# FINAL SUBMITTAL

02/02/2018



## **TEAM MEMBERS**

DEVELOPER: BOSS DEVELOPMENT 803 NW 151ST STREET SUIT B MIAMI LAKES, FL, 33014

TEL: (305) 828-8284 FAX: (561) 578-5301

ARCHITECT: CPH INC ILKER U2517

1992 SW 1ST ST
MIAMI, FL, 33135
TEL: (305) 274-4805
FAX: (305) 274-4807

KIMLEY-HORN & ASSO. 1690 S. CONGRESS AVE SUIT 100 **ENGINEER** 

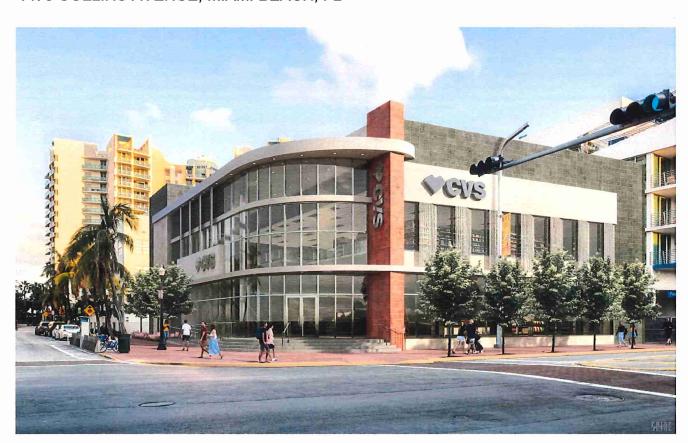
DELRAY BEACH, FL, 33445

TEL: (561) 404-7244

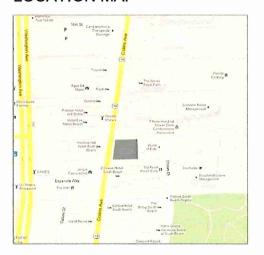
TENANT: PROJECT MANAGER

CVS/PHARMACY, INC 3300 NORTH 28TH TER. HOLLYWOOD, FL 33020 TEL: (727) 431-2533

1475 COLLINS AVENUE, MIAMI BEACH, FL



### **LOCATION MAP**



## **DRAWING INDEX**

| 0 | CS | COVER SHEET |
|---|----|-------------|
| 0 |    | SURVEY      |

### **CIVIL ENGINEERING**

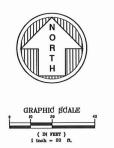
| 0 | SP-1   | SITE PLAN            |
|---|--------|----------------------|
| 0 | VAR-1  | VARIANCE PLAN        |
| 0 | EX-1   | MANEUVERABILITY PLAN |
| 0 | L-1.00 | LANDSCAPE PLAN       |
| 0 | L-1.10 | LANDSCAPE DETAILS    |
| 0 | L-1.11 | LANDSCAPE NOTES      |

### SIGNAGE

| 0 | PAGE 1 | COVER SHEET                               |
|---|--------|---|
| 0 | PAGE 2 | SIGN PLACEMENT RECOMMENDATIONS            |
| 0 | PAGE 3 | SIGN PLACEMENT RECOMMENDATIONS            |
| 0 | PAGE 4 | PROPOSED SIGNAGE                          |
| 0 | PAGE 5 | PROPOSED SIGNAGE - CHANNEL LETTER DETAILS |
| 0 | PAGE 6 | PROPOSED SIGNAGE - CHANNEL LETTER DETAILS |
|   |        |   |

### ARCHITECTURAL

|   | ARCHITECT | URAL                                 |
|---|-----------|--------------------------------------|
| 0 | PH-1      | PHOTOS                               |
| 0 | PH-2      | PHOTOS                               |
| 0 | A-1.0     | FIRST FLOOR PLAN                     |
| 0 | A-1.1     | SECOND FLOOR PLAN                    |
| 0 | A-2.0     | ROOF PLAN                            |
| 0 | A-2.1     | SKYLIGHT DETAIL                      |
| 0 | A-3.0     | FIRST FLOOR REFLECTING CEILING PLAN  |
| 0 | A-3.1     | SECOND FLOOR REFLECTING CEILING PLAN |
| 0 | A-4.0     | CONTEXTUAL STREET ELEVATION          |
| 0 | A-4.1     | BUILDING ELEVATIONS                  |
| 0 | A-4.2     | BUILDING ELEVATIONS                  |
| 0 | A-4.3     | BUILDING ELEVATIONS                  |
| 0 | A-4.4     | BUILDING ELEVATIONS                  |
| 0 | A-4.5     | RENDERING - CORNER VIEW              |
| 0 | A-4.6     | RENDERING - 15TH STREET VIEW         |
| 0 | A-4.7     | RENDERING - COLLINS AVENUE VIEW      |
| 0 | A-4.8     | RENDERING - NIGHT VIEW               |
| 0 | A-5.1     | BUILDING SECTIONS                    |
| 0 | A-5.2     | BUILDING SECTIONS                    |
| 0 | A-5.3     | ESCALATOR DETAIL                     |
| 0 | A-6.0     | CURTAIN WALL DETAILS                 |
| 0 | A-7.0     | RAMP DETAIL                          |
| 0 | A-8.0     | ESCALATOR SPECIFICATIONS 1           |
| 0 | A-8.1     | ESCALATOR SPECIFICATIONS 2           |
| 0 | A-8.2     | ESCALATOR SPECIFICATIONS 3           |
| 0 | A-9.0     | FINISHES                             |
| 0 | A-9.1     | FINISHES                             |
|   |           |                                      |



# = 0,5' CURB = CURB & GUTTER -= CHAIN LINK FENCE

DIO = LIGHT POLE = WATER WETER = WATER VALVE = CATCH BASIN INLET = UTILITY POLE B = RISER

FIRE HYDRANT

SS = HANDHOLE

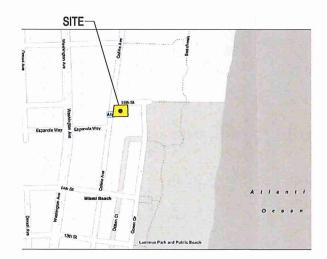
SIGN = CAST IRON
= WATER MAIN
= BURIED ELECTRIC
= BURIED TELEPHONE
= STORM
= SANITARY
), = ABANDONED 

LEGEND

= CATCH BASI







# LOCATION SKETCH

Begin at the Northwest corner of Block 77 of "Fisher's First Subdivision of Alton Beach"; thence Eosterly along the Northerly line of sold Block 77, a distance of 116,05 feet to a point; thence Southerly and perpendiculor to the sold Northerly line of Block 77 of "Fisher's First Subdivision of Alton Beach" for a distance of 100,00 feet to the Southerly line of sold Block 77, sold point being 132,91 feet Eosterly of the Southerst corner of sold Block 77; thence Westerly along the Southerly line of sold Block 77, "First Subdivision of Alton Beach", for a distance of 132,91 feet to the Southerst corner of sold Block 77; thence Northeasterly along the Westerly line of sold Block 77 for a distance of 101.4 feet to the Point of Beginning.

#### SURVEYOR'S NOTES:

- This site lies in Section 34, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- Lands shown hereon were abstracted for restrictions, casements and/or rights-of-way of records per Chicago Title insurance Company Order No.: 4042496 with an effective date of April 2, 2013 and Revision A, Revised April 17, 2013. All cosements and/or rights of way of record per title commitment that are plottable are shown on this "Boundary & Topographic Survey".

#### SCHEDULE B - SECTION II

- 7 Historic Preservation Boord orders recorded in O.R.B. 22655, Page 3547, O.R.B. 24623, Page 4654 and O.R.B. 24855, Page 4051. Affects CVS parcel but not subject to location.
- Board of Adjustment orders recorded in O.R.B. 23172, Page 4684.
   Variances to build a four (4) story condominium were approved, but may have expired.
   (January 2005)
- 9 Restrictive Covenants recorded in O.R.B. 24211, Page 1371. Affects CVS parcel but not subject to location. Property owners obtained approval from the City for "Tandem Parking Spaces". Each pair of "Tandem Parking Spaces" shall be limited to the use of the owners of a single condominium unit.

Note: All of the recording information contained herein refers to the Public Records of Miami-Dade County, Florida, unless otherwise indicated.

#### END OF SCHEDULE B - SECTION II

- Londs shown hereon are located within an area having a Zone Designation AE (EL 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 120860317L, for Community No. 120851, dated September 11, 2009, and index map revised September 11, 2009, relative to the National Geodetic Vertical Datum of 1929.

- All horizontal control measurements are within a precision of 1:10,000,

- Trees shown are surveyed for their horizontal location and/or size.
   Identification and/or name verification of all trees should be confirmed by the Division of Forestry County Forester or a professional in that field.
- Improvements shown beyond the limits of this "Boundary & Topographic Survey" may no be current or located.

- The underground utilities shown have been located from field survey information of existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the arce, either in service or abondoned. The surveyor further does not worrant that the underground utilities shown are in the surveyor further does not worrant that the underground utilities shown are in the location indicated utilitiesph is does certify that they are located as accurately as possible from the information available. The surveyor has not physically located thunderground utilities.

- Folio No.: 02-3234-019-1230.

#### SURVEYOR'S CERTIFICATION:

The undersigned certifies to CVS Coremork Corporation, its difflictes and subsidiaries and their successors, nominess and assigns, Chicago Title insurance Company, Mintz, Levin, Cohn, Ferris, Glowsky and Popeo, P.C., CVS 10364 Fl. L. LLC., and Bryon J. Stonley, P.A., as of the date of this Survey, that to the best of the undersigned's professional knowledge, information and baliat

A. This Survey shows, on the basis of a field instrument survey which meets the standards, in any, established by the State in which the Property is located and in the event that no such standards have been established, the current "Minimum Standard betain Requirements for ALTA/KSSM Lond Tille Surveys" jointly established and adopted by the American Lond Tille Association and the American Congress on Surveying and Mapping in 2011 (as defined therein

A fixed and determinable position and location of the land (the "Property") described on this Survey (including the position of the point of commencement (if any) and the point of

beginning);
2. The location of all buildings, visible structures, and other visible, obove ground improvements situated on the Property: and structures and other visible, obove ground improvements 3. All driveways or other cuts in the curbs along any street upon which the Property abuts; and that

B. No easements or rights of way over obutting properties are required for (i) access to and egress from the Property, (ii) drainage of surface or other water off the Property, (iii) any utilities which serve the Property and (iv) storm seare and sonitary sever localities serving the Property, or if such off site assemants are required, they are shown on the Survey and duly recorded assements have been obtained from all land owners whose property are affected;

C. No fences, waterways, ditches, ponds, building restrictions (or, if building restriction lines exist, the lines have not been violated), or party walls affecting the Property exist;

D. No visible encroachments, protrusions, overlaps, or overhangs of any improvements located on the Property exist upon any easements or rights-of-way encumbering or appurtenant to the Property or adjacent land; E. No visible encroachments, protrusions, overlaps, or overlangs of any improvements local adjacent land exist upon the Property or any easements or rights-of-way encumbering or appurtenant to the Property;

- F. This Survey reflects boundary lines of the Property which close by calculation
- G. The only exceptions to the facts certified in this Survey are as follows:
- H. Without intending to limit any of the foregoing certifications, the undersigned made a specific examination with respect to the following items and reports as follows (indicate "none" or identify specific matters, as appropriate):

Rights of way, old highways, or abandoned roads, lanes or driveways and visible d water, gas or oil pipe lines across the Property None visible.

(iii) Visible, above ground cemeteries or family burial grounds located on the Property

(v) Joint driveways or walkways and party walls or rights of support affecting the Property None visible.

SURVEYOR'S CERTIFICATION (Continued):

J. The following provisions of the zoning ordinance apply to the Premises:

1. Setbacks

(i) Front. Non-oceanfront:

1. Pedestal, ten feet.

2. Lots 100 feet in width or greater, 20 feet; for buildings with a ten-foot-deep covered front porch running substantially the full width of the building front, the front setback shall be five feet. Furthermore, for lots 100 feet in width or greater, the front setback shall be extended to include at least one courtyord, open to the sky, with a minimum width of ten feet and a minimum area of three squeer feet for every linear foot of lot frontage. 3. Tower, 50 feet.

(ii) Side, interior. Nonoceanfront:
1. Architectural district, five feet.

1. Nonoceonfront structures may comply with these requirements or have the option of the following:

I. Pedestol, five feet.

I. Pedestol, five feet.

I. Pedestol, 7.5 feet.

2. Frovided that nonoceonfront lots 100 feet or greater in width shall incorporate the following:

I. A ten-foot-deep proch running substantially the full side length of the building, with a minimum floor-do-ceiling height of 12 feet; and II. One courtyard, open to the sky, with a minimum of 1,000 square feet and a minimum average depth of 20 feet. The long edge of the courtyard shall be long the side property line. The area of the courtyard shall be increased by an additional 50 square feet for every one foot of building height above 30 feet as measured from grade.

(iv) Rear, Nanoceonfront:

1. Architectural district, zero feet if abutting on alley, otherwise ten feet.

2. All other areas, ten feet.

Moximum Floor Area Ratio:
 All uses - 2.0
 Except convention hotel development (as set forth in section 142-841) - 3.5

Minimum Lot Area (Square Feet): N/A

4. Minimum Lot Width (Feet):

5. Minimum Apartment Unit Size (Square Feet): Existing structures: Apartment units-400 Hotel units-in a local historic district/site-200 OtherNiss: 15%: 300-335 85 %: 33354

85 %: 335+
New construction:
Aportment units-550
Hotel units:
15%: 300-335
55%: 335+ 6. Average Aportment Unit Size (Square Feet):
Existing structures:
Aportment units-550
New construction:
New construction:
Aportment units-800
Hotel units-N/A

7. Maximum Building Height (Feet): Architectural district: Non-occanfront-50 (except as provided in section 142–1161 All other areas-75 (except as provided in section 142–1161

Non-oceanfront-5 (except as provided in section 142-1161
All other areas-8 (except as provided in section 142-1161

The undersigned has examined the above provisions and all other applicable materials relative to those types of restrictions and requirements sometimes referred to as use, dimensional, bulk and parking restrictions and requirements which related to the Premises and has determined that the Survey and the existing improvements shown thereon conform to all of the restrictions and requirements which are applicable to the Premises under the terms of the applicable zoning

M. All easements and other rights in the Premises appearing in the title report submitted to the undersigned which are capable of location on a survey have been located on the Survey and the undersigned has not been advised of any other easements or rights—of-may affecting the Property, nor is there any visible evidence of possible unrecorded easements or rights of way affecting the Property. Unless otherwise shown and detailed on the Survey, no easements over land of others are required for:

(iv) storm sewer and sanitary sewer facilities serving the Premises and said improvements.

N, As of the date of the Survey, the Premises does lie within any flood plain or flood-prone area, or a flood plain area having special flood hazards identified as such under the Flood Disaster Protection Act of 1973.

O. The undersigned has reviewed the most recent Flood Insurance Rate Map Issued by the Federal Emergency Management Agency under the National Flood Insurance Program applicable the Premises and has determined that the Premises is in Zone AE (El. 8), a Special Flood Hazard Area.

This is to certify that this "Bounday and Topographic Survey" was made under my responsible charge on April 10, 2007, and last updated on November 20, 2017, in accordance with the 2016 Minimum Standays Detail Requirements for ATA/NSTS und Title Surveys, jointly established and adopted by ANA and NSTs, and meats the applicable scale as a set forth in the Trorida Administrative Code, pursuent to Section 47,007, particulations are set of the Trorida and the Code of the Cod

without the signature and the original raised sets of a Florida

ORTIN, LEAVY, SKILES, INC.

or in Part without the Express WRITTED Permission of Same

ω 4 m δ

KILES, INC.
EYORS & MAPPERS
TION NUMBER. 0003633
mi Beach, Floride 33162
Email flacificatives, com LEAVY, SI ENGINEERS, SURVE FORTIN, CONSULTING E FLORIDA CERTIFIC 180 Northeast 168 Phone 305-653-499

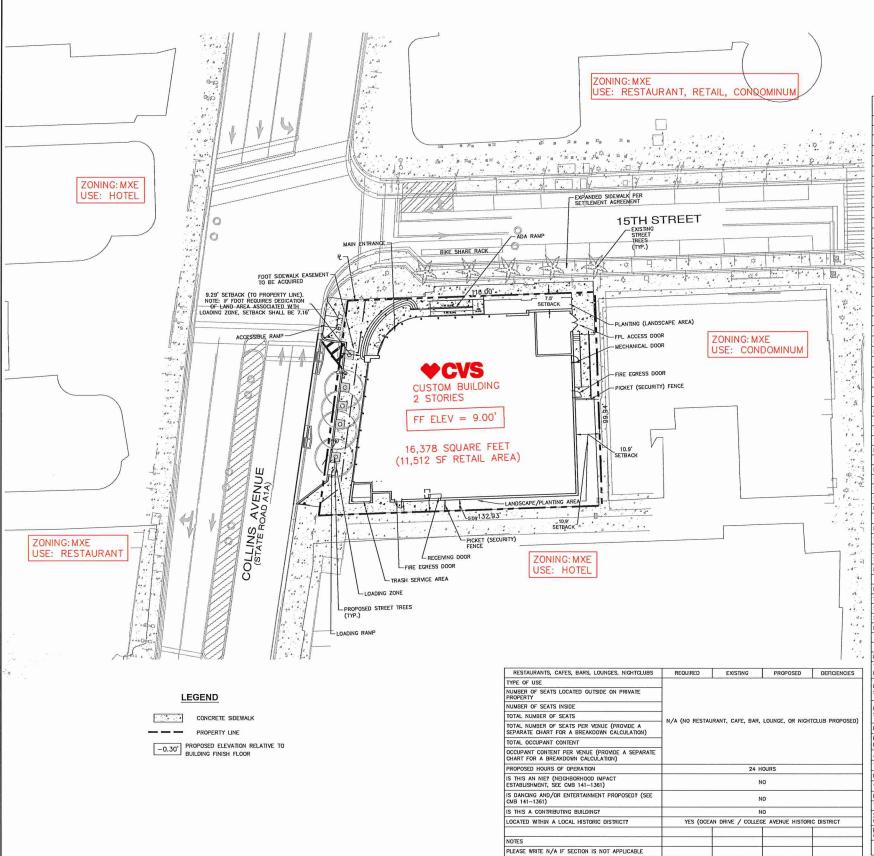
Ш

SURV AVENUE COUNTY,

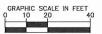
Ш LINS COLI MA 1475 BEACH, S CVS -A/NSP Я

