

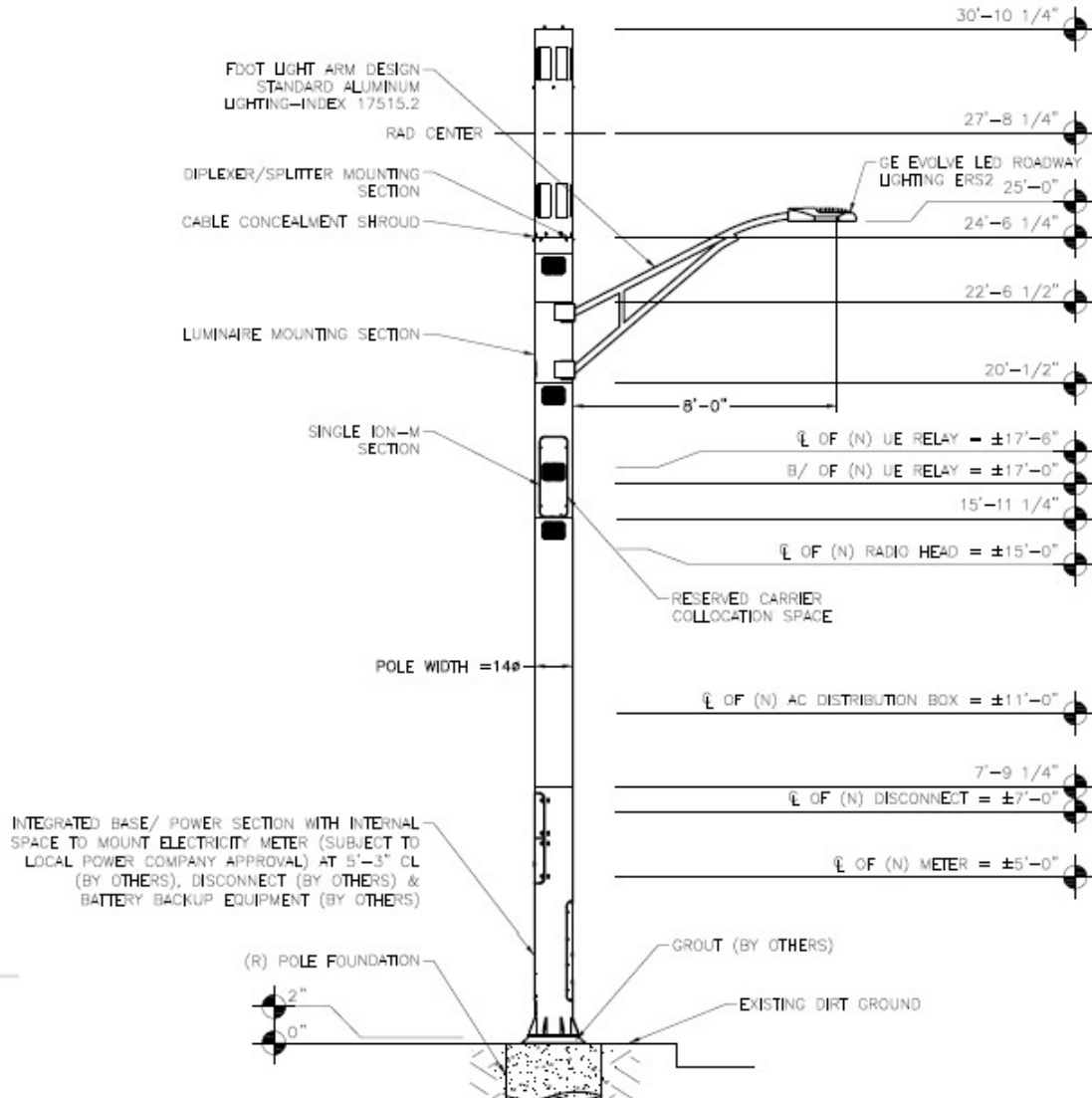
## SMALL-CELL LIGHT POLE PROJECTS

### City of Miami Beach - Board Applications

MOBILITIE CANDIDATE # 9FLB000844F/MI90XS385F

Approximate Pole Address: 210 30th Street, Miami Beach, Florida

CAP Address: 2490 Collins Ave, Miami Beach, Florida





**ITEM # 2—COPY OF SIGNED AND DATED CHECKLIST**

Planning Department, 1700 Convention Center Drive 2<sup>nd</sup> Floor  
 Miami Beach, Florida 33139, www.miamibeachfl.gov  
 305.673.7550

Property address: Das Nodes Board: HPB Date: 01/31/2018

## BOARD APPLICATION CHECK LIST

A Pre-Application meeting must be scheduled via CAP to obtain a plan case number and for board staff review of all submittals.

Pre-Application meetings for applications that do not require a traffic study are scheduled on a first come-first served basis and must occur no later than five(5) business days prior to CAP First submittal.

Applications requiring a traffic study must meet with Planning, Transportation, and peer reviewer sixty (60) days\* prior to First submittal deadline to determine the methodology for the traffic impact study. This meeting is considered the "Pre-Application meeting" and must be scheduled via CAP to obtain a plan case number for review and payment of fees. Thirty (30) days before First submittal, applicant must provide the traffic study via CAP (see Transportation Department's requirements check list). The Transportation Department/Peer Reviewer will submit first round of comments 15 days prior to First submittal. Applicant must address comments and submit revised traffic study/plans for CAP First submittal deadline.

**Incomplete, or submittals found to be insufficient will not be placed on a Board agenda.**

ITEM #	FIRST SUBMITTAL (VIA CAP) ** To be uploaded online (CAP) by the applicant before 5:00 pm by First submittal deadline. ALL PLANS MUST BE DIMENSIONED AND LEGIBLE. INCLUDE A GRAPHIC SCALE.	Required
1	Application Fee and Peer review fees shall be paid after Pre-Application meeting and before the First submittal. It is the applicant's responsibility to make this payment, if an invoice is not generated by the CAP system, the applicant should contact staff prior to first submittal to be invoiced and make payment.	✓
2	Copy of signed and dated check list issued at Pre-Application meeting.	✓
3	Completed Board Application, Affidavits & Disclosures of Interest (original signatures).	✓
4	Signed and dated Letter of Intent. <b>Letter must outline application details and identify hardships if Variances are requested.</b> (see also Items # 42,43 and 44).	✓
5	Mailing Labels: Upload property owner's list and copy of original certified letter from provider. See #52 for submittal of Hard copy / originals of these items.	✓
6	Copies of all current or previously active Business Tax Receipts.	
7	School Concurrency Application for projects with a net increase in residential units (no SFH). Provide Planning Department - Miami Dade - School Concurrency Application for Transmittal	
8	Survey: Electronic version of original signed & sealed, dated no more than six months from date of application. Survey must provide: lot area, grade per Section 114-1 of the City Code. (If no sidewalk exists, provide the elevation of the crown of the road) and spot elevations.	✓
9	<b>Architectural Plans and Exhibits (must be 11"x 17")</b>	✓
a	Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date. <b>Include copies of previous recorded board orders, if applicable.</b>	✓
b	Copy of the original survey included in plan package. See No. 8 above for survey requirements	✓
c	All Applicable Zoning Information (Use Planning Department zoning data sheet format).	
d	Context Location Plan, Min 8.5"x11" Color Aerial 1/2 mile radius, identifying project and showing name of streets. (no Google images)	✓
e	Full legal description of the property if not included in survey (for lengthy legal descriptions, attach as a separate document - label clearly).	✓
f	Existing FAR Shaded Diagrams (Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable	
g	Proposed FAR Shaded Diagrams(Single Family Districts: Unit Size and Lot Coverage Shaded Diagrams), if applicable.	
h	Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).	✓

**\* 60 day lead time for projects including traffic studies is necessary to ensure completion of review and required corrections by Final submittal deadline. Applications cannot be scheduled without evaluated and corrected traffic studies.**

Indicate N/A If Not Applicable

Initials:

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 305.673.7550

**Property address:** Das Nodes

i	Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)	✓
j	Current, color photographs, dated, Min 4"x6" of interior space (no Google images)	
k	Current color photographs, dated, Min 4"x 6" of context, corner to corner, across the street and surrounding properties with a key directional plan (no Google images)	✓
l	Existing Conditions Drawings (Floor Plans & Elevations with dimensions). Number of seats, furniture layout if applicable	✓
m	Demolition Plans (Floor Plans & Elevations with dimensions)	
n	Proposed Floor Plans and Roof Plan, including mechanical equipment plan and section marks. Plans shall indicate location of all property lines and setbacks.	✓
o	Proposed Elevations, materials & finishes noted (showing grade, base flood elevation, heights in NGVD values and free board if applicable)	✓
p	Proposed Section Drawings	
q	Color Renderings (elevations and three dimensional perspective drawings).	✓
<b>10</b>	<b>Landscape Plans and Exhibits (must be 11"x 17")</b>	
a	Landscape Plan - street and onsite - identifying existing, proposed landscape material, lighting, irrigation, raised curbs, tree survey and tree disposition plan, as well as underground and overhead utilities when street trees are required.	
b	Hardscape Plan, i.e. paving materials, pattern, etc.	
11	Copy of original Building Permit Card, & Microfilm, if available.	
12	Copy of previously approved building permits. (provide building permit number).	
13	Existing and Proposed detailed topographic survey depicting existing spot grades (NAVD) as well as all underground/overhead utilities and easements/agreements with recording data. See Part 1 / Section 1 / A. Surveying & Mapping Standards and submittal Requirements of the Public Works Manual. <a href="http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920">http://www.miamibeachfl.gov/publicworks/engineering/engineeringmanual.aspx?id=12920</a>	
14	Vacant/Unoccupied structures or sites shall provide recent photographic evidence that the site and structure are secured and maintained. The applicant shall obtain and post a No Trespassing Sign from the City's Police Dept.	
15	Historic Resources Report (This report shall include, but not be limited to, copy of the original Building Permit Card and subsequent modifications, Microfilm records, existing condition analysis, photographic and written description of the history and evolution of the original building on the site, all available historic data including original plans, historic photographs and permit history of the structure and any other related information on the property.	
16	Contextual Elevation Line Drawings, corner to corner, across the street and surrounding properties (dated).	
17	Line of Sight studies.	
18	Structural Analysis of existing building including methodology for shoring and bracing.	
19	Proposed exterior and interior lighting plan, including photometric calculations.	
20	Exploded Axonometric Diagram (showing second floor in relationship to first floor).	
21	Neighborhood Context Study. (Planning will provide guidance if necessary for application.)	
22	Required yards open space calculations and shaded diagrams.	
23	Required yards section drawings.	
24	Variance and/or Waiver Diagram	
25	Schematic signage program	
26	Detailed sign(s) with dimensions and elevation drawings showing exact location.	
27	Elevation drawings showing area of building façade for sign calculation (Building ID signs).	
28	Daytime and nighttime renderings for illuminated signs.	

Indicate N/A If Not Applicable

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 Miami Beach, Florida 33139, www.miamibeachfl.gov  
 305.673.7550

**Property address:** Das Nodes

29	Floor Plan Indicating area where alcoholic beverages will be displayed.	
30	Survey showing width of the canal (Dimension shall be certified by a surveyor)	
31	Site Plan showing total projection of structures from seawall, location and dimension of all structures inclusive of dock, mooring piles, boat lift, etc.	
32	DERM recommendation/preliminary approval. Docks or any structures shall have approval stamp from DERM or other regulatory agency before submitting for a variance. A letter from DERM or other agency, explaining specific requirements for the project is recommended.	
33	Technical specifications of the boat lift and/ or boat, ship of vessel to be docked or moored.	
34	Survey shall include spot elevations in rear yard and elevation points on the dune adjacent to the property. Provide highest elevation point on the due within the property. Erosion control line and Bulkhead line shall be indicated if present.	
35	Scaled, signed, sealed and dated specific purpose survey (Alcohol License/Distance Separation) distance shown on survey with a straight line.	
36	Proposed Operational Plan: Include deliveries and trash pickup times, hours of operations, number of employees, security and restaurant menu (if applicable).	
37	Maneuvering plan for loading within the existing/proposed conditions, delivery and garbage trucks size (length and width).	
38	Traffic Study, Site plan(s) : Revised version addressing first round of comments from Transportation Department and peer review. (See Transportation Department check list for requirements.)	
39	Sound Study report (Hard copy) with 1 CD.	
<b>40</b>	<b>Site Plan (Identify streets and alleys)</b>	
a	Identify: setbacks _____ Height _____ Drive aisle widths _____ Streets and sidewalks widths _____	
b	# parking spaces & dimensions _____ Loading spaces locations & dimensions _____	
c	# of bicycle parking spaces _____	
d	Interior and loading area location & dimensions _____	
e	Street level trash room location and dimensions _____	
f	Delivery route _____ Sanitation operation _____ Valet drop-off & pick-up _____ Valet route in and out _____	
g	Valet route to and from _____ auto-turn analysis for delivery and sanitation vehicles _____	
h	Indicate any backflow preventer and FPL vault if applicable	
i	Indicate location of the area included in the application if applicable	
j	Preliminary on-street loading plan	
<b>41</b>	<b>Floor Plan (dimensioned)</b>	
a	Total floor area	
b	Identify # seats indoors _____ outdoors _____ seating in public right of way _____ Total _____	
c	Occupancy load indoors and outdoors per venue _____ Total when applicable _____	
<b>42</b>	<b>The Letter of Intent shall include and respond to all sea level rise and resiliency review criteria per section 133-50 of the City Code.</b>	✓
<b>43</b>	<b>The Letter of Intent for Variances shall include and respond to all review guidelines in the code as follows:</b>	
a	Section 118-53 (d) of the City Code for each Variance.	
<b>44</b>	<b>The Letter of Intent for Planning Board shall include and respond to all review guidelines in the code as follows:</b>	
a	For Conditional Use -Section 118-192 (a)(1)-(7)	
b	CU -Entertainment Establishments - Section 142-1362 (a)(1)-(9)	
c	CU - Mechanical Parking - Section 130-38 (3)(c)(i)(1)-(2) & (4)(a)-(k)	
d	CU - Structures over 50,000 SQ.FT. - Section 118-192 (b) (1)-(11)	
e	CU - Religious Institutions - Section 118-192 (c) (1)-(11)	

Indicate N/A If Not Applicable

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f	For Lot Splits - Section 118-321 (B) (1)-(6). Also see application instructions	
	<i>Notes: The applicant is responsible for checking above referenced sections of the Code. If not applicable write N/A</i>	

**\*\*ADDITIONAL INFORMATION AS MAY BE REQUIRED AT THE PRE-APPLICATION MEETING**

<b>ITEM #</b>	<b>FINAL SUBMITTAL (via CAP)</b> Revised and/or supplemented documents and drawings to address staff comments. Plans should be clearly labeled "Final Submittal" and dated with Final Submittal deadline date. Upload documents online (via CAP) before 5:00 pm on final submittal deadline. Staff will review and issue a notice to proceed to Paper Final submittal or to continue submittal to a future meeting if the application is found incomplete.	
45	Traffic Study, Site plan(s): This is the final traffic study including any modifications required to address comments from the City's Transportation Department. City's required permit by FDOT should be obtained prior to Final submittal (via CAP).	

ITEM #	PAPER FINAL SUBMITTAL:	Required
46	Original application with all signed and notarized applicable affidavits and disclosures.	✓
47	Original of all applicable items.	✓
48	One (1) signed and sealed 11"X17" bound, collated set of all the required documents.	✓
49	14 collated copies of all required documents	✓
50	One (1) CD/DVD with electronic copy of entire final application package (plans, application, Letter of Intent, traffic/sound study, etc.) see CD/DVD formatting attached, for instructions.	✓
51	Traffic Study (Hard copy)	
52	Mailing Labels -2 sets of gummed labels and a CD including: Property owner's list and Original certified letter from provider.	✓

**ADDITIONAL INFORMATION AND ACKNOWLEDGEMENTS**

- A. Other information/documentation required for First submittal will be identified during Pre-Application meeting but may be modified based on further analysis.**
- B. It is the responsibility of the applicant to confirm that documents submitted via CAP, Paper Submittal sets (14 copies), and electronic version on CD are consistent with each other and legible.**
- C. Plan revisions and supplemental documentation will not be accepted after the Final Submittal deadline**
- D. All documents required for Board applications must be submitted in an electronic format (PDF) via CD in the manner prescribed herein. The CD is considered the "Formal Submission", and must include the electronic version of all hard copy documents associated with the application. A new Updated CD will be required if any modifications are made before or after hearing. Failure to comply with the aforementioned may result in a rehearing before the applicable board at the applicant's expense.**
- E. Please note that the applicant will be required to submit revised plans pursuant to applicable Board Conditions no later than 60 days after Board Approval. (If applicable)**

  
 \_\_\_\_\_  
 Applicant's or designee's signature

Date 01/31/2018

Indicate N/A If Not Applicable

Initials: 



## **ITEM # 3—BOARD APPLICATION**

# MIAMI BEACH

PLANNING DEPARTMENT, 1700 CONVENTION CENTER DRIVE, 2<sup>ND</sup> FLOOR  
MIAMI BEACH, FLORIDA 33139, WWW.MIAMIBEACHFL.GOV  
305-673-7550

## LAND USE BOARD HEARING APPLICATION

THE FOLLOWING APPLICATION IS SUBMITTED FOR REVIEW AND CONSIDERATION OF THE PROJECT DESCRIBED HEREIN BY THE LAND USE BOARD SELECTED BELOW. A SEPARATE APPLICATION MUST BE COMPLETED FOR EACH BOARD REVIEWING THE PROPOSED PROJECT.

- BOARD OF ADJUSTMENT
  - VARIANCE FROM A PROVISION OF THE LAND DEVELOPMENT REGULATIONS
  - APPEAL OF AN ADMINISTRATIVE DECISION
  
- DESIGN REVIEW BOARD
  - DESIGN REVIEW APPROVAL
  - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY DRB.
  
- HISTORIC PRESERVATION BOARD
  - CERTIFICATE OF APPROPRIATENESS FOR DESIGN
  - CERTIFICATE OF APPROPRIATENESS TO DEMOLISH A STRUCTURE
  - HISTORIC DISTRICT / SITE DESIGNATION
  - VARIANCE RELATED TO PROJECT BEING CONSIDERED OR APPROVED BY HPB.
  
- PLANNING BOARD
  - CONDITIONAL USE PERMIT
  - LOT SPLIT APPROVAL
  - AMENDMENT TO THE LAND DEVELOPMENT REGULATIONS OR ZONING MAP
  - AMENDMENT TO THE COMPREHENSIVE PLAN OR FUTURE LAND USE MAP
  
- FLOOD PLAIN MANAGEMENT BOARD
  - FLOOD PLAIN WAIVER
  
- OTHER \_\_\_\_\_

---

SUBJECT PROPERTY ADDRESS: Proposed wireless small cell infrastructure on the public right of way.

Latitude: 25.805893 Longitude: -80.124814 X: 944101.64133 Y: 536100.06543

Nearest Intersection: 30TH ST & A1A Approximate Pole Address: 210 30th Street, Miami Beach, Florida

CAP Address: 2490 Collins Ave, Miami Beach, Florida

LEGAL DESCRIPTION: PLEASE ATTACH LEGAL DESCRIPTION AS "EXHIBIT A"

FOLIO NUMBER (S) Public Right of Way

---



1. APPLICANT:  OWNER OF THE SUBJECT PROPERTY  TENANT  ARCHITECT  LANDSCAPE ARCHITECT  
 ENGINEER  CONTRACTOR  OTHER (infrastructure owner)

NAME MOBILITIE, LLC  
ADDRESS 3475 Piedmont Rd NE, Suite 1000, Atlanta, GA, 30305  
BUSINESS PHONE (786) 910-4309 CELL PHONE (786) 910-4309  
E-MAIL ADDRESS Oraez@mobilitie.com

OWNER IF DIFFERENT THAN APPLICANT:

NAME Same as applicant  
ADDRESS \_\_\_\_\_  
BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS \_\_\_\_\_

2. AUTHORIZED REPRESENTATIVE(S): N/A

ATTORNEY:

NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS \_\_\_\_\_

AGENT:

NAME Orlando Raez  
ADDRESS 3450 Lakeside Drive, Suite 301, Miramar, FL 33027  
BUSINESS PHONE (786) 910-4309 CELL PHONE (786) 910-4309  
E-MAIL ADDRESS oraez@mobilitie.com

CONTACT:

NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
BUSINESS PHONE \_\_\_\_\_ CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS \_\_\_\_\_

3. PARTY RESPONSIBLE FOR PROJECT DESIGN:

ARCHITECT  LANDSCAPE ARCHITECT  ENGINEER  CONTRACTOR  OTHER: \_\_\_\_\_  
NAME Stephen Bray  
ADDRESS 1800 Route 34 Wall NJ 07719  
BUSINESS PHONE (732) 280-5623 CELL PHONE \_\_\_\_\_  
E-MAIL ADDRESS sbray@kmbcompanies.com

FILE NO. \_\_\_\_\_

4. SUMMARY OF APPLICATION – PROVIDE BRIEF SCOPE OF PROJECT:

MOBILITIE, LLC seeks to replace an existing street light with one wireless small cell stealth pol with a streetlight in the public rights of way n order to improve the capacity and coverage of cellular devices within the vicinity.

- 4A. IS THERE AN EXISTING BUILDING(S) ON THE SITE  YES  NO
- 4B. DOES THE PROJECT INCLUDE INTERIOR OR EXTERIOR DEMOLITION  YES  NO
- 4C. PROVIDE THE TOTAL FLOOR AREA OF THE NEW BUILDING (IF APPLICABLE) n/a SQ. FT.
- 4D. PROVIDE THE TOTAL GROSS FLOOR AREA OF THE NEW BUILDING (INCLUDING REQUIRED PARKING AND ALL USEABLE FLOOR SPACE). \_\_\_\_\_ SQ. FT.

5. APPLICATION FEE (TO BE COMPLETED BY PLANNING STAFF) \$ \_\_\_\_\_

- A SEPARATE DISCLOSURE OF INTEREST FORM MUST BE SUBMITTED WITH THIS APPLICATION IF THE APPLICANT OR OWNER IS A CORPORATION, PARTNERSHIP, LIMITED PARTNERSHIP OR TRUSTEE.
- ALL APPLICABLE AFFIDAVITS MUST BE COMPLETED AND THE PROPERTY OWNER MUST COMPLETE AND SIGN THE "POWER OF ATTORNEY" PORTION OF THE AFFIDAVIT IF THEY WILL NOT BE PRESENT AT THE HEARING, OR IF OTHER PERSONS ARE SPEAKING ON THEIR BEHALF.
- TO REQUEST THIS MATERIAL IN ALTERNATE FORMAT, SIGN LANGUAGE INTERPRETER (FIVE-DAY NOTICE IS REQUIRED), INFORMATION ON ACCESS FOR PERSONS WITH DISABILITIES, AND ACCOMMODATION TO REVIEW ANY DOCUMENT OR PARTICIPATE IN ANY CITY-SPONSORED PROCEEDINGS, CALL 305.604.2489 AND SELECT (1) FOR ENGLISH OR (2) FOR SPANISH, THEN OPTION 6; TTY USERS MAY CALL VIA 711 (FLORIDA RELAY SERVICE).

PLEASE READ THE FOLLOWING AND ACKNOWLEDGE BELOW:

- APPLICATIONS FOR ANY BOARD HEARING(S) WILL NOT BE ACCEPTED WITHOUT PAYMENT OF THE REQUIRED FEE. ALL CHECKS ARE TO BE MADE PAYABLE TO THE "CITY OF MIAMI BEACH".
- PUBLIC RECORDS NOTICE – ALL DOCUMENTATION, SUBMITTED FOR THIS APPLICATION IS CONSIDERED A PUBLIC RECORD SUBJECT TO CHAPTER 119 OF THE FLORIDA STATUTES AND SHALL BE DISCLOSED UPON REQUEST.
- IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 2-482 OF THE CODE OF THE CITY OF MIAMI BEACH, ANY INDIVIDUAL OR GROUP THAT WILL BE COMPENSATED TO SPEAK OR REFRAIN FROM SPEAKING IN FAVOR OR AGAINST A PROJECT BEING PRESENTED BEFORE ANY OF THE CITY’S LAND USE BOARDS, SHALL FULLY DISCLOSE, PRIOR TO THE PUBLIC HEARING, THAT THEY HAVE BEEN, OR WILL BE COMPENSATED. SUCH PARTIES INCLUDE: ARCHITECTS, LANDSCAPE ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PERSONS RESPONSIBLE FOR PROJECT DESIGN, AS WELL AS AUTHORIZED REPRESENTATIVES ATTORNEYS OR AGENTS AND CONTACT PERSONS WHO ARE REPRESENTING OR APPEARING ON BEHALF OF A THIRD PARTY; SUCH INDIVIDUALS MUST REGISTER WITH THE CITY CLERK PRIOR TO THE HEARING.

FILE NO. \_\_\_\_\_

- IN ACCORDANCE WITH SEC.118-31. - DISCLOSURE REQUIREMENT. EACH PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION FROM THE PLANNING BOARD, DESIGN REVIEW BOARD, HISTORIC PRESERVATION BOARD (INCLUDING THE JOINT DESIGN REVIEW BOARD/HISTORIC PRESERVATION BOARD), OR THE BOARD OF ADJUSTMENT SHALL DISCLOSE, AT THE COMMENCEMENT (OR CONTINUANCE) OF THE PUBLIC HEARING(S), ANY CONSIDERATION PROVIDED OR COMMITTED, DIRECTLY OR ON ITS BEHALF, FOR AN AGREEMENT TO SUPPORT OR WITHHOLD OBJECTION TO THE REQUESTED APPROVAL, RELIEF OR ACTION, EXCLUDING FROM THIS REQUIREMENT CONSIDERATION FOR LEGAL OR DESIGN PROFESSIONAL SERVICES RENDERED OR TO BE RENDERED. THE DISCLOSURE SHALL; (i) BE IN WRITING, (ii) INDICATE TO WHOM THE CONSIDERATION HAS BEEN PROVIDED OR COMMITTED, (iii) GENERALLY DESCRIBE THE NATURE OF THE CONSIDERATION, AND (iv) BE READ INTO THE RECORD BY THE REQUESTING PERSON OR ENTITY PRIOR TO SUBMISSION TO THE SECRETARY/CLERK OF THE RESPECTIVE BOARD. UPON DETERMINATION BY THE APPLICABLE BOARD THAT THE FOREGOING DISCLOSURE REQUIREMENT WAS NOT TIMELY SATISFIED BY THE PERSON OR ENTITY REQUESTING APPROVAL, RELIEF OR OTHER ACTION AS PROVIDED ABOVE, THEN (i) THE APPLICATION OR ORDER, AS APPLICABLE, SHALL IMMEDIATELY BE DEEMED NULL AND VOID WITHOUT FURTHER FORCE OR EFFECT, AND (ii) NO APPLICATION FROM SAID PERSON OR ENTITY FOR THE SUBJECT PROPERTY SHALL BE REVIEWED OR CONSIDERED BY THE APPLICABLE BOARD(S) UNTIL EXPIRATION OF A PERIOD OF ONE YEAR AFTER THE NULLIFICATION OF THE APPLICATION OR ORDER. IT SHALL BE UNLAWFUL TO EMPLOY ANY DEVICE, SCHEME OR ARTIFICE TO CIRCUMVENT THE DISCLOSURE REQUIREMENTS OF THIS SECTION AND SUCH CIRCUMVENTION SHALL BE DEEMED A VIOLATION OF THE DISCLOSURE REQUIREMENTS OF THIS SECTION.
- WHEN THE APPLICABLE BOARD REACHES A DECISION A FINAL ORDER WILL BE ISSUED STATING THE BOARD'S DECISION AND ANY CONDITIONS IMPOSED THEREIN. THE FINAL ORDER WILL BE RECORDED WITH THE MIAMI-DADE CLERK OF COURTS. THE ORIGINAL BOARD ORDER SHALL REMAIN ON FILE WITH THE CITY OF MIAMI BEACH PLANNING DEPARTMENT. UNDER NO CIRCUMSTANCES WILL A BUILDING PERMIT BE ISSUED BY THE CITY OF MIAMI BEACH WITHOUT A COPY OF THE RECORDED FINAL ORDER BEING INCLUDED AND MADE A PART OF THE PLANS SUBMITTED FOR A BUILDING PERMIT.

