPARATE DISSIMILAR FINISHES	
WOODS	80	ST. STEEL OR NON-CORROSIVE ANCHORS - 2-PART EPOXY FILLER	
	81	ANODIZED ALUMINUM SLOTTED SEPARATION STRIP	
	82	STAINLESS STEEL ROOF AREA DRAIN - GC TO COORD. RWL PLUMBING WITH STRUCTURAL REINFORCING CLEARANCES	
	90	3/4" EXTERIOR GRADE PT PLYWOOD SHEATHING	
	91	SOLID WOOD MAIN ENTRY DOOR	
	92	2X PT BLOCKING	
	93	3/4" WOOD T&G FLOORING - LINED WHITE OAK	
	94	3/4" WOOD PLYWOOD OR MDF FLOATBOARD	
	95	0.75"x15" @ 1" O.C. BRAZILIAN TEAK WOOD CLADDING; STAINED & SEALED WITH SIKKENS	
	95A	PT ANCHOR STRIPS FOR WOOD CLADDING, FULLY ENCAPSULATED WITH WEATHERPROOFING SYSTEM	
SPECIALTIES	96	0.75"x15" @ 1" O.C. BRAZILIAN TEAK BECKING, GC TO CORONATE FLUSH WITH ADJ. STONE FLOOR FINISH - STAINED + SEALED WITH SIKKENS	
	97	2X PT JAMB / BASE REINFORCEMENT	
	98	2X8 PT JOIST @ 24" O.C., ON GALV. JOIST HANGERS; ALL PAINTED BLACK	
	98A	2X12 PT JOIST LEDGER ANCHORED TO SIDES OF PT POST	
	98B	4X4 PT POST	
	100	FLEETWOOD OPERABLE WINDOW SYSTEM, IMPACT IG GLAZING, "F4" BRONZE ANODIZED	
	101	FLEETWOOD WINDOWWALL SYSTEM, IMPACT IG GLAZING, "F4" BRONZE ANODIZED	
	102	FLEETWOOD MORWUD 3070-H SLIDING DOOR SYSTEM, IMPACT IG GLAZING, "F4" BRONZE ANODIZED	
	103	FRAMELESS GLASS HANDRAIL	
	104	GLASS / ALUMINUM STOREFRONT DOOR	
WATER FEATURES	105	42" RAILING SYSTEM, ALUMINUM POSTS WITH S.S.T. TENSIONED CABLE RAILS; SHAPED BRAZILIAN TEAK HANDRAIL	
	106	OVERHEAD "SCHWISS DOORS" BI-FOLD GARAGE DOOR, SLATTED BRAZILIAN TEAK WOOD APPLIQUE (MATCH ADJACENT WALL FINISH)	
	107	2X8 OVERFLOW SCUMPER, 1/4ga ALUMINUM, POWDER COATED DARK BRONZE, MITERED SURROUND	
	108	N/A	
	120	ONYX BEADCRETE (OR PEBBLECRE) FEATURE FINISH	
WATER FEATURES	121	VALCON FLEXCRETE WATERPROOFING LAYER	
	122	WATER LINE	
	123	BLACK MEXICAN RIVER ROCK, LAYED IN BLACK MORTAR BASE	
	124	WATER FEATURE WALL - REFER STRUCT. DWGS.	





~~1 EL~~ BUILDING LENGTH DIAGRAM  
3/16 SCALE



BUILDING LENGTH

146-106(2)(d):  
TWO-STORY SIDE ELEVATIONS LOCATED PARALLEL TO A SIDE PROPERTY LINE SHALL NOT EXCEED 50 PERCENT OF THE LOT DEPTH, OR 60 FEET, WHICHEVER IS LESS

50% LOT WIDTH (.50 x 100')	50'	(MAXIMUM LENGTH)
EXISTING POOL HOUSE LENGTH	95'	(+4.5' DIFFERENCE)
LENGTH OF PROPOSED 2ND FLOOR ADDITION	84.5"	(+34.5" DIFFERENCE)

