

MIAMI BEACH

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	3865 Indian Creek Drive, Miami Beach, FL 33140		
2	Board and file numbers :			
3	Folio number(s):			
4	Year constructed:		Zoning District:	RM-2
5	Based Flood Elevation:	7.0' N6VD	Grade value in NGVD:	
6	Adjusted grade (Flood+Grade/2):		Lot Area:	10,800 S.F.
7	Lot width:	120'-0"	Lot Depth:	90'-0"
8	Minimum Unit Size	226.53 S.F.	Average Unit Size	N/A
9	Existing use:	Hotel	Proposed use:	Hotel

		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0"	Approximately 35'-0"	Not Altered	
11	Number of Stories	5	3	Not Altered	
12	FAR	21,600 S.F.	22,013.24 S.F.	Not Altered	+413.24 S.F.
13	Gross square footage		22,013.24 S.F.	Not Altered	
14	Square Footage by use	N/A			
15	Number of units Residential	N/A	0	0	
16	Number of units Hotel	N/A	50	50	
17	Number of seats	N/A			
18	Occupancy load	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:	N/A			
19	Front Setback:				
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
	At Grade Parking:	N/A			
24	Front Setback:				
25	Side Setback:				
26	Side Setback:				
27	Side Setback facing street:				
28	Rear Setback:				
	Pedestal:				
29	Front Setback:	20'-0"	15'-0"	Not Altered	5'-0"
30	Side Setback:	9'-8"	5'-0"	Not Altered	4'-8"
31	Side Setback:				
32	Side Setback facing street:	9'-8"	5'-0"	Not Altered	4'-8"
33	Rear Setback:	9'-0"	5'-0"	Not Altered	4'-0"
	Tower:	N/A			
34	Front Setback:				
35	Side Setback:				

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ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:				
37	Side Setback facing street:				
38	Rear Setback:				

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	N/A			
40	Total # of parking spaces				
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions				
44	Parking Space configuration (45o,60o,90o,Parallel)				
45	ADA Spaces				
46	Tandem Spaces				
47	Drive aisle width				
48	Valet drop off and pick up				
49	Loading zones and Trash collection areas				
50	racks				

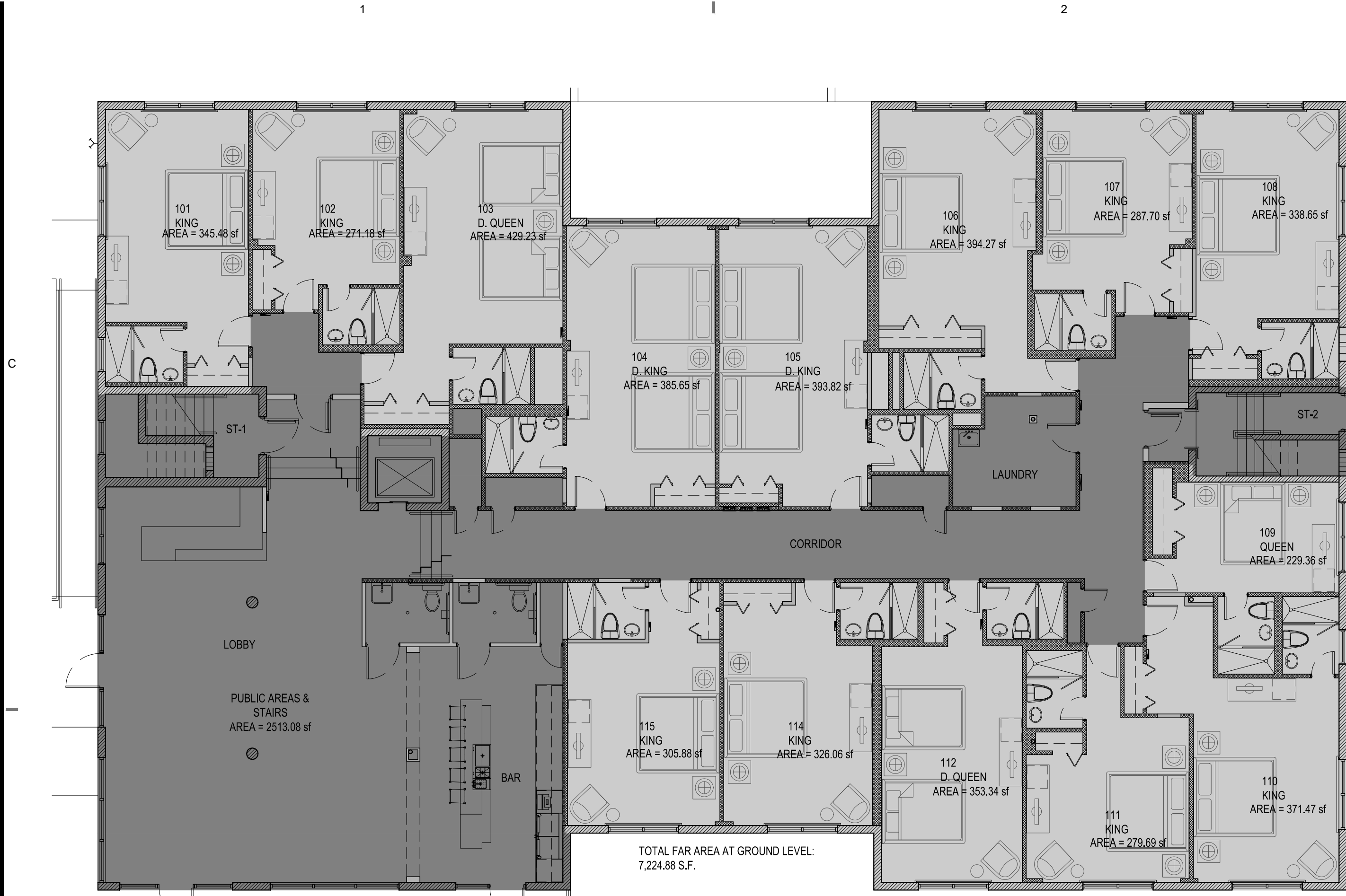
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	Bar			
52	Number of seats located outside on private property	Approximately 20			
53	Number of seats inside	Approximately 20			
54	Total number of seats	Approximately 40			
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
56	Total occupant content	177			
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