THE AFOREMENTIONED IS ACKNOWLEDGED BY:  OWNER OF THE SUBJECT PROPERTY

AUTHORIZED REPRESENTATIVE

SIGNATURE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

*Orlando Raez*

FILE NO. \_\_\_\_\_

NOT APPLICABLE

OWNER AFFIDAVIT FOR INDIVIDUAL OWNER

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, being first duly sworn, depose and certify as follows: (1) I am the owner of the property that is the subject of this application. (2) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (3) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (4) I also hereby authorize the City of Miami Beach to enter my property for the sole purpose of posting a Notice of Public Hearing on my property, as required by law. (5) I am responsible for removing this notice after the date of the hearing.

\_\_\_\_\_  
SIGNATURE

Sworn to and subscribed before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_. The foregoing instrument was acknowledged before me by \_\_\_\_\_, who has produced \_\_\_\_\_ as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP

\_\_\_\_\_  
NOTARY PUBLIC

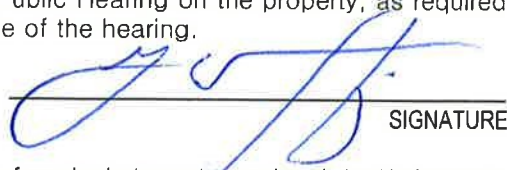
My Commission Expires:

\_\_\_\_\_  
PRINT NAME

ALTERNATE OWNER AFFIDAVIT FOR CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY  
(Circle one)

STATE OF Georgia  
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn, depose and certify as follows: (1) I am the NRE Manager (print title) of MOBILITIE, LLC (print name of corporate entity). (2) I am authorized to file this application on behalf of such entity. (3) This application and all information submitted in support of this application, including sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief. (4) The corporate entity named herein is the owner or tenant of the property that is the subject of this application. (5) I acknowledge and agree that, before this application may be publicly noticed and heard by a land development board, the application must be complete and all information submitted in support thereof must be accurate. (6) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (7) I am responsible for removing this notice after the date of the hearing.

  
SIGNATURE

Sworn to and subscribed before me this 18th day of January, 2018. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC, on behalf of such entity, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP:

My Commission Expires:



  
Erin E. Scott  
NOTARY PUBLIC  
Gadiel Rosario-Rivera, NRE Manager  
PRINT NAME

FILE NO. \_\_\_\_\_

POWER OF ATTORNEY AFFIDAVIT

STATE OF Georgia  
COUNTY OF Fulton

I, Gadiel Rosario-Rivera, being duly sworn and deposed, certify as follows: (1) I am the owner or representative of the owner of the real property that is the subject of this application. (2) I hereby authorize Orlando Ruez to be my representative before the \_\_\_\_\_ Board. (3) I also hereby authorize the City of Miami Beach to enter the subject property for the sole purpose of posting a Notice of Public Hearing on the property, as required by law. (4) I am responsible for removing this notice after the date of the hearing.

Gadiel Rosario-Rivera, NRE Manager  
PRINT NAME (and Title, if applicable)

[Signature]  
SIGNATURE

Sworn to and subscribed before me this 18th day of January, 2018. The foregoing instrument was acknowledged before me by Gadiel Rosario-Rivera, NRE Manager of MOBILITIE, LLC who has produced as identification and/or is personally known to me and who did/did not take an oath.

[Signature]  
NOTARY PUBLIC

**NOTARY SEAL OR STAMP**



My Commission Expires

Erin E. Scott  
PRINT NAME

**NOT APPLICABLE**

CONTRACT FOR PURCHASE

If the applicant is not the owner of the property, but the applicant is a party to a contract to purchase the property, whether or not such contract is contingent on this application, the applicant shall list the names of the contract purchasers below, including any and all principal officers, stockholders, beneficiaries, or partners. If any of the contract purchasers are corporations, partnerships, limited liability companies, trusts, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. If any contingency clause or contract terms involve additional individuals, corporations, partnerships, limited liability companies, trusts, or other corporate entities, list all individuals and/or corporate entities.\*

NAME	DATE OF CONTRACT
NAME, ADDRESS, AND OFFICE	% OF STOCK
_____	_____
_____	_____
_____	_____

In the event of any changes of ownership or changes in contracts for purchase, subsequent to the date that this application is filed, but prior to the date of a final public hearing, the applicant shall file a supplemental disclosure of interest.

FILE NO. \_\_\_\_\_

NOT APPLICABLE

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION

DISCLOSURE OF INTEREST

1. CORPORATION, PARTNERSHIP, OR LIMITED LIABILITY COMPANY

If the property that is the subject of the application is owned or leased by a corporation, partnership, or limited liability company, list ALL of the owners, shareholders, partners, managers, and/or members, and the percentage of ownership held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity. \*

_____	
NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

_____	
NAME OF CORPORATE ENTITY	
NAME AND ADDRESS	% OF OWNERSHIP
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

*IF THERE ARE ADDITIONAL CORPORATE OWNERS, LIST ALL SUCH OWNERS, INCLUDING CORPORATE NAMES AND THE NAME, ADDRESS, AND PERCENTAGE OF OWNERSHIP OF EACH ADDITIONAL OWNER, ON A SEPARATE PAGE.*

*NOTE: Notarized signature required on page 9*

FILE NO. \_\_\_\_\_

NOT APPLICABLE

CITY OF MIAMI BEACH  
DEVELOPMENT REVIEW BOARD APPLICATION  
DISCLOSURE OF INTEREST

**2. TRUSTEE**

If the property that is the subject of this application is owned or leased by a trust, list any and all trustees and beneficiaries of the trust, and the percentage of interest held by each. If the owners consist of one or more corporations, partnerships, trusts, partnerships, or other corporate entities, the applicant shall further disclose the identity of the individual(s) (natural persons) having the ultimate ownership interest in the entity.\*

TRUST NAME

NAME AND ADDRESS

% INTEREST

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

*NOTE: Notarized signature required on page 9*

FILE NO. \_\_\_\_\_

3. COMPENSATED LOBBYIST:

Pursuant to Section 2-482 of the Miami Beach City Code, all lobbyists shall, before engaging in any lobbying activities, register with the City Clerk. Please list below any and all persons or entities retained by the applicant to lobby City staff or any of the City's land development boards in support of this application.

	NAME	ADDRESS	PHONE #
a.	NONE		
b.			
c.			

Additional names can be placed on a separate page attached to this form.

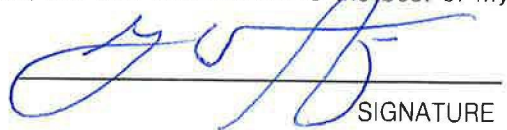
\*Disclosure shall not be required of any entity, the equity interests in which are regularly traded on an established securities market in the United States or other country, or of any entity, the ownership interests of which are held in a limited partnership or other entity, consisting of more than 5,000 separate interests, where no one person or entity holds more than a total of 5% of the ownership interests in the entity.

APPLICANT HEREBY ACKNOWLEDGES AND AGREES THAT (1) ANY APPROVAL GRANTED BY A LAND DEVELOPMENT BOARD OF THE CITY SHALL BE SUBJECT TO ANY AND ALL CONDITIONS IMPOSED BY SUCH BOARD AND BY ANY OTHER BOARD HAVING JURISDICTION, AND (2) APPLICANT'S PROJECT SHALL COMPLY WITH THE CODE OF THE CITY OF MIAMI BEACH AND ALL OTHER APPLICABLE CITY, STATE, AND FEDERAL LAWS.

APPLICANT AFFIDAVIT

STATE OF Georgia  
COUNTY OF Fulton

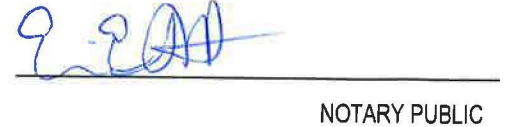
I, Gadiel Rosario-Rivera, being first duly sworn, depose and certify as follows: (1) I am the applicant, or the representative of the applicant. (2) This application and all information submitted in support of this application, including disclosures, sketches, data, and other supplementary materials, are true and correct to the best of my knowledge and belief.

  
SIGNATURE

Sworn to and subscribed before me this 18th day of January, 2018. The foregoing instrument was acknowledged before me by, who has produced as identification and/or is personally known to me and who did/did not take an oath.

NOTARY SEAL OR STAMP



  
NOTARY PUBLIC

My Commission Expires:

Erin E. Scott  
PRINT NAME

FILE NO. \_\_\_\_\_



**ITEM # 4—LETTER OF INTENT**

January 31st, 2018

City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

**RE: Board Applications for Light Pole replacements with Small-Cell Stealth Light Poles on the public right-of-way**

Dear Board Members and City Staff:

This letter intends to serve as Mobilitie, LLC's "Letter of Intent" in regards to our proposed small-cells infrastructure on the public rights-of-way within the City of Miami Beach, FL. Mobilitie is a wireless infrastructure company that develops intelligent infrastructure solutions to densify and optimize wireless carriers services and geographic reach. Mobilitie LLC possesses a Certificate to provide Alternative Access Vendor services from the Florida Public Service Commission. Mobilitie LLC is also registered with the City of Miami Beach, pursuant to City Code Section 104-4, as a communications services provider.

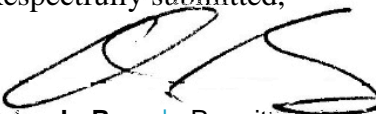
Mobilitie LLC works with all wireless carriers to enhance services throughout the country. Our design optimizes the performance of wireless networks by taking into consideration customer usage behaviors, terrain, obstructions, points-of-interest, and local guidance and ordinances. Mobilitie LLC's small-cell network within the City of Miami Beach will be utilized by Sprint, a wireless carrier, to fill in network deficiencies as a result of high demand for high-speed wireless service in the City.

During pre-application meetings with the City of Miami Beach Planning Department staff, it was expressed that the City of Miami Beach had spent two years developing an acceptable stealth design with a competitor. Although there are additional costs associated with the stealth design for our company, Mobilitie, LLC decided to work cooperatively with the City of Miami Beach and integrated the stealth design for our small-cell equipment installations. Our competitor has already pulled and replaced dozens of street light poles with stealth telecommunication light poles after getting permits from the City. Mobilitie LLC is effectively proposing to do the same. As required during our meetings with Planning Department staff, we have also reserved an area inside each pole should another wireless carrier which to utilize our poles for their equipment (reserved area is marked on plans).

**REQUEST FOR APPROVAL**

Mobilitie respectfully requests that the City review and approve the attached applications supplemented with the enclosed information. Mobilitie values the City's input on our proposal, and will work closely with the City to address any other concerns with our proposal, such as location, height, and pole color. Mobilitie looks forward to working with the City of Miami Beach and values its partnership in order to provide your constituents and visitors with high-speed connectivity. Thank you for your attention to this matter.

Respectfully submitted,



**Orlando Raez** | Permitting Manager

[oraez@mobilitie.com](mailto:oraez@mobilitie.com)

786 910 4309 mobile

[www.mobilitie.com](http://www.mobilitie.com)

**ITEM # 5—MAILING LABELS**

January 25<sup>th</sup>, 2018

City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

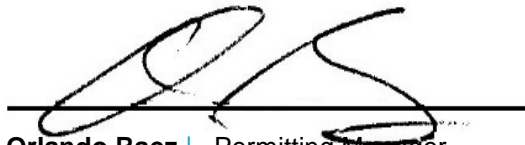
**RE: Property Owners list within 375 feet of:**

Subject: 210 30th Street, Miami Beach, FL 33141  
Legal Description: Public Right of Way

This is to certify that the attached ownership list, map and mailing labels are a complete and accurate representation of the real estate property and property owners within 375 feet radius of the external boundaries of the subject property listed above. This reflects the most current records on the file in Miami-Dade County Property Appraisers' Office.

Total number of property owners without repetition: 353, including 6 international

Respectfully submitted,



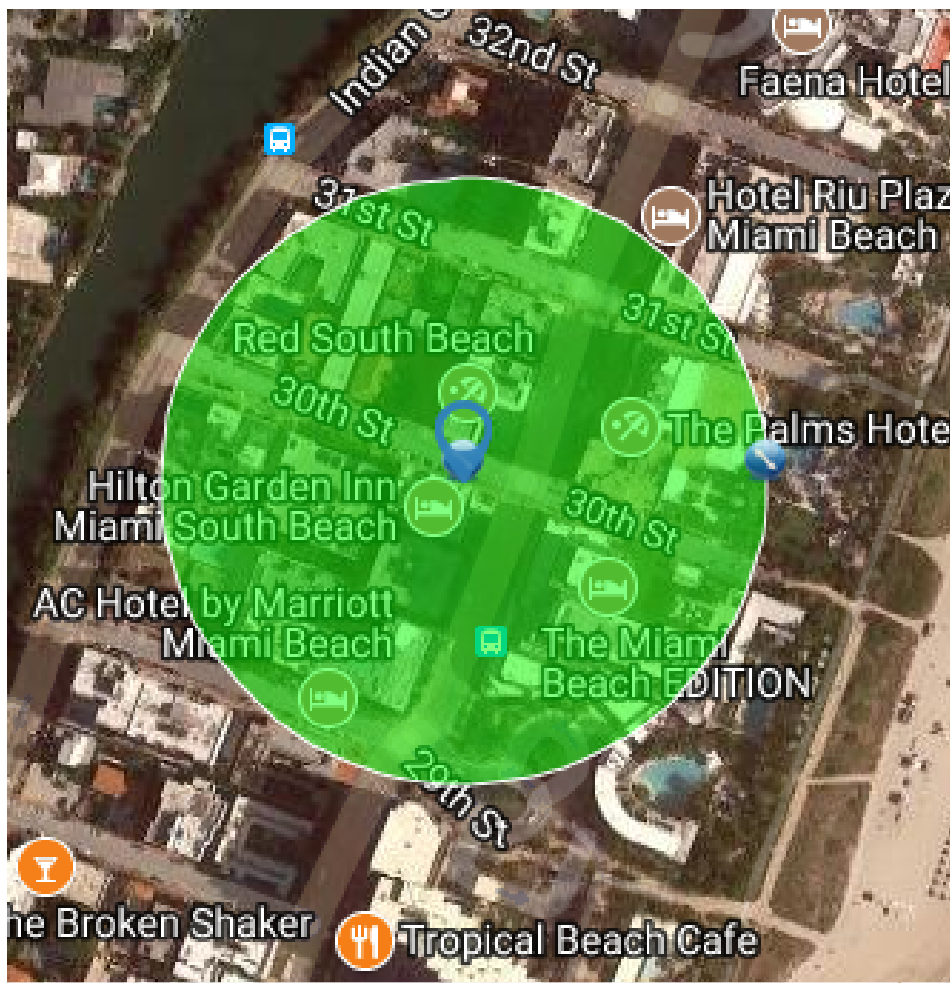
**Orlando Raez** | Permitting Manager  
oraez@mobilitie.com  
**786 910 4309** mobile  
www.mobilitie.com

January 25th, 2018

City of Miami Beach  
1700 Convention Center Drive  
Miami Beach, FL 33139

Subject: 210 30th Street, Miami Beach, FL 33141  
Legal Description: Public Right of Way

**375-Foot Radius Map**



Folio	Property Owner	Address	City	State	Zip Code	Country
02-3226-036-0390	EMILIO M GUTIERREZ	251 GOBERNADOR MAYOR RIO GALLEGOS	SANTA CRUZ 9400		-	ARGENTINA
02-3226-049-0050	ESTUDIO BORRIONE LLC	VIEL 429	BUENOS AIRES		-	ARGENTINA
02-3226-039-0980	PETER WILLEKENS	KANTEKLARPAD 1	SCHOTEN 2900		-	BELGIUM
02-3226-054-0240	RE SB CAPITAL LTD	PO BOX 3423 ROAD TOWN	TORTOLA		-	BRITISH VIRGIN ISLANDS
02-3226-049-0270	ANTON SERGEYEVICH SEMENENOK	51 1 75 SMOLNAYA ST	MOSCOW 125195		-	RUSSIA
02-3226-054-0060	GARETOWN USA LLC	32 BLVD DES TRANCHEES	GENEVA 1206		-	SWITZERLAND
02-3226-001-0930	MBCDC VILLA MARIA LLC	945 PENNSYLVANIA AVE 2 FLOOR	MIAMI BEACH	FL	33139-5482	USA
02-3226-001-0932	MBCDC VILLA MATTI INC	945 PENNSYLVANIA AVE	MIAMI BEACH	FL	33139-5482	USA
02-3226-001-0940	BAMAR INVEST OF FL PROPERTY INC	PO BOX 291292	FT LAUDERDALE	FL	33329	USA
02-3226-001-1070	BLACK MARBLE E 2013 LLC	2550 M STREET NW	WASHINGTON	DC	20037	USA
02-3226-001-1080	CITY OF MIAMI BEACH	1700 CONVENTION CENTER DR	MIAMI	FL	33139	USA
02-3226-001-1090	2912 COLLINS AVE LLC	1065 KANE CONCOURSE ST 201	BAY HARBOR ISLANDS	FL	33154	USA
02-3226-001-1110	ROYAL POLO HOTEL LLC	3785 NW 82 AVE SUITE 204	MIAMI	FL	33166	USA
02-3226-001-1111	THE MIAMI BEACH OCEAN RESORT INC	3025 COLLINS AVE	MIAMI BEACH	FL	33140-4106	USA
02-3226-001-1140	PALMS SOUTH BEACH INC	3025 COLLINS AVE	MIAMI BEACH	FL	33140	USA
02-3226-001-1170	29 ICD LLC	2922 AVENUE R	BROOKLYN	NY	11229	USA
02-3226-001-1200	3010 COLLINS LLC	2611 HOLLYWOOD BLVD	HOLLYWOOD	FL	33020	USA
02-3226-001-1220	DIANA TELLEZ TRS	101 CRANDON BLVD 177	KEY BISCAYNE	FL	33149	USA
02-3226-001-1260	3031 SJ REALTY LLC	143 EAST 30 ST B-1	NEW YORK	NY	10016	USA
02-3226-001-1280	ATLANTIQUEA LLC	5002 NORTH BAY RD	MIAMI BEACH	FL	33140	USA
02-3226-001-1290	INDIAN CREEK LOFTS LLC	150 AIRPORT RD 900	LAKEWOOD	NJ	08701	USA
02-3226-001-1320	RIUTEL FLA INC	3101 COLLINS AVE	MIAMI	FL	33140	USA
02-3226-001-1330	3100 MARBLE TERRACE ASSOCS	3100 COLLINS AVE	MIAMI BEACH	FL	33140-4156	USA
02-3226-009-0010	MIRIAM MOLLEDA	12465 SW 32 TER	MIAMI	FL	33175	USA
02-3226-009-0011	DAISY GUTIERREZ	14728 NW 88 CT	MIAMI LAKES	FL	33019	USA
02-3226-009-0012	PORCELLI ATLANTIC PROP LLC	184 W BAY CEDAR CIRCLE	JUPITER	FL	33458	USA
02-3226-009-0014	PORCELLI ATLANTIC PROPERTIES LLC	184 BAY CEDAR DR	JUPITER	FL	33458	USA
02-3226-009-0020	IRAIDA DUVEN-CORREA	215 30 ST #13	MIAMI BEACH	FL	33140-4118	USA
02-3226-009-0030	ROBERTO MOLLEDA & W MIRIAM	12465 SW 32 TERR	MIAMI	FL	33175-2650	USA
02-3226-009-0050	MANUEL J GRANDA	7455 SW 108 AVE	MIAMI	FL	33173	USA
02-3226-009-0060	RENE L RAMOS	3460 E PALM CT	HIALEAH	FL	33013-2668	USA
02-3226-009-0070	DECO OCEAN INVESTORS LLC	184 WEST BAY CEDAR CIR	JUPITER	FL	33458	USA
02-3226-009-0080	LORENA ALTAMIRANO	215 30 ST 16	MIAMI BEACH	FL	33140	USA
02-3226-009-0090	MARIA MERCEDES DIAZ TRS	6815 SW 63 ST	MIAMI	FL	33143	USA
02-3226-009-0100	LUIS M PASCUAL &	215 30 ST #17	MIAMI BEACH	FL	33140-4118	USA
02-3226-009-0130	GILBERTO ARENAS	6701 NW 166 TERR UNIT 101	MIAMI LAKES	FL	33014	USA
02-3226-009-0150	MANUEL J GRANADA	7455 SW 108 AVE	MIAMI	FL	33173	USA
02-3226-009-0160	ENRIQUE LORENZO LUACES	7401 SW 82 AVE	MIAMI	FL	33143	USA
02-3226-009-0190	RILDA RAMIREZ	2899 COLLINS AVE APT 1024	MIAMI BEACH	FL	33140-4416	USA
02-3226-009-0210	IDELISA ARENAS	1632 SW 19 TER	MIAMI BEACH	FL	33145	USA
02-3226-009-0240	DEAN BRYAN EVANS	215 30 ST UNIT 24	MIAMI BEACH	FL	33140-4119	USA
02-3226-012-0010	NAPIER FLA DEV LLC	6494 FRIARSGATE DR NW	CANTON	OH	44718	USA
02-3226-012-0020	MARIETTA C DE KOSKO TRS	17300 SW 85 AVE	MIAMI	FL	33157	USA
02-3226-012-0030	RODICA J MORGANSTERN JOSEFOVITZ	2924 COLLINS AVE APT 401	MIAMI BEACH	FL	33140-4121	USA
02-3226-012-0040	SHOSHANA GRUN LE	1163 50 ST	BROOKLYN	NY	11219	USA
02-3226-012-0050	RODNEY NAPIER	6494 FRIARSGATE DR NW	CANTON	OH	44718	USA
02-3226-012-0060	AIRPORT PROPERTIES LLC	6494 FRIARSGATE DRIVE NW	CANTON	OH	44718	USA
02-3226-012-0070	MCCLOYDE LLC	2924 COLLINS AVE 402	MIAMI BEACH	FL	33140	USA
02-3226-012-0080	CIPRI IBARRA & ROSALINA IBARRA	2924 COLLINS AVE UNIT 502	MIAMI BEACH	FL	33140-4122	USA

02-3226-012-0090	JOSE ARISSO	2924 COLLINS AVE #203	MIAMI BEACH	FL	33140-4128	USA
02-3226-012-0100	MANUEL GARCIA LINARES & W MARTA	3820 ANDERSON RD	CORAL GABLES	FL	33134-7066	USA
02-3226-012-0110	CORPORATIVO MARTIN SA	2924 COLLINS AVE # 403	MIAMI BEACH	FL	33140	USA
02-3226-012-0120	MARIA G POSADA	2924 COLLINS AVE UNIT 503	MIAMI BEACH	FL	33140	USA
02-3226-012-0130	NATHAN WEISS & W CAROLINA G	2924 COLLINS AVE #204	MIAMI BEACH	FL	33140-4128	USA
02-3226-012-0140	JUAN HERMIDA & W MORAIMA	2924 COLLINS AVE #304	MIAMI BEACH	FL	33140-4120	USA
02-3226-012-0150	RAFAEL A RODRIGUEZ & W LOURDES O	PO BOX 44-0682	MIAMI	FL	33144	USA
02-3226-012-0160	ROSA L RIVERA	2924 COLLINS AVE #504	MIAMI BEACH	FL	33140	USA
02-3226-012-0170	JUAN I GARAT & W ERICA L REIMER	2924 COLLINS AVE #206	MIAMI BEACH	FL	33140-4120	USA
02-3226-012-0180	ANTHONY KARAMAN LAKIS	6423 COLLINS AVE #1707	MIAMI BEACH	FL	33141-4643	USA
02-3226-012-0190	EDWARD FERRARY	2924 COLLINS AVE #405	MIAMI BEACH	FL	33140-4121	USA
02-3226-012-0210	ERICA L REIMER & H	2924 COLLINS AVE #206	MIAMI BEACH	FL	33140-4120	USA
02-3226-012-0220	OSCAR L FARINAS & W CLAUDINA	3120 SW 97 AVE	MIAMI	FL	33165-3049	USA
02-3226-012-0230	KENNETH LEFF & W NOHRA M LEFF	620 SIERRA VISTA LN	VALLEY COTTAGE	NY	10989	USA
02-3226-012-0240	GABRIEL POSADA &	2924 COLLINS AVE #506	MIAMI BEACH	FL	33140-4122	USA
02-3226-012-0250	JOHN OKAS	PO BOX 498	SAGAPONACK	NY	11962	USA
02-3226-012-0260	MARPA LLC	1 SE 3 AVE STE 2250	MIAMI	FL	33131	USA
02-3226-019-0010	PABLO R CASTANEDA & W RAMONA	2939 INDIAN CREEK DR UNIT 201	MIAMI BEACH	FL	33140-4132	USA
02-3226-019-0020	MATTHEW VANDER PERREN	5144 POND CREST TRL	MCKINNEY	TX	75069-6855	USA
02-3226-019-0030	NICOLA NIGRO	2939 CREEK DRIVE #401	MIAMI BEACH	FL	33140	USA
02-3226-019-0040	RON ZOFNAT	2939 INDIAN CREEK DR 501	MIAMI BEACH	FL	33140	USA
02-3226-019-0050	CARMEN I MICHNA & H JEROME J JR	5770 SW 42 TERR	SOUTH MIAMI	FL	33155-5314	USA
02-3226-019-0060	JORGE MORA & W ODALYS	885 NW 164 AVE	PEMBROKE PINES	FL	33028	USA
02-3226-019-0070	DOLORES PARENTE EST OF	2939 INDIAN CREEK DR APT 402	MIAMI BEACH	FL	33140-4141	USA
02-3226-019-0080	NATHAN HALE	2939 INDIAN CREEK DR UNIT 502	MIAMI BEACH	FL	33140	USA
02-3226-019-0090	MARIA DEL S PALOMERA	605 PEPPERBUSH CT	WILMINGTON	DE	19808	USA
02-3226-019-0100	SONIA LASERIA LE	2939 INDIAN CREEK DR 303	MIAMI BEACH	FL	33140	USA
02-3226-019-0110	JUAN F LOPEZ & W ALINA	2939 INDIAN CREEK DR UNIT 403	MIAMI	FL	33140-4141	USA
02-3226-019-0120	CHRISTINE WEBER	19122 SE HILLCREST DR	TEQUESTA	FL	33469	USA
02-3226-019-0130	VANESSA REGGIARDO	2929 INDIAN CREEK DR #204	MIAMI BEACH	FL	33140	USA
02-3226-019-0140	LINA M GAVIRIA	2939 INDIAN CREEK DR #304	MIAMI BEACH	FL	33140	USA
02-3226-019-0150	GERVASIO DE ARMAS JTRS	2939 INDIAN CREEK DR #404	MIAMI BEACH	FL	33140	USA
02-3226-019-0160	LEIDA G TORO	2939 INDIAN CREEK DR #504	MIAMI	FL	33140-4143	USA
02-3226-019-0170	CHECHA ENTERPRISES LLC	7282 NW 54 ST	MIAMI	FL	33166	USA
02-3226-019-0190	ELIEZER COHEN & W BLUMA	2939 INDIAN CREEK DR #405	MIAMI BEACH	FL	33140-4142	USA
02-3226-019-0200	SERGIO ANILLO & W CARIDAD	4326 SW 10 ST	MIAMI	FL	33134	USA
02-3226-019-0210	JOSEPH ORAMAS	2939 INDIAN CREEK DR UNIT 206	MIAMI BEACH	FL	33140-4133	USA
02-3226-019-0220	FELIPE A GONZALEZ	506 SW 67 AVE	MIAMI BEACH	FL	33144	USA
02-3226-019-0230	RANDY P HOLLINGWORTH & W LUISA	848 BRICKELL KEY DRIVE #2704	MIAMI	FL	33131-3705	USA
02-3226-019-0240	MARIAN CASTRO	2939 INDIAN CREEK DR #506	MIAMI	FL	33140-4143	USA
02-3226-019-0250	GRACIELA VICTORIA TRS	2939 INDIAN CREEK DR #207	MIAMI BEACH	FL	33140	USA
02-3226-019-0260	ENIS REALTY LTD	10100 CORAL CREED RD	CORAL GABLES	FL	33156-3423	USA
02-3226-019-0270	GLADYS M GARCIA LE	777 NW 131 AVE	MIAMI	FL	33182	USA
02-3226-019-0280	MARIA DE LOS ANGELES GUIRIBITEY	2939 INDIAN CREEK DR APT 507	MIAMI BEACH	FL	33140-4143	USA
02-3226-035-0010	GREENBRIER PARTNERS LLC	230 5 STREET	MIAMI BEACH	FL	33139	USA
02-3226-035-0170	MARIELA SCHATZ	3101 INDIAN CREEK DR # 205	MIAMI BEACH	FL	33140	USA
02-3226-035-0190	ILANA RIGWAN & JORDAN LEE NEUS	3101 INDIAN CREEK DR #106	MIAMI BEACH	FL	33140-4149	USA
02-3226-035-0310	GIUSEPPE CARAMANNO	3101 INDIAN CREEK DR APT 110	MIAMI BEACH	FL	33140	USA
02-3226-036-0010	CHRISTOPHER BRUMDER	531 COUCH DR	OKLAHOMA CITY	OK	73102	USA
02-3226-036-0020	PCZ LLC	158-15 29TH AVE	FLUSHING NORTH	NY	11358	USA