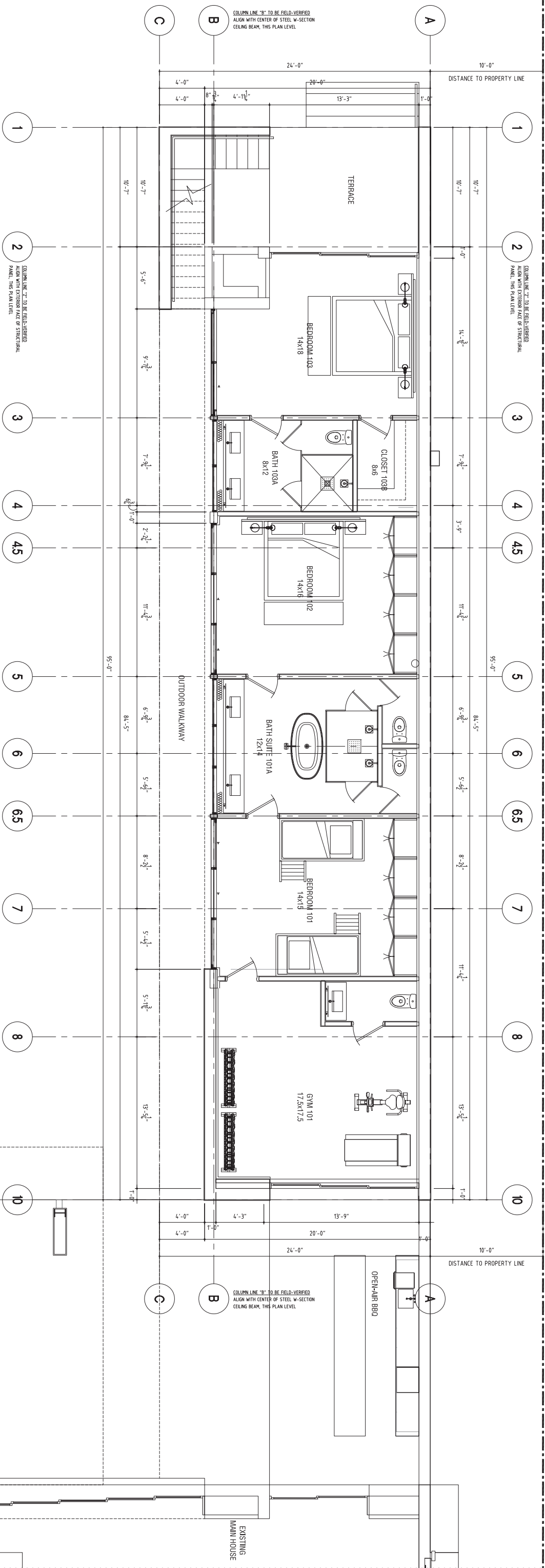
# \*WAIVER 2 REQUEST\*

AERIAL AT SHARED PROPERTY LINE

\*\*\*FINAL SUBMITTAL\*\*\* DRB HEARING 7/3/2018

[illegible]