CITY AL. ginal Date 4/10/07 1" = 20' DWF

070493 11/29/17 10:58a Ref. Dwg. N/A Field Book 592/65-66 - SJH Tob No. 070493 Dwg. No. 2007-053 heet







| SITE [   | ATA  | TABLE   |  |  |
|--|--|---|--|--|
| ADDRESS  |  | 1475 CO   | LLINS AVE  |  |
| BOARD AND FILE NUMBER  |  | HPB 1   | 7-0180   |  |
| FOLIO NUMBER(S)  |  | 02-3234   | -019-1230  |  |
| YEAR CONSTRUCTED   |  | N/A (   | VACANT)  |  |
| ZONING DISTRICT / OVERLAY  | MIXED USE  | ENTERTAINMENT /   | OCEAN DRIVE COL  | LINS AVENUE  |
| BASE FLOOD ELEVATION   |  | 8' (NG  | /D 1929)   |  |
| GRADE VALUE IN NGVD  | 8'   | (FEMA FIRM NO. 1:   | 2086C031L 9/11/20  | 009)   |
| LOT AREA   |  | 12,439 SF   | / 0.286 AC   |  |
| LOT DEPTH  |  |   | REET FRONTAGE)   |  |
| LOT WOTH   |  |   | AVE FRONTAGE)  |  |
| MINIMUM UNIT SIZE  |  |   | /A   |  |
| AVERAGE UNIT SIZE  |  |   | /A   |  |
| EXISTING USE   |  |   | CANT   |  |
| PROPOSED USE   |  |   | TAIL   |  |
|  |  | 1   |  |  |
|  | MUMIXAM  | EXISTING  | PROPOSED   | DEFICIENCIES   |
| HEIGHT   | 50'  | 0'  | 44'  | NONE   |
| NUMBER OF STORIES  | 5  | 0   | 2  | NONE   |
| FAR  | 2.0  | 0.0   | 1.3  |  |
| GROSS SQUARE FOOTAGE   | 24,878   | 0   | 16,378   | NONE   |
| SQUARE FOOTAGE BY USE: RETAIL  | 24,878   | 0   | 16,378   | NONE   |
| NUMBER OF UNITS RESIDENTIAL  | N/A  | N/A   | N/A  | NONE   |
| NUMBER OF UNITS HOTEL  | N/A  | N/A   | N/A  | NONE   |
| NUMBER OF SEATS  | N/A  | N/A   | N/A  | NONE   |
| OCCUPANCY LOAD   | N/A  | N/A   | N/A  |  |
|  |  |   |  | NONE   |
| DENSITY (PER COMPREHENSIVE PLAN)   | 100  | 0   | 0  | NONE   |
| eem) ove   | BEOLUBED   | EVICTUR   | nnocces  | DEEGGENOSS   |
| SETBACKS   | REQUIRED   | EXISTING  | PROPOSED   | DEFICIENCIES   |
| SUBTERRANEAN<br>FRONT SETBACK  |  |   |  |  |
| SIDE SETBACK   | 1  |   |  |  |
| LO SEE CONTRACTOR OF SERVICE   | -  | N/A (NO SUBTERRA  | NEAN DEVELORNEN  | T\   |
| SIDE SETBACK SIDE SETBACK FACING STREET  | - '  | NA (NO SOBIERRA   | NEAN DEVELOPMEN  | 11)  |
|  |  |   |  |  |
| REAR SETBACK   |  |   |  |  |
| AT COADS DADWNO  |  | 1   | 1  |  |
| AT GRADE PARKING   |  |   |  |  |
| FRONT SETBACK  |  |   |  |  |
| FRONT SETBACK<br>SIDE SETBACK  |  | N /A //NO AT .  | COADE DAGRANO)   |  |
| front setback<br>Side setback<br>Side setback  |  | n/a ((no at   | GRADE PARKING)   |  |
| Front Setback<br>Side Setback<br>Side Setback<br>Side Setback Facing Street  |  | N/A ((NO AT   | GRADE PARKING)   |  |
| Front Setback<br>Side Setback<br>Side Setback<br>Side Setback<br>Fron Setback<br>Fron Setback  | BEDESTAL / TOWN  | . 72  |  |  |
| Front Setback<br>Side Setback<br>Side Setback<br>Side Setback Facing Street<br>Rear Setback<br>Pedestal:(Building Setbacks provided below,   |  | ER DESIGN IS NOT I  | PROPOSED)  |  |
| Front Setback Side Setback Side Setback Side Setback Side Setback Faging Street Rear Setback Faging Street Rear Setback Pedestal:(Building Setbacks Proyided Below, Front Setback  | 20'  | er design is not i  | PROPOSED)  | 7.33'  |
| Front Setback Side Setback Side Setback Side Setback Side Setback Facing Street Rear Setback Facing Street Rear Setback Front Setback Front Setback Side Setback Side Setback  |  | ER DESIGN IS NOT I  | PROPOSED)  | 7.33'<br>NONE  |
| Front Setback Side Setback Side Setback Side Setback Side Setback Facing Street Rear Setback Pedestal: (Building Setbacks provided Below, Front Setback Side Setback Side Setback Side Setback   | 20'<br>5'  | er design is not i  | PROPOSED)<br>12.67'<br>5'  | NONE   |
| Front Setback Side Setback Side Setback Side Setback Side Setback Facing Street Rear Setback Pedestal-(Building Setbacks provided below, Front Setback Side Setback  | 20'<br>5'  | ER DESIGN IS NOT I  | PROPOSED) 12.67' 5'  | NONE<br>9.1  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FACING STREET REAR SETBACK PEDESTAL: (BUILDING SETBACKS PROVIDED BELOW, FRONT SETBACK SIDE SETBACK  | 20'<br>5'  | er design is not i  | PROPOSED)<br>12.67'<br>5'  | NONE   |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK FRONT SETBACK SIDE SETBACK TOWER  | 20'<br>5'  | ER DESIGN IS NOT I  | PROPOSED) 12.67' 5'  | NONE<br>9.1  |
| FRONT SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK FACING STREET REAR SEIBACK PEDESTAL: (BUILDING SEIBACKS PROVIDED BELOW, FRONT SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK FRONT SEIBACK TOWER FRONT SEIBACK TOWER   | 20'<br>5'  | ER DESIGN IS NOT I  | PROPOSED) 12.67' 5'  | NONE<br>9.1  |
| FRONT SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK FRONT SEIBACK PEDESTAL: (BUILDING SEIBACKS PROVIDED BELOW, FRONT SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK TOWER FRONT SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK TOWER FRONT SEIBACK  | 20'<br>5'  | PR DESIGN IS NOT IN N/A N/A N/A N/A   | 7.5' 10'   | NONE<br>9.1  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK   | 20'<br>5'  | PR DESIGN IS NOT IN N/A N/A N/A N/A   | PROPOSED) 12.67' 5'  | NONE<br>9.1  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FACING STREET REAR SETBACK PEDESTAL: (BUILDING SETBACKS PROVIDED BELOW, FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER TOWER SETBACK SIDE SETBACK SI | 20'<br>5'  | PR DESIGN IS NOT IN N/A N/A N/A N/A   | 7.5' 10'   | NONE<br>9.1  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SET | 20'<br>5'  | PR DESIGN IS NOT IN N/A N/A N/A N/A   | 7.5' 10'   | NONE<br>9.1  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SE | 20' 5' 16.6' 10'   | PR DESIGN IS NOT IN/A N/A N/A N/A N/A N/A N/A N/A N/A (N  | PROPOSED)  12.67' 5'  7.5'  10'  | 9.1<br>NONE  |
| FRONT SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK SIDE SEIBACK FRONT SEIBACK SIDE SEIBACK SID | 20' 5' 16.6' 10'   | PR DESIGN IS NOT IN/A N/A N/A N/A N/A N/A N/A (N/A  | PROPOSED)  12.67' 5'  7.5'  10'  TOWER)  | 9.1 NONE  DEFICIENCIES   |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK FRONT SETBACK FRONT SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETB | 20' 5' 16.6' 10'   | PR DESIGN IS NOT IN/A N/A N/A N/A N/A N/A N/A N/A N/A (N  | PROPOSED)  12.67' 5'  7.5'  10'  | 9.1<br>NONE  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SE | 20' 5' 16.6' 10'   | PR DESIGN IS NOT IN/A N/A N/A N/A N/A N/A N/A (N/A  | PROPOSED)  12.67' 5'  7.5'  10'  TOWER)  | 9.1 NONE  DEFICIENCIES   |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK FRONT SETBACK FRONT SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBA | 20' 5' 16.6' 10'  REQUIRED   | EXISTING  | PROPOSED)  12.67' 5' 7.5' 10'  TOWER)  | 9.1 NONE  DEFICIENCIES NONE  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK SIDE S | 20' 5' 16.6' 10' REQUIRED  | ER DESIGN IS NOT I  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N/   | PROPOSED)  12.67' 5' 7.5' 10'  TOWER)  PROPOSED  #1  | 9.1 NONE  9.1 DEFICIENCIES NONE  55  |
| RONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK PEDESTAL: (BUILDING SETBACKS PROVIDED BELOW, FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER RONT SETBACK TOWER RONT SETBACK SIDE SETBACK | 20' 5' 16.6' 10'  REQUIRED #1 55   | ER DESIGN IS NOT I  N/A  N/A  N/A  N/A  N/A  (NI  EXISTING  #1  0   | PROPOSED)  12.67' 5' 7.5' 10'  TOWER)  PROPOSED #1 0 N/A                                     | NONE 9,1 NONE DEFICIENCIES NONE 55   |
| PARKING SPACE SORVERING SPACES PER USE (PROVIDE A BREAKON)  PARKING SPACE CONFIGURATION)  PARKING SPACE CONFIGURATION (45, 60, 90, 24, 74, 74, 74, 74, 74, 74, 74, 74, 74, 7   | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A N/A                                 | PR DESIGN IS NOT IN/A  N/A  N/A  N/A  N/A  N/A  N/A  N/A  | PROPOSED)  12.67' 5' 7.5' 10'  D TOWER)  PROPOSED #1 0 N/A N/A                               | DEFICIENCIES NONE  55 N/A N/A  |
| RONT SETBACK  SIDE SETBACK  SIDE SETBACK  SIDE SETBACK  SIDE SETBACK  SIDE SETBACK  PEDESTAL: (BUILDING SETBACKS PROVIDED BELOW,  FRONT SETBACK  SIDE SETBACK  SIDE SETBACK  SIDE SETBACK  SIDE SETBACK  TOWER  RONT SETBACK  SIDE SETBACK  SIDE SETBACK  FARING STREET  SEAR SETBACK  SIDE SETBACK  SID | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A N/A N/A                             | ER DESIGN IS NOT I  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N/   | PROPOSED)  12.67' 5' 7.5' 10'  D TOWER)  PROPOSED #1 0 N/A N/A N/A                           | DEFICIENCIES NONE  55 N/A N/A N/A  |
| RRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SIDE SETBACK SETBACK SIDE SETB | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A N/A N/A N/A                         | EXISTING    N/A   N/A | PROPOSED)  12.67' 5' 7.5' 10'  PROPOSED  #I  0  N/A  N/A  N/A  N/A                           | DEFICIENCIES NONE  55 N/A N/A N/A N/A                                      |
| RRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SETBACK SIDE SETBACK SETBACK SIDE SETB | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A N/A N/A                             | ER DESIGN IS NOT I  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N/   | PROPOSED)  12.67' 5' 7.5' 10'  D TOWER)  PROPOSED #1 0 N/A N/A N/A                           | DEFICIENCIES NONE  55 N/A N/A N/A  |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK FRONT SETBACK FRONT SETBACK SIDE SETBACK S | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A N/A N/A N/A                         | EXISTING    N/A   N/A | PROPOSED)  12.67' 5' 7.5' 10'  PROPOSED  #I  0  N/A  N/A  N/A  N/A                           | DEFICIENCIES NONE  55 N/A N/A N/A N/A                                      |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FRONT SETBACK PEDESTAL: (BUILDING SETBACKS PROVIDED BELOW, FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK SI | 20' 5' 16.6' 10'  REQUIRED  #I 55  N/A  N/A  N/A  N/A                    | ER DESIGN IS NOT I  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N/   | PROPOSED)  12.67' 5' 7.5' 10'  D TOWER)  PROPOSED  #1 0 N/A N/A N/A N/A N/A N/A              | NONE  9.1 NONE  DEFICIENCIES NONE  55 N/A N/A N/A N/A N/A N/A              |
| RONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FEAR SETBACK PEDESTAL: (BUILDING SETBACKS PROVIDED BELOW, FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A N/A N/A N/A N/A N/A                 | ER DESIGN IS NOT I  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N/   | PROPOSED)  12.67' 5' 7.5' 10'  D TOWER)  PROPOSED #1  0  N/A  N/A  N/A  N/A  N/A  N/A  N/A   | NONE  9.1  NONE  DEFICIENCIES  NONE  55  N/A  N/A  N/A  N/A  N/A  N/A  N/A |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SET SETBACK FERRAT SETBACK SIDE SETBACK PARKING DISTRICT SIDE SETBACK PARKING DISTRICT SIDE SETBACK PARKING DISTRICT SIDE SETBACK PARKING SPACES PER USE (PROVIDE A SEPARATE CHART FOR A BREAKDOWN CALCULATION) PARKING SPACE DIMENSIONS PARKING SPACE CONFIGURATION (45', 60', 90', PARKING SPACES) SPARKING SPACES SIDE SETBACK SIDE SE | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A | EXISTING  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N  | PROPOSED)  12.67' 5' 7.5' 10'  D TOWER)  PROPOSED  #I  0  N/A  N/A  N/A  N/A  N/A  N/A  N/A  | NONE  9.1 NONE  DEFICIENCIES NONE  55 N/A N/A N/A N/A N/A N/A N/A N/A 1    |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK FREAR SETBACK PEDESTAL: (BUILDING SETBACKS PROVIDED BELOW, FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK TOWER FRONT SETBACK SIDE SETBACK PARKING DISTRICT TOTAL NUMBER OF PARKING SPACES (RETAIL • 1 SPACE PER JOS SP) RUMBER OF PARKING SPACES PER USE (PROVIDE A SEPARATE CHART FOR A BIREAMODIN CALCULATION) PARKING SPACE DIMENSIONS PARKING SPACES DER USE (PROVIDE A SEPARATE CHART FOR A BIREAMODIN CALCULATION) PARKING SPACE DIMENSIONS PARKING SPACES DIMENSIONS PARKING SPACES DIMENSIONS PARKING SPACES DIMENSIONS PARKING SPACES SIDE SETBACK SPACES SIDE SETBACK PARKING SPACES PER USE (PROVIDE A SEPARATE CHART FOR A BIREAMODIN CALCULATION) PARKING SPACE CONFIGURATION (45', 60', 90', PARKING SPACES SIDE SETBACK SPACES SIDE SETBACK SPACES SIDE SETBACK PARKING SPACES SIDE SETBACK PARKING SPACES SIDE SETBACK PARKING SPACES SIDE SETBACK PARKING SPACES PER USE (PROVIDE A SEPARATE CHART FOR A BIREAMODIN CALCULATION) PARKING SPACES SIDE SETBACK SPACES SIDE SETBACK SIDE SETBA | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A | EXISTING  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N  | PROPOSED)  12.67' 5' 7.5' 10'  PROPOSED  #I  0  N/A  N/A  N/A  N/A  N/A  N/A  O  CAN SERVICE | NONE  9.1  NONE  DEFICIENCIES  NONE  55  N/A  N/A  N/A  N/A  N/A  N/A  N/A |
| FRONT SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SIDE SETBACK SET SETBACK FERRAT SETBACK SIDE SETBACK PARKING DISTRICT SIDE SETBACK PARKING DISTRICT SIDE SETBACK PARKING DISTRICT SIDE SETBACK PARKING SPACES PER USE (PROVIDE A SEPARATE CHART FOR A BREAKDOWN CALCULATION) PARKING SPACE DIMENSIONS PARKING SPACE CONFIGURATION (45', 60', 90', PARKING SPACES) SPARKING SPACES SIDE SETBACK SIDE SE | 20' 5' 16.6' 10'  REQUIRED #1 55 N/A | EXISTING  N/A  N/A  N/A  N/A  N/A  N/A  N/A  N  | PROPOSED)  12.67' 5' 7.5' 10'  D TOWER)  PROPOSED  #I  0  N/A  N/A  N/A  N/A  N/A  N/A  N/A  | NONE  9.1 NONE  DEFICIENCIES NONE  55 N/A N/A N/A N/A N/A N/A N/A N/A 1    |



PROTOTYPE: CUSTOM

STORE NUMBER: 10346

1475 COLLINS AVENUE MIAMI BEACH, FL 33139 PROJECT TYPE: DEAL TYPE:

CS PROJECT NUMBER: 66731



### CONSULTANT:

## Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. Congress Ave., Ste 201 Delray Beach, Florida 33445 TEL: (561) 330-2345 FAX: (561) 330-2245 CA 00000696

DEVELOPER:

5789 NW 151st STREET.
SUITE B
MIAMI LAKES, FL. 33014
FAX: (305) 828-8284
FAX: (305) 828-9594

SEAL:

JOSHUA D. HORNING, P.E. FLORIDA LICENSE NUMBER 67505

REVISIONS:

APPLICATION UPLOAD - 01/11/2018

LAYOUT COORD: MTR

PLANNING MGR. MTR

DRAWING BY: NMN

DATE: 11/14/2017

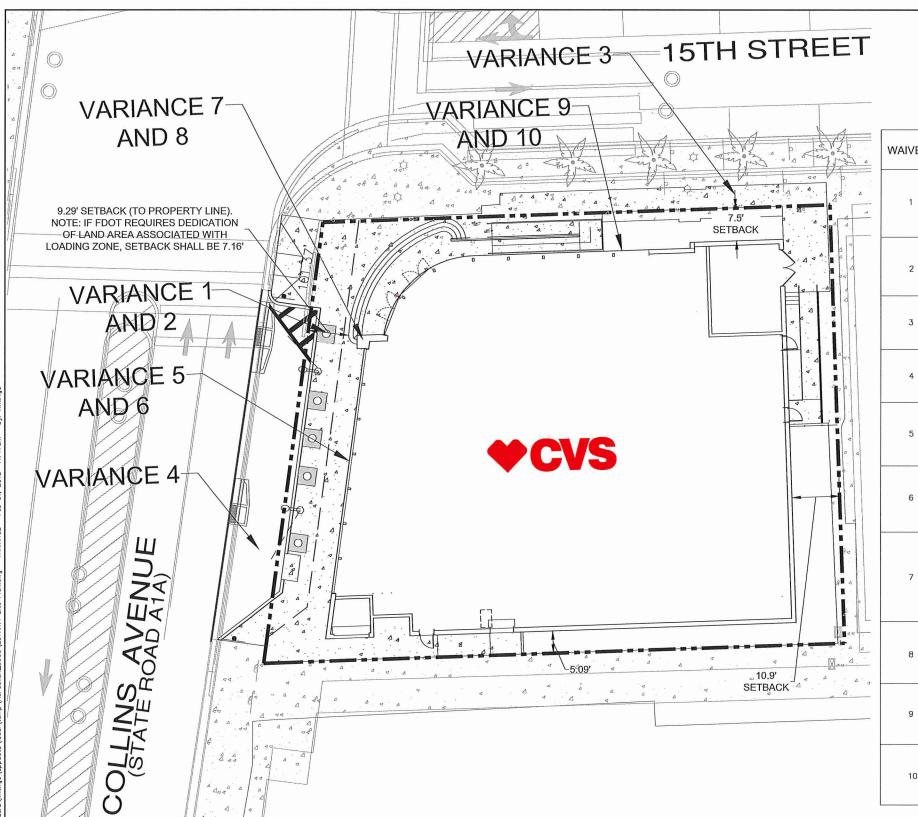
JOB NUMBER: 043247094

SITE PLAN

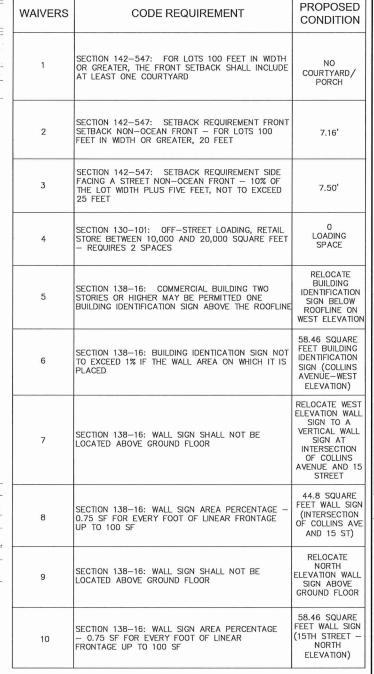
SHEET NUMBER:

SP-1

COMMENTS: NOT RELEASED FOR CONSTRUCTION









PROTOTYPE: CUSTOM STORE NUMBER: 10346

1475 COLLINS AVENUE MIAMI BEACH, FL 33139 PROJECT TYPE: DEAL TYPE:

CS PROJECT NUMBER: 66731



#### CONSULTANT:

### **Kimley** » Horn

KIMLEY—HORN AND ASSOCIATES, INC. 1615 S. Congress Ave., Ste 201 Delray Beach, Florida 33445 TEL: (561) 330—2345 FAX: (561) 330—2245 CA 00000696

EVELOPER MAMILLAKES FL 33014 PHONE: (305) 828-8284

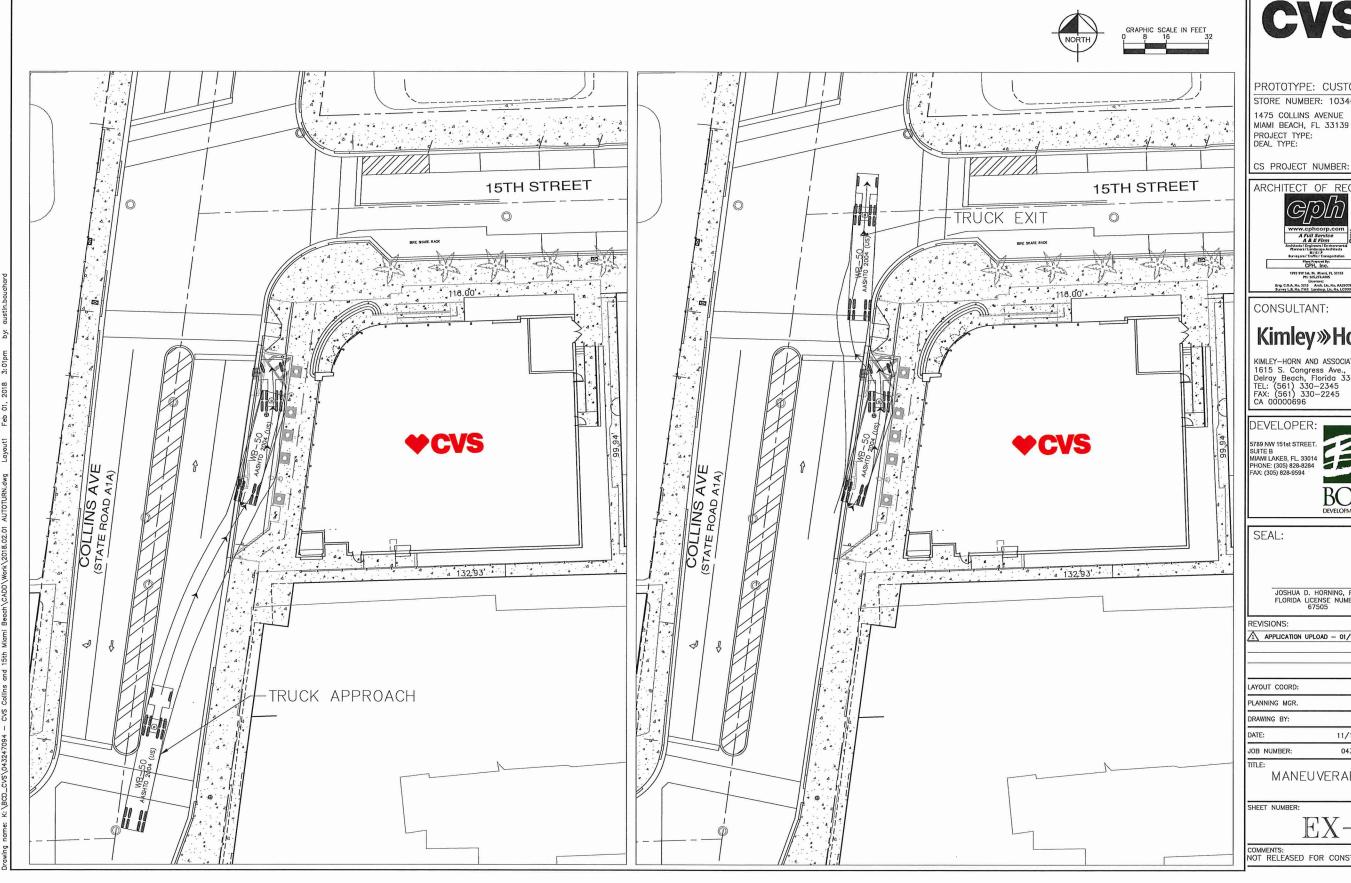
SEAL:

JOSHUA D. HORNING, P.E. FLORIDA LICENSE NUMBER 67505

REVISIONS: APPLICATION UPLOAD - 01/11/2018 AYOUT COORD: MTR LANNING MGR. MTR RAWING BY: NMN 11/14/2017 043247094 JOB NUMBER:

VARIANCE PLAN

VAR-1COMMENTS: NOT RELEASED FOR CONSTRUCTION



PROTOTYPE: CUSTOM

STORE NUMBER: 10346

CS PROJECT NUMBER: 66731



## **Kimley** »Horn

KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. Congress Ave., Ste 201 Delray Beach, Florida 33445 TEL: (561) 330-2345 FAX: (561) 330-2245 CA 00000696

BOOS DEVELOPMENT GROUP

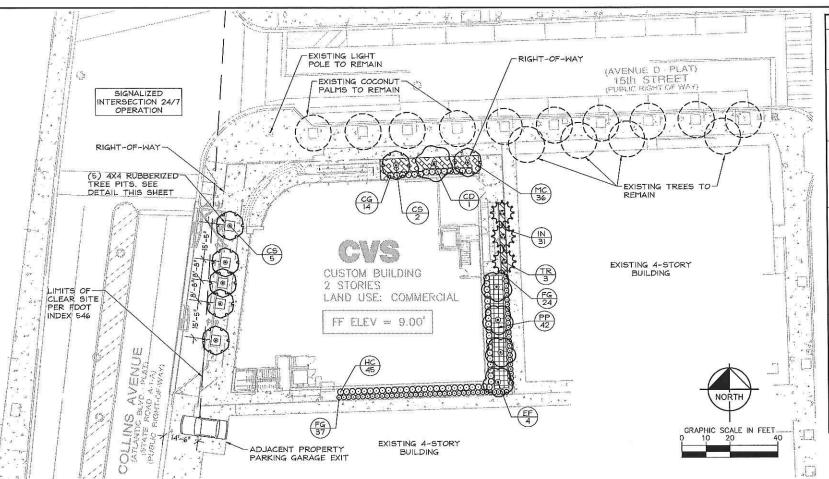
JOSHUA D. HORNING, P.E. FLORIDA LICENSE NUMBER 67505

APPLICATION UPLOAD - 01/11/2018

MTR MTR NMN 11/14/2017 043247094 MANEUVERABILITY

PLAN

COMMENTS: NOT RELEASED FOR CONSTRUCTION



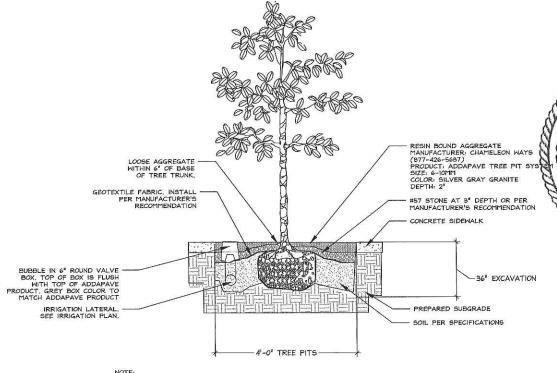
| MIAMI BEACH LANDSCAPE CODE COMPLIANCE  |  |                         |
|--|--|-------------------------|
| CODE COMPLIANCE PER CHAPTER 126 OF THE MIAMI BEACH CODE OF ORI<br>PROJECT AREA: 12,439 SF (0.29 ACRES)<br>ZONING: MXE  | DINANCES   | PROVIDED                |
| ZORING: TIXE   | A STATE OF S | 10012-00000             |
| SEC 126-6 - MINIMUM STANDARDS  126-6.a,1 - STREET TREE SIZE AND SPACING TREES SHALL BE PROVIDED ALONG ALL ROADWAYS AT A MAXIMUM  | NORTH: 6 TREES   | NORTH: 5 EXISTING PALMS |
| AVERAGE SPACING OF 20 FEET ON CENTER NORTH (15TH STREET) 115 LF / 20' = 6 TREES WEST (COLLINS AVE) 101 LF / 20' = 5 TREES  | WEST: 5 TREES  | WEST: 5 TREES           |
| 126-6.c - MINIMUM NUMBER OF TREES<br>MINIMUM NUMBER OF REQUIRED TREES PER LOT OR PER ACRE OF<br>NET LOT AREA (NOT INCLUDING STREET TREES)<br>CAT 3 MXE: 22 TREES PER ACRE OF NET LOT AREA<br>22 TREES X 0.29 ACRES = 7 TREES | 7 TREES  | 7 TREES                 |
| 126-6.c.7 - MINIMUM NUMBER OF TREES 30 PERCENT OF REQUIRED TREES SHALL BE NATIVE 18 TREES X 30% = 6 TREES  126-6.c.8 - MINIMUM NUMBER OF TREES   | 6 TREES  | 7 TREES<br>3 PALMS      |
| 50 PERCENT OF REQUIRED TREES SHALL BE DROUGHT TOLERANT<br>18 TREES X 50% = 9 TREES   | 9 TREES  | 7 TREES                 |
| 126-6.c.9 - MINIMUM NUMBER OF TREES<br>DIVERSITY OF REQUIRED TREE SPECIES<br>16 TO 20 REQUIRED TREES = 5 TREE SPECIES  | 5 SPECIES  | 5 SPECIES               |
| 126-6.d - SHRUBS<br>SHRUBS SHALL BE A MINIMUM OF 18 TO 24 INCHES AND SPACED<br>NOT TO EXCEED 30 INCHES ON CENTER. THE MINIMUM NUMBER OF<br>SHRUBS SHALL BE 12 SHRUBS PER THE NUMBER OF REQUIRED LOT<br>AND STREET TREES.     |  |                         |
| 18 TREES X 12 SHRUBS = 216 SHRUBS  | 216 SHRUBS   | 229 SHRUBS              |
| 50 PERCENT OF THE PROVIDED SHALL BE NATIVE.<br>243 SHRUBS X 50% = 122 SHRUBS   | 122 SHRUBS   | 126 SHRUBS              |
| NO ONE SPECIES SHALL CONSTITUTE MORE THAN 25 PERCENT OF<br>SHRUBS PROVIDED.<br>243 SHRUBS X 25% = 61 SHRUBS  | MAX 61 SHRUBS  | 61 SHRUBS (FG)          |

#### PLANT SCHEDULE

| · · · · ·        |  |   |                     |                         |                         |                    |                    |
|------------------|--|---|---------------------|-------------------------|-------------------------|--------------------|--------------------|
| TREES<br>CD      | BOTANICAL NAME<br>Coccoloba diversifolia                     | COMMON NAME<br>Pigeon Plum                | CONT<br>B ≰ B       | CAL<br>3" Cal.          | SIZE<br>14' HT X 6' SPR | OTY NATIVE         | DROUGHT TOLERANT X |
| CS               | Conocarpus erectus 'Sericeus'<br>Standard, Prune to 4' CT    | Silver Buttonwood                         | B # B               | 3" Cal.                 | 12' HT x 5' SPR         | 7 ×                | ×                  |
| EF               | Eugenia foetida<br>Standard. Prune to 4' CT                  | Spanish Stopper                           | B # B               | 2" Cal.                 | 12' HT x 5' SPR         | 4 X                | ×                  |
| PALM TREES<br>TR | BOTANICAL NAME<br>Thrinax radiata<br>Double Matching Trunks. | <u>COMMON NAME</u><br>Florida Thatch Palm | <u>CONT</u><br>F.G. | CAL                     | SIZE<br>8' OA           | OTY NATIVE<br>3 X  | DROUGHT TOLERANT X |
| SHRUBS<br>CG     | BOTANICAL NAME<br>Clusia guttifera                           | COMMON NAME<br>Clusia                     | CONT<br>7 gai       | <u>0.C.</u><br>30"      | <u>SIZE</u><br>24"x24"  | QTY NATIVE<br>14 X | DROUGHT TOLERANT X |
| FG               | Ficus microcarpa Green Island                                | Green Island Ficus                        | 3 gal               | 24" O.C.                | 15"x15"                 | 61                 | ×                  |
| НС               | Hamelia patens 'Compacta'                                    | Dwarf Fire Bush                           | 7 gal               | 30" O.C.                | 24"x24"                 | 45 X               | ×                  |
| SHRUB AREAS      | BOTANICAL NAME<br>Ilex vomitoria 'Nana'                      | COMMON NAME<br>Dwarf Yaupon Holly         | CONT<br>3 gal       | <u>0.C.</u><br>18" O.C. | <u>SIZE</u><br>15"x15"  | QTY NATIVE         | DROUGHT TOLERANT X |
| MC               | Muhlenbergia capillaris                                      | Pink Muhly Grass                          | 7 gal               | 30" O.C.                | 24"×24"                 | 36 X               | ×                  |
| PP               | Podocarpus macrophyllus 'Pringles'                           | Dwarf Podocarpus                          | 3 gal               | 30" O.C.                | 15"x15"                 | 42                 | X                  |

#### PLANTING NOTES:

- 1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- 2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
- 3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
- 4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
- 5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS, ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- 6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
- 7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
- 8, ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.