02-3226-036-0040	MARIANELA LUCANA	222 28 ST #2	MIAMI BEACH	FL	33140	USA
02-3226-036-0050	INDIAN 105 LLC	50 W MASHTA DR STE 4	KEY BISCAYNE	FL	33149	USA
02-3226-036-0060	SARITA KUMAR	390 COMMONWEALTH AVE APT 605	BOSTON	MA	02215	USA
02-3226-036-0070	SABINA FILA	14 EAST 96 STREET #16	NEW YORK	NY	10128	USA
02-3226-036-0080	3025 INDIAN CREEK LP	3025 INDIAN CREEK DR 108	MIAMI BEACH	FL	33139	USA
02-3226-036-0090	INDIAN CREEK 109 LLC	531 COUCH DR	OKLAHOMA CITY	OK	73102	USA
02-3226-036-0100	ALBERTO EDMUNDO ANGEL	3025 INDIAN CREEK DR #110	MIAMI BEACH	FL	33140	USA
02-3226-036-0110	MIRA ESTRELA USA LLC	2956 BIRD AVE 2	MIAMI	FL	33133	USA
02-3226-036-0120	ALMIGE LLC	2875 NE 191 ST #801	AVENTURA	FL	33180	USA
02-3226-036-0130	PBSBM PROPERTIES LLC	18691 SW 39 CT	HOLLYWOOD	FL	33029	USA
02-3226-036-0140	NACTEAM LLC	18601 NE 14 AVE 100	NORTH MIAMI BEACH	FL	33179	USA
02-3226-036-0150	MARGARITA PEREZ	3025 INDIAN CREEK DR #205	MIAMI BEACH	FL	33140-4152	USA
02-3226-036-0160	3025 INDIAN CREEK DR LLC	2440 NE MIAMI GARDENS DR # 102	MIAMI	FL	33180	USA
02-3226-036-0170	3025 ON THE BAY LLC	1498 NW 15 ST #105	MIAMI	FL	33125	USA
02-3226-036-0180	ANGELINA GUARIN	3025 INDIAN CREEK DR #208	MIAMI	FL	33140-4152	USA
02-3226-036-0190	INMOVEST LLC	1205 MARIPOSA AVE 201	CORAL GABLES	FL	33146	USA
02-3226-036-0220	PINK PORK INVESTMENTS LLC	13899 BISCAYNE BLVD #222	NORTH MIAMI BEACH	FL	33181	USA
02-3226-036-0230	LEONARDO GAMBOA	151 MICHIGAN AVE #515	MIAMI BEACH	FL	33139	USA
02-3226-036-0260	OMRE LENDING LLC	1498 NW 15 ST STE 105	MIAMI	FL	33125	USA
02-3226-036-0270	FLAG 14 LLC	145 YACHT CLUB WAY 204	HYPOLUXO	FL	33462	USA
02-3226-036-0280	DIEGO F ARANGO	3025 INDIAN CREEK DR 303	MIAMI BEACH	FL	33140	USA
02-3226-036-0290	RAYAN GROUP INC	16425 COLLINS AVE #312	AVENTURA	FL	33160	USA
02-3226-036-0300	SALVATORE GIORGIANNI &W	8 O NEILL CRT	HIGHLAND FALLS	NY	10928	USA
02-3226-036-0310	THE JADS DECREE INC	11 ISLAND AVE 503	MIAMI BEACH	FL	33139	USA
02-3226-036-0340	MARIA MARGARITA FLOREZ LOPEZ	550 W 54 ST 1221	NEW YORK	NY	10019	USA
02-3226-036-0360	CVS PROPERTY INC	11 ISLAND AVE #503	MIAMI	FL	33139	USA
02-3226-036-0370	SECONDI LLC	340 SEVILLA AVE	CORAL GABLES	FL	33134	USA
02-3226-036-0400	LARRY J RUBIN	3025 INDIAN CREEK DR #315	MIAMI BEACH	FL	33140-4153	USA
02-3226-036-0410	ROSELLA BERTASI	510 OCEAN DR	MIAMI BEACH	FL	33129	USA
02-3226-036-0420	PATRICK KERISOUET	3025 INDIAN CREEK DR #317	MIAMI BEACH	FL	33139	USA
02-3226-036-0430	SANDY S MAHARAJ	18691 SW 39 CT	MIRAMAR	FL	33029	USA
02-3226-036-0440	MOON AND BROTHER COMPANY LLC	500 N MAITLAND AVE #215	MAITLAND	FL	32751	USA
02-3226-036-0450	POPKE BRUINSMA	3025 INDIAN CREEK DR #320	MIAMI BEACH	FL	33140	USA
02-3226-036-0470	MARTHA OSPINA	3025 INDIAN CREEK DR #322	MIAMI	FL	33140-4154	USA
02-3226-039-0010	DIEGO J ORAMAS	2829 INDIAN CREEK DR #301	MIAMI	FL	33140-4729	USA
02-3226-039-0020	KRISTINA VARTANYAN	2829 INDIAN CREEK DR #401	MIAMI BEACH	FL	33140	USA
02-3226-039-0030	MARIA LUISA MARTINEZ	2829 INDIAN CREEK DR #501	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0040	INDIAN CREEK 601 LLC	1680 MICHIGAN AVE UNIT 910	MIAMI BEACH	FL	33139	USA
02-3226-039-0050	MACARENA GOMEZ	2829 INDIAN CREED DR #701	MIAMI BEACH	FL	33141	USA
02-3226-039-0060	EGBERT J GARNER &	408 VIVIAN ST	OXFORD	MS	38655	USA
02-3226-039-0070	JOANN J O'NEILL	2829 INDIAN CREEK DR #901	MIAMI	FL	33140-4730	USA
02-3226-039-0080	KEVIN A SKINNER JTRS	2829 INDIAN CREEK DR 1001	MIAMI	FL	33140	USA
02-3226-039-0090	HENRY CASO	140 SEELEY ST	BROOKLYN	NY	11218	USA
02-3226-039-0100	NIKOLA PETREVSKI TRS	2387 KINGS CROSS	SHELBY TOWNSHIP	MI	48315	USA
02-3226-039-0110	WORLD RENT LLC	11600 NW 91 ST #4	MIAMI	FL	33178	USA
02-3226-039-0120	ARLENE DISMONT	431 WASHINGTON AVE	BROOKLYN	NY	11238-1804	USA
02-3226-039-0130	ANDRE FERNANDO DA SILVA FROES	2829 INDIAN CREEK DR #402	MIAMI BEACH	FL	33140	USA
02-3226-039-0140	ELENA CUENCA	2829 INDIAN CREEK DR UNIT 502	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0150	SARA CONNOLY & PAUL GALLOGLY	1026 S JEAGA DR	JUPITER	FL	33458	USA
02-3226-039-0160	MANUEL JUSTO	200 172 ST UNIT 312	SUNNY ISLES BEACH	FL	33160	USA
02-3226-039-0170	DANIEL LEBATARD JTRS	2829 INDIAN CREEK DR #802	MIAMI BEACH	FL	33140	USA
02-3226-039-0180	MADELAINE TAMAYO JTRS	2829 INDIAN CREEK DR #902	MIAMI BEACH	FL	33140	USA
02-3226-039-0190	KEVIN ANDREW SKINNER	2829 INDIAN CREEK DR 1002	MIAMI BEACH	FL	33140	USA
02-3226-039-0200	IGORS MULUKS	2829 INDIAN CREEK DR #1102	MIAMI BEACH	FL	33140	USA
02-3226-039-0210	XENIA TAOUBINA	2829 INDIAN CREEK DR #1202	MIAMI BEACH	FL	33140	USA
02-3226-039-0220	EDUARDO ZEITUNE	2829 INDIAN CREEK DR 1402	MIAMI BEACH	FL	33140	USA



02-3226-039-0230	ALRICK MANNA &W OLIVE M	2829 INDIAN CREEK DR APT 403	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0240	DEHENGUL AYTUG BRAVO &H	2829 INDIAN CREEK DR #503	MIAMI	FL	33140-4729	USA
02-3226-039-0250	MELINDA A MARCUSE	2829 INDIAN CREEK DR #603	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0260	MARIA J BENITEZ	2829 INDIAN CREEK DR #703	MIAMI BEACH	FL	33140-4791	USA
02-3226-039-0270	DAVID NORMAN	2829 INDIAN CREEK DR #803	MIAMI BEACH	FL	33140-4791	USA
02-3226-039-0280	ISIDRO SABATIER &W LUISA	1345 SW 16 ST	MIAMI	FL	33145	USA
02-3226-039-0290	MARK CLARK	3025 INDIAN CREEK DR #201	MIAM BEACH	FL	33140	USA
02-3226-039-0300	LAURENCE S LEDER	2829 INDIAN CREEK DR #1103	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-0310	ERIC WITIW	3500 MILITARY RD	ARLINGTON	VA	22207	USA
02-3226-039-0320	STIBNITE GRP 7.40 LTD PARTNERSHIP	747 4 ST #200	MIAMI BEACH	FL	33139-8714	USA
02-3226-039-0330	JUAN C HERNANDEZ	2829 INDIAN CREEK DR 304	MIAMI	FL	33140	USA
02-3226-039-0340	FERNANDO ARANDIA &W RUTH T	7852 SNEAD LANE	FALLS CHURCH	VA	22043	USA
02-3226-039-0350	ALBERTO LLORENTE &W LETSY	2829 INDIAN CREEK DR #504	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0360	GRETA HIRSCH	2120 WYOMING AVE NW APT 2	WASHINGTON	DC	20008-3904	USA
02-3226-039-0370	CRISTIANE K CARDOSO VIDAL	2829 INDIAN CREEK DR #704	MIAMI BEACH	FL	33140-4791	USA
02-3226-039-0380	ERNA BERGER	6770 INDIAN CREEK DR #TSE BOX 238	MIAMI BEACH	FL	33141-5748	USA
02-3226-039-0390	ELIZABETH DEJU	2829 INDIAN CREEK DRIVE UNIT 904	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-0400	RUBENS M BARBOSA	2829 INDIAN CREEK DR #1004	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-0410	GISELA M MUNIZ	320 W 30 ST APT 2G	NEW YORK	NY	10001	USA
02-3226-039-0420	DANIEL T LE BATARD	17668 SW 11 ST	PEMBROKE PINES	FL	33029	USA
02-3226-039-0430	RICARDO ESTEVAN PERTIERRA LLC	2203 NORTH BAY RD	MIAMI BEACH	FL	33140	USA
02-3226-039-0440	RICARDO SIMON	2829 INDIAN CREEK DR 405	MIAMI BEACH	FL	33140	USA
02-3226-039-0450	KURT STROHMEYER	2829 INDIAN CREEK DR #505	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0460	CASIMIRO MARQUES &	2829 INDIAN CREEK DR #605	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0470	EDELBERT DE LA PORTILLA	2829 INDIAN CREEK DR #705	MIAMI BEACH	FL	33140-4791	USA
02-3226-039-0480	ALBERTO HERNANDEZ	2555 COLLINS AVE # 2402	MIAMI	FL	33140-4755	USA
02-3226-039-0490	FARIDA DOURAID KBAR	2829 INDIAN CREEK DR #810	MIAMI BEACH	FL	33140	USA
02-3226-039-0500	MARINA SARABIA JTRS	501 89 ST	SURFSIDE	FL	33154	USA
02-3226-039-0510	PEDRO MUR &W MERCY	2250 SW 58 AVE	MIAMI	FL	33155-2245	USA
02-3226-039-0520	VERA HELENA SAES AZENHA TRS	700 NE 81 ST	MIAMI	FL	33138	USA
02-3226-039-0530	ENRIQUE BETANCOURT	3119 S. OSCEOLA AVE	ORLANDO	FL	32806	USA
02-3226-039-0540	JACQUELINE ISALES	2829 INDIAN CREEK DR #306	MIAMI	FL	33140-4729	USA
02-3226-039-0550	ARMANDO J VERA	22 RAILROAD SR #304	ANDOVER	MA	01810	USA
02-3226-039-0560	2829 SRAL LLC	39 POOL DR	ROSLYN	NY	11576	USA
02-3226-039-0570	ENRIQUE A FERRER &W MAGALY L	16082 SW 43 TERR	MIAMI	FL	33185-4900	USA
02-3226-039-0580	ELSA GONZALEZ	2829 INDIAN CREEK DR #706	MIAMI BEACH	FL	33140-4791	USA
02-3226-039-0590	ENRIQUE BETANCOURT JTRS	2829 INDIAN CREEK DR #806	MIAMI BEACH	FL	33140	USA
02-3226-039-0600	MICHAEL DRESSMAN	2829 INDIAN CREEK DR #906	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-0610	MARIA JIMENEZ	8132 SW 83 ST	MIAMI	FL	33143-6617	USA
02-3226-039-0620	JOHN WILLIAMS III	2829 INDIAN CREEK DR APT 1106	MIAMI BEACH	FL	33140	USA
02-3226-039-0640	JULIANA LANEL MION	2829 INDIAN CREEK DRIVE 1406	MIAMI	FL	33140	USA
02-3226-039-0650	SILVIA ACOSTA	11120 SW 43RD TER	MIAMI	FL	33165-4723	USA
02-3226-039-0660	PALACIO HOLDINGS LLC	300 ALTON ROAD STE 100	MIAMI BEACH	FL	33139	USA
02-3226-039-0670	PRIME OCEAN PROPERTIES LLC	7200 NW 19 ST #302	MIAMI	FL	33126	USA
02-3226-039-0680	ALBERTO SARRIA &W AMERICA	PO BOX 22914	Hialeah	FL	33002	USA
02-3226-039-0700	LORENZO DE LEO	2829 INDIAN CREEK DR UNIT 807	MIAMI BEACH	FL	33140	USA
02-3226-039-0710	CARLOS M VEGA &W IRENE P	6226 SW 11 ST	MIAMI	FL	33144-4906	USA
02-3226-039-0720	AK PROPERTY INVESTMENT HOLDINGS	3200 COLLINS AVE 9 6	MIAMI BEACH	FL	33140	USA
02-3226-039-0730	CARMEN VALDESUSO	321 W 24 ST	NEW YORK	NY	10011	USA
02-3226-039-0740	SANDRA J EIRAS & CARMEN R FORTE	2829 INDIAN CREEK DR #1207	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-0750	GIRISH TYAGI	80 SPRUCE HILL ROAD	WESTON	MA	02493	USA

02-3226-039-0760	A2ALLSOURCEFREIG HTSERVICES LLC	600 NW 6 ST #1403	MIAMI	FL	33136	USA
02-3226-039-0770	MIGUEL INGELMO &	2829 INDIAN CREEK DR #408	MIAMI BEACH	FL	33140-4729	USA
02-3226-039-0780	PEDRO RUMBAUT &W SUSANA H	2829 INDIAN CREEK DR 508	MIAMI	FL	33140	USA
02-3226-039-0790	PHILIPPE LE NOTRE	2829 INDIAN CREEK DR #608	MIAMI	FL	33140	USA
02-3226-039-0800	SIRA RAMESH	33 NICHOLS HILL DR	ASHEVILLE	NC	28804	USA
02-3226-039-0810	MIYOKO A LORA	2829 INDIAN CREEK DR #808	MIAMI	FL	33140	USA
02-3226-039-0820	JOSEFINA D PEREZ- CASTRO	8645 SW 132 CT	MIAMI	FL	33183	USA
02-3226-039-0830	GONZALO LEBATARD	2829 INDIAN CREEK DR #1008	MIAMI	FL	33140	USA
02-3226-039-0840	ALICIA M CUZA	2829 INDIAN CREEK DR #1108	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-0860	ROMAN M LYSKOWSKI &W ELISSA J V	515 DAROCO AVE	CORAL GABLES	FL	33146-2712	USA
02-3226-039-0870	LUCIANO MEDORI	9325 NW 52 ST 417	DORAL	FL	33178	USA
02-3226-039-0880	CARLOS VASS	2829 INDIAN CREEK DR # 409	MIAMI BEACH	FL	33140	USA
02-3226-039-0900	MERCEDES ESTEVEZ	213 ROOSEVELT ST 2ND FLR	UNION CITY	NJ	07087	USA
02-3226-039-0910	HUGO RUIZ	6039 COLLINS AVE APT#737	MIAMI BEACH	FL	33140-2265	USA
02-3226-039-0920	2829 INDIAN CREEK HOLDINGS LLC	3739 COLLINS AVE UNIT N601	MIAMI BEACH	FL	33140	USA
02-3226-039-0930	OSMAY VASQUEZ LOPEZ	2829 INDIAN CREEK DR #909	MIAMI BEACH	FL	33140	USA
02-3226-039-0940	MARVIN D MILLER	2829 INDIAN CREEK DR APT 1009	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-0950	DAVID A LEBATARD TRS	2829 INDIAN CREEK DR 1109	MIAMI BEACH	FL	33140	USA
02-3226-039-0960	MARIO DE LA TORRE	2829 INDIAN CREEK DRIVE #1209	MIAMI BEACH	FL	33140	USA
02-3226-039-0970	ALI SHAYGAN	7612 LAKE VISTA CT #305	LAKWOOD RANCH	FL	34202	USA
02-3226-039-0990	NORIS BARCENAS	2829 INDIAN CREEK DR #410	MIAMI BCH	FL	33140-4729	USA
02-3226-039-1000	DAVID M DOS SANTOS	2829 INDIAN CREEK DR #510	MIAMI BEACH	FL	33140	USA
02-3226-039-1010	BLANCA PERERA LE	1474 WEST 83 ST	HIALEAH	FL	33014	USA
02-3226-039-1020	BERNARD J PINO &W	2401 ALHAMBRA CIRCLE	CORAL GABLES	FL	33134-2110	USA
02-3226-039-1030	FARIDA KBAR	2829 INDIAN CREEK DR #810	MIAMI BEACH	FL	33140-4791	USA
02-3226-039-1050	ELIAS M VASSILAROS TRS	14951 SW 136 PL	MIAMI	FL	33186	USA
02-3226-039-1060	CONNIE & WANDA INVESTMENTS LLC	1300 SW 67 AVE	MIAMI	FL	33144	USA
02-3226-039-1070	FRED ROHAN	2829 INDIAN CREEK DR #1210	MIAMI BEACH	FL	33140-4730	USA
02-3226-039-1090	KAREN CRISONINO	2829 INDIAN CREEK DR 309	MIAMI BEACH	FL	33140	USA
02-3226-039-1100	GABRIEL RYDZ	3714 NE 167TH ST	NORTH MIAMI BEACH	FL	33160-3532	USA
02-3226-039-1110	ERIC LARSON SCHROLL	525 ALEKA LOOP APT#B4	KAPAA	HI	96746	USA
02-3226-039-1120	ELIO FLORES	2829 INDIAN CREEK DR UNIT 611	MIAMI	FL	33140-4729	USA
02-3226-039-1130	AIDA YIGON SEUC LE	2829 INDIAN CREEK DR 711	MIAMI	FL	33140	USA
02-3226-039-1140	MARINA KYURINYAN	2829 INDIAN CREEK DR # 811	MIAMI BEACH	FL	33140	USA
02-3226-039-1150	MIREN ARNAIZ	6431 SW 145 ST	MIAMI	FL	33158-1835	USA
02-3226-039-1160	KHIARA LLC	9130 S DADELAND BLVD 1509	MIAMI	FL	33156	USA
02-3226-039-1170	ANA M CAMPOS NAVARRO	2829 INDIAN CREEK DR #1111	MIAMI	FL	33140-4730	USA
02-3226-039-1180	DB MIND TECHNOLOGIES INC	2829 INDIAN CREEK DR #1211	MIAMI BEACH	FL	33140-4793	USA
02-3226-039-1200	MING LU	375 S END AVE APT 30G	NEW YORK	NY	10280-1082	USA
02-3226-039-1210	RAFAEL GUTIERREZ	2829 INDIAN CREEK DR #PH-1	MIAMI BEACH	FL	33140-4793	USA
02-3226-039-1220	DARRELL R WINDLE LIVING TRUST	1918 WEST LELAND	CHICAGO	IL	60640	USA
02-3226-040-0010	G 3120 COLLINS LLC	200 S BISCAYNE BLVD 4700	MIAMI	FL	33131	USA
02-3226-048-0010	HI PARTNERS SE LLC	723 10 ST	SANTA MONICA	CA	90402	USA
02-3226-048-0020	MHR GROUP LLC TRS	13190 SW 134 ST 107	MIAMI	FL	33186	USA
02-3226-048-0030	RODRIGO VELENCOSO JTRS	1331 LINCOLN RD #1401	MIAMI	FL	33139	USA
02-3226-048-0040	RED OAK MIAMI LLC	12000 BISCAYNE BLVD STE 107	NORTH MIAMI	FL	33181	USA
02-3226-048-0050	PATRICIA KRONFLE	4 PALM AVENUE	MIAMI BEACH	FL	33139	USA
02-3226-048-0060	MARIA E GONZALEZ	1680 MICHIGAN AVE # 908	MIAMI BEACH	FL	33139-2550	USA
02-3226-048-0070	GMLB INVESTMENTS LLC	12000 BISCAYNE BLVD STE 107	NORTH MIAMI	FL	33181	USA
02-3226-048-0080	ERICA F DOVAL	29081 GOLDENSTAR WAY	MURRIETA	CA	92563	USA
02-3226-048-0090	DALIA PAGAN	1657 N TREASURE DR APT# 1	NORTH BAY VILLAGE	FL	33141	USA
02-3226-048-0100	MARCIAL URIBE	3030 COLLINS AVE 2C	MIAMI BEACH	FL	33140	USA
02-3226-048-0110	JANUSZ ALAIN IWANOWSKI	3030 COLLINS AVE APT 3C	MIAMI BEACH	FL	33139	USA
02-3226-048-0120	ANTHONY PARKER	3030 COLLINS AVE #4C	MIAMI BEACH	FL	33140-4168	USA
02-3226-048-0140	VALERIA CASAL TRS	7521 BOUNTY AVE	NORTH BAY VILLAGE	FL	33141	USA
02-3226-048-0150	LAURA PANTANO	1521 ALTON RD 277	MIAMI BEACH	FL	33139	USA
02-3226-048-0160	VALERIAN E KAGAN	715 DARTMOUTH AVENUE	SILVER SPRING	MD	20910	USA
02-3226-048-0170	GONZALO ESPINOSA	3030 QUAYSIDE LANE	MIAMI SHORES	FL	33138	USA