## FIRST FLOOR PLAN (POOL HOUSE)

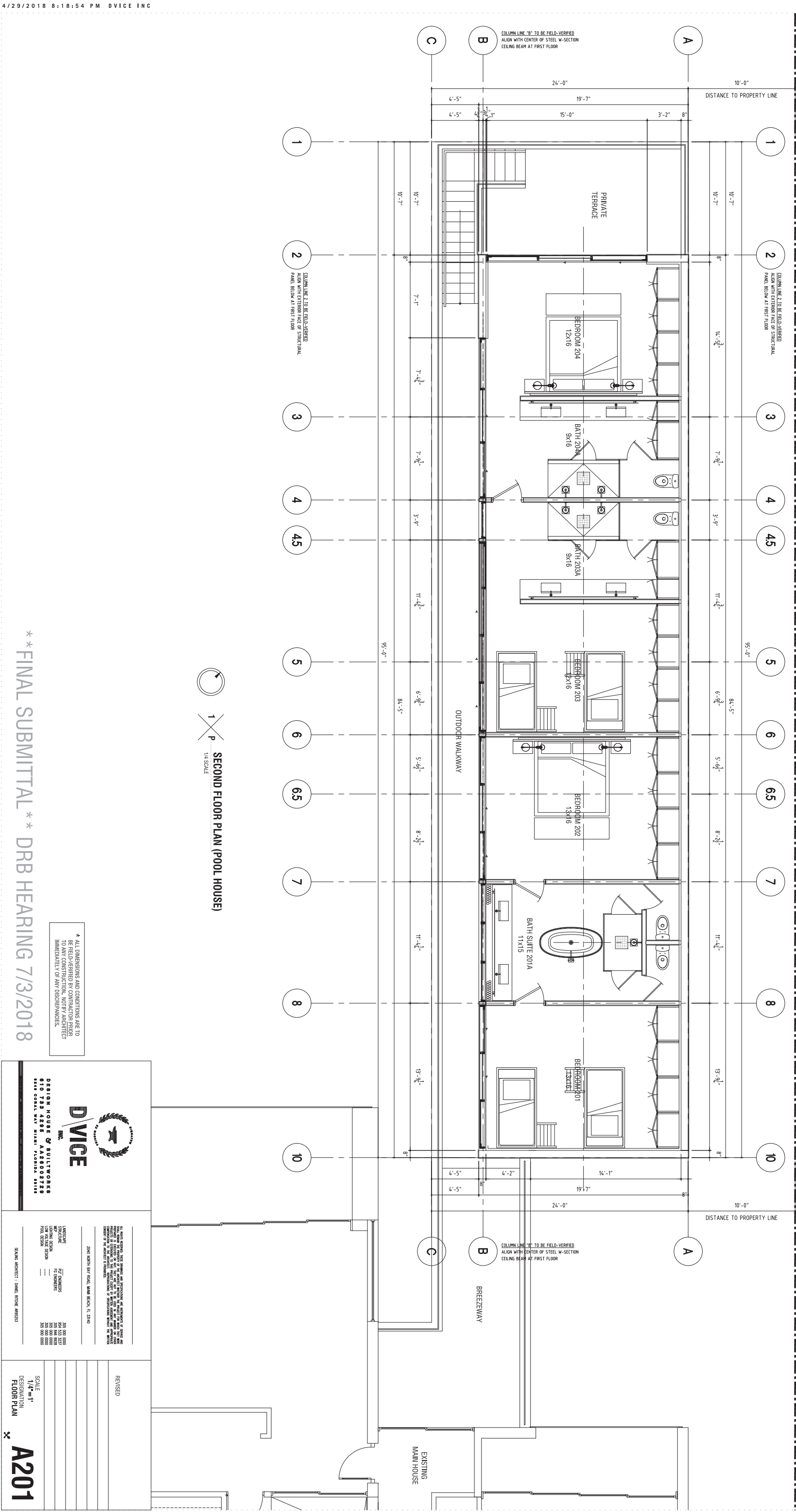
## POOLSIDE DECK

EXISTING  
MAIN HOUSE

FINAL SUBMITTAL DRB HEARING 7/3/2018

[illegible]





NORTH PROPERTY LINE 352.50'

\*\*FINAL SUBMITTAL\*\* DRB HEARING 7/3/2018

\* ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD-VERIFIED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.



DESIGN HOUSE OF SUILTWORKS  
810 733 4285 AA2008728  
2008 CORAL VAY BLVD, FLORIDA 33138

2008 NORTH BAY POOL, MIAMI BEACH, FL 33140

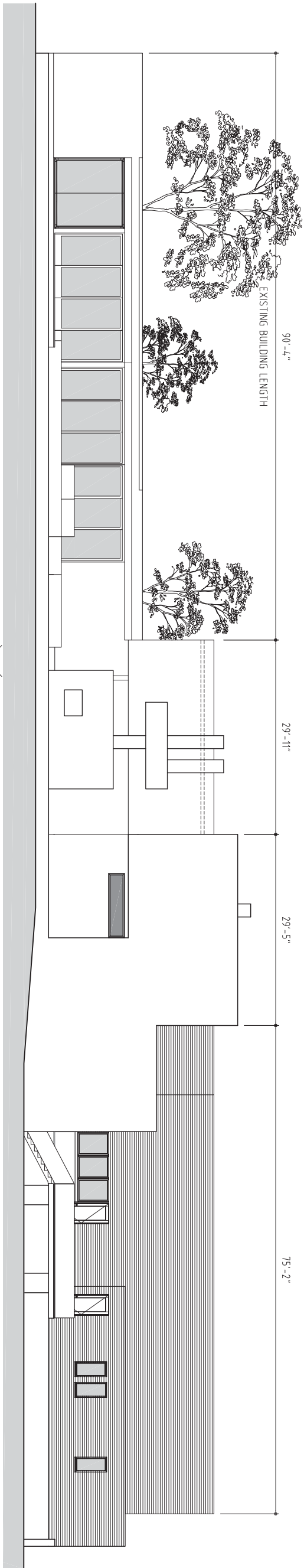
ALL RIGHTS RESERVED. THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF DVICE INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DVICE INC.