58	Proposed hours of operation	Noon to 9:00 PM
59	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361)	No
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	No
61	Is this a contributing building?	Yes
62	Located within a Local Historic District?	Yes

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.



1 GROUND FLOOR AREAS
A-1.01 SCALE: 1/8"=1'-0"



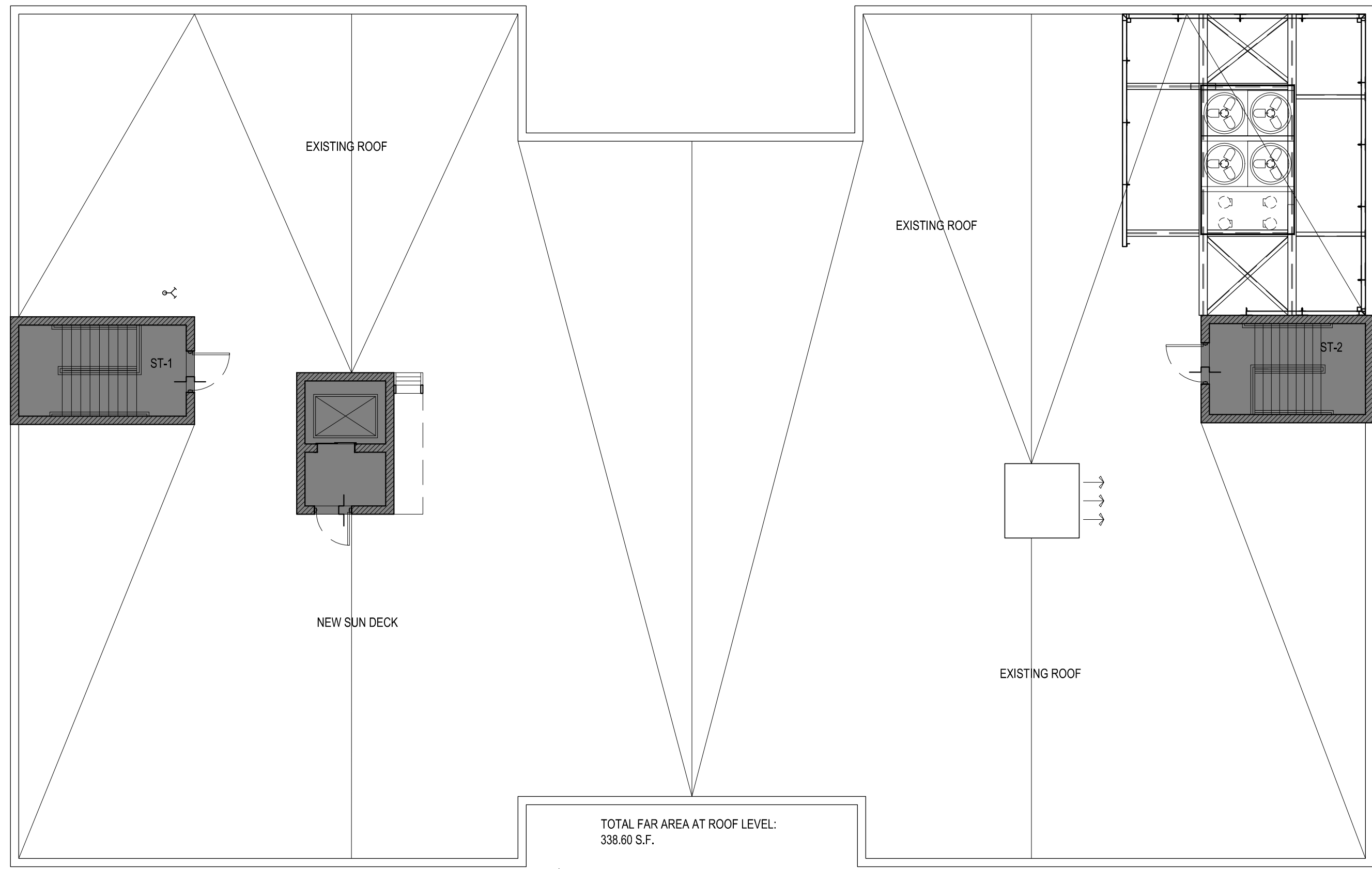
2 2nd FLOOR AREAS
A-1.01 SCALE: 1/8"=1'-0"