02-3226-048-0180	GRUPO VDR LLC	2875 NE 191 ST #801	AVENTURA	FL	33180	USA
02-3226-048-0190	FLAG14 LLC	145 YACHT CLUB WAY 204	HYPOLUXO	FL	33462	USA
02-3226-048-0200	LUIS MIGUEL CAPALDO	3030 COLLINS AVE # 4E	MIAMI BEACH	FL	33139	USA
02-3226-048-0210	LUIS ARAUZ	3030 COLLINS AVE APT 1F	MIAMI BEACH	FL	33140-4165	USA
02-3226-048-0220	VILLA MELILLA INVESTMENTS LLC	3030 COLLINS AVE 2F	MIAMI BEACH	FL	33140	USA
02-3226-048-0230	3F CAPITAL LLC	4421 SHERIDAN AVE	MIAMI BEACH	FL	33140	USA
02-3226-048-0240	SUSU APARTMENTS LLC	41 SE 5 ST # 306	MIAMI	FL	33131	USA
02-3226-048-0250	DIEGO CESPEDES	20505 E COUNTRY CLUB DR #2139	AVENTURA	FL	33180	USA
02-3226-048-0260	KEVIN MOREAU &W	15861 SW 51 ST	MIRAMAR	FL	33027	USA
02-3226-048-0280	CYRUS SADRI &W	5901 NORTH SHERIDAN RD #3-B	CHICAGO	IL	60660	USA
02-3226-048-0290	ALAN HURWITZ	720 STATION RD	AMHERST	MA	01002	USA
02-3226-048-0300	JAVIER IGNACIO M DEL BARRIO JTRS	3030 COLLINS AVE #2H	MIAMI BEACH	FL	33140	USA
02-3226-048-0310	SOFRE INVESTMENTS LLC	12000 BISCAYNE BLVD STE 107	NORTH MIAMI	FL	33181	USA
02-3226-048-0320	3030 COLLINS 4H LLC	2050 SILVER LAKE ROAD	NEW BRIGHTON	MN	55112	USA
02-3226-049-0010	ALDEN HOTEL CONDO ASSN	2925 INDIAN CREEK DR	MIAMI BEACH	FL	33140	USA
02-3226-049-0020	ALDEN HOTEL CONDO OWNERS ASSN INC	1430 NW 15 AVE	MIAMI	FL	33125	USA
02-3226-049-0030	ALDEN HOTEL CONDO OWNERS	1430 NW 15 AVE	MIAMI	FL	33125	USA
02-3226-049-0040	THE ALDEN HOTEL CONDO OWNERS	1430 NW 15 AVE	MIAMI	FL	33125	USA
02-3226-049-0060	2925 INDIAN CREEK DRIVE	2 RECTOR ST # 1202	NEW YORK	NY	10006	USA
02-3226-049-0070	LA BOLILLA INC	18770 SW 29 CT	MIRAMAR	FL	33029	USA
02-3226-049-0080	IETE FRIEDI	281 SW 96 TERR	PEMBROKE PINES	FL	33025	USA
02-3226-049-0090	JASON GOODE & YVETTE GOODE	4450 SW 77 AVE	DAVIE	FL	33328	USA
02-3226-049-0100	ORANGE SAFE INC	11790 SW BENINGTON CIR	PORT SAINT LUCIE	FL	34987	USA
02-3226-049-0110	ABEL AGUILAR	4900 S CORNELL AVE	CHICAGO	IL	60675	USA
02-3226-049-0120	DELTA TRUST CORPORATION	14651 BISCAYNE BLVD 329	NORTH MIAMI BEACH	FL	33181	USA
02-3226-049-0130	MAURICIO G NOVOA	4130 COLLINS AVE	MIAMI BEACH	FL	33140	USA
02-3226-049-0140	KEITH WINKELMAN	1657 SOUTH HAYES ST UNIT A	ARLINGTON	VA	22202	USA
02-3226-049-0150	POLITOS GROUP INC	2020 NE 163 ST 300D	MIAMI	FL	33162	USA
02-3226-049-0160	YOHANY RODRIGUEZ	15449 SW 21 TER	MIAMI	FL	33185	USA
02-3226-049-0180	ERIC PENICHET &W	5808 SW 64 PLACE	SOUTH MIAMI	FL	33143-2055	USA
02-3226-049-0190	DORIS BONILLA	4842 NW 109 PL	MIAMI	FL	33178	USA
02-3226-049-0220	MALIBU 68 LLC	3300 NE 192 STREET 1517	AVENTURA	FL	33180	USA
02-3226-049-0230	HARLIN AND HENLEY LLC	PO BOX 306	EAST GREENWICH	RI	02818	USA
02-3226-049-0240	GABRIEL BARBAT	2655 COLLINS AVE # 2108	MIAMI BEACH	FL	33140	USA
02-3226-049-0250	DOMINIK BOSSART	325 MERIDIAN AVE #11	MIAMI BEACH	FL	33139	USA
02-3226-049-0260	THE QUIN GROUP	PO BOX 490611	KEY BISCAYNE	FL	33149	USA
02-3226-049-0280	DIEGO PRUSKY	10881 SW 78 AVE	MIAMI	FL	33156	USA
02-3226-049-0300	REINALDO A DE TULLIO &W	90 SW 3 ST 1803	MIAMI	FL	33130	USA
02-3226-049-0310	QUIN GRP (THE)	2 ALHAMBRA PLAZA PENTHOUSE 2-C	CORAL GABLES	FL	33134	USA
02-3226-049-0320	ALEXANDER MURAVSKY	2954 W 8TH STREET UNIT# 11D	BROOKLYN	NY	11224	USA
02-3226-049-0330	FIRST EQUITY INVESTMENTS LLC	400 SOUTH POINT DR 506	MIAMI BEACH	FL	33139	USA
02-3226-049-0350	DAVID AMADO &W	15352 SW 177 TER PH	MIAMI	FL	33187	USA
02-3226-049-0370	SAMUEL TATE	2925 INDIAN CREEK DR #217	MIAMI BEACH	FL	33140-4110	USA
02-3226-049-0380	CORTES FERNANDEZ LLC	8101 ABBOT AVE # 16	MIAMI	FL	33141	USA
02-3226-049-0390	FRANCIS N HAWLEY	1110 BRICKELL AVE #506	MIAMI	FL	33131	USA
02-3226-049-0400	PETRA MARIA KARIN	2925 INDIAN CREEK DR #220	MIAMI BEACH	FL	33140	USA
02-3226-049-0410	RICHARD E BONACCI &W NANCY	314 NORTHCLIFF DRIVE	ROCKY RIVER	OH	44166-4110	USA
02-3226-049-0420	LAMARR LLC	6515 COLLINS AVE # 1709	MIAMI BEACH	FL	33141	USA
02-3226-049-0430	STEFANIA PACINI	2925 INDIAN CREEK DR 223	MIAMI BEACH	FL	33140	USA
02-3226-049-0450	CATALINA TIRADO	92 SW 3 ST 2003	MIAMI	FL	33130	USA
02-3226-049-0460	RIBECA LLC	1680 MICHIGAN AVE # 910	MIAMI BEACH	FL	33139	USA
02-3226-049-0470	CHRIS ARIENS	106 W 116 ST # 11B	NEW YORK	NY	10026	USA
02-3226-049-0480	228 ALDEN HOTEL LLC	201 NE 95 ST	MIAMI SHORES	FL	33138	USA
02-3226-049-0490	DANIELA CHINCARINI	2925 INDIAN CREEK DR 301	MIAMI BEACH	FL	33140	USA
02-3226-049-0500	FANTASY WORLD CORP	2150 SAN SOUCI BLVD #B911	MIAMI	FL	33140	USA
02-3226-049-0510	CADAQUES PROPERTIES LLC	1650 CORAL WAY #802	MIAMI	FL	33145	USA
02-3226-049-0530	WEIZMAN CONSULTING INC	19400 TURNBERRY WAY #2111	AVENTURA	FL	33180	USA

02-3226-049-0540	EL 306 LLC	2020 NE 163 ST 300D	MIAMI	FL	33162	USA
02-3226-049-0580	AGM DEVELOPMENT III LLC	135 POST AVE #1J	WESTBURY	NY	11590	USA
02-3226-049-0590	DANIEL BEDARD &W	10121 BARBROOK DRIVE	AUSTIN	TX	78726	USA
02-3226-049-0600	ANNA L CASCO &H JOSE A	2925 INDIAN CREEK DR #223	MIAMI BEACH	FL	33140-4110	USA
02-3226-049-0610	CARLOS A BERMUDEZ &W	2925 INDIAN CREEK DR #314	MIAMI BEACH	FL	33140-4110	USA
02-3226-049-0630	LS PROP HOLDINGS LLC	2925 INDIAN CREEK DR #316	MIAMI BEACH	FL	33140-4110	USA
02-3226-049-0650	TERSUNG CORP	25 SE 2 AVE UNIT 410	MIAMI	FL	33131	USA
02-3226-049-0670	JOHN BLAKE	57 ELM ST	MEDFORD	MA	02155	USA
02-3226-049-0680	DIMI 322 LLC	11402 NW 41 ST STE 202	MIAMI	FL	33178	USA
02-3226-049-0690	LEODEGARIO MATOS CABRERA	2925 INDIAN CREEK DR #323	MIAMI BEACH	FL	33140	USA
02-3226-049-0700	MIRKO MASTROGLACOMO	2925 INDIAN CREEK DR # 324	MIAMI	FL	33140	USA
02-3226-049-0710	SOLANGEL GARCIA	2925 INDIAN CREEK DR #325	MIAMI BEACH	FL	33140	USA
02-3226-049-0720	BODHI LLC	2925 INDIAN CREEK DRIVE UNIT 326	MIAMI BEACH	FL	33140	USA
02-3226-054-0010	ALISON MASS	885 PARK AVE 3C	NEW YORK	NY	10075	USA
02-3226-054-0020	PUNJAB RE LLC	333 GREENWICH ST	NEW YORK	NY	10013	USA
02-3226-054-0030	SEVILLE ACQUISTION LLC	10400 FERNWOOD ROAD	BETHESDA	MD	20817	USA
02-3226-054-0050	COLLINS CONDO UNIT 1202 LLC	1325 RIVER RD	SUFFOLK	VA	23434	USA
02-3226-054-0070	COLLINS CONDO UNIT 1501 LLC	1325 RIVER RD	SUFFOLK	VA	23434	USA
02-3226-054-0080	POONAM KHUBANI TRS	55 CHESTNUT RIDGE RD	SADDLE RIVER	NJ	07458	USA
02-3226-054-0100	STANLEY K DOOBIN	2901 COLLINS AVE 1402	MIAMI BEACH	FL	33140	USA
02-3226-054-0120	MICHAEL HUFFINGTON TRS	2901 COLLINS AVE 1203	MIAMI BEACH	FL	33140	USA
02-3226-054-0130	DOMINICK MARZANO	1660 NW 19 AVE	POMPANO BEACH	FL	33069	USA
02-3226-054-0140	ROBERT J GREY	216 N 27 ST	ALLENTOWN	PA	18104	USA
02-3226-054-0150	RPL 1204 LLC	1441 BRICKELL AVE STE 1400	MIAMI	FL	33131	USA
02-3226-054-0170	FONDACO USA CORPORATION	150 SE 2 AVE #1010	MIAMI	FL	33131	USA
02-3226-054-0180	IAN SCHRAGER	818 GREENWICH ST	NEW YORK	NY	10014	USA
02-3226-054-0190	JON RAPPAPORT	2901 COLLINS AVE 1206	MIAMI	FL	33140	USA
02-3226-054-0200	RICHARD S PESIN	2901 COLLINS AVE 1406	MIAMI BEACH	FL	33140	USA
02-3226-054-0210	MMHK PROPERTIES LLC	200 BISCAYNE BLVD WAY 1106	MIAMI	FL	33131	USA
02-3226-054-0220	SOBE EDITION ESTATES LLC	9111 E BAY HARBOR DR #6B	BAY HARBOR ISLANDS	FL	33154	USA
02-3226-054-0230	NANCY H GOTTWALD TRS	326 LYNTON LN	RICHMOND	VA	23221	USA
02-3226-054-0250	WILLIAM S WEISMAN	400 S OCEAN BLVD #29	BOCA RATON	FL	33432	USA

## **Item # 9—Architectural Plans and Exhibits**

9a: Cover Sheet with bullet point scope of work, clearly labeled "First Submittal" and dated with First Submittal deadline date.

9d: Location Plan, Min 4"x6" Color Aerial 1/2 mile radius, showing name of streets and project site identified.

9h: Site Plan (fully dimensioned with setbacks, existing and proposed, including adjacent right-of-way widths).

9i: Current color photographs, dated, Min 4"x 6" of project site and existing structures (no Google images)

9n: Specifications of pole and equipment

9o: Proposed elevations , materials, and finishes noted

# SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER: 9FLB000844F/MI90XS385F

## LATITUDE/LONGITUDE: 25.805893/-80.124814

## CROSS STREET: 30TH ST & FLORIDA STATE ROAD A1A CITY, STATE, ZIP: MIAMI BEACH, FL 33140



IF YOU DIG IN ANY STATE  
DIAL 811 FOR THE LOCAL  
"ONE CALL CENTER" -  
IT'S THE LAW

THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTORS CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E) UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

NOTE:  
GENERAL CONTRACTOR IS REQUIRED TO CROSS CHECK COORDINATES. EXHIBIT PHOTO, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO ASSIGNED MOBILITIE CM.

**mobilitie**

FINAL SUBMITTAL  
3/2/18

FIRST SUBMITTAL  
2/12/18

PROJECT NO:	9FLB000844F
DRAWN BY:	RC
CHECKED BY:	SJB

B	11-28-17	REVISION
A	10-15-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

**Stephen A. Bray**



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**GENERAL NOTES**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OF EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS (N).

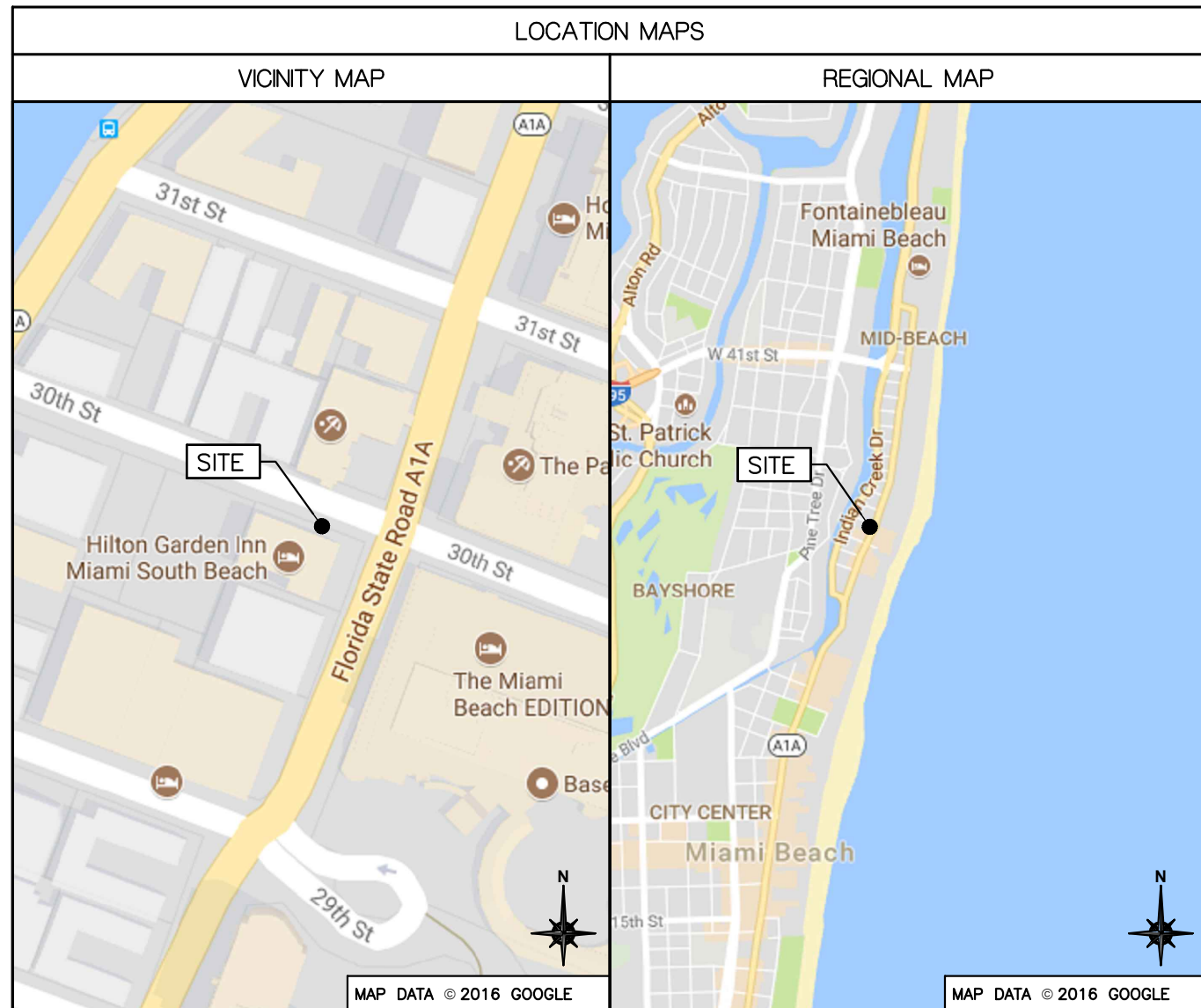
SITE INFORMATION	
SITE ID:	9FLB000844F
CASCADE ID:	MI90XS385F
LATITUDE:	25.805893
LONGITUDE:	-80.124814
CROSS STREET:	30TH ST & FLORIDA STATE ROAD A1A
CITY, STATE, ZIP:	MIAMI BEACH, FL 33140
COUNTY:	MIAMI-DADE COUNTY
JURISDICTION:	MIAMI BEACH CITY
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	MOBILITIE, LLC 3475 PIEDMONT ROAD NE, SUITE 1000 ATLANTA, GEORGIA 30305 PHONE: (312) 638-5400

**ENGINEER**

KMB DESIGN GROUP, LLC  
1800 ROUTE 34, SUITE 209  
WALL, NJ 07719  
FOR QUESTIONS EMAIL: DESIGNTEAM@KMBDG.COM  
TEL: (732) 280-5623 FAX: (732) 280-3980 www.KMBDG.com

**DO NOT SCALE DRAWINGS**

CONTRACTORS SHALL VERIFY ALL PLANS, (E) DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



**PROJECT DESCRIPTION**

END USER PROPOSES TO REPLACE EXISTING STEEL POLE AND INSTALL EQUIPMENT ON A NEW STEEL POLE WITHIN AN EXISTING RIGHT-OF-WAY.  
THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE EXISTING STEEL LIGHT POLE
- INSTALL A NEW STEEL LIGHT POLE WITH PROPOSED BACKHAUL TRANSPORT EQUIPMENT

**CODES**

2014 FLORIDA BUILDING CODE, 5TH EDITION  
NATIONAL ELECTRICAL SAFETY CODE  
TIA/EIA-222-G-2 OR LATEST EDITION  
LOCAL BUILDING/PLANNING CODE

**DRAWING INDEX**

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
SP-1	EXHIBIT PHOTO & SITE PLAN
SP-2	UTILITY SITE PLAN
SP-3	ENLARGED SITE PLAN
EV-1	ELEVATIONS
EV-2	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EQ-1	EQUIPMENT DETAILS
EQ-2	EQUIPMENT DETAILS
E-1	ELECTRICAL DETAILS
G-1	GROUNDING DETAILS
S-1	FOUNDATION DETAILS
TC-1	VEHICULAR TRAFFIC CONTROL PLAN
TC-2	PEDESTRIAN TRAFFIC CONTROL PLAN
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES
ATTACHED	SITE SURVEY

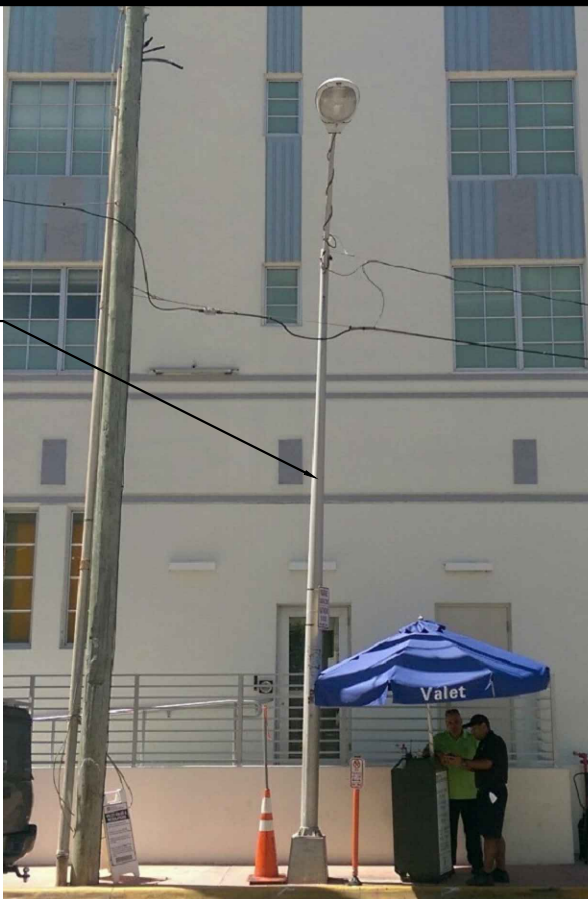
MI90XS385F  
MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**TITLE SHEET**

SHEET NUMBER  
**T-1**

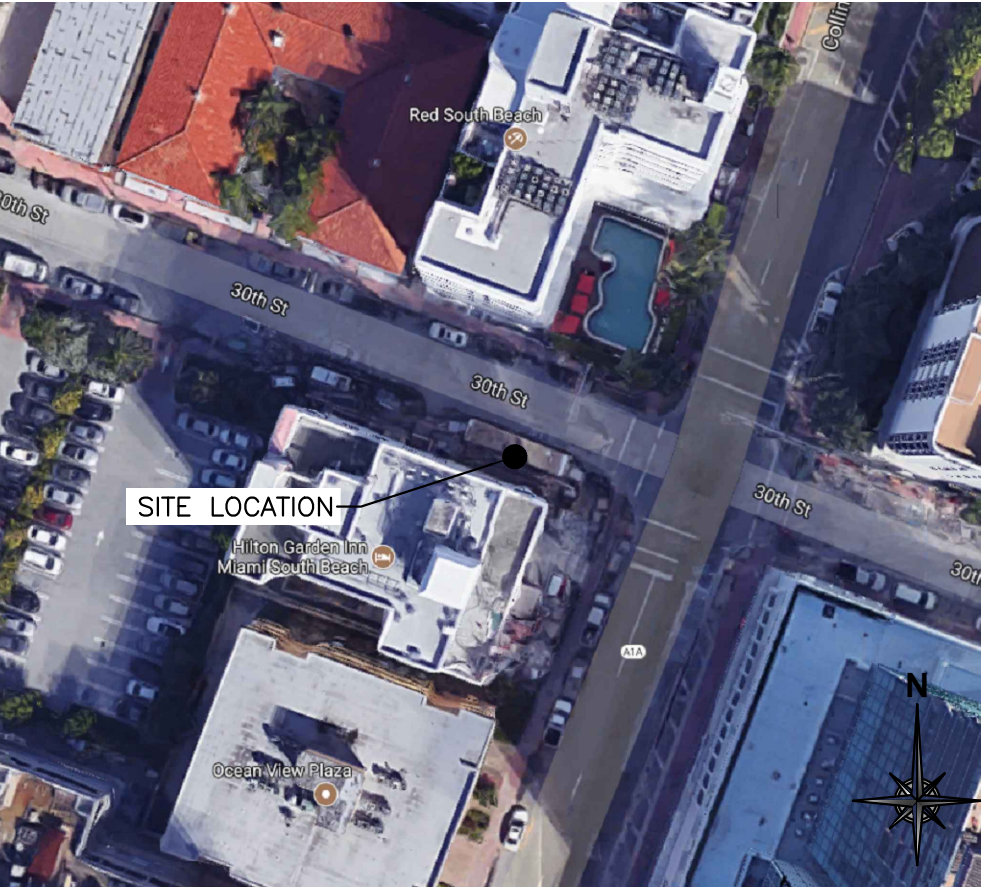
NOTE:  
EXHIBIT PHOTO IS FOR  
REFERENCE USE ONLY  
AND SHOULD NOT BE  
USED FOR  
CONSTRUCTION  
PURPOSES.

EXISTING LIGHT POLE  
TO BE REPLACED  
WITH SMALL-CELL  
STEALTH LIGHT POLE



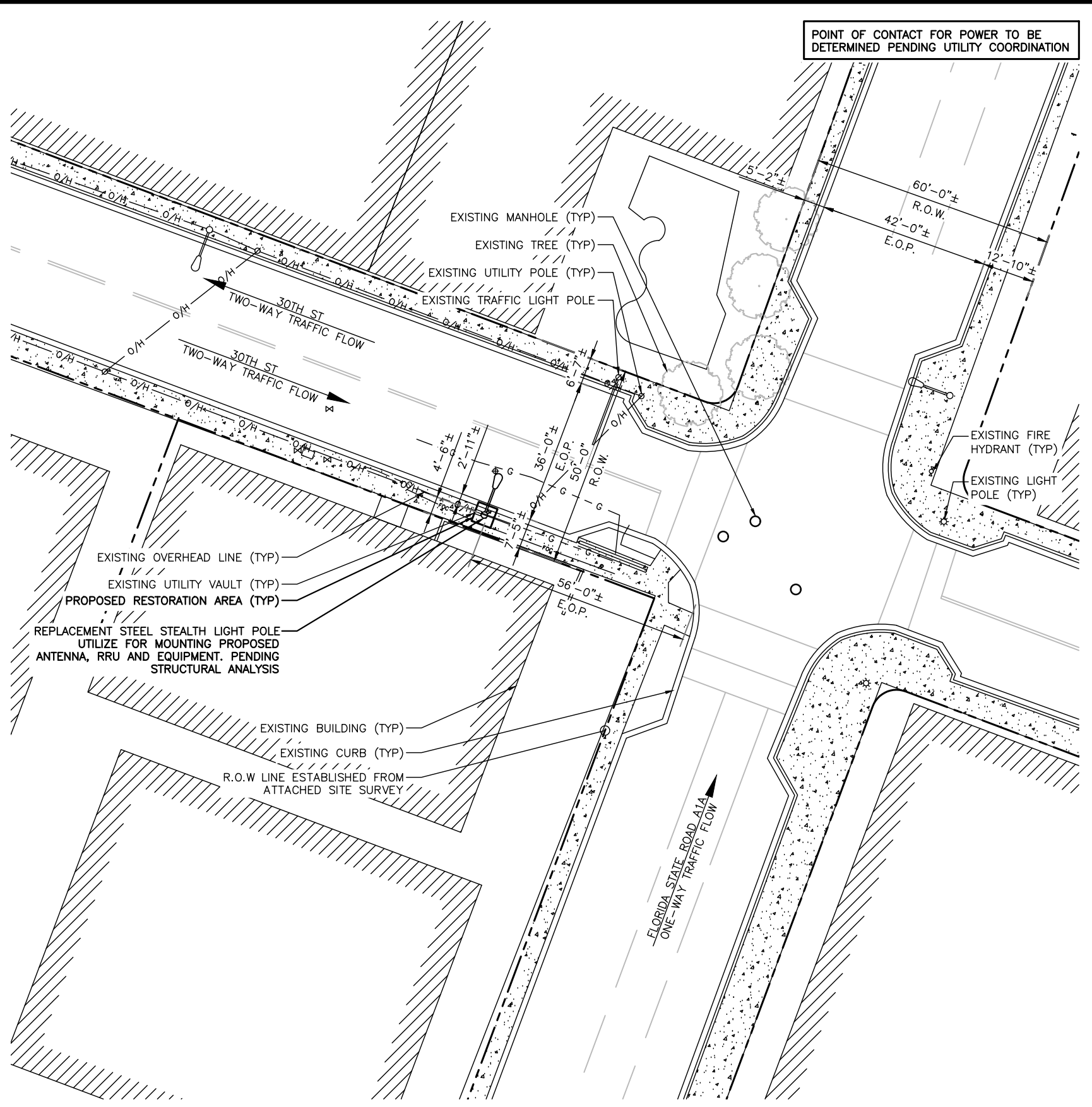
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SCALE: NOT TO SCALE

1

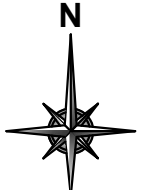


**AERIAL SITE LOCATION**  
SCALE: NOT TO SCALE

2



NOTE:  
1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.  
2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.  
3. GENERAL CONTRACTORS ARE REQUIRED TO CROSS CHECK COORDINATES, AERIAL PHOTO AND SITE PLAN TO ENSURE PROPER POLE LOCATION PRIOR TO BREAKING GROUND. CONCERNS OR QUESTIONS SHOULD BE IMMEDIATELY DIRECTED TO THE ASSIGNED MOBILITIE CM.