REVISIO

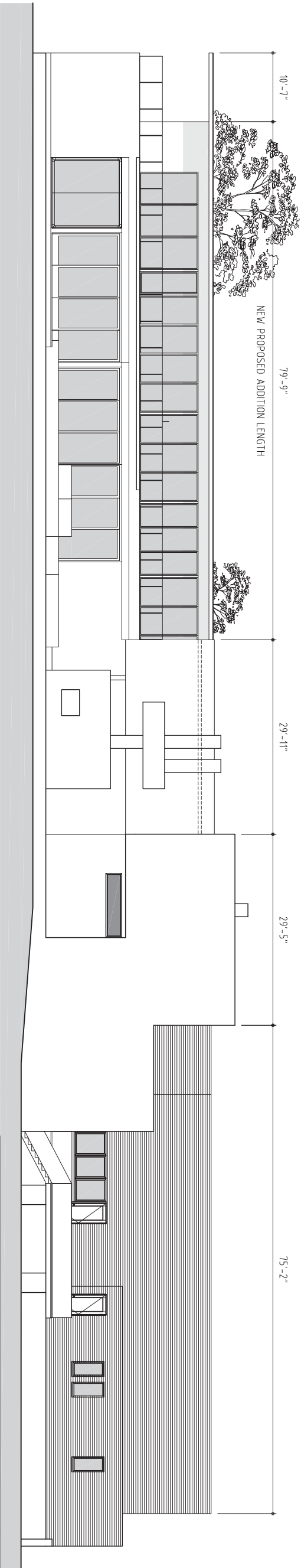
SCALE ARCHITECT : DWG. 1/4" = 1'-0"

SCALE  
1/4"=1'-0"  
DESIGNATION  
FLOOR PLAN  
A201





1 XE  
1/8" SCALE  
EXISTING SOUTH ELEVATION (OVERALL)



2 E  
1/8" SCALE  
PROPOSED SOUTH ELEVATION (OVERALL)

\* ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD-CHECKED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.



DESIGN HOUSE OF SUILTWORKS  
810 733 4395 AA2808728  
888 CORAL VAY BLVD FLORIDA 33108

ALL RIGHTS RESERVED. THIS DRAWING AND SPECIFICATIONS ARE THE PROPERTY OF DVICE INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DVICE INC.

2018 NORTH BAY POOL, MIAMI BEACH, FL 33140

LANDSCAPE  
ARCHITECT  
LIC. NO. 12000  
LIC. NO. 12000  
LIC. NO. 12000  
LIC. NO. 12000  
LIC. NO. 12000  
LIC. NO. 12000