NOTE: 1- EVERY INSTALLATION SHALL PROVIDE EDGING AROUND PERIMETER OF TREE PIT MITH SUFFICIENT DEPTH BELOW GRADE TO SUPPORT ENTIRE SYSTEM

RUBBERIZED TREE PIT

**CVS** 

PROTOTYPE: CUSTOM

STORE NUMBER: 10346 1475 COLLINS AVENUE MIAMI BEACH, FL 33139 PROJECT TYPE:

DEAL TYPE:

CS PROJECT NUMBER: 66731



CONSULTANT:

# Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. Congress Ave., Ste 201 Delray Beach, Florida 33445 TEL: (561) 330-2345 FAX: (561) 330-2245 CA 00000696



LANDSCAPE PLAN

NMN

02/02/2018

043247094

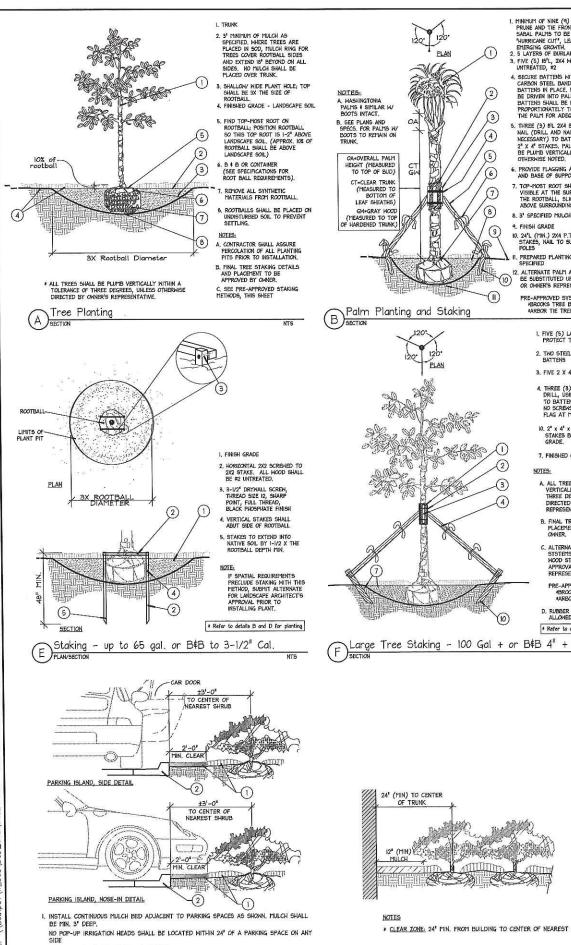
SHEET NUMBER:

DRAWING BY:

JOB NUMBER:

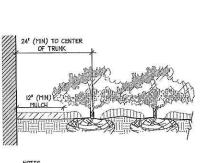
L1.00

COMMENTS: NOT RELEASED FOR CONSTRUCTION



2. CURB OR PARKING LOT EDGE, BY OTHERS

Parking Space/Curb Planting



\* CLEAR ZONE: 24" MIN. FROM BUILDING TO CENTER OF NEAREST SHRUB.

Plantings Adjacent to Buildings

I. MINIMUM OF NINE (9) GOOD PALM FRONDS; PRUNE AND TIE FRONDS WITH HEMP TWINE SABAL PALMS TO BE SELECTIVELY HURRICANE CUT\*, LEAVING ONLY NEWLY-EMERGING GROWTH.

2. 5 LAYERS OF BURLAP TO PROTECT TRUNK.

3. FIVE (5) 18°L, 2X4 MOOD BATTENS.

PLAN

ONTRATED, #2

4. SECURE BATTENS WITH TWO (2) 3/4\*

CARBON STEEL BANDS TO HOLD

BATTENS IN PLACE, NO NAILS SHALL

BE DRIVEN INTO PALM. HEIGHT OF

BATTENS SHALL BE LOCATED

PROPORTIONATELY TO THE HEIGHT OF

THE PALM FOR ADEQUATE BRACING.

5 THREE (3) 8'L 2X4 SUPPORTS. NAIL (DRILL AND NAIL IF NECESSARY) TO BATTENS AND

2" X 4" STÁKES. PALMS SHALL BE PLUMB VERTICALLY UNLESS 6. PROVIDE FLAGGING AT MIDPOINT AND BASE OF SUPPORTS.

7. TOP-MOST ROOT SHALL BE VISIBLE AT THE SURFACE OF THE ROOTBALL, SLIGHTLY ABOVE SURROUNDING GRADE. 8, 3' SPECIFIED MULCH

9. FINISH GRADE IO. 24'L (MIN.) 2X4 P.T. WOOD STAKES, NAIL TO SUPPORT POLES

SPECIFIED

12. ALTERNATE PALM ANCHORING SYSTEMS MAY
BE SUBSTITUTED UPON APPROVAL BY OWNER
OR OWNER'S REPRESENTATIVE

I. FIVE (5) LAYERS OF BURLAP TO PROTECT TRUNK 2. TWO STEEL BANDS TO SECURE BATTENS

3. FIVE 2 X 4 X 18°L WOOD BATTENS

4. THREE (3) 2" X 8" LODGE POLES. DRILL, USING GALVANIZED SCREVIS, TO BATTENS AND 2" X 4" STAKES. NO SCREVIS SHALL PENETRATE TREE FLAG AT MIDPOINT AND AT BASE.

STAKES BURIED 3" BELOW FINISHED GRADE.

7. FINISHED GRADE (SEE GRADING PLAN)

B. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY

C. ALTERNATE TREE ANCHORING SYSTEMS MAY BE SUBSTITUTED FOR WOOD STAKING SYSTEM UPON APPROVAL BY CHINE OR CHINER'S REPRESENTATIVE

PRE-APPROVED SYSTEMS: \*BROOKS TREE BRACE SYSTEM \*ARBOR TIE TREE BRACING

D. RUBBER HOSE/WIRE SYSTEMS ARE NOT ALLOWED.

\* Refer to details B and D for planting

NOTES:

\*BROOKS TREE BRACE SYSTEM \*ARBOR TIE TREE BRACING Shrub / Groundcover Planting

(3)

BEST FACE OF SHRUBA GROUNDCOVER TO FACE FRONT OF PLANTING BED

REFER TO PLANT SCHEDULE FOR SPACING

AT BED EDGE (TYP)

BED EDGE -

46

(5)

D

PLAN

SECTION

\* ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY

4. 12" CLEAN SAND, COMPACTED. ADJUST LAYER THICKNESS SO TOP OF ROOTBALL IS AT LEAST 1" ABOVE FINISHED GRADE.

BACKFILL WITH PREPAREE PLANTING SOIL MIX AS SPECIFIED.

I. FINISH GRADI

NOTES:

2. TOP 10% OF SHRUB AND

3. PRUNE ALL LIKE SHRUBS WITHIN A PLANTED MASS TO ACHIEVE A UNIFORM MASS/HEIGHT.

A. 3" INNIMUM MULCH AS SPECIFIED DO NOT COVER ENTIRE SHRUB
ROOTBALL OR CREATE "NATER
RINGS" ONLY COVER SIDES OF
ROOTBALL WITH MULCH

EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.

, FINISHED GRADE (SEE GRADING

8, SCARIFY ROOTBALL SIDES

ON SIDES WITH SOIL

GROUNDCOVER ROOTBALLS TO BE PLANTED ABOVE THE LANDSCAPE GRADE, DO NOT COVER EXPOSED ION

5 SLOPE POTTOM TO DRAIN 6, ±18<sup>1</sup>6 AUGURED HOLE PENETRATE THROUGH OCCLUDING LAYER TO WATER TABLE OR TO A DEPTH OF 7. BACKFILL WITH 1/2" - 3/4" GRAVEL. B. WATER TABLE. (DEPTH (4)

NOTE: FOR A PARKING ISLAND PLANTING SITUATION, CONTRACTOR TO BACKFILL ENTIRE LENGTH OF PLANTING AREA TO WITHIN 6" OF BACK OF CURB OR EDGE OF PAVEMENT.

REFER TO NOTE 0.3 OF WRITTEN SPECIFICATIONS FOR ADDITIONAL INFORMATION

Poor Drainage Condition (15 GAL OR GREATER) SHALL BE PLANTED IN SIMILAR MANNER

Planting on a Slope

71-61 7'-6" 'FRONT' OF HYDRANT (TOWARD CURB)

1 FIRE HYDRANT

2 NO PLANT MATERIAL SHALL BE PLACED WITHIN SHOWN RADIUS OF ALL PROPOSED OR EXISTING FIRE HYDRANTS. CONTRACTOR SHALL ADJUST PLANT MATERIAL SO THAT NO CONFLICTS WITH FIRE HYDRANTS OCCUR ON SITE.

3 PROVIDE A MULCH, 3" DEPTH MIN., SURROUNDING AREA INDICATED

Fire Hydrant Clear Zone

NTS

WIDTH VARIES - SEE PLANS -

#### PLANTER ISLAND NOTES

CROWN ISLANDS @ 5:1 SLOPES (OR AS SPECIFIED ON THE LANDSCAPE PLANS) CLEAR ZONE: 36" MIN. FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS. SEE DETAIL 11 FOR PLANTER MEDIANS ADJACENT TO PARKING SPACES.

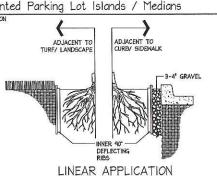
3. If MIN VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH.

. EXCAVATE CONTINUOUS 36" DEEP (FROM TOP OF CURB) FOR ENTIRE LENGTH

AND MIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX.
PROTECT AND RETAIN ALL CURBS AND BASE, COMPACTED SUBGRADE TO
REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP).
ALL ISLANDS SHALL UTILIZE POOR DRAINAGE DETAIL WHEN PERCOLATION

RATES ARE 2" PER HOUR OR LESS.

Planted Parking Lot Islands / Medians



ROOT BARRIER BY: Century Root Barrier (714)632-7083 (or) DeepRoot (800)458-7668 (or approved equal)

SIZE: 36" D

MATERIAL: POLYETHYLENE WITH ULTRAVIOLET INHIBITORS THICKNESS: .085 IN. (min.)

INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

2. INSTALL AS REQUIRED, PER PLAN NOTES. 3. SUBMIT PRODUCT DATA FOR APPROVAL.

Root Barrier

PROTOTYPE: CUSTOM

STORE NUMBER: 10346

1475 COLLINS AVENUE MIAMI BEACH, FL 33139 PROJECT TYPE:

CS PROJECT NUMBER: 66731



CONSULTANT:

# Kimley»Horn

KIMLEY-HORN AND ASSOCIATES. INC Tel: (561) 330–2345
FAX: (561) 330–2245 CA DODDOGGE



APPLICATION UPLOAD - 01/11/2018

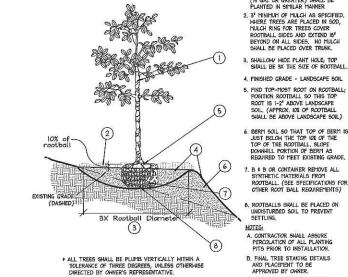
|                   | MTR  |
|-------------------|------|
| ATE: 02/02/2      | MTR  |
| , ,               | ими  |
| OR NUMBER. 043247 | 2018 |
| JB NUMBER: 043247 | 7094 |

LANDSCAPE DETAILS

SHEET NUMBER:

L1.10

COMMENTS NOT RELEASED FOR CONSTRUCTION



C. SEE PRE-APPROVED STAKING METHODS, THIS SHEET

#### A. SCOPE OF WORK

- 1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

#### B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

#### C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

#### D. MATERIALS

#### 1. GENERAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.

INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.

INNOCULANT PRODUCT DATA HERBICIDE

PRODUCT DATA
FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL

#### 2. PLANT MATERIALS

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. I OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE
- B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER IF THE USE OF LARGER PLANTS IS APPROVED. THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
- C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY. SIZE. AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (I) WEEK PRIOR TO ANTICIPATED DATE.

#### E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

- I, SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 20% CLEAN FLORIDA MICK AND 80% PARTS CLEAN SAND. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL
- 2. MUCK (OR MUCKY PEAT) FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, AND OF A VERY HIGH ORGANIC CONTENT DERIVED FROM FLORIDA SOURCES; REASONABLY FREE OF SUBSOIL CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH
- 3. SAND FOR USE IN PREPARING SOIL MIXTURE SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
- 4. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- 5. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER. IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC...
IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

\*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

\*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: "FLORIMULCH" OR SHREDDED, STERILE EUCALYPTUS

#### . DIGGING AND HANDLING

- 1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN. DRYING WINDS. WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (IO) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- 2. BALLED AND BURLAPPED PLANTS (B4B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
- 3 PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH ELORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO
- 4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- 5 EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES

- 1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR
- 2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY
- 3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
- 4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

#### M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR, QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

#### N. FINE GRADING

- 1 FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE
- 2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING
- 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

#### O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL, SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR

- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT 4. SODDING NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36 DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED, INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE
- 5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- . ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1. UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE 'POOR DRAINAGE CONDITION' PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

#### 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS

- 10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, Q. CLEANUP THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- II AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE
- 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC.., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 14 SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" TO ACHEIVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDE AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16 MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT
- 17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

#### P. LAWN SODDING

- I. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE
- 3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY

- A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE
- B. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES. AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
- 5 DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

#### LAWN MAINTENANCE:

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND RE-SODDING OF ALL ERODED. SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER, OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE

#### R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS -STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

#### S. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH

#### T. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAM INSPECTION AND ACCEPTANCE HEREIN DESCRIBED

#### U. WARRANTY

- I. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
- THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (I) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S
- 3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT, ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
- 4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

PROTOTYPE: CUSTOM

STORE NUMBER: 10346

1475 COLLINS AVENUE MIAMI BEACH, FL 33139 PROJECT TYPE: DEAL TYPE:

CS PROJECT NUMBER: 667.31



**CONSULTANT:** 

# **Kimley** »Horn

KIMLEY-HORN AND ASSOCIATES, INC. 1615 S. Congress Ave., Ste 201 Delray Beach, Florida 33445 TEL: (561) 330-2345 FAX: (561) 330-2245 CA 00000696



AYOUT COORD MTR LANNING MGR MTR NMN 02/02/2018

043247094

LANDSCAPE NOTES

SHEET NUMBER

JOB NUMBER

L1.11

NOT RELEASED FOR CONSTRUCTION





CS#:

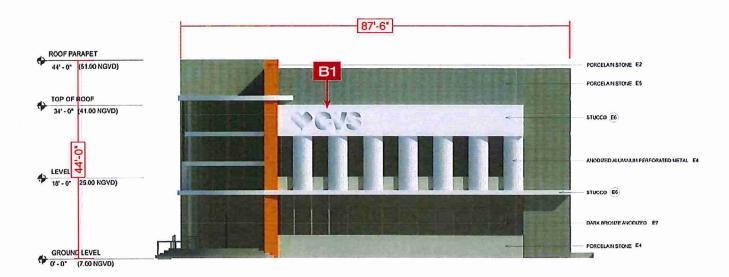
66731

Address: SEC Collins Ave & 15th Street

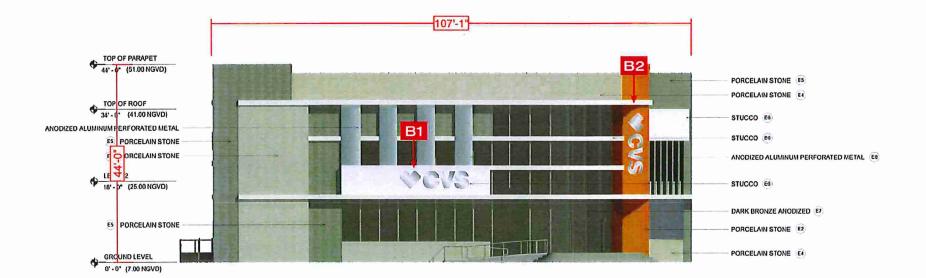
Miami Beach, FL 33139



Prepared by:

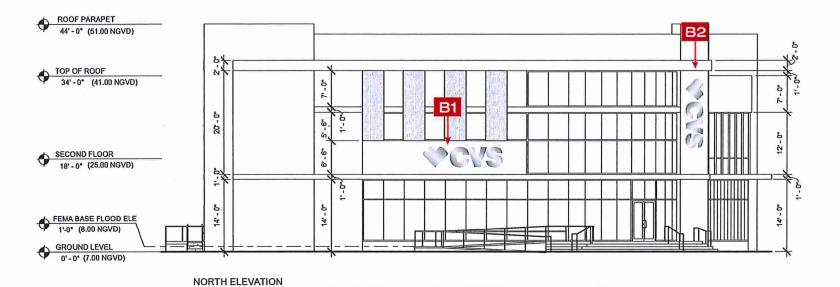


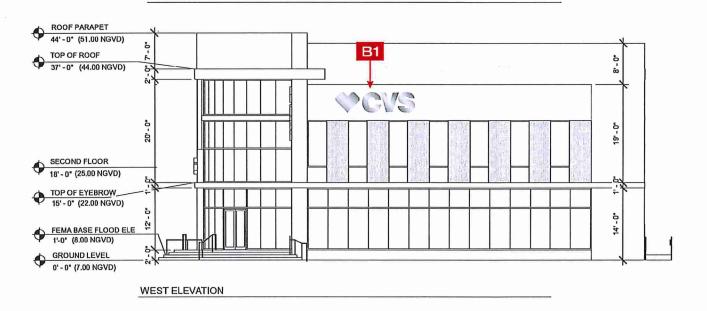
### WEST ELEVATION



NORTH ELEVATION

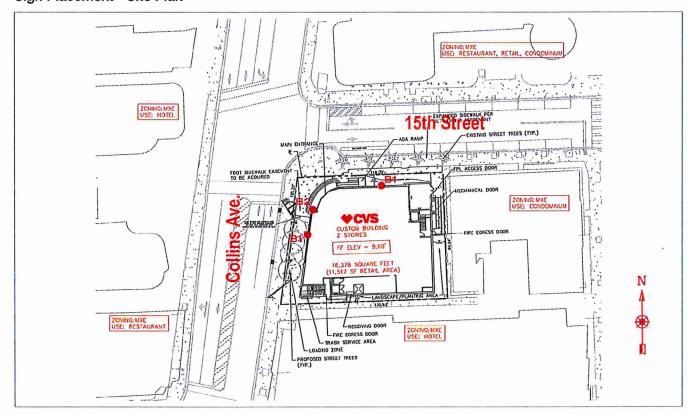
Prepared by:



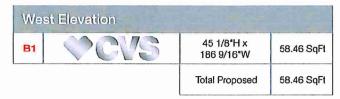




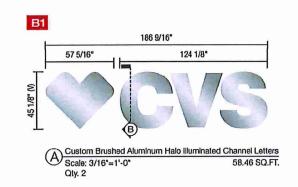
### Sign Placement - Site Plan

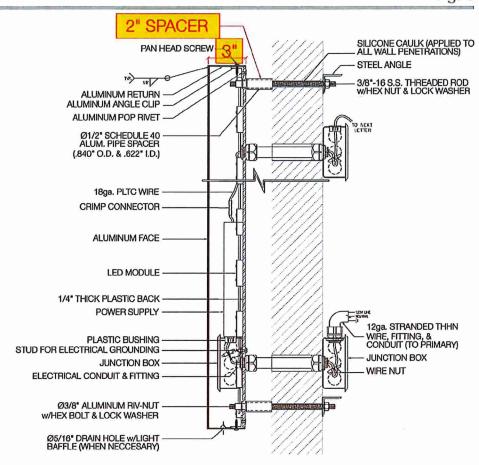


### Sign Placement - Sign Key



| Nort | h Elevation |                          |            |
|------|-------------|--------------------------|------------|
| B1   | <b>PCVS</b> | 45 1/8"H x<br>186 9/16"W | 58.46 SqFt |
| B2   | <b>PCVS</b> | 39 1/2"H x<br>163 5/16"W | 44.80 SqFt |
|      |             | Total Proposed           | 116.92 SqF |





B Typical Section - 3" Deep Halo Lit Letter - Self Contained Scale: N.T.S.

