

**CVS**  
**1475 Collins Avenue**  
**Loading Zone Operational Plan**

1. Location. The proposed loading zone is on the west side of the property located at 1475 Collins Avenue, Miami Beach, Florida, along Collins Avenue.
2. Store Hours of Operation. CVS will be open twenty-four (24) hours a day, seven (7) days a week.
3. Loading Zone Hours of Operation. Deliveries are allowed daily from 7:00 AM to 12:00 PM, except on Sundays and recognized state and federal holidays.
4. Trash Pickup. Trash pickup will be on the City's schedule, but is expected to occur between 7:00 AM to 12:00 PM, except on Sundays and recognized state and federal holidays.
5. Deliveries.
  - a. The loading zone shall be used as the sole location for all deliveries.
  - b. All CVS and independent trucks and vendors will be advised that the Collins Avenue loading zone should be used for all deliveries to the CVS.
  - c. Independent vendors will be directed to not park along the 15th Street.
6. Trucks. The largest truck in the loading zone will be a WB50 AASHTO 2004 (US).
  - a. The width of the truck is approximately eight (8) feet.
  - b. The length of the truck is approximately fifty-two (52) feet.
7. Signage.
  - a. CVS will post signage on the premises directing vendors to not park along 15th Street.
  - b. The provided signage will direct that loading is not permitted on 15th Street.
  - c. Allowable hours for deliveries will be described on signage.

# *The Charles Hotel*

1475 Collins Avenue  
Miami Beach, Florida

## *HISTORICAL RESOURCE REPORT*

Report Prepared by:  
Jennifer McConney  
Kobi Karp Architecture  
& Interior Design, Inc.

Date: July 1, 2004



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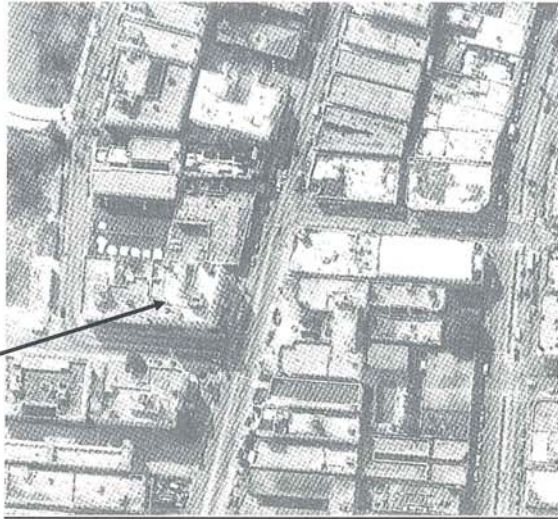
### Preliminary Remarks

This historical analysis has been prepared on the Charles Hotel (1475 Collins Avenue) by Kobi Karp Architecture and Interior Design, Inc. in order to understand this structure from its beginnings through its transformations. Furthermore, to add a piece to the entire documentation of the Miami Beach Historic District.

The following reference locations were visited and proved instrumental in obtaining and compiling this information:

1. City of Miami Beach, Building Department
2. Metro-Dade Public Library, Miami Beach Branch
3. Metro-Dade Regional Library, Downtown Miami Branch (Romer Collection)
4. Florida Historical Museum Research Center
5. Miami Beach Welcome Center
6. University of Miami, School of Architecture Library and Archives

Location Sketch



Legal Description

All that part of lots 3 and 4 of Block 77 of "Fisher's First Subdivision of Alton Beach", as recorded in plat book 2 at page 77 of the Public Records of Miami Dade County, Florida.

**CHRONOLOGY**

**HISTORIC  
PHOTO**

**Chronology**  
**Charles Hotel**

1938	Permit No. 11124 was pulled on May 6, 1938 for the construction of a 3 story building with a foundation to support 5 stories. Charles Rubin was listed as the Owner and the Contractor. Henry Malony was the Architect. On August 15, 1938, the permit was revised to allow for 5 floors. On November 5, a 4 room penthouse was added to the permit. On December 6, a permit was pulled with Gerald Pitt as the Architect to remodel the restaurant at the ground floor.
1942 – 1944	The USAAFTTC occupied the hotel during World War II.
1944	Several repairs were made to the building after the Army occupation
1951	New canopies on Collins avenue were installed designed by Maurice Weintraub, Architect.
1957	Window Air-conditioner units were introduced to the building.
1960	The lobby of the hotel was remodeled with \$1,000 construction cost
1968	70 Gas ranges and small kitchenettes were added
2003	The new owner of the hotel, First Ocean Residences, began interior only, exploratory, non-structural demolition before preparing to completely restore the building. After the removal of the floor and ceiling finishes, much of the rebar supporting the concrete slabs was seen exposed.
2004	The City of Miami Beach building department ordered that the building was an unsafe structure and had to be demolished. In June the building was demolished.