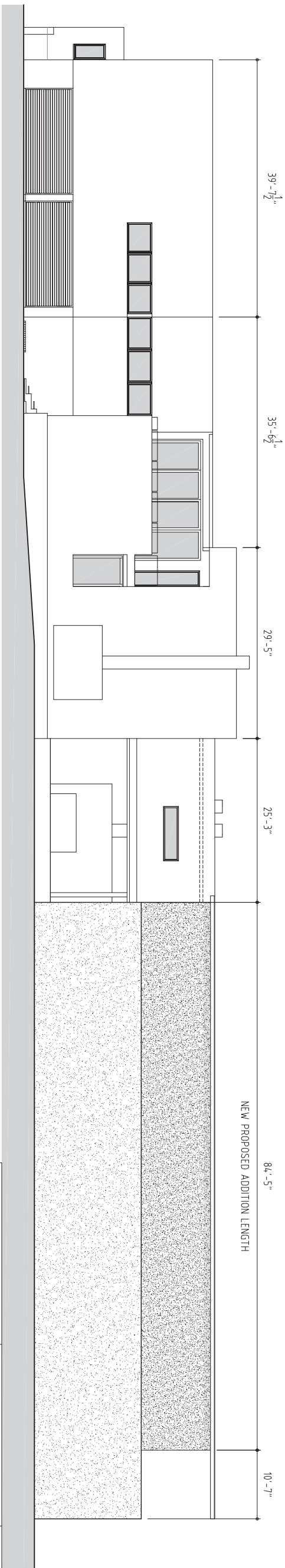
SCALE: ARCHITECT: DANIEL RUTHERFORD

REVISION

SCALE:  
1/8"=1'  
OVERALL ELEV. X  
A500

\*\*FINAL SUBMITTAL\*\* DRB HEARING 7/3/2018





\* ALL DIMENSIONS AND CONDITIONS ARE TO BE FIELD-VERIFIED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.

8848 CORAL WAY MIAMI, FLORIDA 33165  
 DESIGN HOUSE & BUILTWORKS  
 D VICE INC.

2000 NORTH BAY BOULEVARD, MIAMI BEACH, FL 33140  
 305.666.0000  
 305.666.0000  
 305.666.0000  
 305.666.0000  
 305.666.0000  
 305.666.0000

1/8" = 1'  
 SCALE  
 DESIGNATION  
 OVERALL ELEV.

REINSED

SCALE: 1/8" = 1'  
 DESIGNATION: OVERALL ELEV.







- 1

STUCCO - SMOOTH TROWEL FINISH WITH 15 GRIT SURFACE. CALCEM LIME-BASED PAINT, TYP., WHITE COLOR (PER SUBMITTED SAMPLE)
- 2

STUCCO - SMOOTH TROWEL FINISH WITH 15 GRIT SURFACE. CALCEM LIME-BASED PAINT, TYP., DARK GREY COLOR (PER SAMPLE)
- 3

WINDOOR HURRICANE RESISTANT SLIDING GLASS DOOR SYSTEM, IMPACT GLAZING. REFER MEP DWGS. FOR GLAZING SPEC. - ANODIZED FINISH TO MATCH EXISTING WINDOWS/DOORS OF MAIN HOUSE
- 4

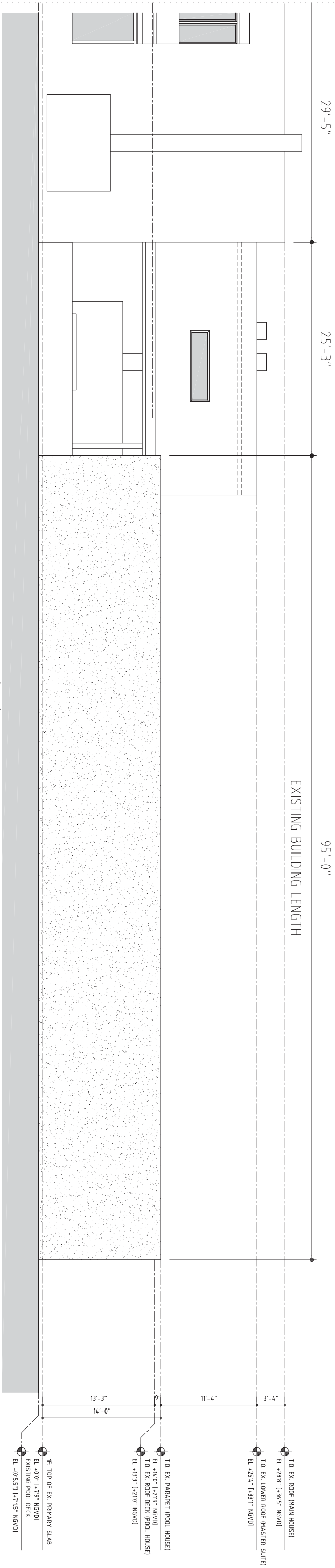
WINDOOR HURRICANE RESISTANT "WINDOWALL" SYSTEM, IMPACT GLAZING. REFER MEP DWGS. FOR GLAZING SPEC. - ANODIZED FINISH TO MATCH EXISTING WINDOWS/DOORS OF MAIN HOUSE
- 5