**ENLARGED SITE PLAN**  
SCALE: 1" = 30'-0" (1" = 15'-0" ON 24"x36" SHEET)

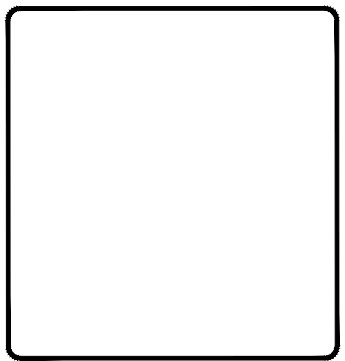
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PROJECT NO:	9FLB000844F
DRAWN BY:	RC
CHECKED BY:	SJB

B	11-28-17	REVISION
A	10-15-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC  
**Stephen A. Bray**  
 PROFESSIONAL ENGINEER  
 LICENSE  
 No. 68902  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER  
 FL LICENSE 11/28/17  
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MI90XS385F  
MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**EXHIBIT PHOTO & SITE PLAN**

SHEET NUMBER  
**SP-1**

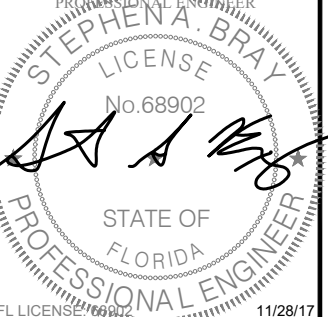


PROJECT NO: 9FLB00844F  
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KMB DESIGN GROUP, LLC

Stephen A. Bray

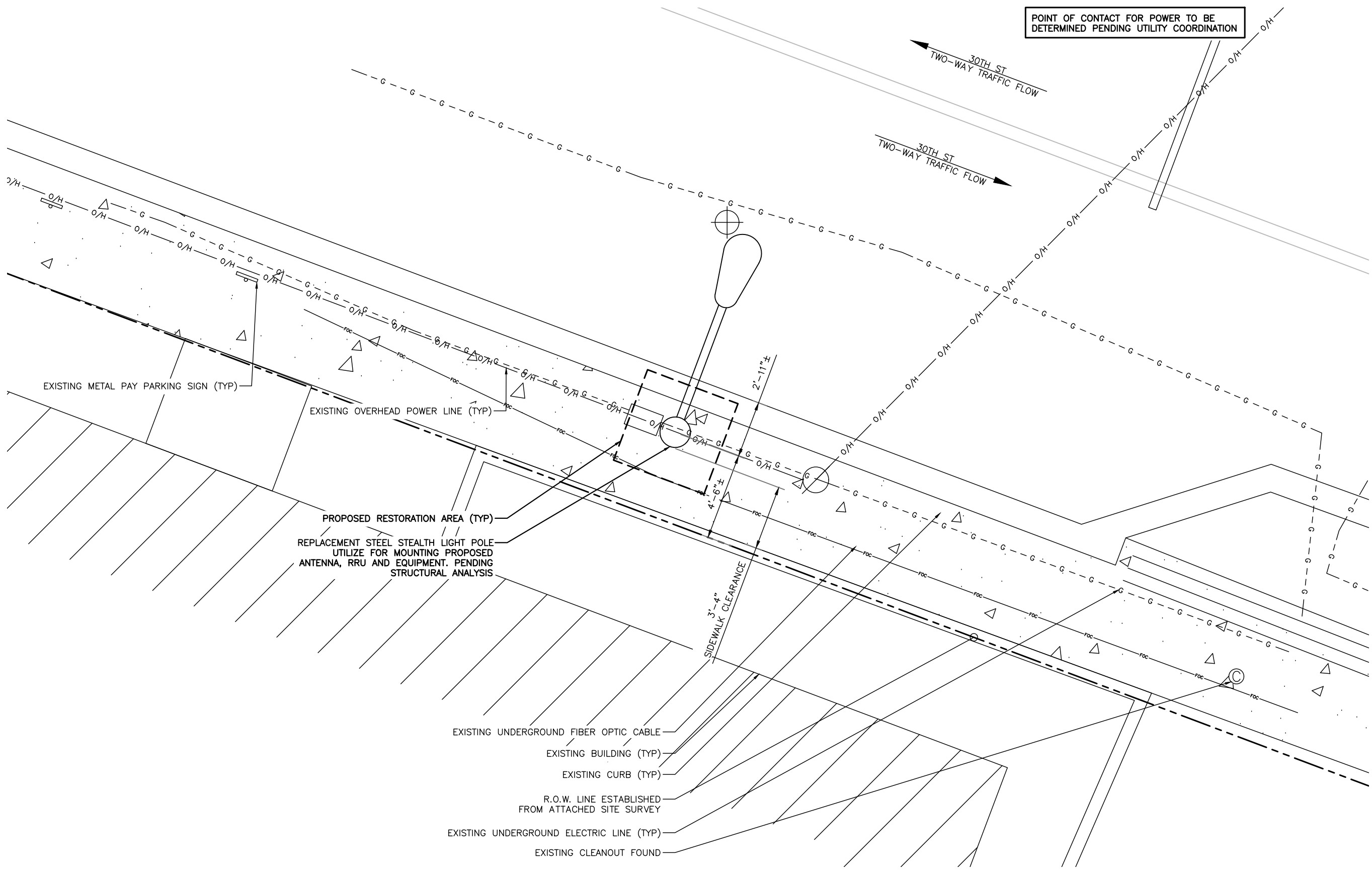


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MI90XS385F  
 MIAMI BEACH, FL 33140  
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
 ENLARGED SITE PLAN

SHEET NUMBER  
 SP-3



POINT OF CONTACT FOR POWER TO BE DETERMINED PENDING UTILITY COORDINATION

30TH ST  
 TWO-WAY TRAFFIC FLOW

30TH ST  
 TWO-WAY TRAFFIC FLOW

EXISTING METAL PAY PARKING SIGN (TYP)

EXISTING OVERHEAD POWER LINE (TYP)

PROPOSED RESTORATION AREA (TYP)

REPLACEMENT STEEL STEALTH LIGHT POLE  
 UTILIZE FOR MOUNTING PROPOSED  
 ANTENNA, RRU AND EQUIPMENT. PENDING  
 STRUCTURAL ANALYSIS

SIDEWALK CLEARANCE  
 3'-4"

- EXISTING UNDERGROUND FIBER OPTIC CABLE
- EXISTING BUILDING (TYP)
- EXISTING CURB (TYP)
- R.O.W. LINE ESTABLISHED FROM ATTACHED SITE SURVEY
- EXISTING UNDERGROUND ELECTRIC LINE (TYP)
- EXISTING CLEANOUT FOUND

NOTE:  
 1. ALL DAMAGED AREAS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.  
 2. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD.  
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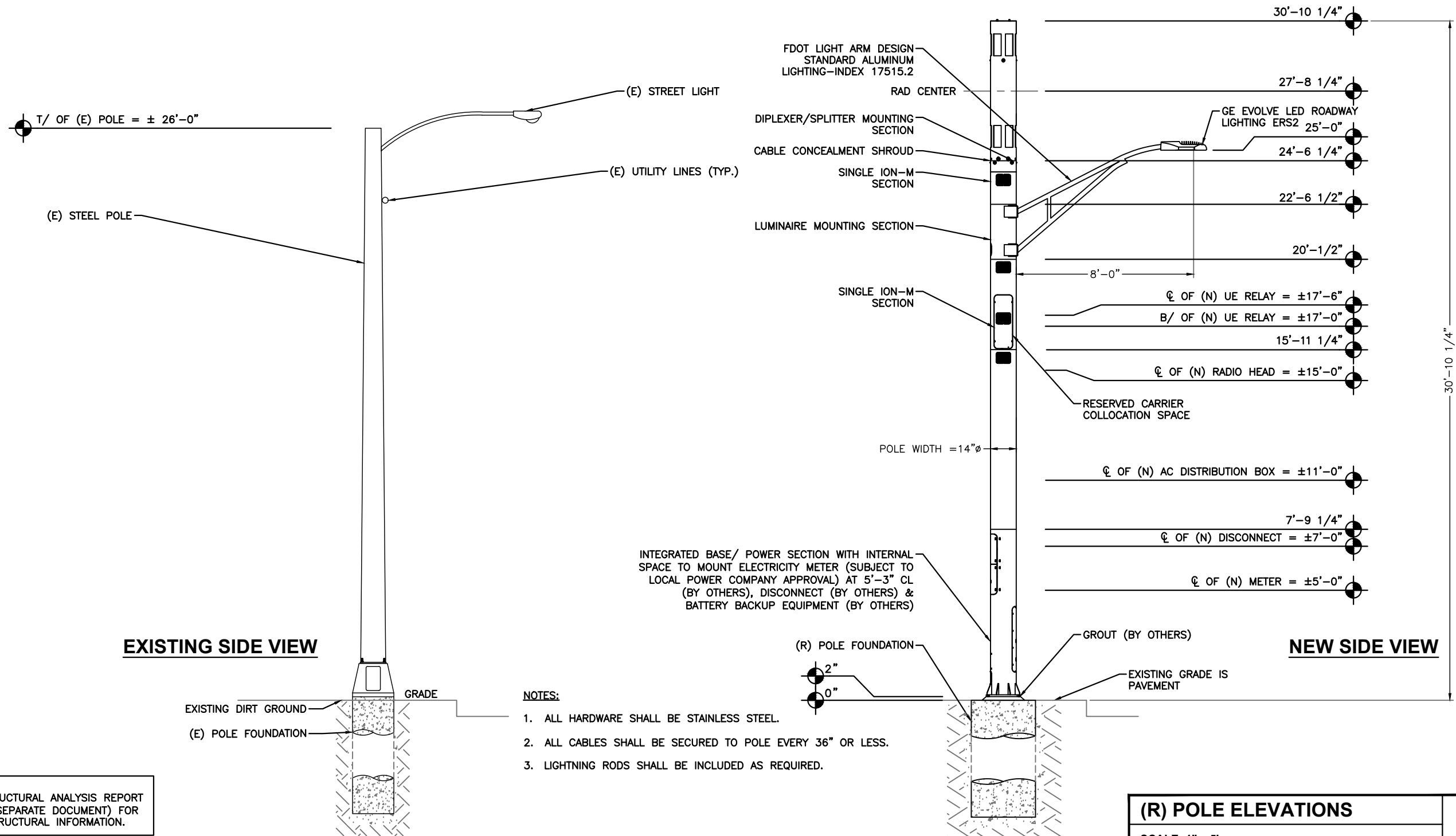


ENLARGED SITE PLAN  
 SCALE: 1" = 5'-0"

1



**NOTE:**  
POLE FINISH: GALVANIZED PER ASTM123  
AND POWDER COATED (COLOR TBD.)



- NOTES:**
1. ALL HARDWARE SHALL BE STAINLESS STEEL.
  2. ALL CABLES SHALL BE SECURED TO POLE EVERY 36" OR LESS.
  3. LIGHTNING RODS SHALL BE INCLUDED AS REQUIRED.

**NOTE:**  
REFER TO STRUCTURAL ANALYSIS REPORT  
MI90XS385F (SEPARATE DOCUMENT) FOR  
ADDITIONAL STRUCTURAL INFORMATION.

PROJECT NO:	9FLB000844F
DRAWN BY:	RC
CHECKED BY:	SJB
B	11-28-17 REVISION
A	10-15-17 FOR CLIENT REVIEW

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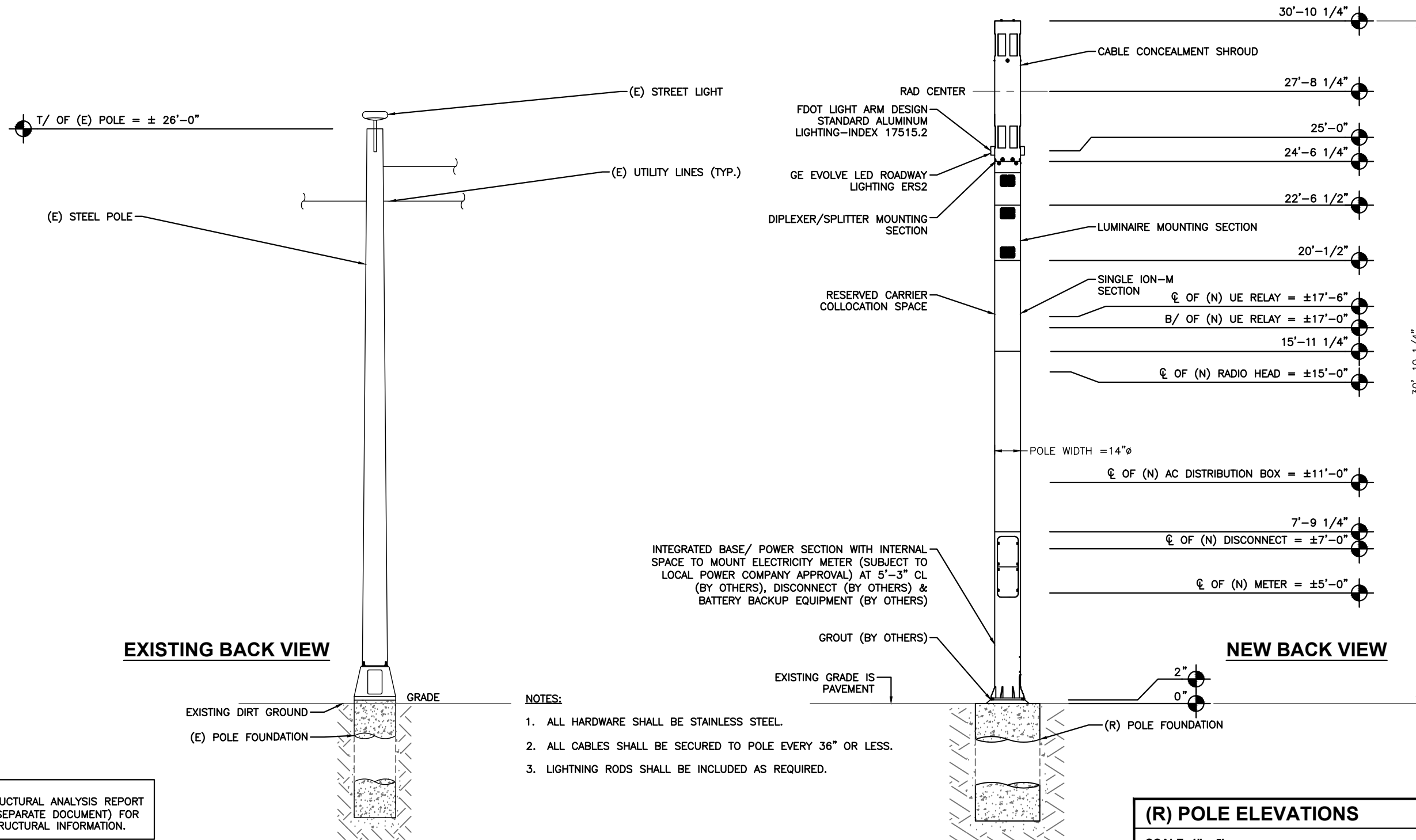
MI90XS385F  
 MIAMI BEACH, FL 33140  
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**POLE ELEVATIONS**

SHEET NUMBER  
**EV-1**

**(R) POLE ELEVATIONS**  
 SCALE: 1" = 5'

**NOTE:**  
POLE FINISH: GALVANIZED PER ASTM123  
AND POWDER COATED (COLOR TBD.)



**NOTE:**  
REFER TO STRUCTURAL ANALYSIS REPORT  
MI90XS385F (SEPARATE DOCUMENT) FOR  
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MI90XS385F  
MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**POLE ELEVATIONS**

SHEET NUMBER  
**EV-2**

**NOTE:**  
CABLING DIAGRAM IS FOR CLARITY OF CABLE ROUTE AND TERMINATION ONLY. CONTRACTOR SHALL INSTALL CABLES WITH MINIMAL VISUAL IMPACT ON REPLACEMENT STEEL STEALTH LIGHT POLE. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

**CABLING NOTES:**

- A) WOOD, CONCRETE AND EXISTING METALLIC POLES
  - I) FROM GRADE LINE TO 11'-0" ABOVE GRADE, ALL CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
  - II) GROUNDING CONDUCTORS IN EXPOSED LOCATIONS MUST BE INSTALLED IN PVC.
  - III) IN EARTH INSTALL PVC CONDUIT FOR BACKHAUL AND ELECTRICAL SERVICE. TRANSITION TO RGS AT GRADE LINE.
  - IV) ABOVE 11'-0" ALL CABLES (POWER, ETHERNET, COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
    - (1) AT MAJOR EQUIPMENT, EXTEND UTILITY DUCT IMMEDIATELY ADJACENT TO THE EQUIPMENT. INSTALL CABLES IN THE UTILITY POLE RISER CREATING CABLE DRIP LOOPS NOT LESS THAN THE CABLE BENDING RADIUS.
    - (2) INSIDE THE UTILITY POLE RISER, UTILIZE 1/2" COAX BLOCKS WITH LAG SCREWS TO SUPPORT COAX, RADIO AND MW POWER, RF COAX, AND ETHERNET CABLES TO WITHIN 12" OF THE EQUIPMENT BEING SERVED AND ON INTERVALS NOT TO EXCEED 6'.
  - V) FOR UNDERGROUND HFC/PUBLIC BACKHAUL, ROUTE ETHERNET CABLE IN CONDUIT UP THE POLE AND ENTER THE UTILITY POLE RISER. SEAL EXPOSED END OF CONDUIT WITH A CABLE TERMINATION FITTING.
  - VI) BY APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX. EXAMPLE: UTILITY-REQUIRED DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON OPPOSITE SIDE OF POLE. NOT REQUIRED FOR COAX.
- B) NEW METALLIC POLES
  - I) PROCURE NEW POLES WITH SUITABLE HAND HOLES SUCH THAT HAND HOLES EXIST AT ALL EQUIPMENT LOCATIONS.
    - (1) WITH CLIENT APPROVAL IN SELECT CASES TO FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL CABLES MAY BE "SUPERFLEX" IN LIEU OF LDF-4.
  - II) WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT THE ELECTRICAL FEED AND BACKHAUL (IF UNDERGROUND) CIRCUIT ENTER THE POLE THROUGH THE POLE BASE. IF A DISCONNECTING MEANS SEPARATE FROM THE AC DISTRIBUTION BOX IS REQUIRED BY JURISDICTION OR UTILITY, WITH APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN LENGTHS NOT TO EXCEED 36" TO EXTEND THE ELECTRICAL SERVICE CONDUIT TO THE AC DISTRIBUTION BOX.

**PLUMBING DIAGRAM**

SCALE: NOT TO SCALE

1

BILL OF MATERIALS							
QTY.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	AZIMUTH	CABLE	DIMENSIONS (HxWxD)	WEIGHT
1	ANTENNA	ALPHA WIRELESS	AW3477-S	TBD	12'-6"±	30.7" X 4.7" DIAMETER	7 LBS
1	UE RELAY	AIRSPAN	iR460-SPB-ST-1-P-0	TBD	3'±	13" X 7" DIAMETER	8.8 LBS
-	-	-	-	-	-	-	-
1	GPS	TALLYSMAN	GPS-ANT-3	-	-	2" X 2.6" DIAMETER	0.3 LBS
1	RADIO	AIRSPAN	AH4000	-	3'±	20.3" X 10.3" X 8.3"	42 LBS
-	-	-	-	-	-	-	-
1	AC DISTRIBUTION PANEL	TRANSECTOR	1101-1207-1012	-	1'±	12" X 12" X 4"	17 LBS
1	NEMA TYPE-3R DISCONNECT	SIEMENS	GF222NR (EXAMPLE)	-	1'±	15.45" X 8.7" X 5.95"	14 LBS
1	METER SOCKET	MILBANK	U4801-XL-5T9 (EXAMPLE)	-	-	19" X 13" X 4.84"	21 LBS

RFDS REVISION TYPE: NOT FINAL  
RFDS REVISION NUMBER: N/A  
RFDS REVISION TIMESTAMP: N/A

**BILL OF MATERIALS**

SCALE: NOT TO SCALE

2

PROJECT NO: 9FLB000844F  
DRAWN BY: RC  
CHECKED BY: SJB

B 11-28-17 REVISION  
A 10-15-17 FOR CLIENT REVIEW

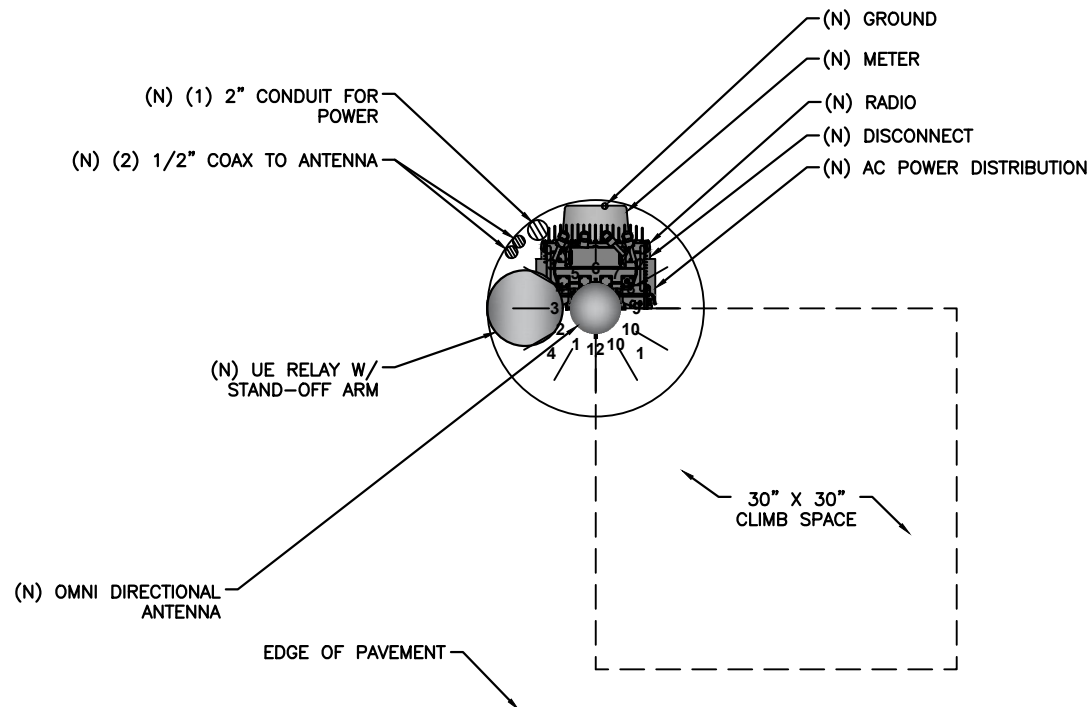
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MI90XS385F  
MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**PLUMBING & RISER DIAGRAM**

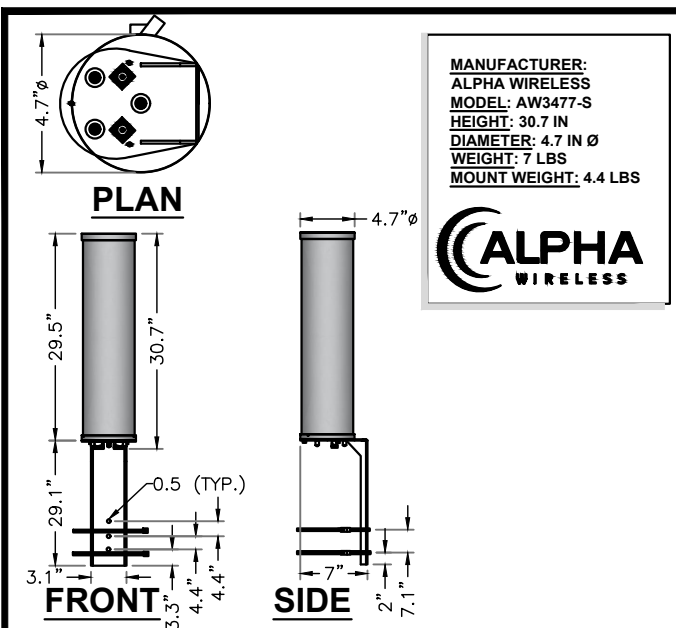
SHEET NUMBER  
**PL-1**



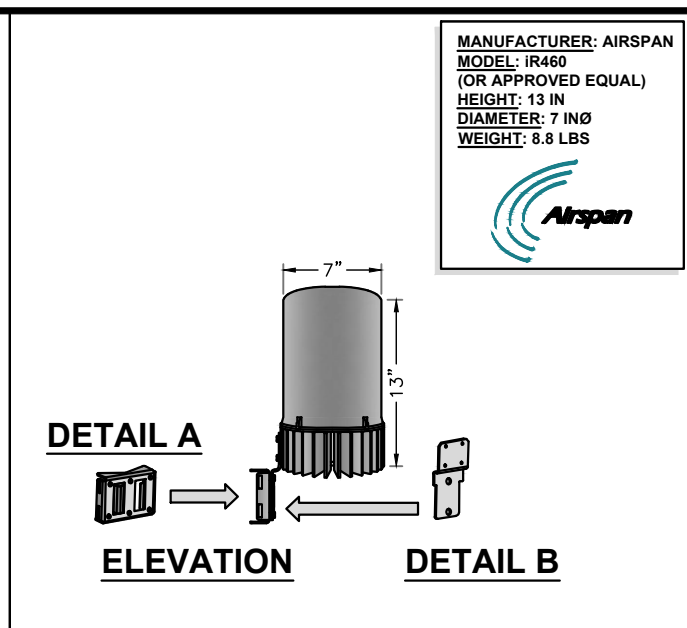
**RISER ORIENTATION DIAGRAM**

SCALE: NOT TO SCALE

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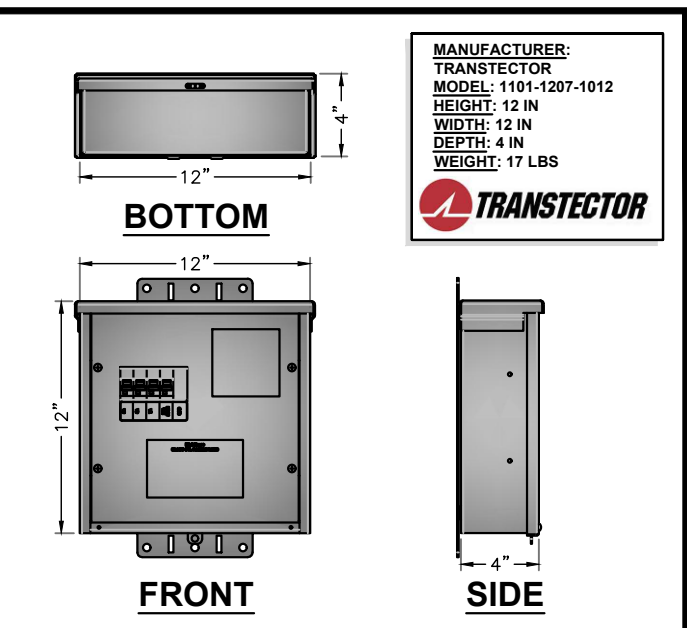
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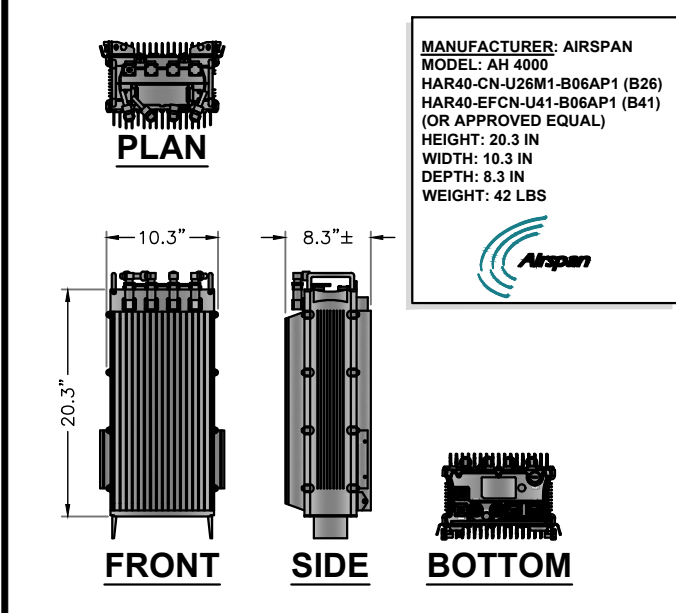
UE RELAY iR460-SPB-ST-1-P-0 SCALE N.T.S. 4