3 3rd FLOOR AREAS
A-1.01 SCALE: 1/8"=1'-0"

F.A.R. CALCULATIONS:
LOT SIZE = 10,800.60 sf
MAX. F.A.R. = 2.00 x 10,800.60 = 21,601.20 sf
EXISTING F.A.R. = 22,013.24 sf (NOT ALTERED)

REFER TO SHEET A-1.02 FOR PROPOSED
UNITS AREA BREAKDOWN TABLE.



4 ROOF FLOOR AREAS
A-1.01 SCALE: 1/8"=1'-0"

DESIGN TEAM:

NOVUS

Archetype

architecture / interior / planning

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PROJECT:

VENEZIA HOTEL

3865 INDIAN CREEK DR. MIAMI BEACH FLORIDA,
33140
MECHANICAL SYSTEM REPLACEMENT AND
EXTERIOR FACADE IMPROVEMENTS
CHANGE OF USE TO HOTEL, INTERIOR
REMODELING

MANAGEMENT:

#	REVISIONS	DATE

DATE : 03-07-2014
PROJECT No.: 14-002
DRAWN BY: JP.SM.JS
CHECKED BY: JP
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SHEET TITLE:

FAR & INDIVIDUAL
ROOM AREAS

SHEET No:

A-1.01

	UNIT AREA BREAKDOWN											
	1st FLOOR		2nd FLOOR		3rd FLOOR		TOTAL UNITS	AREA		UNITS 335+	300-335	200-300
	UNIT #	AREA	UNIT #	AREA	UNIT #	AREA						
	101	345.48	201	345.48	301	345.48				101, 103	114, 115	102, 107
	102	271.18	202	271.18	302	271.18				104, 105	214, 215	109, 111
	103	429.23	203	429.23	303	429.23				106, 108	314, 315	202, 207
	104	385.65	204	406.55	304	385.65				110, 112		209, 211
	105	393.82	205	393.82	305	393.82				201, 203		219, 217
	106	394.27	206	394.27	306	394.27				204, 205		302, 307
	107	287.7	207	287.7	307	287.7				206, 208		309, 311
	108	338.65	208	338.65	308	338.65				210, 212		317, 319
	109	229.36	209	237.15	309	229.36				216,		
	110	371.47	210	363.68	310	371.47				218,		
	111	279.69	211	279.69	311	279.69				301, 303		
	112	353.34	212	353.34	312	353.34				304, 305		
	114	326.06	214	326.06	314	326.06				306, 308		
	115	305.88	215	332.17	315	332.17				310, 312		
			216	372.33	316	372.33				316, 318		
			217	266.02	317	266.07						
			218	353.21	318	353.21						
			219	226.53	319	226.53						
TOTAL	14	4711.78	18	5977.06	18	5956.2	50	16645.05		28	6	16
AVERAGE		336.556		332.059		330.9		332.901	%	0.56	0.12	0.32