*Circa 1960's*




**HISTORICAL DATA  
FROM THE CITY OF  
MIAMI BEACH**

**BUILDING  
CARD**

**MICROFILM**

HOTEL CHARLES  
 Owner Chas. Rubin Mailing Address USAAFTTC Permit No. (11124) - 11451 \*\* added  
 Lot 124' of Block 77 Subdivision FISHER'S FIRST No. 1475 Street Collins Ave. Date May 6-1938  
 General Contractor Charles Rubin BOND #1836 Address 1455 1461 \*\* Aug. 15-1938--  
 Architect Henry J. Moloney 5121 Address 1 - Otis Elevator added - 60 rm's  
 Front 95' Depth 95' Height 36' Stories 5-5 Use Hotel - 58 rooms  
 #3 Type of construction c-b-s- Cost \$ 65,000.00 -- Foundation Spread footings Roof flat ONLY  
 2 floors added -- " designed for 5 stories

Plumbing Contractor Fixzit # 11033- Address Date June 1-1938  
 No. fixtures 215 Rough approved by GAS - OK J J Farrey - Nov. 23-1938 Date 11/23/38  
 No. receptacles Gas 14  
 Plumbing Contractor Fixzit # 11567 #3643 METRO ORD. #75-34 CERTIFICATION DATE 1/2/39  
 No. fixtures set 104 Final approved by  Address Date Nov. 21-1938  
 Sewer connection -- 2 -- Septic tank Make Date

Electrical Contractor Jennings Electric Co. # 10919 Address Date June 1-1938  
 236 Fans Temporary service May 19-1938  
 No. outlets 150 Heaters Stoves 1 Motors 1 " # 10380- Jennings Elec. Co.  
 250- receptacles- 1 refrig. Date #11780- Temp- Jennings- Nov. 10-1938  
 Rough approved by 12 centers-  
 Electrical Contractor Jennings Electric Co. # 12241- Address Date Dec. 28-1938  
 162 - outlets- 4 motors- 17 sign outlets- 11 centers of distribution  
 No. fixtures set 250 Final approved by Date  
 Date of service

Alterations or repairs # 11858- 4 room pent house - 2 UNITS- \$1,000.00- Date Nov. 5-1938  
 Chas. Rubin, contractor- Zurwelle & Whitaker, engs-  
 Electrical permit # 11974- Miami Ra O Lite Co 3 neon transformers- Dec. 1-1938  
 BUILDING PERMIT # 11997- 1 Roof Sign- 1 sign on Marquee - Miami Ra O Lite-\$500.-Dec. 1-1938  
 BUILDING PERMIT # 12020- Remodeling for Dining Room- (Gerald Pitt, arch) \$1,000.00-Dec. 6-1938  
 Electrical permit # 12413- F. C. Ast- 1 motor- 1 center of distribution- Jan. 26-1939  
 BUILDING PERMIT - Roofing (Robbins Roofing & Sheet Metal Co.) \$ 960.00-- 6/12/1939

BUILDING PERMIT # 13315 - Exhaust system - Kwart Sheet Metal Co. contractor - \$ 350.00 - Nov. 1939  
 " # 13352 - One 55-gal tank underground for fueling steam for Press in basement  
 Gibbs Oil Burner Company - - - - - \$ 300.00 - Nov. 25- 1939 ---  
 " # 14485 - One 6" smoke stack- 75' high- Pioneer Sheet Metal & Roofing Co. \$52, 8-29-  
 " # 18014 - Painting (after Army occupation) V. Engel, painter -- \$ 4,500: Jan. 27, 1944  
 18032 - Repairs necessary after Army occupation - day labor \$ 5,000: Feb. 1, 1944  
 # 18831... Install Bar in dining room: (see City Council minutes 8/16/44) \$150... Aug. 21, 1944  
 " # 20191 Maintenance of steel sash Ludman Corp: \$300... June 4, 1945  
 # 23163 Painting - inside of hotel only. owner \$ 100... Sept. 21, 1946  
 # 27487 Installing in Melody room - Air Conditioning - Stuart Cooling Corp. \$ 1,985: 6/7/48  
 # 28445 Installing broken glass - Ludman, contractor \$ 200... Oct. 13, 1948

MECHANICAL PERMIT # 12671- Markowitz & Rappaport - 3 sinks- 1 shower- 1 wash basin- 1 gas- Nov. 7-1939  
 " # 12676--- Harper -- 1 sand trap -- no gas -- Nov. 7- 1939 ---  
 " # 14838 - 1 Pressing machine- H.B. Miller, plumber- for Max Singer- 12- 21- 40  
 # 17128 C. R. Martin. 1 Outside shower, 1 gas water heater, 1 gas griddle. Feb. 2, 1944  
 # 17809... C.R. Martin... 2 sinks... Oct. 26, 1944  
 # 17875... C. R. Martin... Re-set 1 sink... Nov. 17, 1944