NOT USED SCALE N.T.S. 7



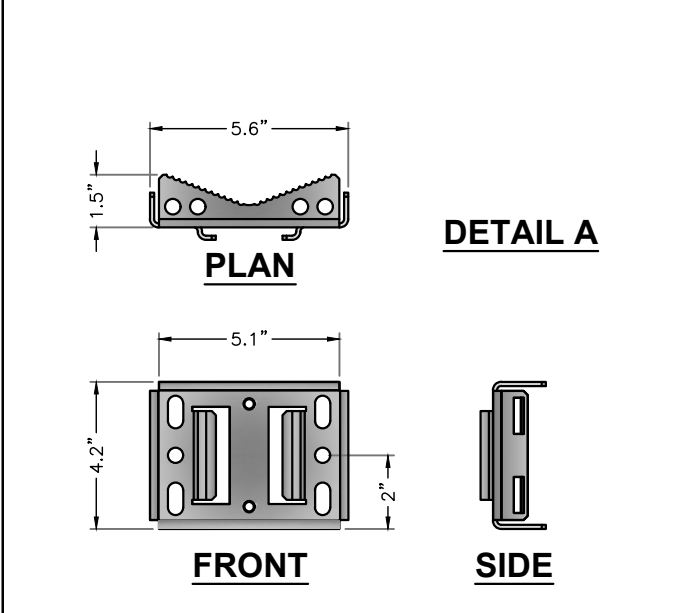
TRANSTECTOR 1101-1207-1012 SCALE N.T.S. 10



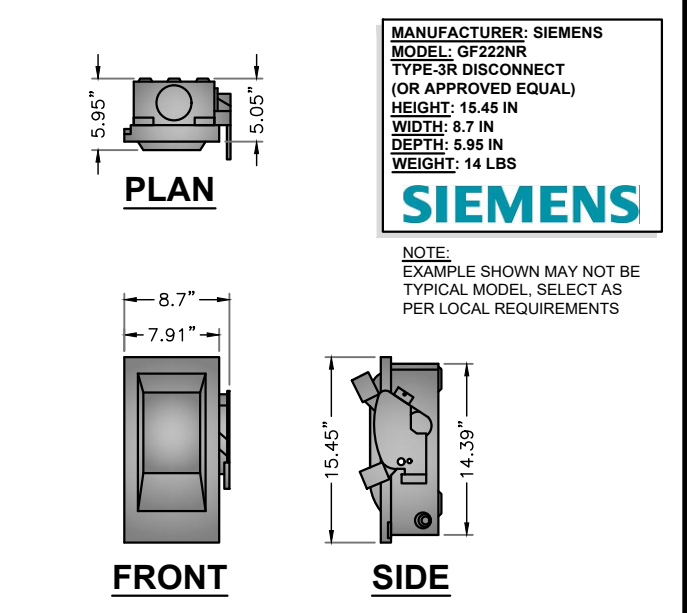
AIRSPAN RADIO AH4000 SCALE N.T.S. 2



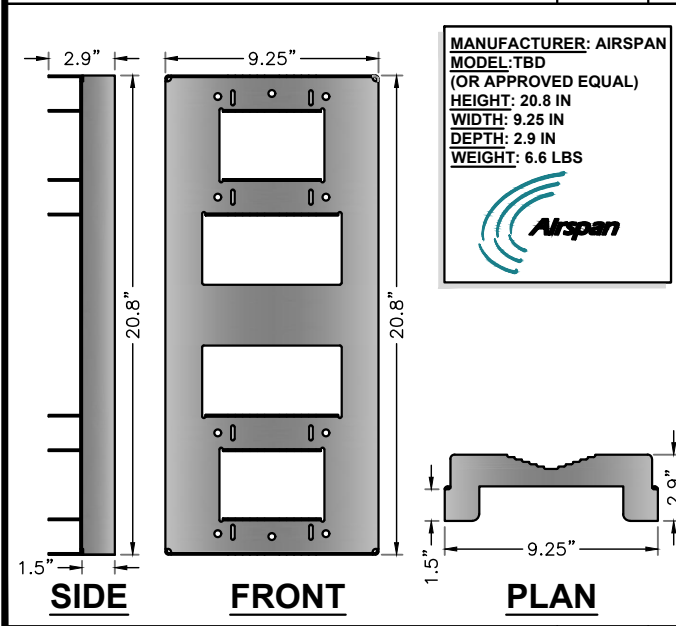
NOT USED SCALE N.T.S. 5



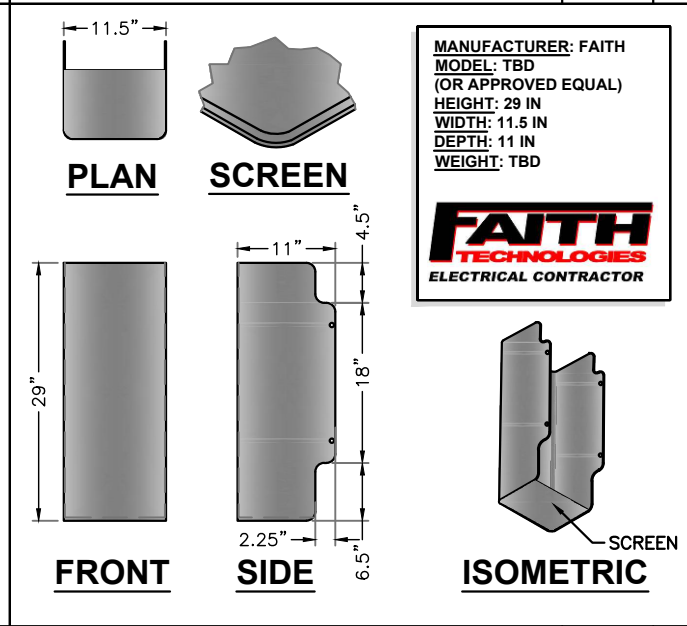
iR460 FLUSH MOUNT SCALE N.T.S. 8



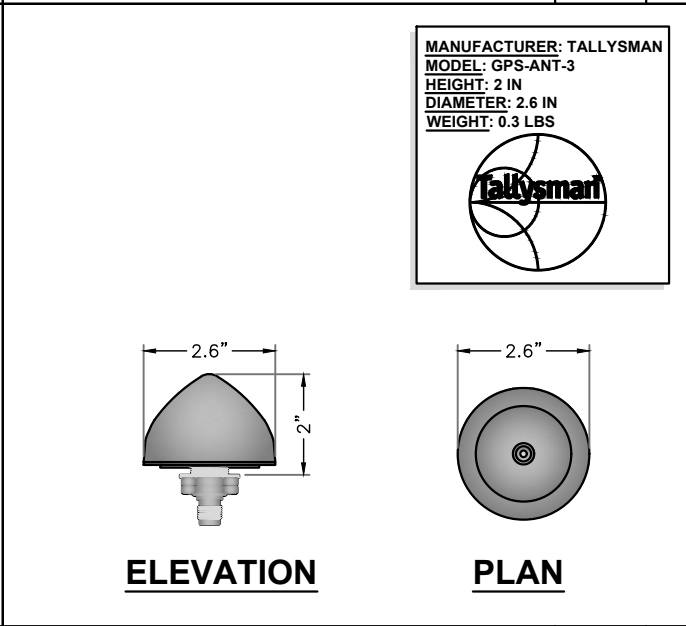
NEMA TYPE-3R DISCONNECT SCALE N.T.S. 11



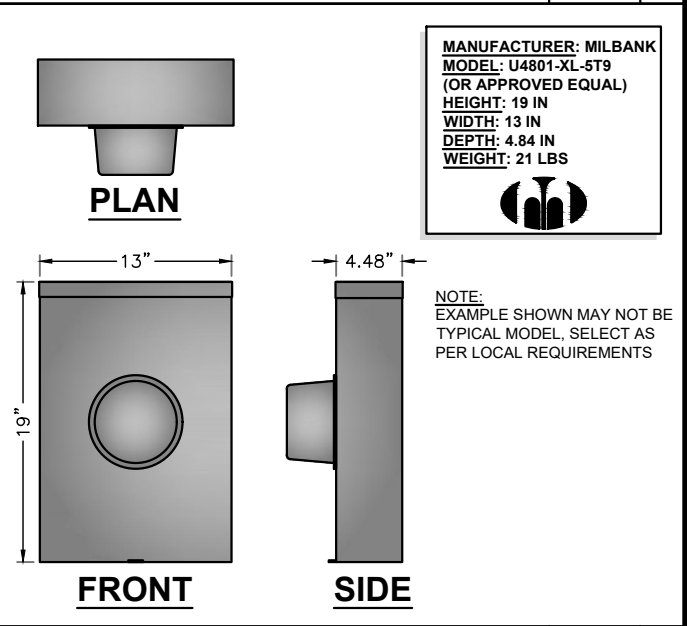
AIRSPAN RADIO MOUNT SCALE N.T.S. 3



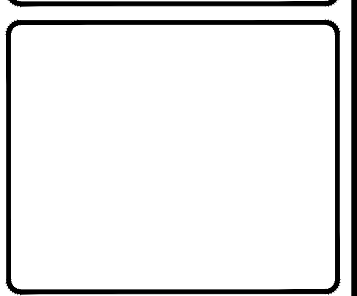
AIRSPAN SUN SHIELD SCALE N.T.S. 6



TALLYSMAN GPS UNIT SCALE N.T.S. 9



MILBANK METER SOCKET SCALE N.T.S. 12

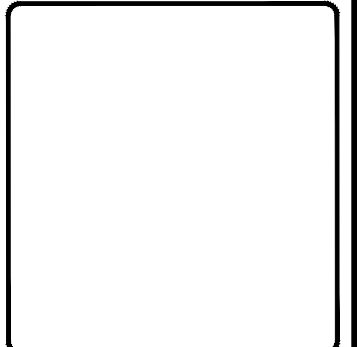


PROJECT NO:	9FLB000844F
DRAWN BY:	RC
CHECKED BY:	SJB

B	11-28-17	REVISION
A	10-15-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC  
 Stephen A. Bray  
 PROFESSIONAL ENGINEER  
 LICENSE No. 68902  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 FL LICENSE 11/28/17

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MI90XS385F  
 MIAMI BEACH, FL 33140  
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
 EQUIPMENT DETAILS

SHEET NUMBER  
 EQ-1

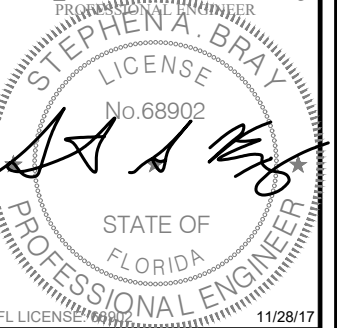
**mobilitie**

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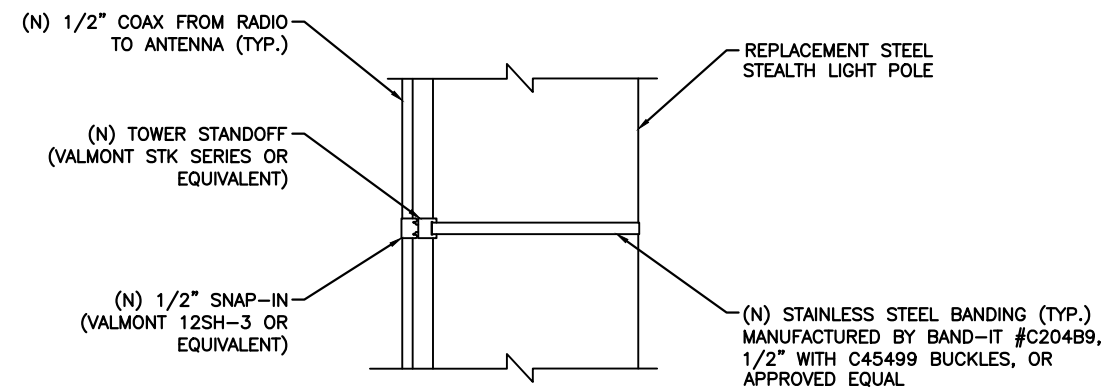
MI90XS385F  
 MIAMI BEACH, FL 33140  
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
 EQUIPMENT DETAILS

SHEET NUMBER  
**EQ-2**

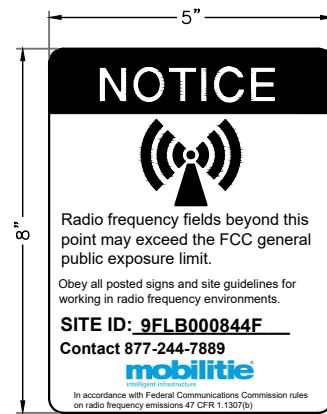
**NOT USED**  
 SCALE: NOT TO SCALE **1**

**NOT USED**  
 SCALE: NOT TO SCALE **3**



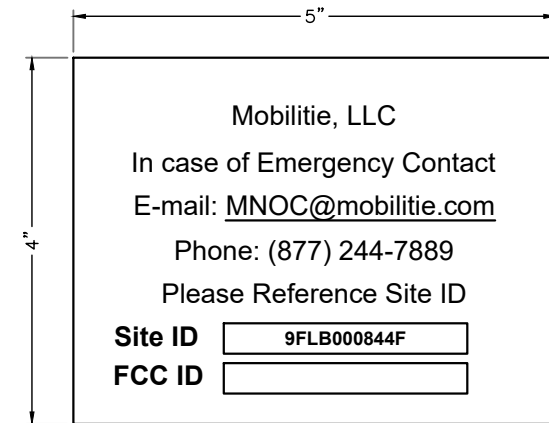
NOTE:  
 SPACE SNAP-INS PER CABLE MANUFACTURER'S SPECIFICATIONS

**CABLE MOUNTING DETAIL**  
 SCALE: NOT TO SCALE **2**



**ANTENNA SIGNAGE:**  
 ON METAL POLES - ADHESIVE VINYL OR PLACARD STRAPPED WITH SS TIES  
**SIGN PLACEMENT:**  
 AFFIX TO THE STRUCTURE 3-4' BELOW THE COMMERCIAL RF ANTENNA(S)  
 SIZE APPROX. 8" x 5"

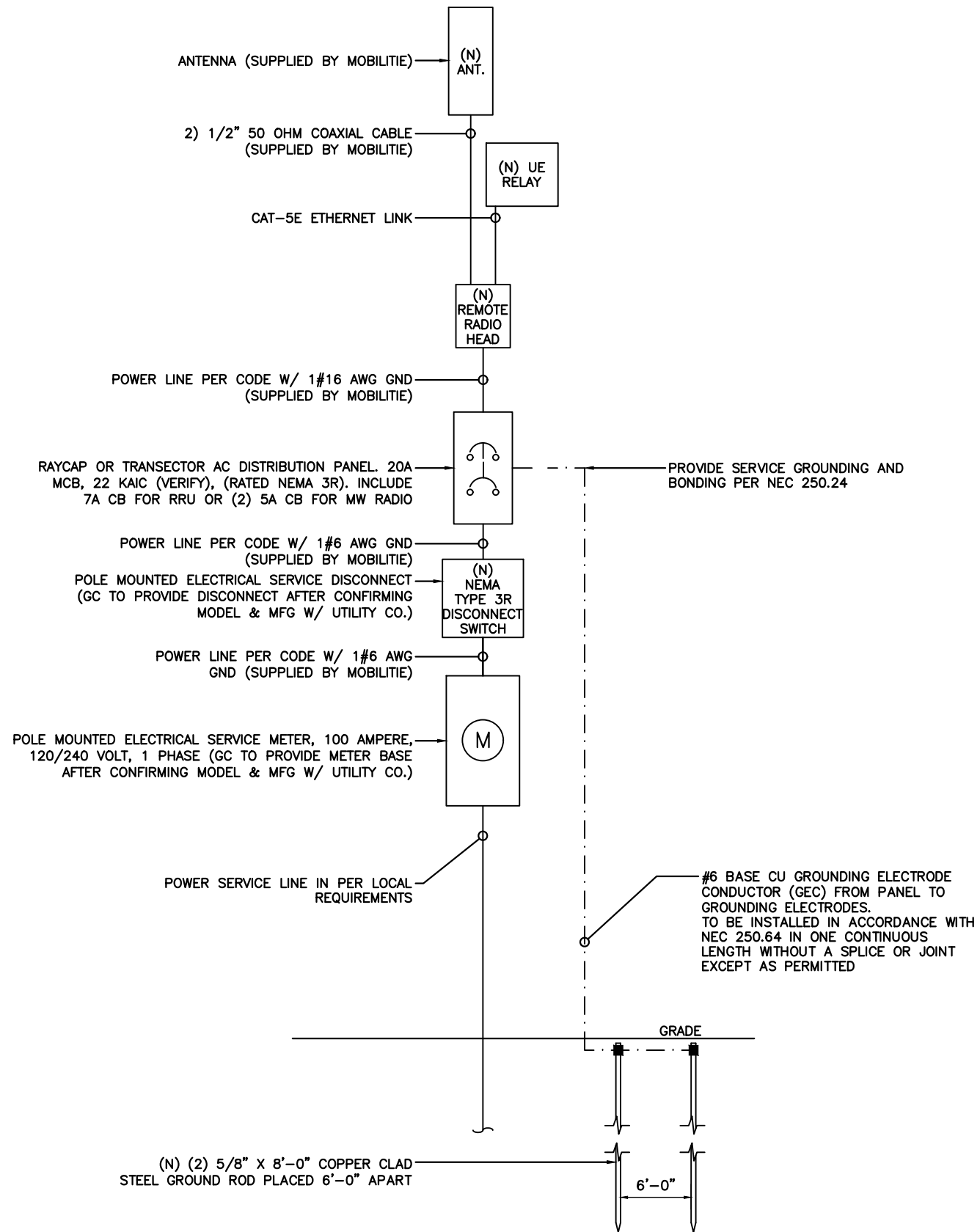
**ANTENNA SIGNAGE**



**OWNER / OPERATOR NOTE:**  
 SITE ID LABEL TO BE AFFIXED AT OR NEAR THE POINT OF POWER CONNECTION WITH TZeS241 LABELING TAPE OR EQUIVALENT BLACK ON WHITE LABELING TAPE OF AT LEAST 18mm WIDTH WITH EXTRA-STRENGTH ADHESIVE. USE ANY COMPATIBLE P-TOUCH LABEL MAKER. TEXT SHOULD BE PRINTED IN ALL CAPS WITH A MINIMUM HEIGHT OF 1/2".

**EMERGENCY CONTACT SIGN**

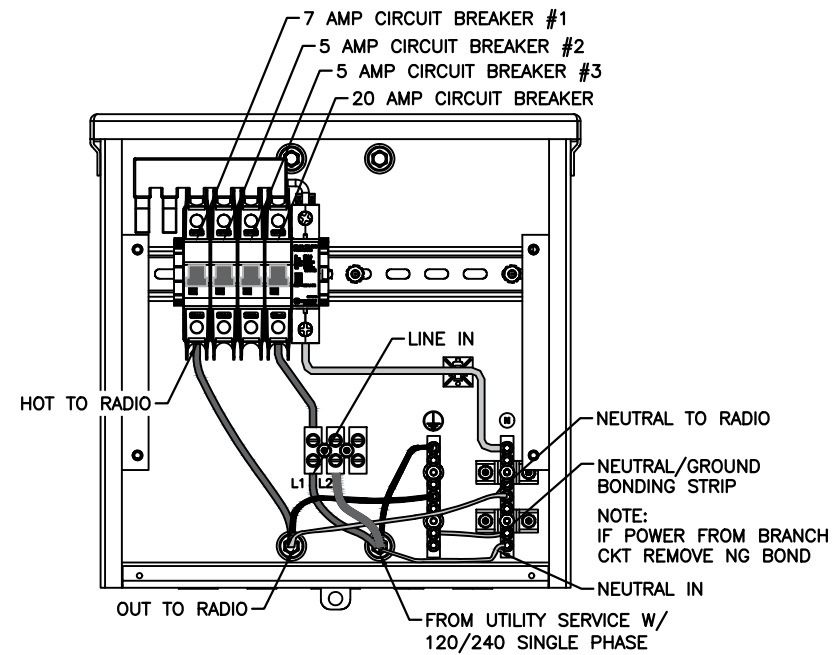
**POLE MOUNTED SIGNS**  
 SCALE: NOT TO SCALE **4**



**ONE-LINE DIAGRAM**

SCALE: NOT TO SCALE

1



**TRANSECTOR EXPORT  
AC DISTRIBUTION BOX**

**BREAKER SCHEDULE**

SCALE: NOT TO SCALE

2

**NOTES:**

1. NOMINAL POWER IS CALCULATED AS 80% OF OEM DOCUMENTED MAXIMUM POWER.
2. CALCULATIONS FOR UE W/ NOKIA DO NOT NEED TO INCLUDE THE POWER FOR THE UE ANTENNA AS IT IS INCLUDED IN THE MAX POWER FIGURE. CALCULATIONS FOR UE W/ AIRSPAN MUST INCLUDE UE AS IT IS NOT INCLUDED
3. KVA IS CALCULATED FROM THE CONSUMPTION VALUE ASSUMING A PF=1. MAXIMUM POWER WAS USED FOR KVA. WHERE MAXIMUM WAS NOTED BY THE OEM THE QUOTED FIGURE WAS USED. WHERE AVERAGE/NOMINAL POWER WAS NOTED BY THE OEM MAXIMUM POWER WAS CALCULATED BY INCREASING AVERAGE/NOMINAL POWER BY A FACTOR OF 50%

**Airspan Scenario 2 AH4000 High Power Radio and UE Backhaul**

Unit	Sub Description	Max Power (W)	Max Current (A)	KVA	kWh/Yr
AirHarmony 4000	LTE Base Station	540	4.50	0.54	4730.4
Airspan IR460	UE Relay	N/A	N/A	N/A	N/A
<b>Total</b>		<b>540</b>	<b>4.50</b>	<b>0.54</b>	<b>4730.4</b>

**LOAD CALCULATIONS**

SCALE: NOT TO SCALE

3

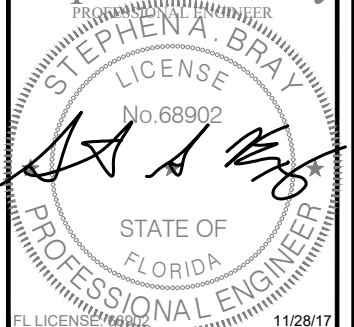
**mobilitie**

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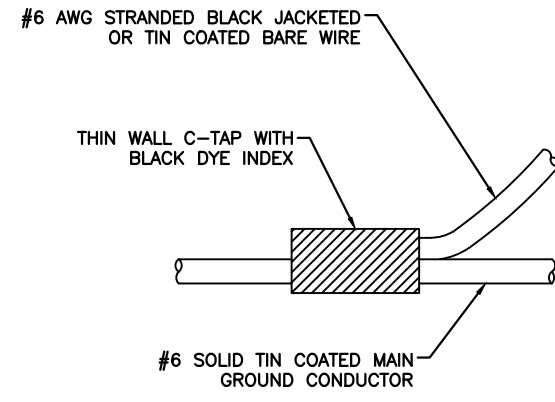
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REPLACEMENT 24'-6" STEEL POLE

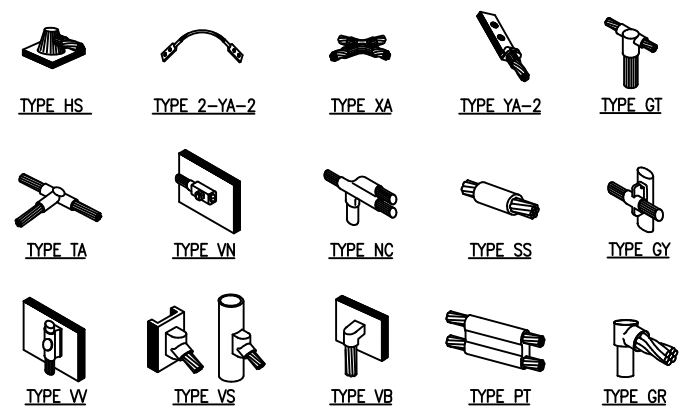
SHEET TITLE  
**ELECTRICAL DETAILS**

SHEET NUMBER  
**E-1**

NOTE:  
CONTRACTOR TO SURROUND COMPLETED CONNECTION WITH HEAT-SHRINK TUBING TO ENSURE WEATHER PROOF CONNECTION

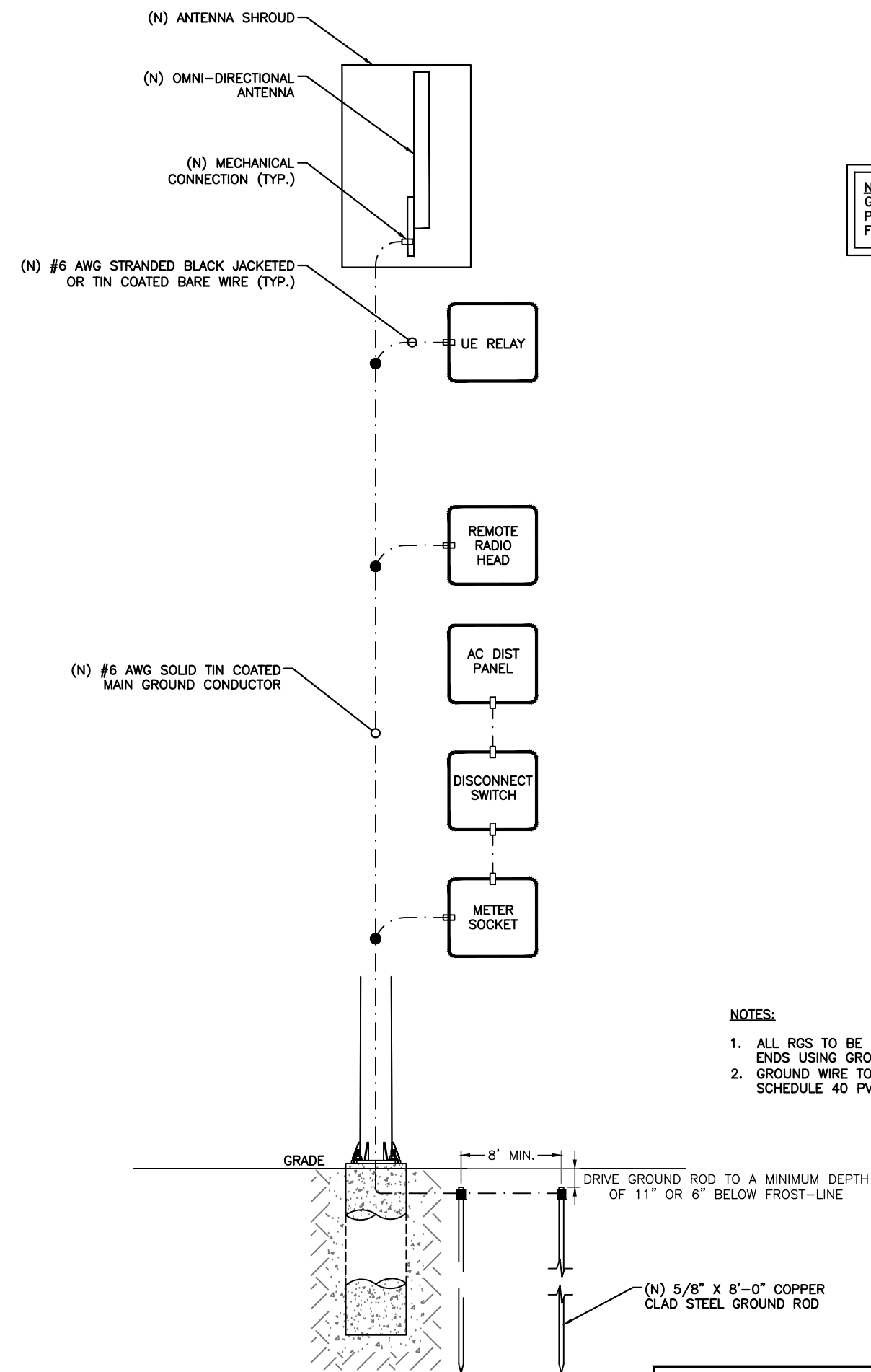


**C-TAP DETAIL**  
SCALE: NOT TO SCALE **1**



NOTE:  
ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

**WELD CONNECTION DETAILS**  
SCALE: NOT TO SCALE **2**



**LEGEND**  
 ■ CADWELD CONNECTION  
 □ MECHANICAL CONNECTION  
 ● COMPRESSION CONNECTION

NOTE:  
GROUNDING RISER FOR DIAGRAMMATIC PURPOSES ONLY. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

- NOTES:**
1. ALL RGS TO BE GROUNDED AT BOTH ENDS USING GROUNDING BUSHINGS.
  2. GROUND WIRE TO BE RUN IN 1/2" SCHEDULE 40 PVC.