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SHEET TITLE:

**PROPOSED UNITS
AREA BREAKDOWN
TABLE**

SHEET No:

A-1.02



NEW SHEET

A-2.03



1 PROPOSED 2nd FLOOR PLAN
A-2.04
REFER TO A-2.03 FOR WALL LEGEND AND NOTES.
SCALE: 1/4"=1'-0"

NOTE: (F.B.C. 109.3.6.4.4) "TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633 OF THE FLORIDA STATUTES."

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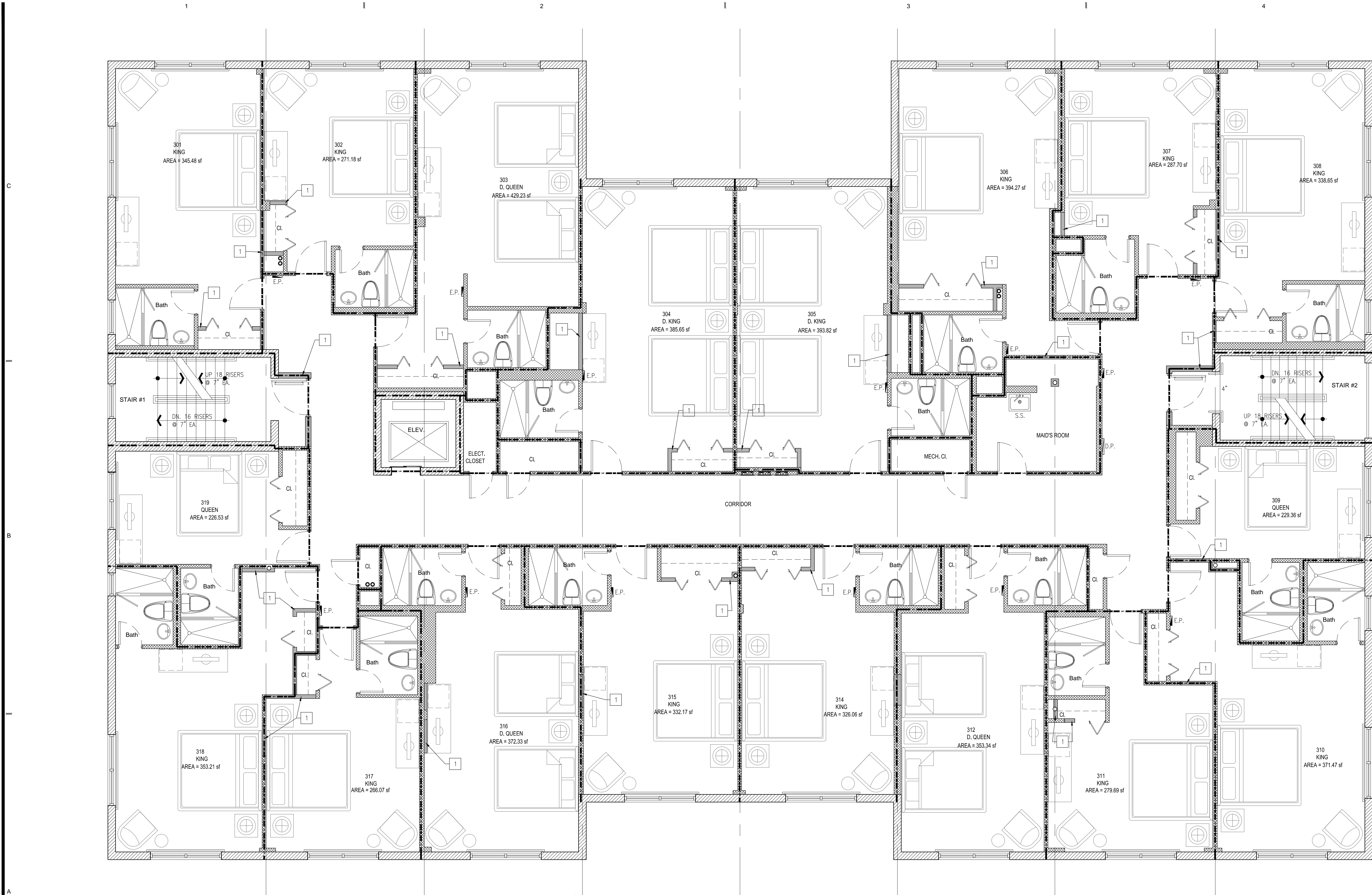
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SHEET TITLE:

PROPOSED 2nd FLOOR PLAN

SHEET No:

NEW SHEET
A-2.04



1 PROPOSED 3rd FLOOR PLAN
A-2.05
REFER TO A-2.03 FOR
WALL LEGEND AND NOTES.
SCALE: 1/4"=1'-0"

NOTE: (F.B.C. 109.3.6.4.4) "TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633 OF THE FLORIDA STATUTES."

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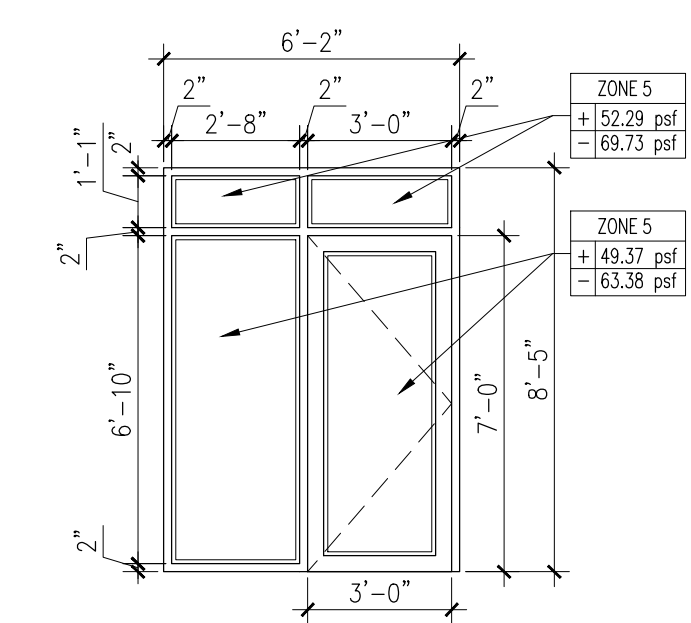
**PROPOSED 3rd FLOOR
PLAN**

SHEET No:

NEW SHEET
A-2.05




2 PROPOSED FRONT (INDIAN CREEK DR. WEST) ELEVATION
A-3.01 SCALE: 1/4"=1'-0"



DOOR MARK 01 ELEVATION
ALL MULLIONS FOR FIXED GLAZING, WINDOWS, AND DOORS TO BE MADE OUT OF ALUMINUM AND TO BE CLEAR ANODIZED ALUMINUM FINISH, TO MATCH EXISTING ONES. GLASS SHALL BE CLEAR GLASS.

NOTE: (F.B.C. 109.3.6.4.4) "TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND CHAPTER 633 OF THE FLORIDA STATUTES."

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MECHANICAL SYSTEM REPLACEMENT AND EXTERIOR FACADE IMPROVEMENTS
CHANGE OF USE TO HOTEL, INTERIOR REMODELING

MANAGEMENT:

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DATE :	03-07-2014
PROJECT No. :	14-002
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CHECKED BY:	JP
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SHEET TITLE:

PROPOSED ELEVATION

SHEET No:

A-3.01

1

C

B

A

2



INDIAN CREEK DR. & 39th ST.
CORNER VIEW



FRONT TERRACE SITTING
AREA VIEW

3

4

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SHEET TITLE:

**PROPOSED BUILDING
RENDERINGS**

SHEET No:

A-1.05

VENEZIA HOTEL

HPB FINAL SUBMITTAL

05-16-16

3865 INDIAN CREEK DR. MIAMI BEACH,
FLORIDA 33140

SCOPE OF WORK OF HPB SUBMITTAL:

- A- UNIT SIZE VARIANCE.
- B- REMOVAL OF (1) EXISTING EXTERIOR WINDOW ON THE WEST FACADE OF THE BUILDING, WHERE ROOM 116 USED TO BE.
PROPOSAL OF NEW EXTERIOR GLASS DOOR AND FIXED GLASS AT THE LOCATION WHERE THE WINDOW FOR ROOM 116 USED TO BE.



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