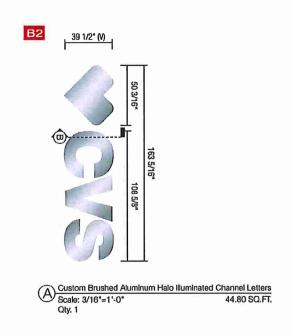
### Specifications

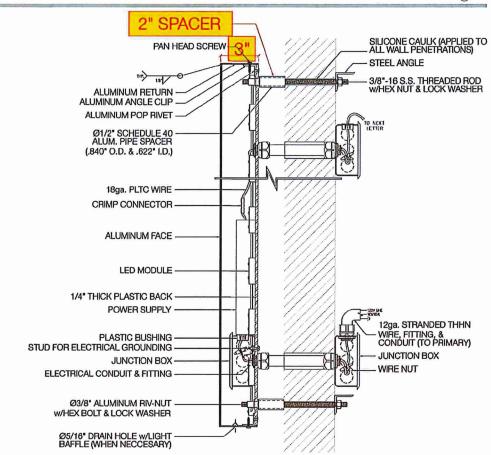
Internally Halo Illuminated Channel Letters (Horizontal)

- White LED Illumination
- 120V Power Supplies
- Mounted to existing fascia as required

| SECTION        |  |  |   |   |   |                               |
|----------------|--|--|---|---|---|-------------------------------|
| ANCHOR<br>TYPE | Ø1/2" SLEEVE ANCHOR<br>(Ø3/8" BOLT), 2" MINIMUM<br>EMBEDMENT | Ø3/8" EXPANSION<br>ANCHOR, 2 1/2" MINIMUM<br>EMBEDMENT | Ø3/8" LAG BOLT,<br>3" MINIMUM EMBEDMENT | Ø3/8" THREADED ROD                            | 03/8" THREADED ROD<br>W/ALUMINUM OR PVC<br>COMPRESSION SLEEVE | Ø3/8° PIVOTING<br>TOGGLE BOLT |
| WALL<br>TYPE   | CMU, BRICK   | PRE-CAST CONCRETE,<br>CONCRETE                         | WOOD BLOCKING                           | WOOD, CONCRETE<br>BLOCK, EIFS WALL<br>SYSTEMS | EIFS WALL w/<br>FOAM INSULATION                               | 5/8* THICK MIN.<br>PLYWOOD    |

- Mounting Options
Scale: N.T.S.





B Typical Section - 3" Deep Halo Lit Letter - Self Contained Scale: N.T.S.

#### Specifications

Internally Halo Illuminated Channel Letters (Horizontal)

- White LED Illumination
- 120V Power Supplies
   Mounted to existing fascia as required

| SECTION        |  |  |   |   |   |                               |
|----------------|--|--|---|---|---|-------------------------------|
| ANCHOR<br>TYPE | Ø1/2" SLEEVE ANCHOR<br>(Ø3/8" BOLT), 2" MINIMUM<br>EMBEDMENT | Ø3/8" EXPANSION<br>ANCHOR, 2 1/2" MINIMUM<br>EMBEDMENT | Ø3/8" LAG BOLT,<br>3" MINIMUM EMBEDMENT | Ø3/8" THREADED ROD                            | Ø3/8" THREADED ROD<br>W/ALUMINUM OR PVC<br>COMPRESSION SLEEVE | Ø3/8" PIVOTING<br>TOGGLE BOLT |
| WALL<br>TYPE   | CMU, BRICK   | PRE-CAST CONCRETE,<br>CONCRETE                         | WOOD BLOCKING                           | WOOD, CONCRETE<br>BLOCK, EIFS WALL<br>SYSTEMS | EIFS WALL w/<br>FOAM INSULATION                               | 5/8" THICK MIN.<br>PLYWOOD    |

- Mounting Options Scale: N.T.S.











DEVELOPER: 5789 NW 151st STREET. SUITE B MIAM LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

www.cphcorp.com

Plan Prepared By: CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Date: 02/2/2018 B112231 Job No.: Scale: File: Χ ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

**CONTEXT PHOTOS** 

PH-1











DEVELOPER: 5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

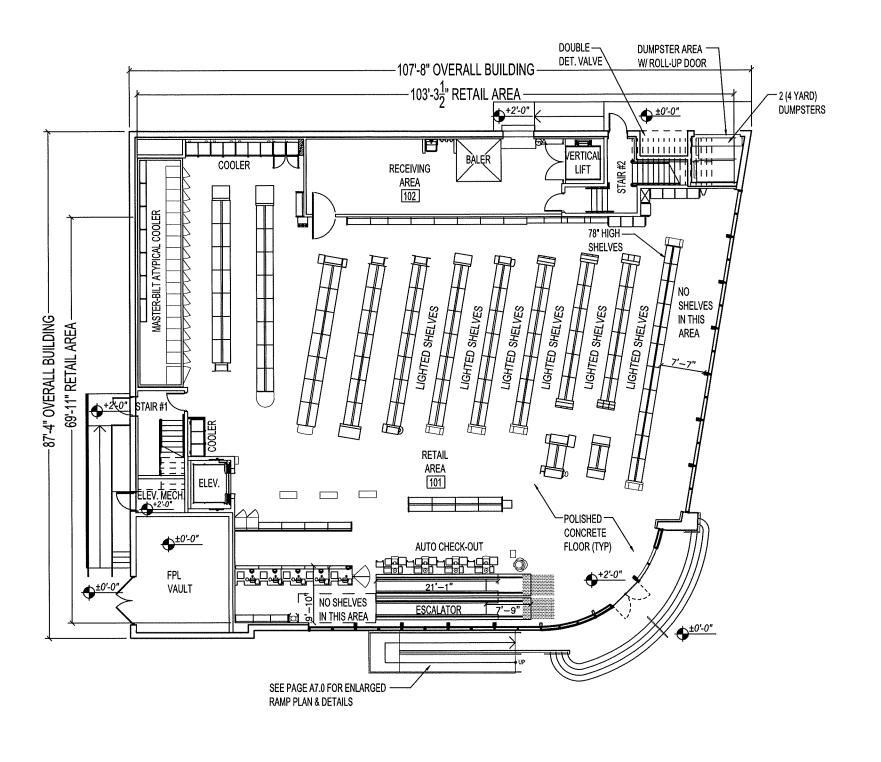
Plan Prepared By: CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

Date: 02/2/2018 Job No.: B112231 Scale: File: X ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

**CONTEXT PHOTOS** 

PH-2





DEVELOPER: 5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



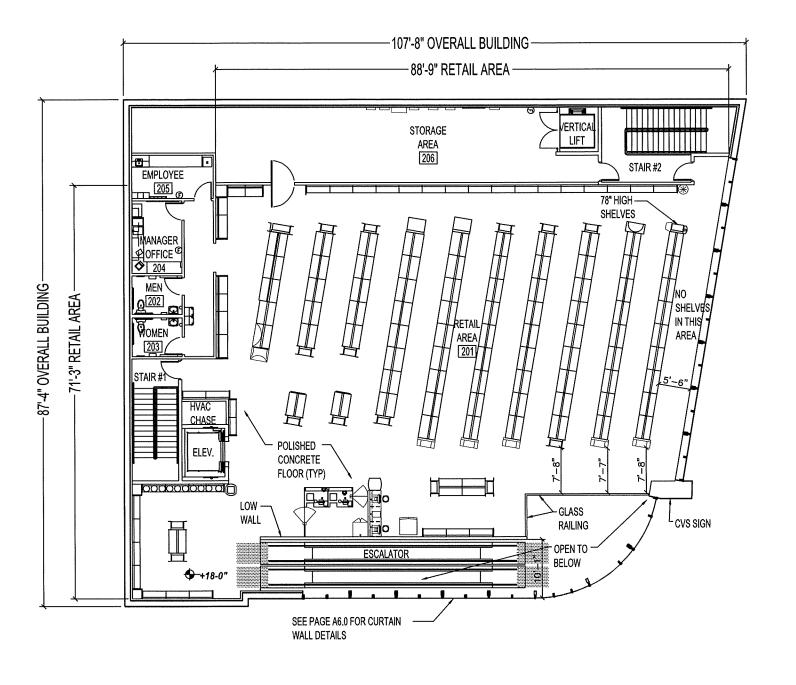
www.cphcorp.com

Plan Prepared By: 02/2/2018 Date: CPH, Inc. B112231 Job No .: Licenses: Eng. C.O.A. No. 3215 1/16" = 1'-0" Scale Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 Χ File: ©2018 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

1475 COLLINS AVENUE MIAMI BEACH FL

A1.0

FIRST FLOOR PLAN





DEVELOPER:

5789 NW 151st STREET.

SUITE B
MIAMI LAKES, FL. 33014
PHONE: (305) 828-8284
FAX: (305) 828-9594

BC

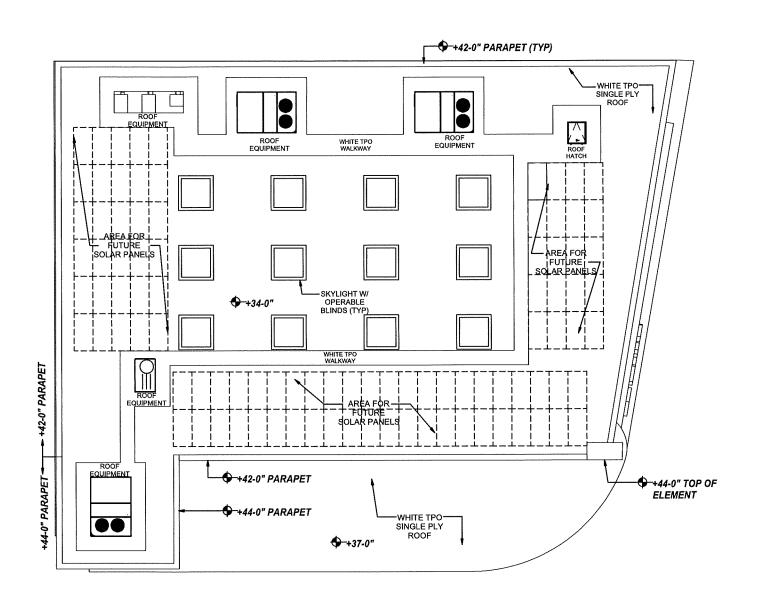


| $rac{r}{h}$          | Plan Prepared By:<br>CPH, Inc.                            | Date:    | 02/2/2018     |
|----------------------|---|----------|---------------|
| (0) n                | Licenses:<br>Eng. C.O.A. No. 3215<br>Survey L.B. No. 7143 | Job No.: | B112231       |
|                      |   | Scale:   | 1/16" = 1'-0" |
| phcorp.com           | Arch. Lic. No. AA2600926<br>Lndscp. Lic. No. LC0000298    | File:    | X             |
| N 1st Street Miami F | L 33135 ~ Ph: 305.274.4805                                | ©20      | 18            |

1475 COLLINS AVENUE MIAMI BEACH FL

SECOND FLOOR PLAN

A1.1





DEVELOPER: 5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



www.cphcorp.com

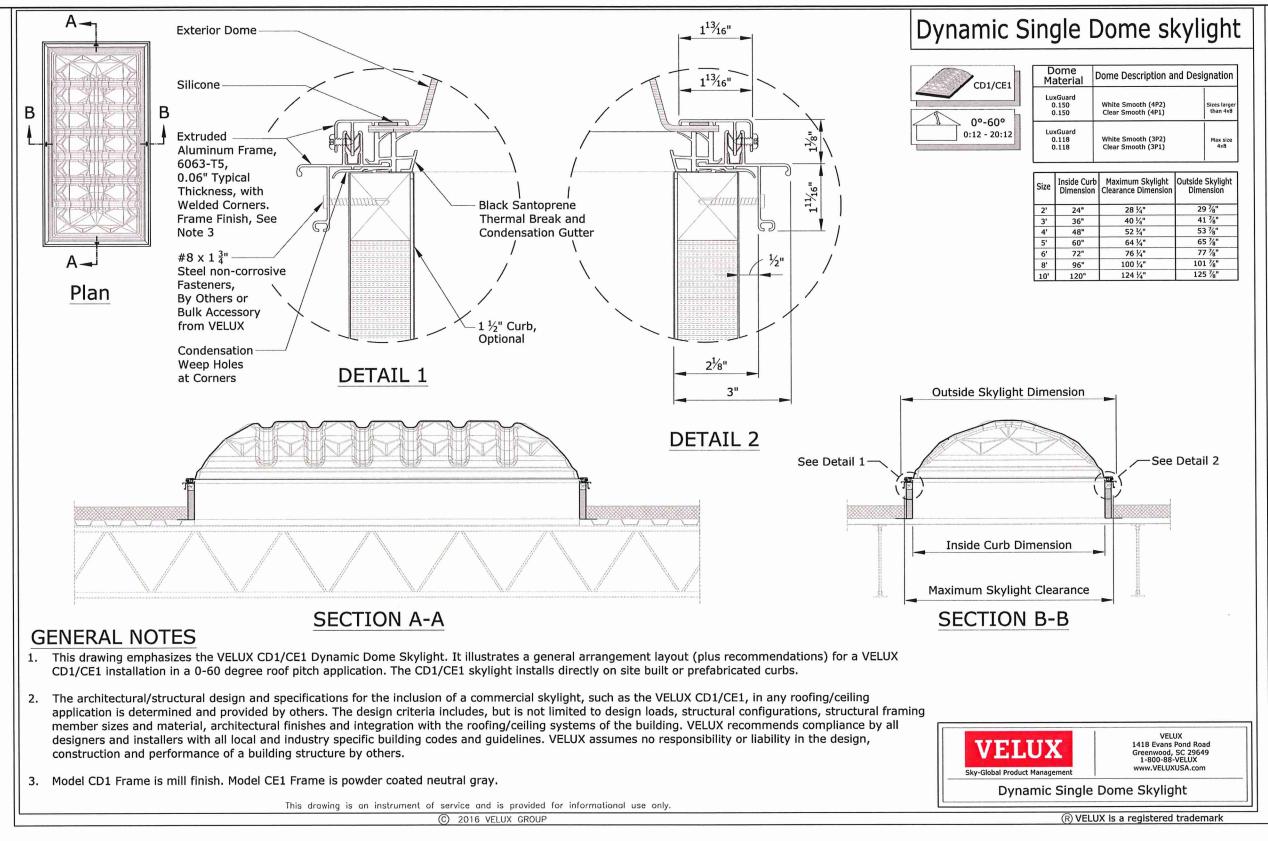
Plan Prepared By: CPH, Inc. Licenses: Elicenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Date: 02/2/2018 B112231 Job No.: Scale: 1/16" = 1'-0" File: Χ ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

**ROOF PLAN** 

A2.0





**DEVELOPER:** MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594







Plan Prepared By: CPH, Inc. Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Date:

Scale:

File:

Job No.:

NTS

Χ

C2018

02/2/2018 1475 COLLINS AVENUE MIAMI BEACH FL B112231

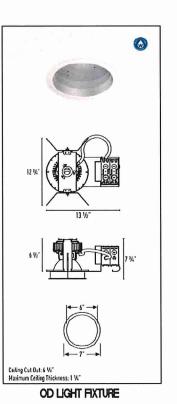
SKYLIGHT DETAIL

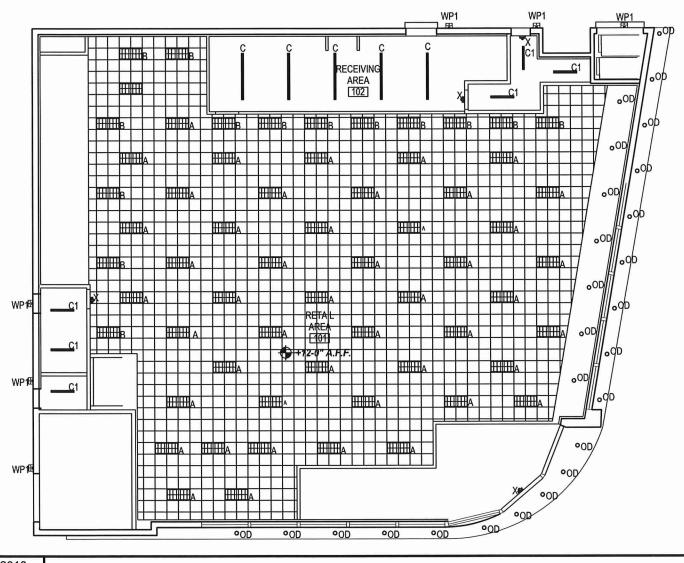
A2.1



|              | LIGHTING FIXTURE SCHEDULE         |          |         |         |                          |                            |              |  |        |   |
|--------------|-----------------------------------|----------|---------|---------|--------------------------|----------------------------|--------------|--|--------|---|
| Type<br>Mark |                                   | Mounting | Voltage | Wattage | Lamp                     | Ballast                    | Manufacturer | Model                                      | Color  | Comments  |
| Α            | 2'X4' PARABOLIC                   | RECESSED | 120     | 46 W    | LED                      |                            | LITHONIA     | 2ESL4 58L LP840 NACV                       | 2700 k | LAMPS INCLUDED WITH UNIT  |
| A1           | SAME AS TYPE AD BUT WIRED TO CEPS | RECESSED | 120     | 46 W    | LED                      |                            | LITHONIA     | 2ESL4 58L EZ1 LP840 NACV                   | 2700 k | LAMPS INCLUDED WITH UNIT  |
| AD           | 2'X4' PARABOLIC DIMMABLE          | RECESSED | 120     | 46 W    | LED                      |                            | LITHONIA     | 2ESL4 58L EZ1 LP840 NACV                   | 2700 k | LAMPS INCLUDED WITH UNIT  |
| В            | 2'X4' PARABOLIC                   | RECESSED | 120     | 37 W    | LED                      |                            | LITHONIA     | 2ESL4 48L LP840 NACV                       | 2700 k | LAMPS INCLUDED WITH UNIT  |
| B1           | SAME AS TYPE BD BUT WIRED TO CEPS | RECESSED | 120     | 37 W    | LED                      |                            | LITHONIA     | 2ESL4 48L EZ1 LP840 NACV                   | 2700 k | LAMPS INCLUDED WITH UNIT  |
| BD           | 2'X4' PARABOLIC DIMMABLE          | RECESSED | 120     | 37 W    | LED                      |                            | LITHONIA     | 2ESL4 48L EZ1 LP840 NACV                   | 2700 k | LAMPS INCLUDED WITH UNIT  |
| С            | 8' STRIP LIGHT                    | SURFACE  | 120     | 48 W    | (2) F032/XPS<br>/841/ECO | 1-QHE2X32T8/<br>UNV ISL-SC | LITHONIA     | TZ 132 MVOLT OS10ISXL                      | 2700 k | LAMPS INCLUDED WITH UNIT. SURF MTD AFF 12'-0" MAX IN RECEIVING AREA |
| C1           | 4' STRIP FIXTURE NO REFLECTORS    | SURFACE  | 120     | 48 W    | (2) FO32/XPS<br>/841/ECO | 1-QHE2X32T8/<br>UNV ISL-SC | LITHONIA     | Z-232-MVOLT OS10ISL                        | 2700 k | LAMPS INCLUDED WITH UNIT. SURF MTD AFF 12'-0" MAX IN RECEIVING AREA |
| E            | EMERGENCY LIGHT                   | SURFACE  | 120     |         | LED                      |                            | LITHONIA     | ELM2 LED                                   |        | CEILING MOUNTED IN RETAIL AREA ONLY                                 |
| OD           | 6" LED DOWNLIGHT                  | RECESSED | 120     | 42 W    | LED                      |                            | INTENSE      | SS6G3DR L6 408 I100<br>IC630HZ-SF          | 2700 k | LAMPS INCLUDED WITH UNIT. DAMP<br>LOCATION LABEL                    |
| WP1          | LED WALL PACK                     | SURFACE  | 120     | 40 W    | LED                      |                            | LITHONIA     | DSXW1 LED 10C 1000 40K TFTM<br>MVOLT DDBXD | 2700 k | MOUNT 14'-0" AFF, U.O.N., LAMPS INCLUDED WITH UNIT                  |
| X            | EXIT WITH REMOTE HEADS            | SURFACE  | 120     |         | LED                      |                            | LITHONIA     | LHQM LED R                                 |        | PROVIDE NUMBER OF FACES AND ARROW AS INDICATED ON PLANS             |









DEVELOPER:

WPI LIGHT FIXTURE

SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

www.cphcorp.com

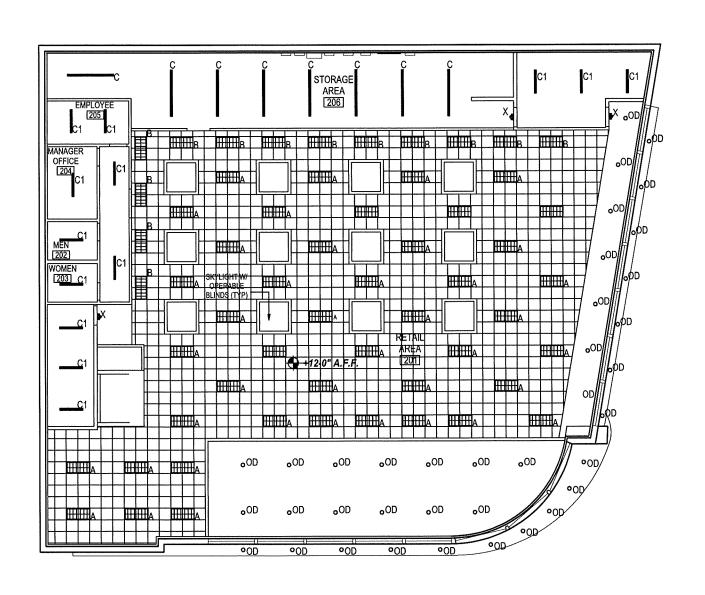
For 3/4" NPT side-entry

Plan Prepared By: 02/2/2018 Date: CPH, Inc. B112231 Job No.: Eng. C.O.A. No. 3215 Scale: 1/16" = 1'-0" Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 File: Χ ©2018 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

1475 COLLINS AVENUE MIAMI BEACH FL

FIRST FLOOR REFLECTED CEILING PLAN

A3.0





DEVELOPER: 5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



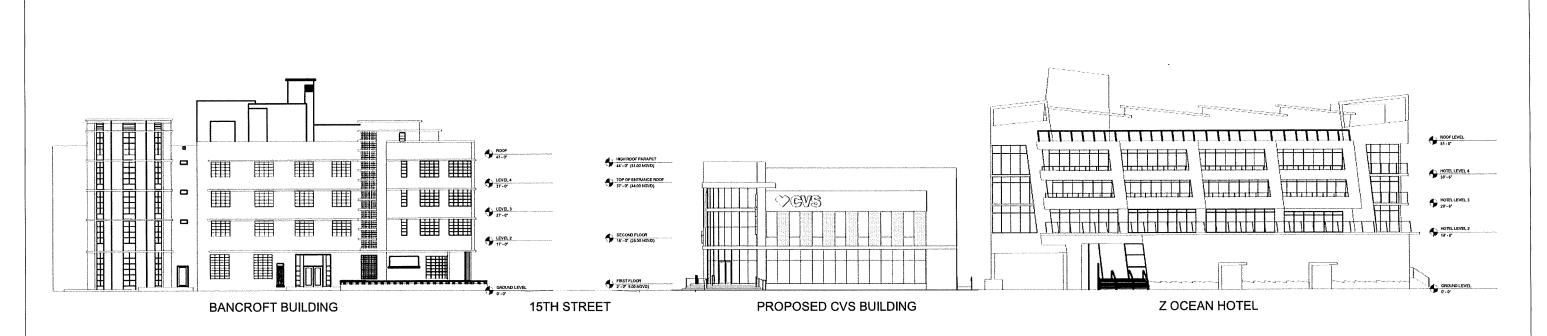
Plan Prepared By: CPH, Inc. Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 www.cphcorp.com 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Date: 02/2/2018 B112231 Job No.: Scale: 1/16" = 1'-0" File: Χ ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

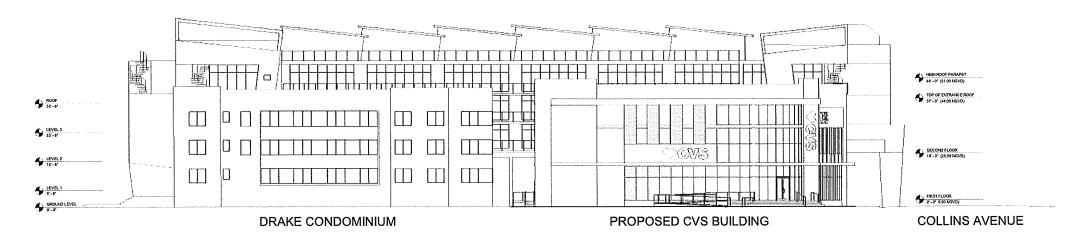
SECOND FLOOR REFLECTED CEILING PLAN

A3.1



## **COLLINS AVENUE WEST ELEVATION**

SCALE: 1/32" = 1' - 0"



### 15TH STREET NORTH ELEVATION

SCALE: 1/32" = 1' - 0"



DEVELOPER:

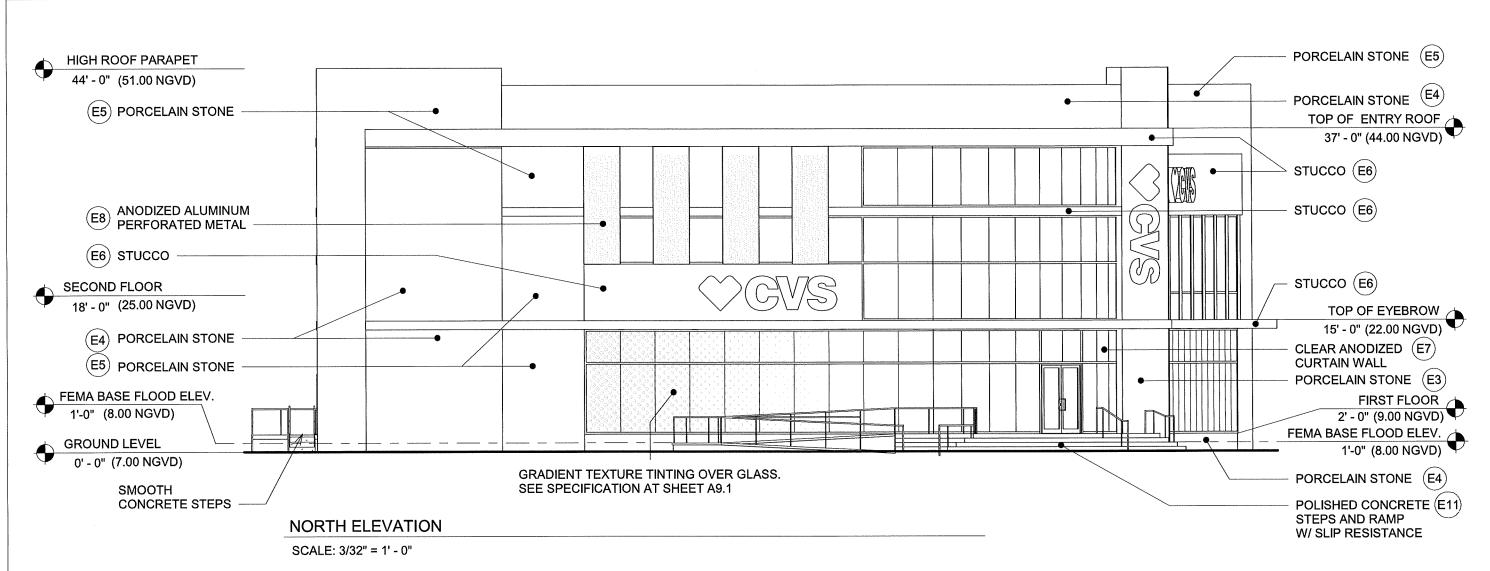


|   | <b>Gph</b>                  |
|---|-----------------------------|
| l | www.cphcorp.com             |
|   | 1992 SW 1st Street Miami FL |

| Plan Prepared By:<br><b>CPH</b> , <b>Inc</b> .         | Date:    | 02/2/2018 |  |
|--|----------|-----------|--|
| Licenses:  | Job No.: | B112231   |  |
| Eng. C.O.A. No. 3215<br>Survey L.B. No. 7143           | Scale:   |           |  |
| Arch. Lic. No. AA2600926<br>Lndscp. Lic. No. LC0000298 | File:    | Χ         |  |
| L 33135 ~ Ph: 305.274.4805                             | © D      |           |  |

1475 COLLINS AVENUE MIAMI BEACH FL

**CONTEXTUAL STREET ELEVATIONS** 



| EXTERIOR FINISH SCHEDULE |                        |            |                 |                                  |           |  |
|--------------------------|------------------------|------------|-----------------|----------------------------------|-----------|--|
| TAG                      | MATERIAL / DESCRIPTION | MFR.       | STYLE / CAT. NO | COLOR                            | NOTES     |  |
| E1)                      | STUCCO                 | STO        |                 | MATCH SILICA<br>PORCELAIN STONE  |           |  |
| E2                       | STUCCO                 | STO        |                 | MATCH BEDROCK<br>PORCELAIN STONE |           |  |
| E3                       | PORCELAIN STONE        | CROSSVILLE | ARGENT          | A1411<br>SUNSET BOULEVARD        | 12" X 24" |  |
| E4                       | PORCELAIN STONE        | CROSSVILLE | BASALT          | AV291<br>SILICA                  | 12" X 24" |  |
| E5                       | PORCELAIN STONE        | CROSSVILLE | BASALT          | AV293<br>BEDROCK                 | 12" X 24" |  |

| EXTERIOR FINISH SCHEDULE |                          |      |                           |   |                                      |  |  |
|--------------------------|--------------------------|------|---------------------------|---|--------------------------------------|--|--|
| TAG                      | MATERIAL / DESCRIPTION   | MFR. | STYLE / CAT. NO           | COLOR                                       | NOTES                                |  |  |
| <b>E6</b>                | STUCCO                   | sto  | STOCOAT LOTUSAN<br>SMOOTH | WHITE                                       |                                      |  |  |
| (E7)                     | ALUMINUM CURTAIN<br>WALL |      |                           | ANODIZED ALUMINUM                           | LIGHT GREY TINTED<br>INSULATED GLASS |  |  |
| (E8)                     | PERFORATED METAL         |      |                           | ANODIZED ALUMINUM                           | 1" DIAMETER HOLES                    |  |  |
| E9                       | STUCCO                   | STO  |                           | MATCH HOLLYWOOD AND<br>VINE PORCELAIN STONE |                                      |  |  |
| E10                      | STUCCO                   | ѕто  |                           | MATCH CARNEGIE COOL<br>PORCELAIN STONE      |                                      |  |  |
| (E11)                    | POLISHED CONCRETE        |      |                           | NATURAL LIGHT GRAY                          |                                      |  |  |

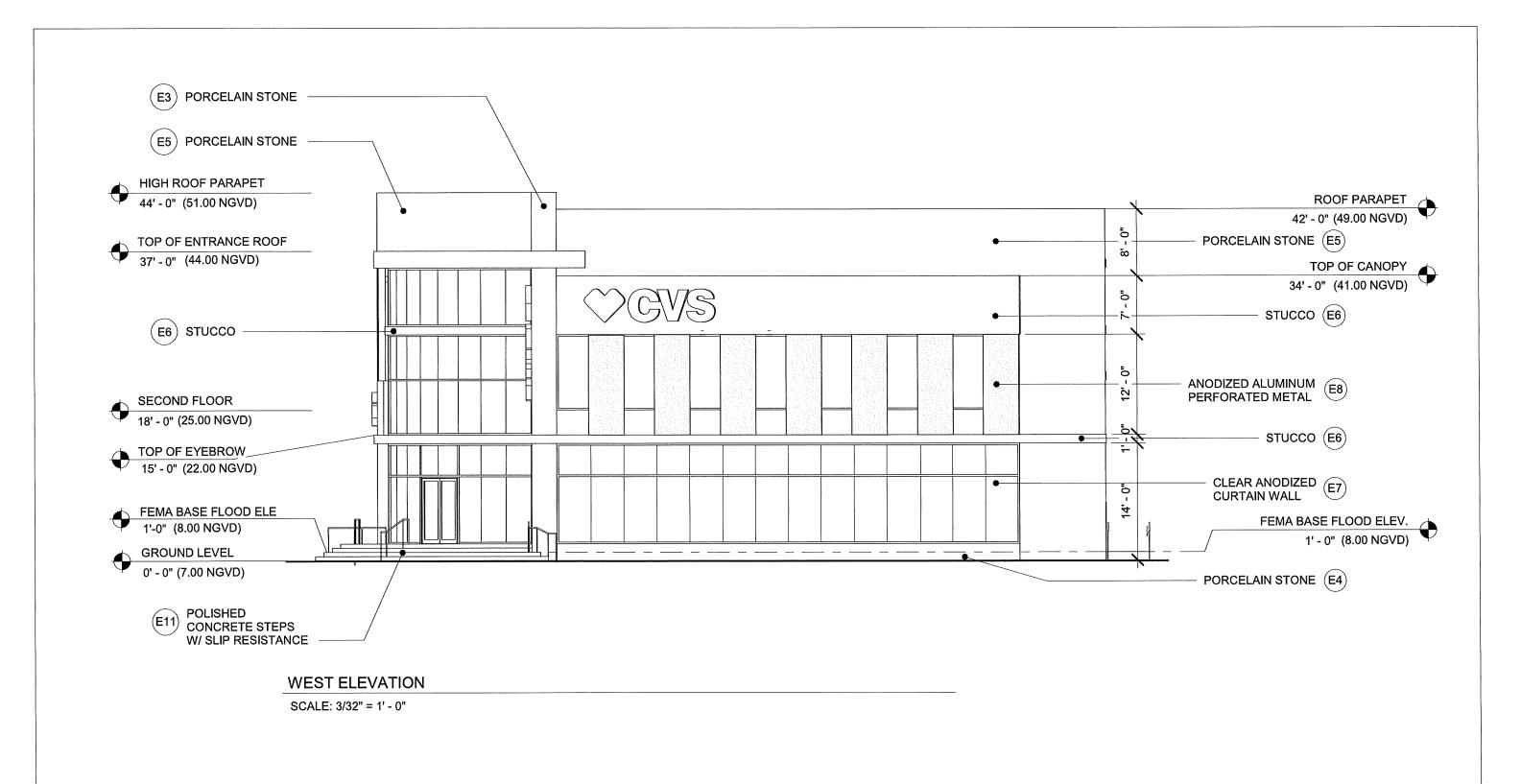
pharmacy

5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

NOTE: SEE SHEET A9.0 & A9.1 FOR FINISH SPECIFICATIONS

Plan Prepared By: CPH, Inc. 02/2/2018 Date: B112231 Job No.: Licenses: Eng. C.O.A. No. 3215 Scale: 3/32" = 1'-0" Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 File: Χ  $\mathbb{C}$ 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