**GROUNDING RISER DIAGRAM**  
SCALE: NOT TO SCALE **3**



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MI90XS385F  
 MIAMI BEACH, FL 33140  
 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**GROUNDING DETAILS**

SHEET NUMBER  
**G-1**

**REINFORCED CONCRETE NOTES:**

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN & CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. ALL SITECAST CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI WITHIN 28 DAYS. CONTINUOUS INSPECTION AND TESTING IS NOT REQUIRED. THE CONTRACTOR MAY SUBSTITUTE 5000 PSI FOR HIGH EARLY STRENGTH.

SLUMP - 4" MIN. / 6" MAX.  
AIR ENTRAINMENT - 2% TO 3% BY VOLUME

**CLASSES OF CONCRETE**

CLASS	28 DAY STRENGTH (PSI)	MAX. WATER/CEMENT RATIO	PLACEMENT LOCATION	
TYPE 1	3000	0.55	ALL LOCATIONS	NORMAL WEIGHT

3. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL FABRIC UNLESS OTHERWISE NOTED. SPLICES FOR REBAR SHALL BE CLASS 'B' AND ALL HOOKS SHALL BE STANDARD, UNO. STAGGER SPLICES UNO. LAPS FOR WELDED WIRE FABRIC SHALL BE AT LEAST TWO FULL MESHES, UNO.

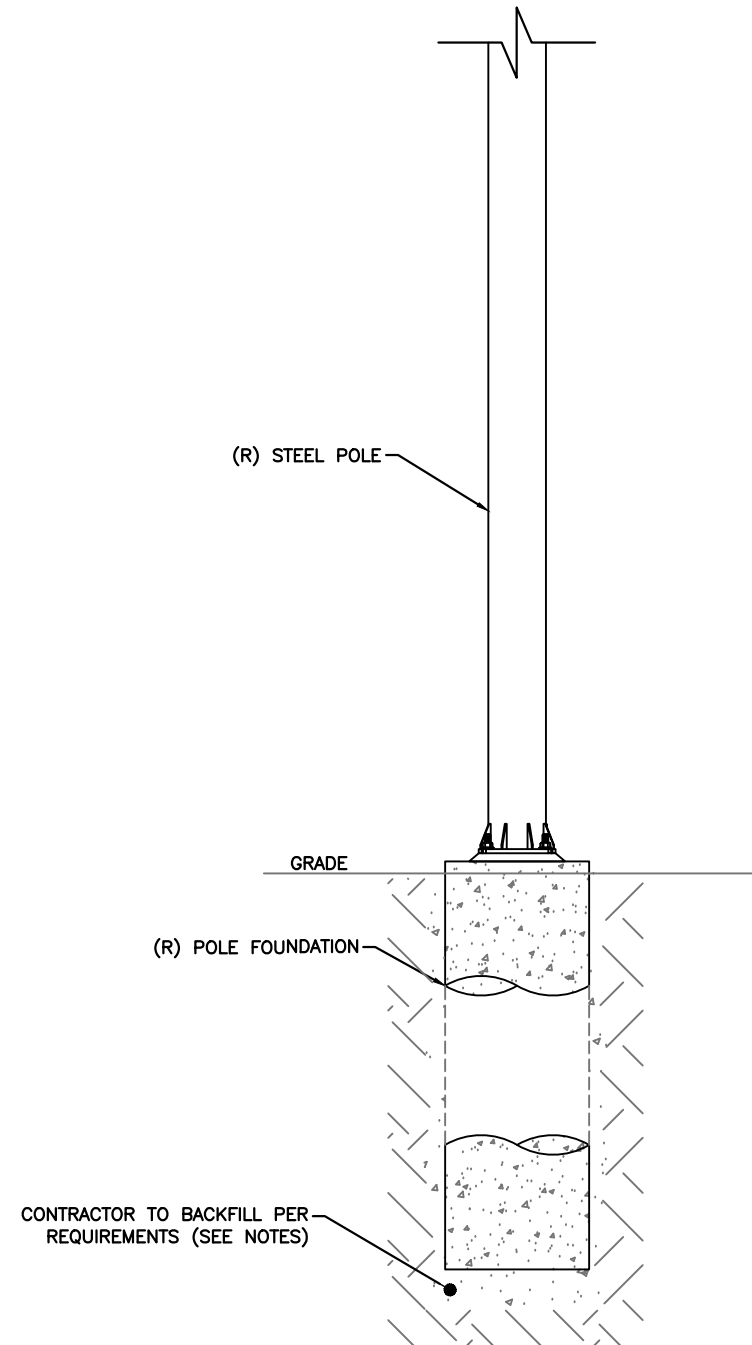
4. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS OTHERWISE NOTED ON DRAWINGS:

CONCRETE CAST AGAINST EARTH.....3"  
CONCRETE EXPOSED TO EARTH OR WEATHER  
#6 AND LARGER.....2"  
#5 AND SMALLER & W.W.F.....1-1/2"

5. MAXIMUM COARSE AGGREGATE SIZE SHALL BE 3/4".
6. INSTALLATION OF CONCRETE ANCHORS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS. THE ANCHOR BOLTS, DOWEL, OR RODS SHALL CONFORM TO THE ANCHOR MANUFACTURER'S SPECIFICATIONS FOR MATERIAL STRENGTH, EMBEDMENT DEPTH, SPACING, AND EDGE DISTANCE OR AS DETAILED ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD, HILTI OR APPROVED EQUAL. IF THE MANUFACTURER'S SPECIFICATIONS AND DETAILS ARE FOUND TO CONFLICT WITH THAT SHOWN HEREIN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
7. MECHANICAL VIBRATION IS REQUIRED ON ALL SLABS TO REDUCE THE HONEYCOMB EFFECT UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
8. THE CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONDUIT SIZES AND PENETRATION LOCATION PRIOR TO POURING THE SLAB. REFER TO SHELTER MANUFACTURER'S SPECIFICATIONS FOR ADDITIONAL INFORMATION.
9. ALLOWABLE SOIL PRESSURE = 2500 PSF (ASSUMED).

**NOTE:**  
SEE GN-3 FOUNDATION, EXCAVATION AND BACKFILL FOR ADDITIONAL NOTES.

**NOTE:**  
REFER TO STRUCTURAL ANALYSIS REPORT (SEPARATE DOCUMENT) FOR ADDITIONAL STRUCTURAL INFORMATION.



**mobilitie**

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MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**POLE FOUNDATION DETAILS**

SHEET NUMBER  
**S-1**

**POLE FOUNDATION DETAILS**

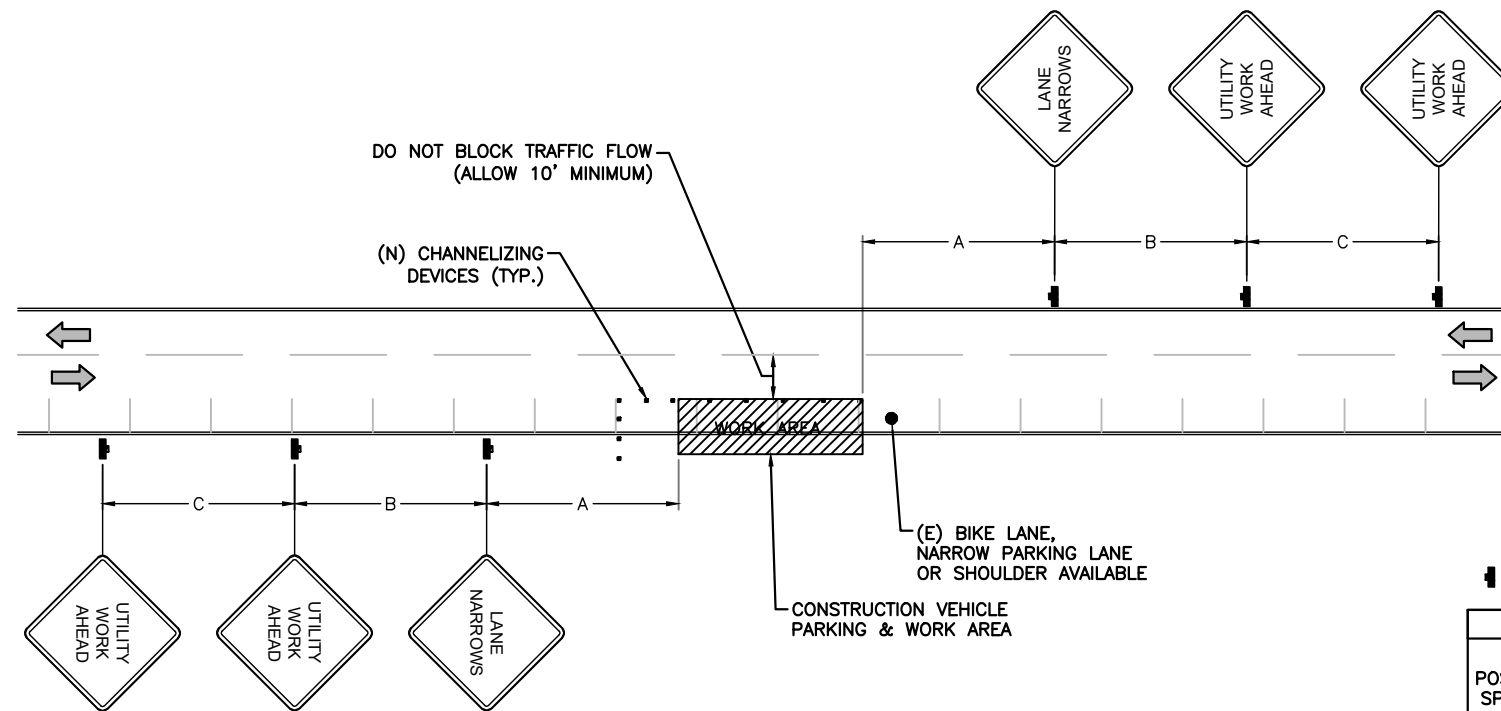
SCALE: NOT TO SCALE

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**PLAN NOTES:**

1. PLANS DEPICTED ARE GENERAL GUIDELINES FOR TEMPORARY VEHICULAR TRAFFIC CONTROL PLANS (TCP) TO INCLUDE PEDESTRIAN AND WORKER SAFETY. CONTRACTOR IS REQUIRED TO HAVE PREPARED A SITE-SPECIFIC TCP FOR REVIEW AND APPROVAL BY THE HIGHWAY AUTHORITY HAVING JURISDICTION. IF REQUIRED, THE FIRM PREPARING THE TCP SHALL BE AUTHORIZED OR CERTIFIED BY THE AUTHORITY HAVING JURISDICTION.
2. EXTEND CHANNELIZATION DEVICES INTO SHOULDER WHERE APPLICABLE.
3. DISTANCES AS INDICATED IN TABLE 1 SHOULD BE INCREASED FOR CONDITIONS THAT WOULD AFFECT STOPPING. DISTANCE SUCH AS DOWNGRADES OR LIMITED SIGHT DISTANCES. DISTANCES CAN BE DECREASED FOR LOW-SPEED (RESIDENTIAL) AREAS WITH APPROVAL BY THE AUTHORITY HAVING JURISDICTION. NIGHT-TIME WORK IS PROHIBITED UNLESS IT IS REQUIRED AS A CONDITION OF APPROVAL BY THE HIGHWAY AND LOCAL AUTHORITY HAVING JURISDICTION.
4. SHOULDER TAPERS SHOULD BE 1/3 OF THE ON-STREET TAPER LENGTH.
5. MAINTAIN A MINIMUM LANE WIDTH OF 10'.
6. CONTRACTOR IS REQUIRED TO INPUT ALL LANE CLOSURES ON A STATE HIGHWAY IN THE LANE CLOSURE INFORMATION SYSTEM (HTTPS://LCIS.DOT.STATE.FL.US) 14 DAYS PRIOR TO THE CLOSURE.



■ - SIGN

POSTED SPEED (MPH)	DISTANCE BETWEEN SIGNS			TAPER	BUFFER
	A	B	C	L (SEE NOTE)	
15	100'	100'	100'	45'	100'
20	100'	100'	100'	80'	115'
25	100'	100'	100'	125'	155'
30	200'	200'	200'	180'	200'
35	200'	200'	200'	245'	250'
40	350'	350'	350'	320'	305'
45	350'	350'	350'	540'	360'
50	500'	500'	500'	600'	425'
55	500'	500'	500'	660'	495'
60	500'	500'	500'	720'	570'
65	500'	500'	500'	780'	645'

NOTES:

A) DISTANCES IN FEET UNLESS OTHERWISE NOTED.  
 B) CONTRACTOR TO VERIFY (E) SPEED LIMIT.  
 C) DISTANCES SHOWN ARE NOT VALID FOR LIMITED ACCESS HIGHWAYS. CONSULT STATE DOT MANUAL FOR DISTANCES.  
 D) ADJUST DISTANCES TO COMPLY WITH REQUIREMENT OF THE STATE OR LOCAL HIGHWAY AUTHORITY HAVING JURISDICTION. SEE NOTE 1, SHEET TC-2.  
 E) TAPER LENGTHS SHOWN BASED ON 12' LANE WIDTH. SEE NOTE 18, SHEET TC-2.

**VEHICULAR TRAFFIC CONTROL PLAN - CURBSIDE PARKING**

SCALE: NOT TO SCALE

1

**mobilitie**

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 REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**VEHICULAR TRAFFIC CONTROL PLAN**

SHEET NUMBER  
**TC-1**



GENERAL CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST MOBILITIE CONSTRUCTION STANDARDS. THE SPECIFICATION IS THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE (N) WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED, AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITIE CM PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
4. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY/ALL ITEMS FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM SUBJECT ONLY TO OWNER-SUPPLIED ITEMS. CONTRACTOR SHALL PROVIDE ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
5. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED AND CONTRACTOR INSTALLED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:
  - A) TRANSMITTER
  - B) UHF ANTENNA AND MOUNTING BRACKETS, GPS UNIT AND KU BACKHAUL
  - C) UHF COAX AND HANGERS
  - D) INTEGRATED LOAD CENTER
6. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, (E) CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE MOBILITIE CM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
7. DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
8. CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMITS AND APPROVED SUBMITTALS PRIOR TO ORDERING MATERIALS AND THE COMMENCEMENT OF WORK.
9. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
10. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY-STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILITIE CM AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
15. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
16. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (E) SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATE REPAIR, TO NEW CONDITION, ANY DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
17. IN DRILLING HOLES, OR CORING, INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (E) CONCRETE.
18. CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (E) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
19. CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR MATERIALS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
20. CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
21. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
22. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ANY EROSION CONTROL MEASURES, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
23. ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANT'S INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
24. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING STANDARDS CODE AND STATE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS WHEREIN THE FINISHED WORK WILL NOT COMPLY PER STATE CODE OF REGULATIONS, A SCOPE OF WORK DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE JURISDICTION BEFORE PROCEEDING WITH THE WORK. A CHANGE ORDER FOR THAT SCOPE SHALL BE SUBMITTED TO THE MOBILITIE CM PRIOR TO PROCEEDING WITH THE WORK.
25. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
26. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

ELECTRICAL NOTES:

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY MOBILITIE CM AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE MOBILITIE CM HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.

2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELF WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIP., ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF THEIR BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, ALL CODES AND ORDINANCES OF THE LOCAL JURISDICTION, AND POWER & TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT ARE NOT BE LIMITED TO:
  - A) UL - UNDERWRITERS LABORATORIES
  - B) NEC - NATIONAL ELECTRICAL CODE
  - C) NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
  - D) OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
  - E) SBC - STANDARD BUILDING CODE
  - F) NFPA - NATIONAL FIRE PROTECTION AGENCY
  - G) ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE
  - H) IEEE - INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
  - I) ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS
4. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH MOBILITIE CM ANY SIZES AND LOCATIONS WHEN NEEDED.
5. (E) SERVICES: CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC... ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILITIE CM, PRIOR TO BEGINNING ANY WORK.
7. MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION, UNLESS OTHERWISE NOTED.
8. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
10. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
11. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY FUNCTIONAL AND SHALL BE APPROVED BY THE MOBILITIE CM AND LOCAL JURISDICTION. ANY DEFICIENCIES SHALL BE CORRECTED BY AN ELECTRICAL CONTRACTOR AT THE SOLE COST OF THE CONTRACTOR.
12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.

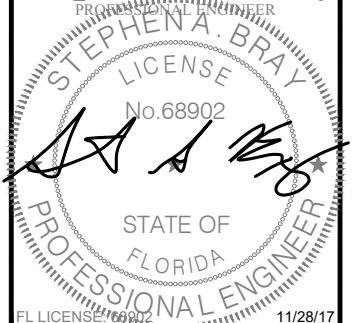
**mobilitie**

PROJECT NO: 9FLB000844F  
DRAWN BY: RC  
CHECKED BY: SJB

B	11-28-17	REVISION
A	10-15-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

Stephen A. Bray



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XS385F  
MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
GENERAL NOTES

SHEET NUMBER  
GN-1

ELECTRICAL NOTES CONT'D

1. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
2. CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
3. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
4. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IECE.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ANY/ALL EQUIPMENT AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILITE CM PRIOR TO INSTALLATION.
6. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE MOBILITE CM UPON FINAL ACCEPTANCE.
7. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
8. DISCONNECT SWITCHES SHALL BE UL-RATED, H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
9. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND KNOWN AS "NO-OXIDE A" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
10. RACEWAYS: CONDUIT SHALL BE SCHEDULE 80 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'COLD GALV'.
11. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
12. CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION, UNLESS OTHERWISE NOTED, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
13. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
14. SERVICE: AS SPECIFIED ON THE DRAWINGS. OWNER OR OWNER'S AGENT WILL APPLY FOR POWER. ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
15. TELEPHONE OR FIBER SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
16. ELECTRICAL AND TELCO/FIBER RACEWAYS TO BE BURIED A MINIMUM DEPTH OF 30", UNLESS OTHERWISE NOTED.
17. CONTRACTOR SHALL PLACE 6" WIDE DETECTABLE WARNING TAPE AT A DEPTH OF 6" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOM".
18. ALL BOLTS SHALL BE 3-16 STAINLESS STEEL

GROUNDING NOTES:

1. ALL HARDWARE SHALL BE 3-16 STAINLESS STEEL, INCLUDING LOCK WASHERS. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND, AS SPECIFIED, BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR SIZED TO MATCH COMPONENTS OR LOG SIZE.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
4. ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.
5. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
6. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #6 GROUND WIRES. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
7. ALL GROUND CONNECTIONS SHALL BE #6 AWG, UNLESS OTHERWISE NOTED. USE SOLID COPPER, BLACK JACKETED WIRE ON NON WOOD POLES AND SOLID TINNED COPPER, BARE (NO JACKET) WIRES ON WOOD POLES. BLACK WIRES WILL USE A SINGLE STRIPE OF GREEN ELECTRICAL TAPE WITHING 12" OF THE CONNECTION POINTS TO IDENTIFY AS GROUNDING WIRE.
8. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
9. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE/ 6" BELOW FROST-LINE IN TRENCH, UNLESS OTHERWISE NOTED. BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT/ENGINEER.
10. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
11. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
  - A. BURNDY, HY-GRADE U.L. LISTED CONNECTORS FOR OUTDOOR USE OR AS APPROVED BY APPLICANT PROJECT MANAGER.
  - B. CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
  - C. ONE (1) OR (2) HOLES TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS.
12. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES) AND WEATHER-PROOFED WITH HEAT SHRINK.
13. ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO MAGNETS).
14. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL (E) AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS.

TESTING AND EQUIPMENT TURN UP REQUIREMENTS:

1. RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.

3. CONTRACTOR TO VERIFY AND RECORD ALL TEST RESULTS AND PROVIDE THESE RESULTS WITHIN THE FINAL CLOSE OUT PACKAGE.
4. ALL PERSONNEL INVOLVED IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT WILL BE REQUIRED TO HAVE BEEN TRAINED AND OR CERTIFIED IN THE PROPER TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT.
5. ALL TEST RESULTS SHALL BE TIME STAMPED, RECORDED AND PRESENTED PRIOR TO ENERGIZING AND TURN UP OF ANY EQUIPMENT.
6. GPS EQUIPMENT (WHEN REQUIRED) IS NOT TO BE TESTED OR ATTACHED TO ANY CABLING DURING TESTING, DOING SO WILL DAMAGE THE GPS UNIT.
7. PRIOR TO TESTING IF THE CONTRACTOR HAS ANY QUESTIONS ABOUT THE TESTING PROCEDURES THEY ARE TO CALL AND OBTAIN ASSISTANCE FROM A QUALIFIED DESIGNATED TESTING REPRESENTATIVE.
8. EQUIPMENT IS NOT TO BE ENERGIZED UNTIL ALL TESTING HAS BEEN COMPLETED, APPROVED AND THE APPROPRIATE AUTHORITY HAS BEEN NOTIFIED AND GIVES APPROVAL TO ENERGIZE THE EQUIPMENT.

SITE WORK NOTES:

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
3. ALL (E) UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL (E) UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING (E) UTILITIES.
4. CONTRACTOR SHALL VERIFY ALL (E) UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILITE CM FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT THEIR OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATE HOT LINE, SUCH AS 811, FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. ALL NEW AND (E) UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK. ANY COST RELATED TO ADJUSTING (E) STRUCTURES SHALL BE BORNE SOLELY BY THE CONTRACTOR.
6. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO (E) GRADES AT THE GRADING LIMITS.
7. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

**mobilitie**

PROJECT NO:	9FLB000844F
DRAWN BY:	RC
CHECKED BY:	SJB

B	11-28-17	REVISION
A	10-15-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC  
**Stephen A. Bray**  
 PROFESSIONAL ENGINEER  
 LICENSE  
 No. 68902  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER  
 11/28/17  
 IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XS385F  
MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**GENERAL NOTES**

SHEET NUMBER  
**GN-2**

SITE WORK NOTES CONT'D

8. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY, UNLESS OTHERWISE NOTED.
9. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
10. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
11. ANY FILLS PLACED ON (E) SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE (E) SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
12. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO DEBRIS, PAPER, TRASH, WEEDS, BRUSH, EXCESS FILL, OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
13. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
14. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

ENVIRONMENTAL NOTES:

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES AS REQUIRED BY THE LOCAL JURISDICTION WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION. ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES WITH SILT AND EROSION CONTROL MEASURES MAINTAINED ON THE DOWNSTREAM SIDE OF SITE DRAINAGE. ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF EROSION WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
7. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
8. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE, BUT IS NOT LIMITED TO SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
10. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY STONE FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES.

11. GC TO PLACE FILTER MATERIAL AT ALL CATCH BASINS ADJACENT TO CONSTRUCTION SITE TO PREVENT SOLID WASTE CONTAMINATION FROM ENTERING SEWER SYSTEM

FOUNDATION, EXCAVATION AND BACKFILL NOTES:

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE NOTED.
2. BACKFILL OF THE POLE SHALL BE PERFORMED BASED ON THE WATER TABLE. FLOWABLE FILL MIXTURES PURCHASED FROM CONCRETE PLANTS WILL BE USED INSTEAD OF FOAM IN WATER TABLE AREAS.
  - A: NORMAL SOILS ORDER OF PREFERENCE – FOAM, FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES
  - B: HIGH WATER TABLE SOILS ORDER OF PREFERENCES – FLOWABLE FILL, CONCRETE, COMPACTED AGGREGATES.
3. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE, UNSUITABLE MATERIAL OR FROZEN SOILS, AND WITHOUT THE PRESENCE OF POUNDING WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED WHEN REQUIRED. COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
4. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF ADEQUATE BEARING CAPACITY IS NOT ACHIEVED AT THE DESIGNED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED LIME STONE #57 MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. ANY STONE SUB BASE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
5. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLODS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
6. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED IN MAXIMUM 6" THICK LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
7. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
8. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS. PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
9. NEWLY GRADED GRAVEL SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE: TYPAR-3401 AS MANUFACTURED BY TYPAR GEOSYNTHETICS OR AN APPROVED EQUIVALENT, SHOWN ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE RECURRENCE OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITH A MINIMUM OF 4" DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED. I.E. FDOT TYPE NO. 57 FOR FENCED COMPOUND; FDOT TYPE NO. 67 FOR ACCESS DRIVE AREA, UNLESS OTHERWISE NOTED.
10. IN ALL AREAS TO RECEIVE FILL: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SUCH THAT FILL MATERIAL WILL BIND WITH (E)/PREPARED SOIL SURFACE.
11. WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARIFY THE GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION AND/OR AERATE THE SOILS AND RECOMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILLS.
12. IN AREAS WHICH (E) GRAVEL SURFACING IS REMOVED OR DISTURBED DURING

CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.