ROOF SLAB W/ XYPEX TREATMENT INTERMIX, VULKEM 350-351 UV ELASTOMERIC COATING (OPTION GAF TPO/COAT)
- 6

CONTINUOUS WHITE TPO-COATED FLASHING TRIM (1/2" LIP) - TO BE SEALED WITH MONOLITHIC ROOF COATING, AT ALL ROOF PERIMETER
- 7

EXISTING FRAMELESS GLASS HANDRAIL TO REMAIN, REPLACE ANY DAMAGED AREAS, OR INSTALL NEW TO INFILL ANY VOID AREAS
- 8

--







\*\*\*FINAL SUBMITTAL\*\*\* DRB HEARING 7/3/2018

[illegible]





1 **3D RENDERING**  
NOT TO SCALE

2 **SCHEMATIC SKETCH**  
NOT TO SCALE

\*\*FINAL SUBMITTAL\*\* DRB HEARING 7/3/2018

ALL RIGHTS RESERVED. THESE DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. ANY REVISIONS OR CHANGES TO THESE DRAWINGS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS.

2020 NORTH BAY POOL, MIAMI BEACH, FL 33140

LANDSCAPE  
DESIGN  
LUSH  
LANDSCAPE  
DESIGN  
LUSH  
LANDSCAPE  
DESIGN  
LUSH

SCALE  
NO SCALE  
3D RENDER

REVISION

NO SCALE  
3D RENDER  
R100



DESIGN HOUSE & BUILTWORKS  
810 733 4305 AA8008728  
810 733 4305 AA8008728  
810 733 4305 AA8008728





1 X R 3D RENDERING  
NOT TO SCALE

\*\*FINAL SUBMITTAL\*\* DRB HEARING 7/3/2018

ALL RIGHTS RESERVED. THIS DRAWING AND ANY INFORMATION OR DATA HEREON IS THE PROPERTY OF DV/ICE INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DV/ICE INC.

2020 NORTH BAY POOL, MIAMI BEACH, FL 33140

**DV/ICE**  
INC.  
DESIGN HOUSE & BUILTWORKS  
810 733 4285 AA2808728  
3400 CORAL VAY MIAMI FLORIDA 33139

LANDSCAPE  
ARCHITECT  
FIRM NUMBER  
FIRM ADDRESS  
FIRM PHONE  
FIRM FAX  
FIRM EMAIL  
FIRM WEBSITE  
FIRM URL

SCALE  
NO SCALE  
DESIGNATION  
3D RENDER

REVISION

R101





**3D RENDERING**  
NOT TO SCALE

FINAL SUBMITTAL DRB HEARING 7/3/2018



DEVICE

DESIGN HOUSE & BUILTWORKS  
610 733 4295 AA26002729  
6648 CORAL WAY MIAMI FLORIDA 33156

ALL RIGHTS RESERVED. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NOTHING IN THIS PROJECT OR ANY OTHER PROJECT OF THE ARCHITECT SHALL BE USED IN ANY MANNER OR FOR ANY PURPOSES NOT INTENDED OR AUTHORIZED BY THE ARCHITECT WITHOUT HIS WRITTEN PERMISSION. NO OTHER REPRODUCTIONS OR EXTRACTS FROM THIS PROJECT SHALL BE MADE OR REPRODUCED IN ANY MANNER OR FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. REPRODUCTIONS OR SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT ARE PROHIBITED.

2040 NORTH BAY ROAD, MIAMI BEACH, FL 33140

LANDSCAPE STRUCTURE	305 000 00
MEP	854 533 32
LIGHTING DESIGN	305 846 99
LOW VOLTAGE DESIGN	305 000 00
POOL DESIGN	305 000 00

SEALING ARCHITECT : DANIEL POTHE AR05253

REVISED

NO SCALE  
DESIGNATION  
3D RENDER

**R102**