1475 COLLINS AVENUE MIAMI BEACH FL





5789 NW 151st STREET. SUITE B MIAMI LAKES, FL, 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

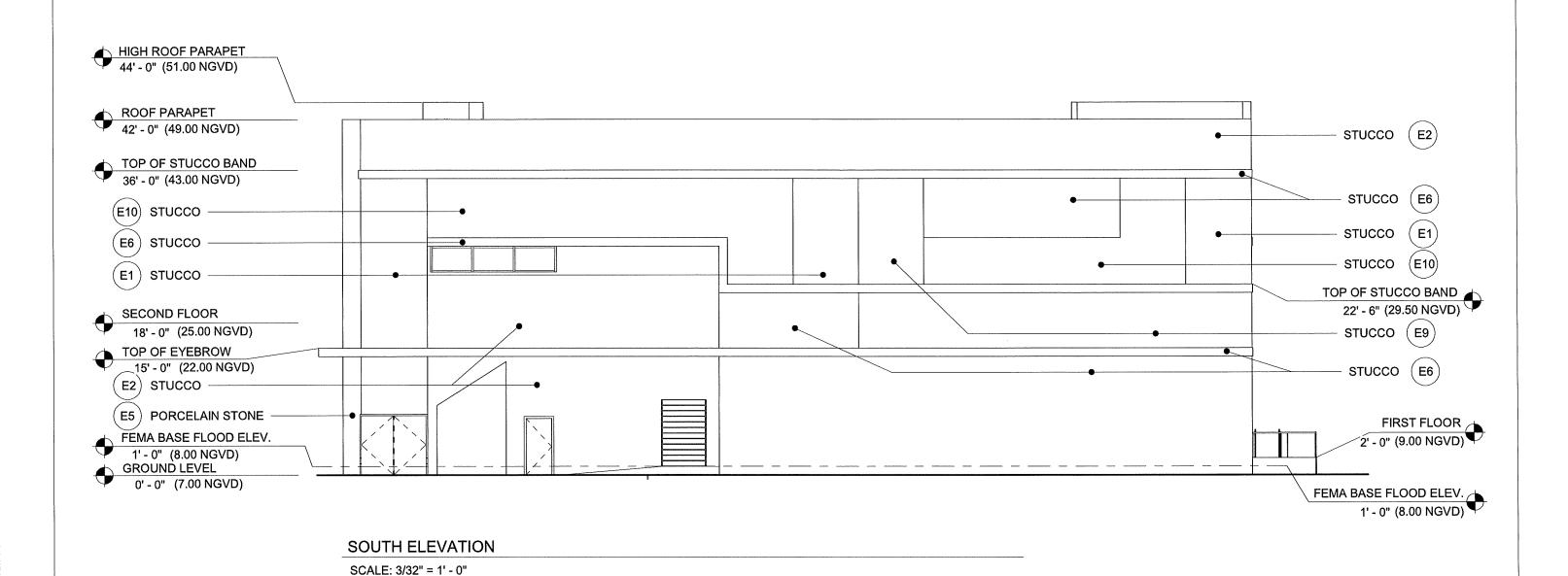


1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Plan Prepared By: CPH, Inc.

02/2/2018 Date: Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 B112231 Job No.: Scale: 3/32" = 1'-0" File: Χ  $\mathbb{C}$ 

1475 COLLINS AVENUE MIAMI BEACH FL





DEVELOPER;

5789 NW 151st STREET.
SUITE B
MIAMI LAKES, FL. 33014
PHONE: (305) 828-9284
FAX: (305) 828-9594

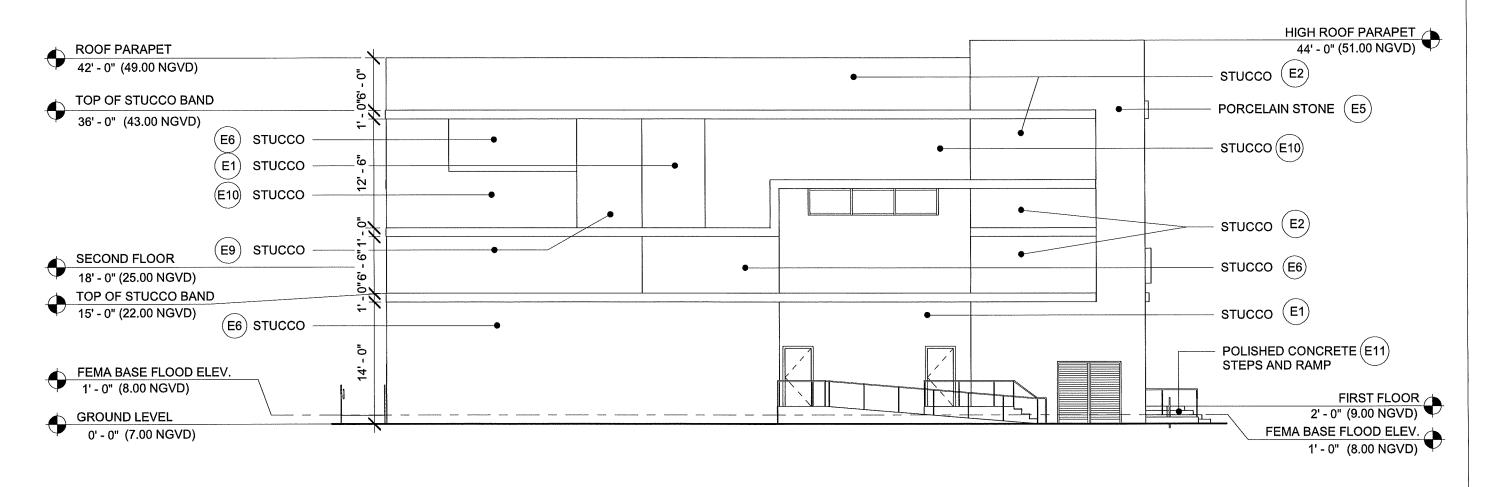
BOOS



| $\sim m / h$            | Plan Prepared By:<br><b>CPH</b> , <b>Inc</b> .         | Date:    | 02/2/2018 |
|-------------------------|--|----------|-----------|
| ≓/ o )/ n / —           | Licenses:  | Job No.: | B112231   |
|                         | Eng. C.O.A. No. 3215<br>Survey L.B. No. 7143           | Scale:   |           |
| w.cphcorp.com           | Arch. Lic. No. AA2600926<br>Lndscp. Lic. No. LC0000298 | File:    | X         |
| 2 SW 1st Street Miami F | ©  |          |           |

1475 COLLINS AVENUE MIAMI BEACH FL

BUILDING ELEVATIONS



### **EAST ELEVATION**

SCALE: 3/32" = 1' - 0"



DEVELOPER: 5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



Plan Prepared By: CPH, Inc. 02/2/2018 Date: Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298 B112231 Job No.: Scale: File: Χ  $\mathbb{C}$ 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

1475 COLLINS AVENUE MIAMI BEACH FL

A4.4

**BUILDING ELEVATIONS** 



**◆CVS** pharmacy

DEVELOPER: 5789 NW 151st STREET. SUITE B MIAM LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Plan Prepared By: **CPH**, **Inc**.

Job No.: B112231 Scale: File: Χ  $\mathbb{C}$ 

1475 COLLINS AVENUE MIAMI BEACH FL

**RENDERING - CORNER VIEW** 





DEVELOPER: 5789 NW 151st STREET. SUITE B MAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Plan Prepared By: CPH, Inc. Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Lndscp. Lic. No. LC0000298

02/2/2018 Date: Job No.: B112231 Scale: File: X  $\mathbb{C}$ 

1475 COLLINS AVENUE MIAMI BEACH FL

**RENDERING - 15TH STREET VIEW** 





DEVELOPER: 5789 NW 151st STREET. SUITE B MIAM LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

02/2/2018 Job No.: B112231 Scale: File: X  $\mathbb{C}$ 

1475 COLLINS AVENUE MIAMI BEACH FL

**RENDERING - COLLINS AVENUE VIEW** 





DEVELOPER: 5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

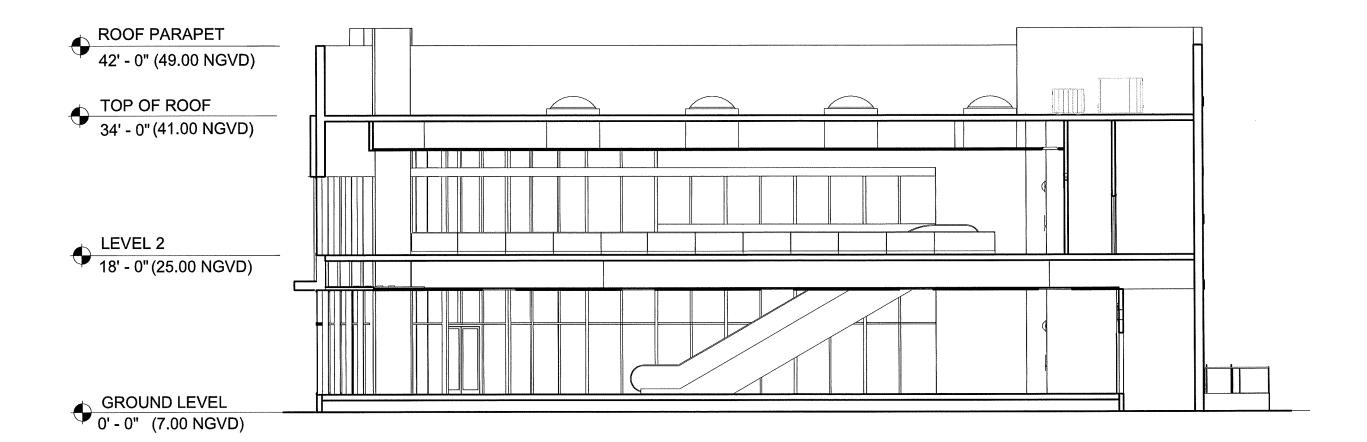
Plan Prepared By: CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

02/2/2018 Date: Job No.: B112231 Scale: File: X  $\mathbb{C}$ 

1475 COLLINS AVENUE MIAMI BEACH FL

**RENDERING - NIGHT VIEW** 



SECTION 1

SCALE: 3/32" = 1' - 0"



OPER: 61st STREET. ES, FL. 33014 BOO EVENNANT CO

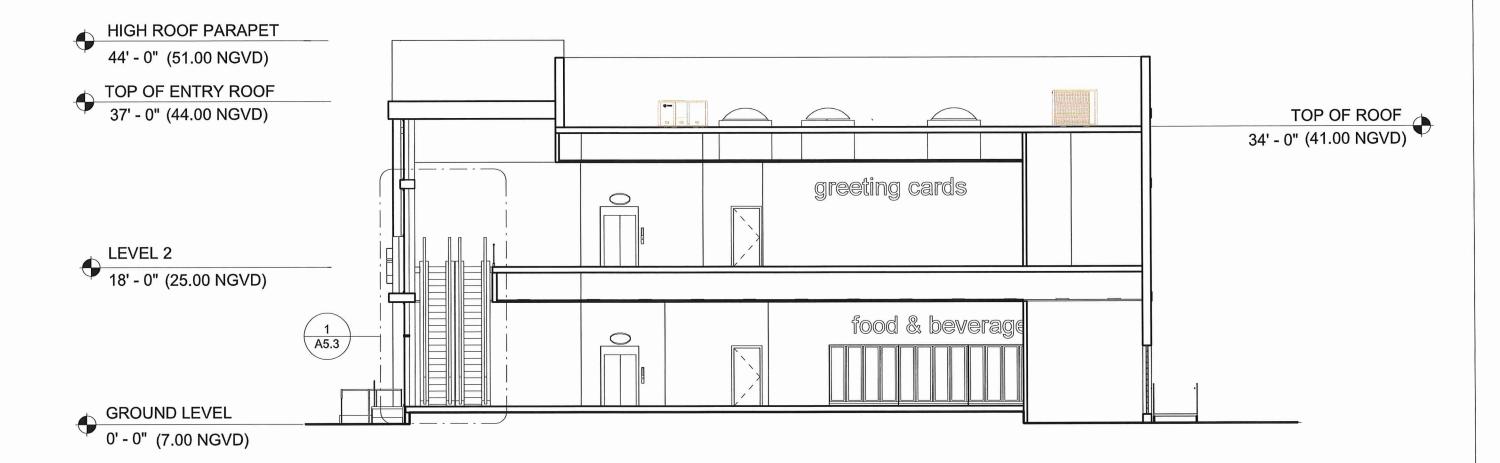


|  | Plan Prepared By:<br><b>CPH</b> , <b>Inc</b> . | Date:    | 02/2/2018 |
|--|--|----------|-----------|
|  | Licenses:                                      | Job No.: | B112231   |
| Eng. C.O.A. No. 3215<br>Survey L.B. No. 7143<br>Arch. Lic. No. AA2600926<br>Lndscp. Lic. No. LC0000298 |  | Scale:   |           |
|  |  | File:    | X         |
| ami F  | FL 33135 ~ Ph: 305.274.4805                    | © D      | $\leq$    |

1475 COLLINS AVENUE MIAMI BEACH FL

BUILDING SECTION

A5.1



**SECTION 2** 

SCALE: 3/32" = 1' - 0"



DEVELOPER:
5789 NW 151st STREET.
SUITE B
MIAMI LAKES, FL. 33014
PHONE: (305) 828-8284
FAX: (305) 828-9594

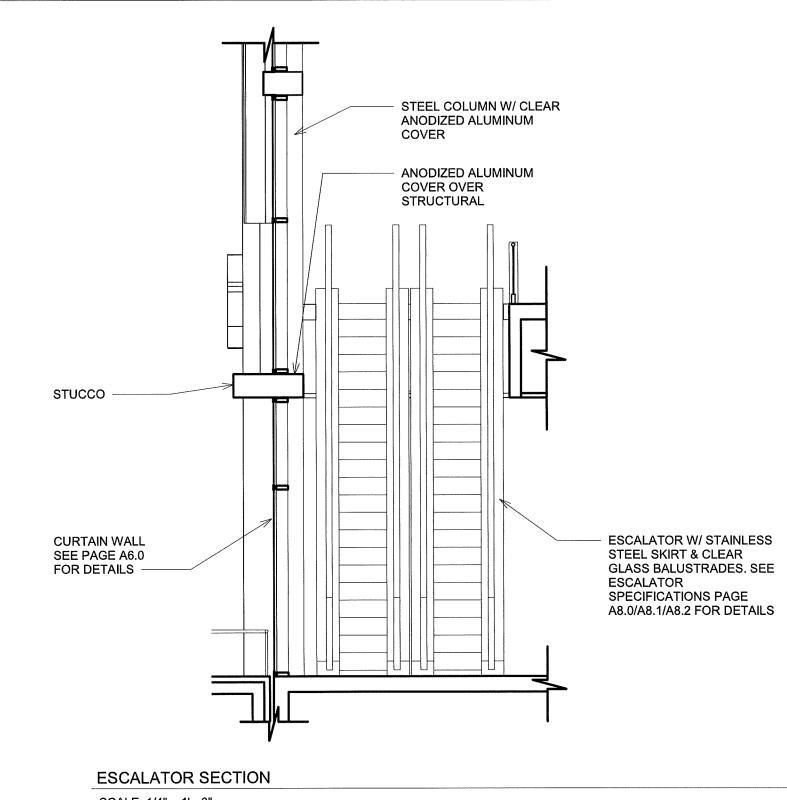




| Plan Prepared By:<br><b>CPH</b> . <b>Inc</b> .         | Date:    | 02/2/2018 |
|--|----------|-----------|
| Licenses:  | Job No.: | B112231   |
| Eng. C.O.A. No. 3215<br>Survey L.B. No. 7143           | Scale:   |           |
| Arch. Lic. No. AA2600926<br>Lndscp. Lic. No. LC0000298 | File:    | Х         |
| 135 ~ Ph: 305.274.4805                                 | © >      | $\leq$    |

1475 COLLINS AVENUE MIAMI BEACH FL

**BUILDING SECTION** 



SCALE: 1/4" = 1' - 0"



DEVELOPER: 5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



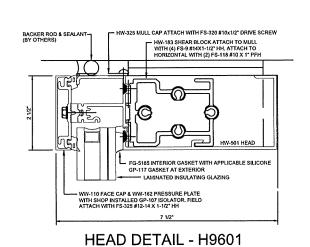
|         | อโก      |
|---------|----------|
| www.cph | corp.com |

| Plan Prepared By:<br><b>CPH</b> , <b>Inc</b> .         | Date:    | 02/2/2018 |
|--|----------|-----------|
| Licenses:  | Job No.: | B112231   |
| Eng. C.O.A. No. 3215<br>Survey L.B. No. 7143           | Scale:   |           |
| Arch. Lic. No. AA2600926<br>Lndscp. Lic. No. LC0000298 | File:    | Χ         |
| 33135 ~ Ph: 305.274.4805                               | © D      | $\leq$    |

1475 COLLINS AVENUE MIAMI BEACH FL

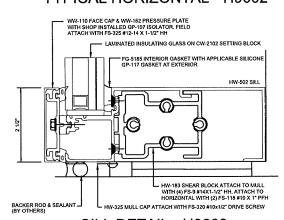
**ESCALATOR SECTION** 

A5.3

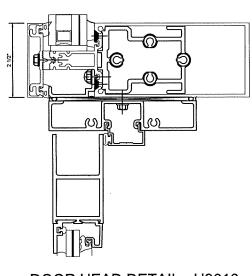


# - LAMINATED INSULATING GLASS ON CW-2102 SETTING BLOCK HW-183 SHEAR BLOCK ATTACH TO MULL WITH (4) FS-9 #14X1-1/2" HH. ATTACH TO HORIZONTAL WITH (2) FS-118 #10 X 1" PFH