13. (E) GRAVEL SURFACING MAY NOT BE REUSED.
14. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
15. PROTECT (E) GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING 'MATTS' OR OTHER SUITABLE PROTECTION DESIGNED TO SPREAD EQUIPMENT LOADS AS MAY BE NECESSARY. REPAIR ANY DAMAGE TO (E) GRAVEL SURFACING OR SUB GRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTORS OPERATIONS.
16. DAMAGE TO (E) STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/ OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
17. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.

**mobilitie**

PROJECT NO:	9FLB000844F
DRAWN BY:	RC
CHECKED BY:	SJB

B	11-28-17	REVISION
A	10-15-17	FOR CLIENT REVIEW

KMB DESIGN GROUP, LLC

**Stephen A. Bray**



IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

MI90XS385F  
MIAMI BEACH, FL 33140  
REPLACEMENT 24'-6" STEEL POLE

SHEET TITLE  
**GENERAL NOTES**

SHEET NUMBER  
**GN-3**

# SPECIAL PURPOSE SURVEY

SECTION 26, TOWNSHIP 53 SOUTH, RANGE 42 EAST  
MIAMI-DADE COUNTY, FLORIDA  
FOR: KIMLEY-HORN



SUNSHINE STATE ONE CALL  
TICKET: 265705655

## SURVEYOR'S NOTES

- BEARINGS HEREON ARE REFERENCED TO GRID NORTH AS ESTABLISHED BY THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE, NAD'83 ADJUSTMENT, AS EVIDENCED BY THE BEARING OF SOUTH 69°50'51" EAST ALONG THE NORTH LINE OF LOTS 7, 8 AND 11, BLOCK 12, MIAMI BEACH IMPROVEMENT SUBDIVISION, RECORDED IN PLAT BOOK 5, PAGE 7 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LINE ALSO BEING ALONG THE SOUTH RIGHT-OF-WAY LINE OF 30TH STREET.
- UNDERGROUND UTILITY LINES DEPICTED HEREON ARE BASED UPON OBSERVED DELINEATIONS MADE BY UTILITY LOCATION PERSONNEL RESPONDING TO A UTILITY LOCATION REQUEST MADE BY THIS OFFICE TO THE SUNSHINE STATE ONE-CALL 811 UTILITY LOCATION SERVICE, TICKET # 265705655. ADDITIONAL BURIED UTILITIES MAY EXIST WITHIN THE PROJECT AREA, THAT WERE NOT DELINEATED AS A RESULT OF OUR UTILITY LOCATION REQUEST, AND ARE NOT DEPICTED HEREON. NO ADDITIONAL SUB-SURFACE INVESTIGATIONS WERE MADE BY THIS OFFICE AS A PART OF THIS SURVEY.
- THE SPECIAL PURPOSE SURVEY SHOWN HEREON IS BASED ON ACTUAL FIELD MEASUREMENTS AND OBSERVATIONS DATED OCTOBER 5, 2017.
- REPRODUCTIONS OF THIS SKETCH ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND THE RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE PURPOSE OF THIS SURVEY IS TO ESTABLISH THE LOCATION OF A PROPOSED POLE.
- LATITUDE, LONGITUDE AND ELEVATIONS DEPICTED HEREON ARE BASED UPON GPS OBSERVATIONS MADE WITH AN EGPS REAL TIME KINEMATIC GPS SYSTEM INCORPORATING A CHAMPION TKO GPS RECEIVER.
- ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NAVD'88 DATUM.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH OR AN ABSTRACT. THIS OFFICE HAS NOT PERFORMED A SEARCH OF THE PUBLIC RECORDS FOR EXISTING EASEMENTS, RIGHTS-OF-WAY, ABANDONMENTS, ZONING, SETBACKS OR DEED RESTRICTIONS.
- ADDRESS:  
2940 COLLINS AVENUE,  
MIAMI BEACH, FL 33140

## FLOOD NOTE

ACCORDING TO MY INTERPRETATION OF COMMUNITY PANEL NUMBER 120651 0336 L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA, DATED 9/11/2009, THE SUBJECT PROPERTY IS IN FLOOD ZONE "AE", IE, "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; BASE FLOOD ELEVATIONS DETERMINED".

NOTE: THE BASE FLOOD ELEVATION DEPICTED ON THE COMMUNITY PANEL, FOR THE LOCATION OF THE SUBJECT PROPERTY, IS 8 FEET NGVD'29, WHICH CORRESPONDS TO AN ELEVATION OF 6.4' NAVD'88.

## CENTER OF EXISTING METAL LIGHT POLE INFORMATION:

NAD 83  
LATITUDE = 25°48'21.22" N ±20'  
LONGITUDE = 80°07'29.33" W ±20'

NAD 27  
LATITUDE = 25°48'19.87" N ±20'  
LONGITUDE = 80°07'30.17" W ±20'

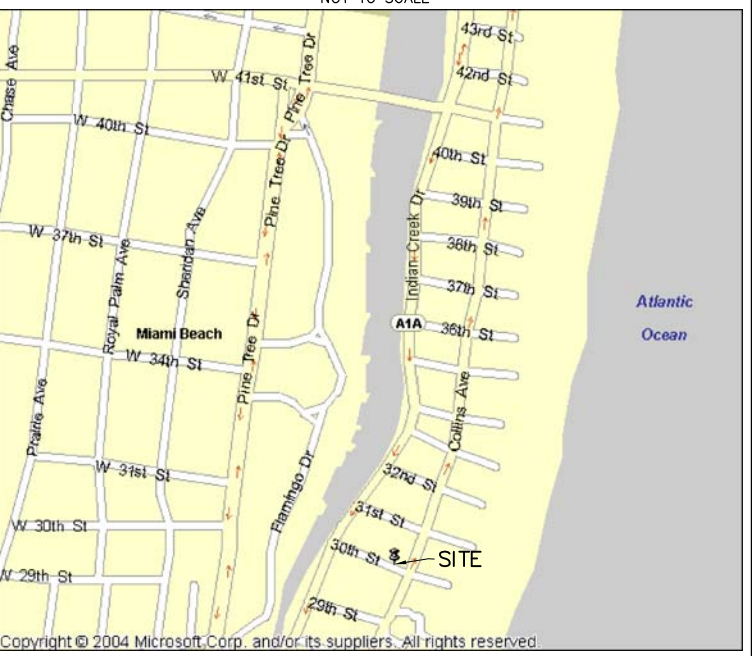
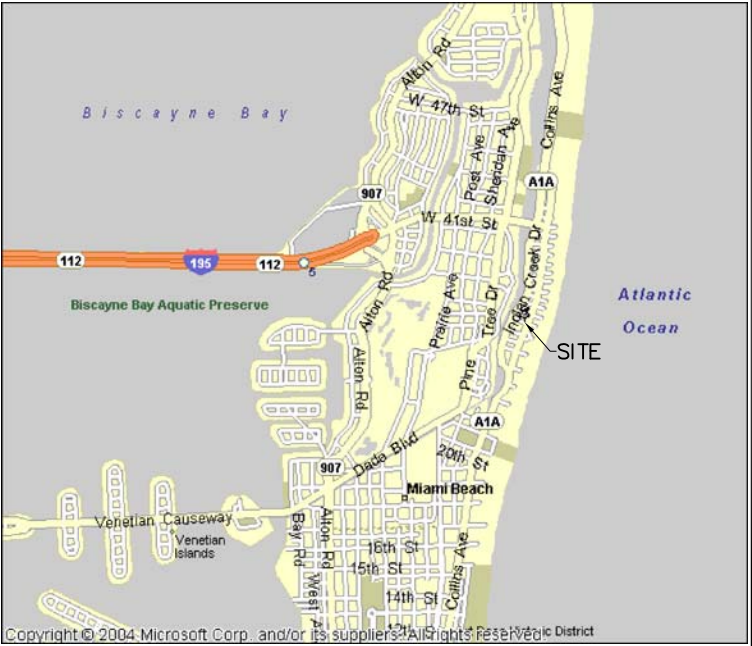
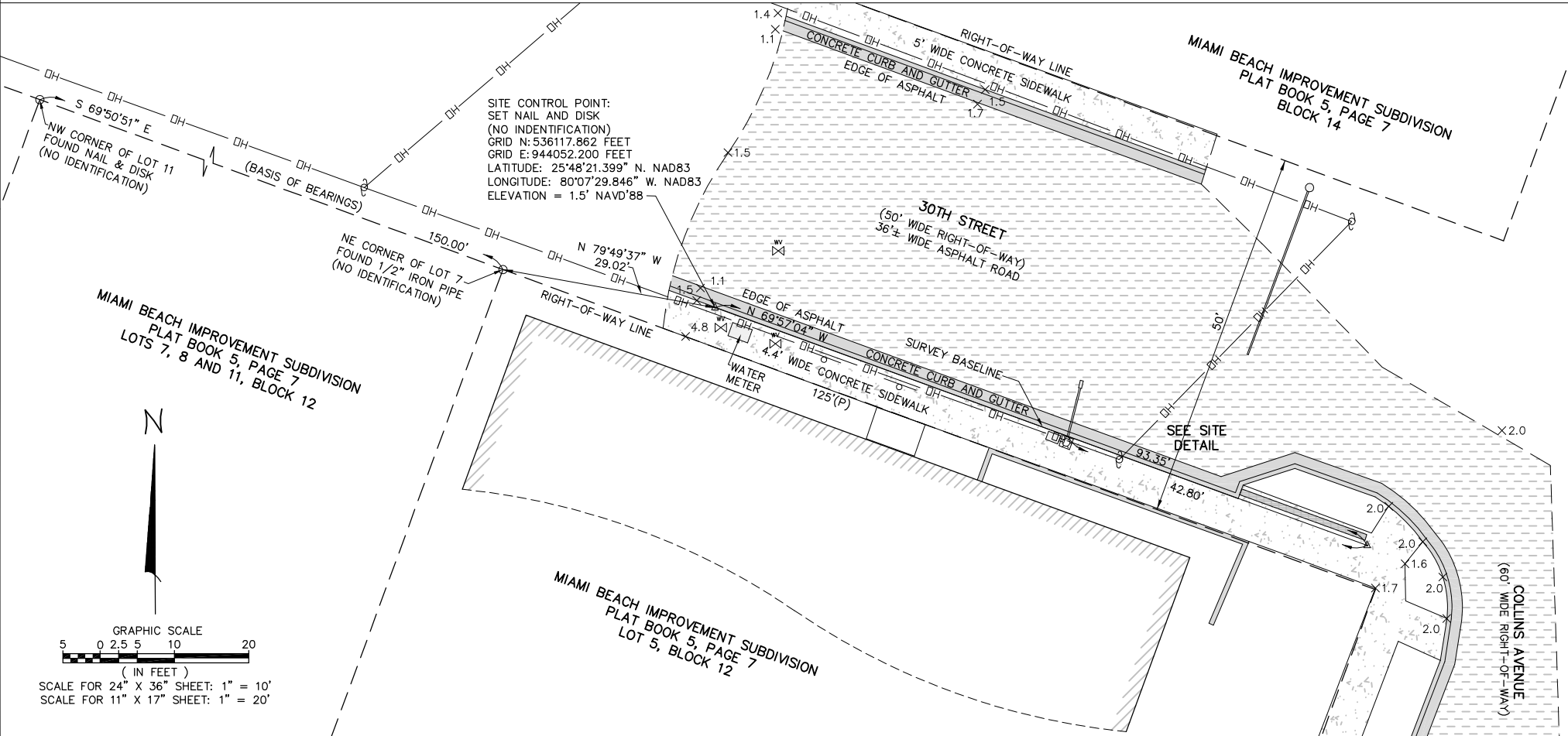
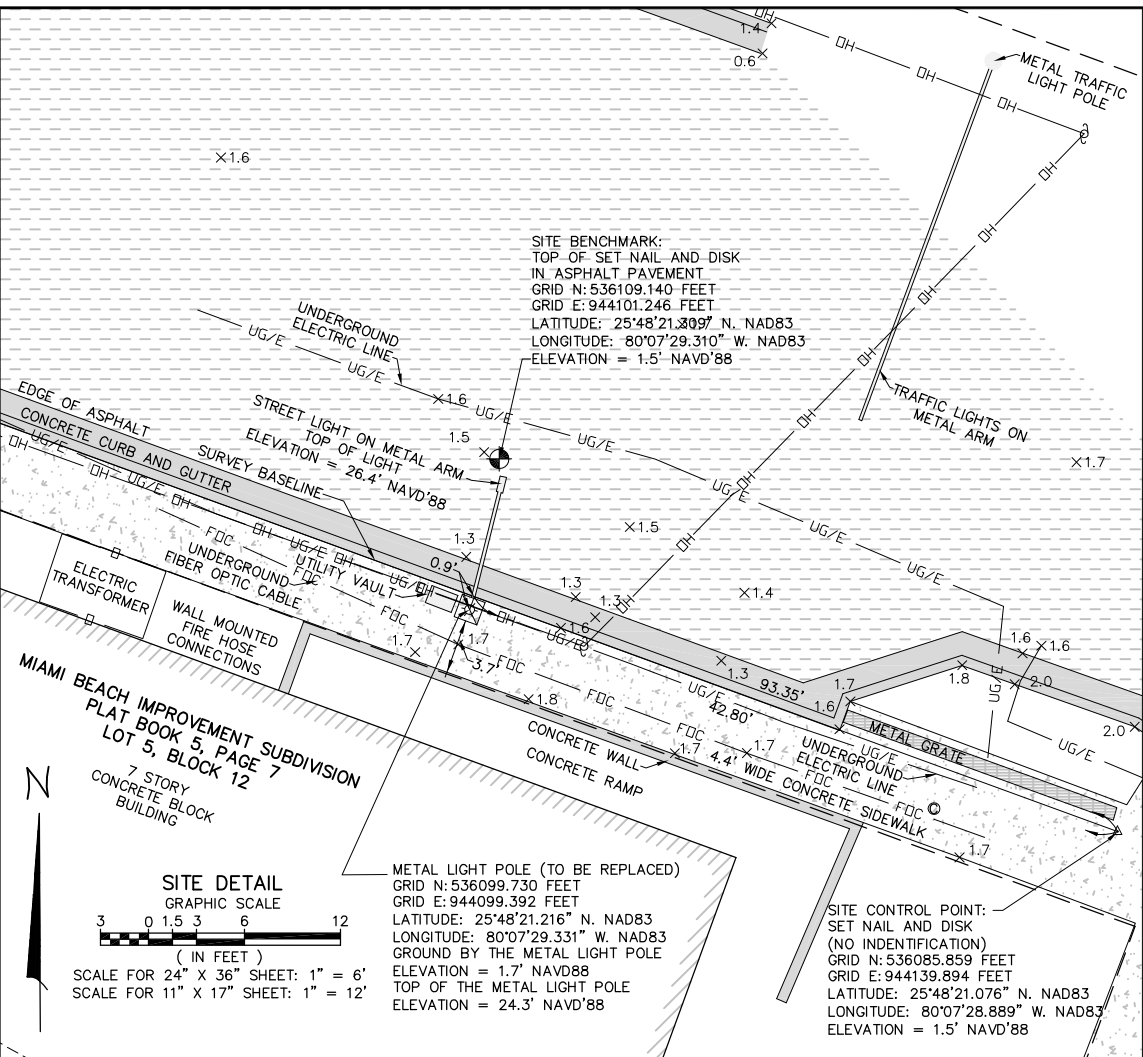
GROUND ELEVATION = 1.7'±3" NAVD'88  
GROUND ELEVATION = 3.2'±3" NGVD'29

TOP OF THE LIGHT POLE HEIGHT ABOVE GROUND = 22.6'±1'  
ELEVATION OF THE TOP OF THE LIGHT POLE = 24.3'±3" NAVD'88  
ELEVATION OF THE TOP OF THE LIGHT POLE = 25.8'±3" NGVD'29

## LEGEND

- INDICATES IRON PIN FOUND AS NOTED
- △ INDICATES SET NAIL AND DISK (NO IDENTIFICATION)
- ⊕ INDICATES WOOD UTILITY POLE
- INDICATES OVERHEAD POWER LINE
- ⊙ INDICATES METAL PAY PARKING SIGN
- ⊛ INDICATES METAL LIGHT POLE
- ⊕ INDICATES WATER VALVE FOUND
- INDICATES CLEANOUT FOUND
- UG/E INDICATES UNDERGROUND ELECTRIC LINE
- FDC INDICATES UNDERGROUND FIBER OPTIC CABLE
- X 1.7 INDICATES SPOT SHOT ELEVATION
- ▨ INDICATES ASPHALT
- ▩ INDICATES CONCRETE
- GRID N: 550489.707  
GRID E: 936922.681 INDICATES STATE PLAIN COORDINATE SYSTEM PAIR (FEET) REFERENCED TO THE FLORIDA STATE PLAIN COORDINATE SYSTEM, FLORIDA EAST ZONE, NAD83 ADJUSTMENT

NAVD'88 = NORTH AMERICAN VERTICAL DATUM, 1988 ADJUSTMENT.  
NGVD'29 = NATIONAL GEODETIC VERTICAL DATUM, 1929 ADJUSTMENT.  
NAD'83 = INDICATES NORTH AMERICAN DATUM, 1983 ADJUSTMENT.  
NAD'27 = INDICATES NORTH AMERICAN DATUM, 1927 ADJUSTMENT.



**GEOLINE SURVEYING, INC.**

Professional Land Surveyors  
13430 NW 104th Terrace, Suite A  
Alachua, Florida 32615  
(386)418-0500 Fax: (386)462-9986  
geoline@geolineinc.com

DESIGNED FLOYD CURTIS  
DRAWN FLOYD CURTIS  
CHECKED DAVE SHORT

SCALE AS SHOWN  
DATE OCTOBER 5, 2017  
PROJECT # 344-71

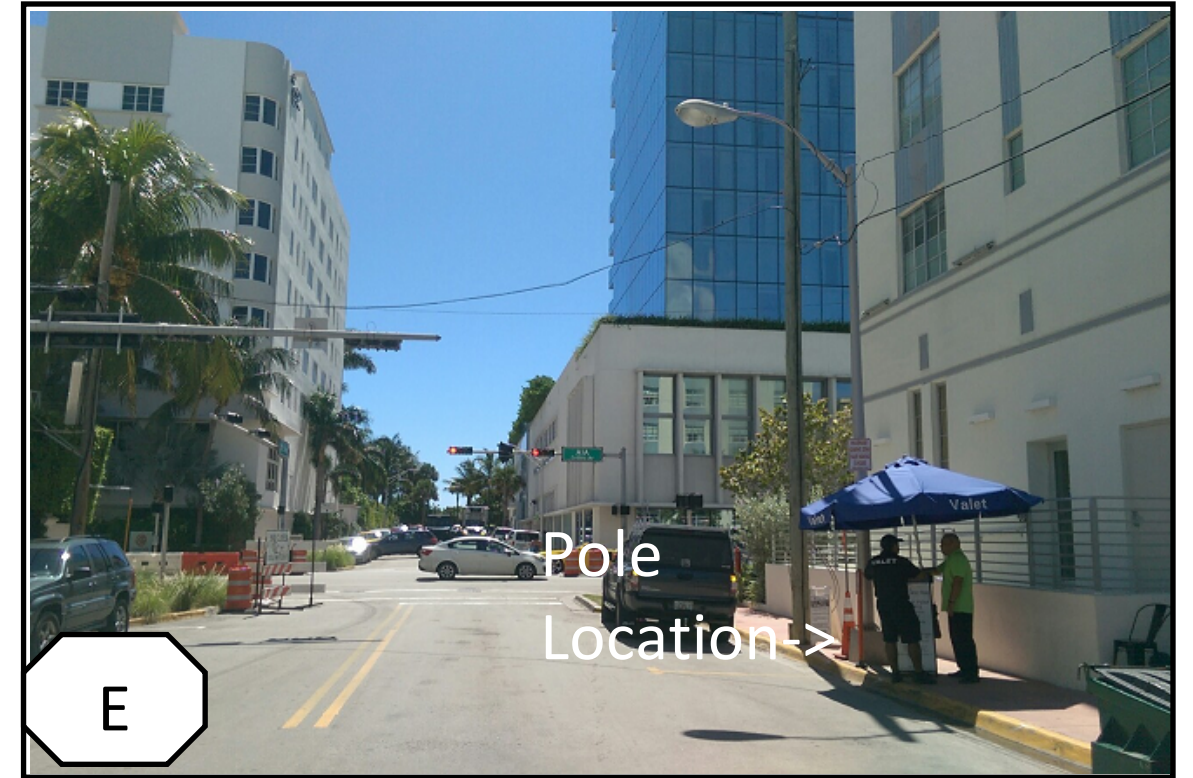
MI90XS385F / 9FLB000844 SITE  
LOCATED IN MIAMI-DADE COUNTY, FLORIDA  
ADDRESS: 2940 COLLINS AVENUE, MIAMI BEACH, FL 33140

DRAWING # 344-71 SHEET # 1 OF 1

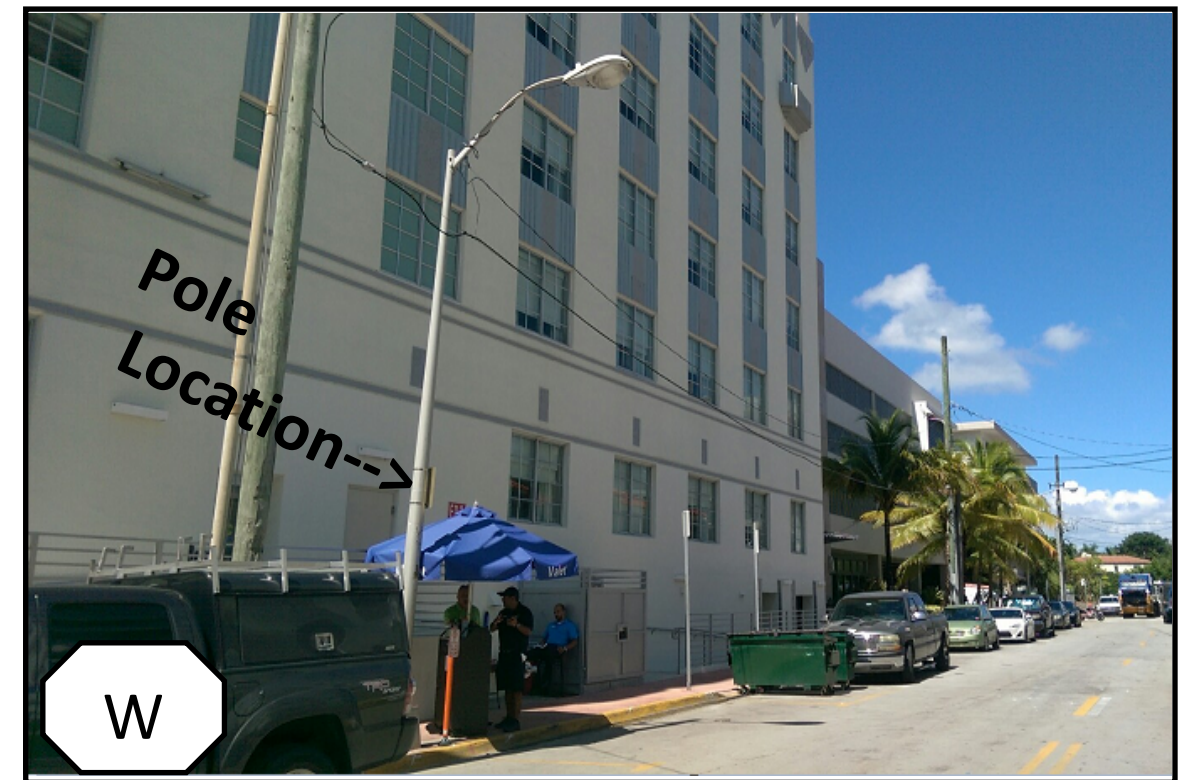
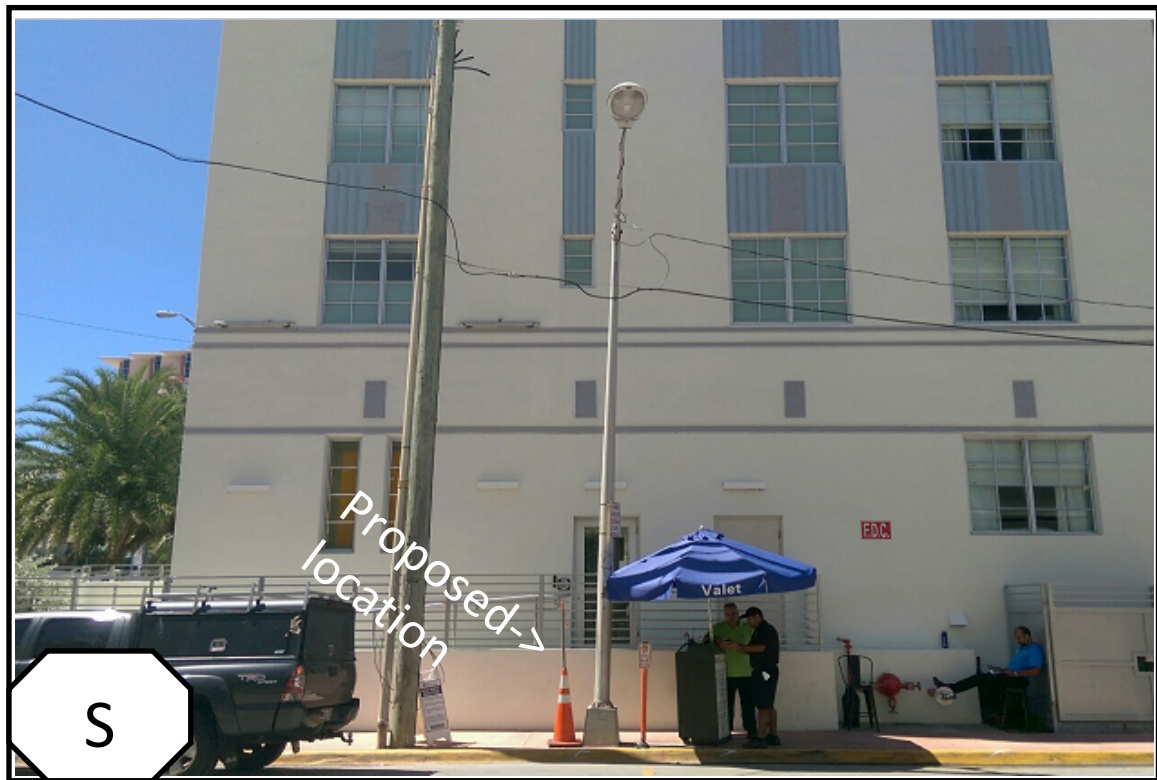


GEOLINE SURVEYING, INC., LB 7082

David G. Short  
11/14/2017  
DAVID G. SHORT  
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER  
CERTIFICATE OF REGISTRATION NO. 5022



Views of  
Pole  
Location



Approximate Address: 210 30th Street

Candidate: MI90XS385F