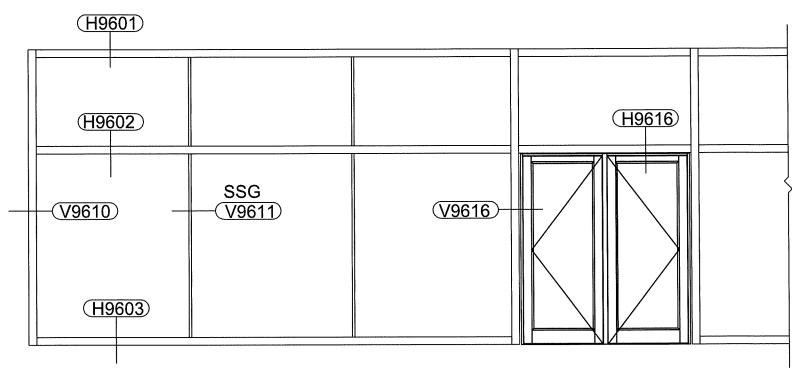
#### **TYPICAL HORIZONTAL - H9602**



SILL DETAIL - H9603

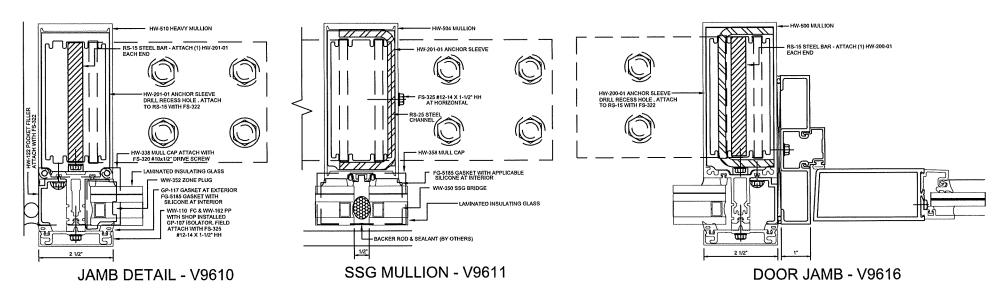


DOOR HEAD DETAIL - H9616



LAMINATED INSULATING GLAZING **CURTAIN WALL SYSTEM** 

# **ELEVATION** (GENERAL)



# **PLAN**

NOTE: GLASS JOINT ANGLE AT ENTRY: 171°

# **SECTION**



**DEVELOPER:** MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

www.cphcorp.com

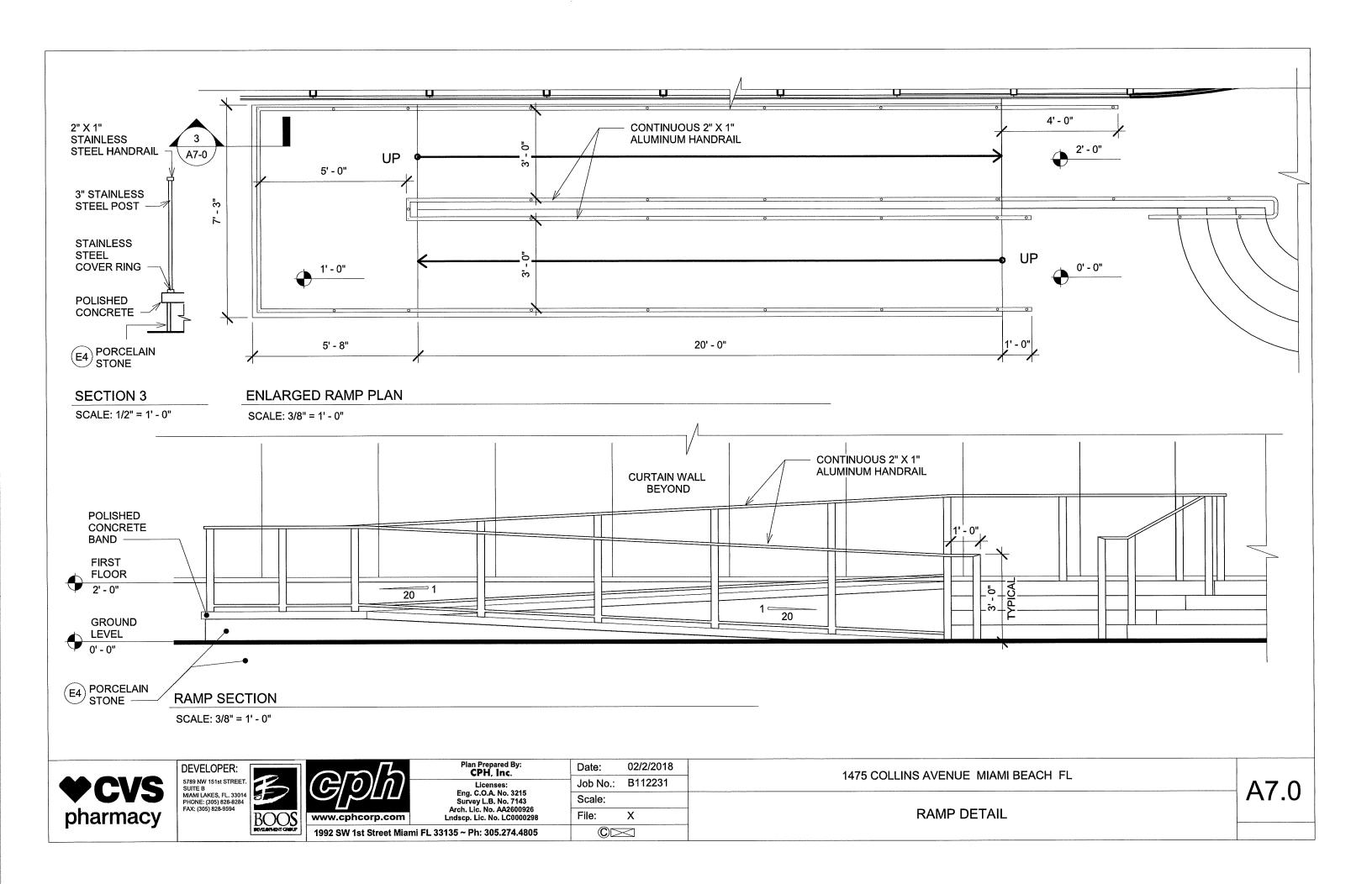
Plan Prepared By: CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Arch. Lic. No. AA2600926 Lndscp. Lic. No. LC0000298

02/2/2018 Date: B112231 Job No.: Scale: N.T.S. File: Χ ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

A6.0

**CURTAIN WALL DETAILS** 



### **ESCALATOR DESIGN**

Horizontal Steps: 2/

Transition Radii: 1.0/1.0 (Top/Bottom)

Step Width:

40"

Balustrade Type:

3/8" (10 mm) 100 f/m (0.5 m/s)

Access Cover:

Natural Ribbed Aluminum

Comb:

Speed:

**Aluminum Comb Segments** 

Black Anodized Aluminum

Skirt:

Brushed Satin Stainless Steel Skirt with Clear Anti-Friction Coating

Skirt Brush Holder: Front Plate:

Satin Polished Stainless Steel Brushed Satin Stainless Steel

<u>Decking</u>: Balustrade Joints:

Standard (Joints between glass balustrade panels are arranged

perpendicular to the truss. Inclined panels are 3'-111/4" (1200 mm) wide

except for one make-up panel at the upper end which is used to compensate

for the vertical rise.

Balustrade:

Clear Glass Balustrade Panels

<u>Handrail</u>:

Black

Cladding:

**Brushed Satin Stainless Steel Cladding** 

Step Demarcation: Horizontal Steps:

Silver Aluminum
2 Horizontal Steps

Safety Message Step:

(NONE)

Additional Lighting: Under Step Demarcation Lighting, continuous skirt lighting



Green Technology

With Otis NCE escalator being green isn't optional.



Otis is leading the industry with The Way to Green. We encourage and enable our more than 60,000 employees worldwide to address the future positively and proactively. It is all a part of our end-to-end commitment to incorporating environmental awareness into everything we do.

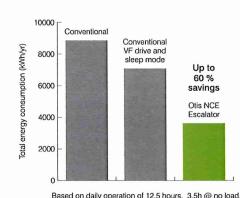
### SLEEP MODE

When the NCE escalator is not in use, the speed of the escalator is slowed down. A pressure-sensitive piezo contact mat under the escalator floorplate detects approaching passengers and powers the escalator gradually back up to full speed. The result is less energy consumption when the escalator is not in use.



### VARIABLE FREQUENCY DRIVE

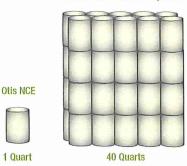
When an escalator travels in the down direction, it generates energy, more so when there are passengers on the escalator. In non-regenerative systems, this energy is sent to resistors and is wasted as heat. With the Otis' ReGen drive, this energy is captured and fed back into the building's power supply to be used by other building systems. All this helps the NCE escalator use up to 60% less energy than conventional systems.



#### MINIMAL LUBRICATION

A highly efficient automatic lubrication system maintains proper lubrication of all vital components while using up to 98% less oil than conventional systems. This, combined with sealed-for-life bearings, minimizes environmental impact.

#### Conventional escalator systems



### LED LIGHTING

Otis has replaced conventional lighting with long-lasting LED lighting. This allows for a variety of lighting options while considerably reducing the amount of electricity consumed



DEVELOPER:

5789 NW 151st STREET. SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594

BOOS

Plan Prepared By:

CPH, Inc.

Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Lndscp. Lic. No. LC000029

1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

Date: 02/2/2018

Job No.: B112231

Scale: N.T.S

File: X

©2018

1475 COLLINS AVENUE MIAMI BEACH FL

**ESCALATOR SPECIFICATIONS 1** 

**A8.0** 

# Aesthetics

A wide range of design options



LED lighting under handrail to provide aesthetic effect while minimizing energy usage.



Clear glass

(standard)

**STEPS** 

BALUSTRADE

Green glass



Bronze glass



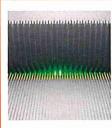
Satin finish stainless steel



SKIRT PANEL

#### LED LIGHTING OPTIONS





Understep lighting



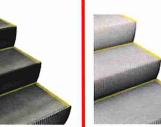
Comb lighting 1



Continuous skirt panel lighting



Balustrade lighting 1 powder-coated



Silver-grey, powdercoated aluminum aluminum (standard) (standard)



Natural aluminum



Black with Guardian® low-friction powder coating (standard)

# DECKING



coated aluminum (standard)



Gold finish anodized aluminum



Silver finish anodized aluminum



Gold satin finish



stainless steel

FLOOR PLATE

Jet black



Natural aluminum with grooves (standard)



Aluminum with grooves, black powder coat



with black grooves

Satin stainless steel with transparent Guardian® low-friction

powder coating

# Reliability

A key design focus for all Otis products

Otis' goal is to ensure that a typical NCE installation with average passenger



Plan Prepared By:

#### AS AN OPTION





SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143

02/2/2018 Date: B112231 Job No .: Scale: N.T.S File: X ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

**ESCALATOR SPECIFICATIONS 2** 

A8.1

# Safety

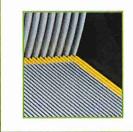
Innovative technology puts safety first.

Otis prides itself on the comprehensive safety features built into its products



### **GUARDIAN® SKIRT PANELS** WITH BRUSH GUARDS

Safety brushes promote passenger safety by gently guiding passengers away from skirt panels. Guardian skirt panels reduce side friction, minimizing risk of objects being caught.



#### YELLOW DEMARCATION LINES

Located on each step, these lines provide additional visual safety by guiding passengers away from step edges. Yellow plastic inserts are also available as an option.



#### COMB PLATE SAFETY DEVICE

The comb plate protection switches are located on two sides of each comb plate. If debris is lodged between the comb and steps, the comb plate will automatically lift upwards and stop the escalator.



#### **EMERGENCY** STOP BUTTON

Located on both the upper and lower landings and mounted on posts. Pressing the red button will safely stop the escalator.



#### HANDRAIL ENTRY BOX SAFETY DEVICE

The tapered handrail entry box safety device is in the handrail entry box of the upper and lower landings. If debris is inserted in the handrail entry point, the safety switch will activate, stopping the escalator.



#### FLOORPLATE SAFETY DEVICE

A safety switch is installed under the floorplate to ensure proper floorplate positioning. If the floorplate is not properly aligned, the safety switch will activate, stopping escalator operation until the floorplate is properly closed.





#### TRACTION WHEEL HANDRAIL DRIVE

This device synchronizes step and handrail speeds for greater passenger safety.



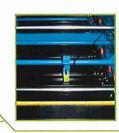
#### MOTOR THERMAL **PROTECTION**

The thermal protection switch is located in the motor coil. If the motor temperature exceeds 155°C the thermal protection sensor will automatically shut down the escalator.



### STEP AND CHAIN WHEEL **CONTROL CONTACT**

This contact is located at both landings. It will be activated if either a step or chain wheel is broken.



#### MISSING STEP DEVICE

Two sensors are located at the turning positions of the upper and lower landings. If the step is missing or installed incorrectly, the sensor will send a signal to the control system to shut down the escalator.



#### STEP CHAIN DEVICE

The safety switch is located on the tension carriage in the lower landing. If the step chain breaks or stretches abnormally, the safety switch will stop the escalator.



SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

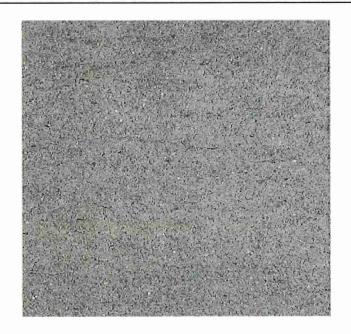
CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 Lndscp. Lic. No. LC0000298

02/2/2018 Date: Job No .: B112231 N.T.S Scale: File: X ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

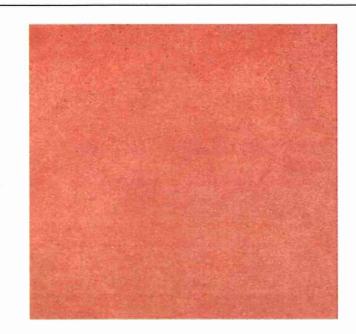
**ESCALATOR SPECIFICATIONS 3** 

A8.2



PORCELAIN STONE **CROSSVILLE BASALT AV293 BEDROCK** 

STUCCO - STO LOTUSAN COLOR TO MATCH AV293 BEDROCK **FINE FINISH** 



**PORCELAIN STONE CROSSVILLE ARGENT** A1411SUNSET BOULEVARD



PORCELAIN STONE **CROSSVILLE BASALT AV291 SILICA** 

STUCCO - STO LOTUSAN COLOR TO MATCH AV291 SILICA **FINE FINISH** 

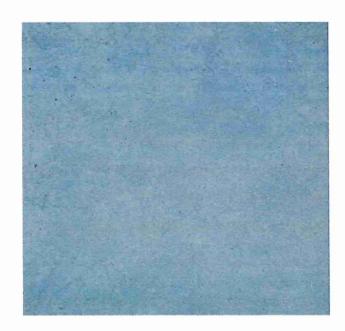
STUCCO - STO LOTUSAN WHITE **SMOOTH FINISH** 

STUCCO: **STO FINISHES** 



**SMOOTH FINISH** 

STUCCO - STO LOTUSAN COLOR TO MATCH HOLLYWOOD AND VINE **FINE FINISH** 



E10 STUCCO - STO LOTUSAN COLOR TO MATCH CARNEGIE COOL **FINE FINISH** 



5789 NW 151st STREET. SUITE 8 MAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



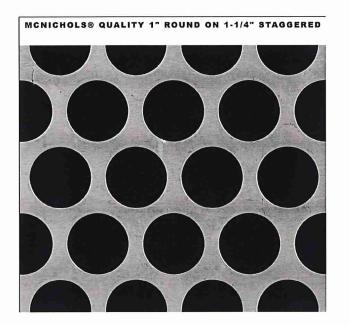
Plan Prepared By: CPH, Inc. Licenses: Eng. C.O.A. No. 3215 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

02/02/2018 Date: Job No.: B112231 Scale: File: X C 2018

1475 COLLINS AVENUE MIAMI BEACH FL

A9.0

**FINISHES** 



**E8** PERFORATED METAL ANODIZED ALUMINUM



POLISHED CONCRETE E11 NATURAL LIGHT GRAY



**CRYSTAL GRAY E7 INSULATED GLASS** 



Exterior Interior

**Reflected Color** 

Reflectivity Visible Light Out %: Visibile Light In %: 11 Solar Energy %: 19 **Heat Gain** Relative Heat Gain: 54 Shading Coefficient: 0.25

**U-Value** 0.24 Winter Nighttime Argon: Winter Nighttime Air: 0.29 Summer Daytime Air: 0.27

Solar Heat Gain Coefficient:

0.22

1.99



ANODIZED ALUMINUM RAILING



SCHLUTER DECO STAINLESS STEEL TILE TO TILE/STUCCO TRANSITION JOINT



**WINDOW FILM** SH2SIIM ILLUMINA SILVER



SUITE B MIAMI LAKES, FL. 33014 PHONE: (305) 828-8284 FAX: (305) 828-9594



Plan Prepared By: CPH, Inc. Licenses: Eng. C.O.A. No. 3215 Survey L.B. No. 7143 1992 SW 1st Street Miami FL 33135 ~ Ph: 305.274.4805

02/2/2018 Date: Job No.: B112231 Scale: File: X ©2018

1475 COLLINS AVENUE MIAMI BEACH FL

FINISHES 2

A9.1