ELECTRICAL PERMIT # 13962 - Lyon Electric Co.- 1 switch, 5 light outlets; 3 receptacles; 10 fixtures  
 final OK- 12/5 2 refrigerators; 1 toast master; 2 motors; 2 centers of distribution- 11/27/1939  
 electrical permit # 13961- Lyon Electric- 1 switch, 5 light outlets; 3 receptacles; 10 fixtures;  
 1 ~~xxxxx~~ toastmaster - 2 motors- 2 centers of distribution- Nov. 29-1939  
 # 14002: C.J. Jennings- 1 switch, 1 light outlet - 3 iron - 2 centers - (MACK SINGER) Dec. 11-1939  
 " # 14975- Lyon Electric - 1 motor- - - - - 5- 24- 1940 -  
 " # 15027 - Lyon Electric- shortage on previous permit- - - - - 3 centers- - June 4-1940  
 " # 15097- Lyon Electric - 1 meter change - - - Final - 7/8th-LB, Jr. - - - - July 3- 1940 --  
 # 15921 AST - 1 motor and 1 center of distribution- July 19-1940  
 # 1803 - F.O. Ast - 1 light, 1 receptacle - 1 fixture, 1 iron, 1 motor, 2 centers, Dec. 30, 1941  
 (basement) Final OK Brown- 1, 27th, 42  
 # 1875 - Biscayne Electric- 1 light outlet - July 31, 1942  
 # 19413 - Biscayne Electric - 1 light outlet - April 2, 1943  
 # 2004 Lyon Electric. 10 switch outlets, 10 Receptacles..... Feb. 4, 1944  
 # 20132 Astor Electric: 6 light outlets, 2 receptacles, 6 fixtures - Dec. 1, 1944  
 # 20719 Straw: 1 switch outlet, 5 light outlets, 3 receptacles, 5 fixtures - Dec. 13, 1944



Lot 3 &  
133' of 4

Block 77

Subdivision FISHER'S FIRST  
ALTERATIONS & ADDITIONS

HOTEL CHARLES  
1465-1475 Collins Avenue

Building Permits: # 28767 Re-roofing - W. R. Robbins & Son - \$ 3,700: Nov. 10, 1944  
# 28811 Painting - exterior - Schwartz - Canarie - Alter, Inc. \$2,000: Nov. 15, 1948  
75 Collins Avenue # 33882 Storm damage, ceilings only - Irving Fischer, contr. \$ 1,380: Oct. 26, 1950  
75 Collins Avenue # 37096 New canopies on Collins Ave. side per approved plan-Maurice Weintraub, arc: \$ 3,800: Oct. 5, 1951  
75 Collins Avenue # 37097 Buffing & painting- Jacob Katz- \$ 2,700: Oct. 8, 1951  
49 Collins Ave. # 41380 REMODELING: Cutting new doors in rooms #210, 310, 410, 510: Arkin Constr Co: \$ 600: May 4, 1953  
Plaag, 6-19-53...# 41820 Install 1-HP Air Cond: Bert Newton: \$ 300: June 12, 1953  
75 Collins Avenue # 47757 Airco A. C. Company: one - 7 1/2 ton A. C. Unit \$ 2 250 June 10, 1953  
lang 1/15

Plumbing Permits:



Electrical Permits: # 28426 Astor Electric: service-equipment - March 15, 1949  
# 30475 Astor Electric: 1 switch outlet, 1 light outlet, 8 fixtures, 1 sign outlet -  
Reginniss 2/3/50 Dec. 22, 1951  
75 # 35379 Astor Electric Co: 3 switch outlets, 10 light outlets, 10 fixtures, 1 sign outlet -  
Nov. 1, 1951  
75 # 35526 Tropicalites: 6 neon transformers - 11/15/51  
75 # 35623 Astor Electric Co: 4 switch outlets, 6 receptacles, 10 light outlets, 10 fixture,  
8 centers of distribution, 4 motors- Dec. 1, 1951  
# 37570 Astor Electric Service: 1 Switch outlet, 4 Light outlets, 16 Fixtures 9/18/1952 OK  
#39400 Astor Elec. Service: Relocate 4 switches, May 12, 1953 OK, H. Rosser, 5-53  
#41984 Astor Electric: 1 motor: May 18, 1954 OK, Plaag, 5/26/54  
#44873 Miller Electric Co: 1 Motor (0-1 hp), 1 Motor (6-10 hp), June 23, 1955 OK, Fidler  
45452 Astor Electric: two receptacles, relocated August 24, 1955 OK, Rosser 8/11/22/1951

Lot

Block

Subdivision

## ALTERATIONS &amp; ADDITIONS

## Building Permits:

- #17331-Sklar Constr-Protect column base with concrete pad-\$250-1-8-80  
#21459 1/6/82 Eddys Painting -- paint exterior \$10,000.  
#25119 3/11/84 Sandoval Develop Corp. - repair fire escape balanced ladder \$200.  
#29224 9/30/86 owner paint and plaster minor, interior only \$5,000.  
#M08561 11/5/86 International Fire Equip fire sprinkler systems
- 

## Plumbing Permits:

- #50466-Acme Gas Cpp.- 1 gas dryer-75 gal.gas tank-12-31-73  
#57393=Action Plumbing- hot water main-6-25-79  
#58060 - DeMolls Boiler & Burner - gas piping 80' 1 1/2 shd. 40 gal 1/4/80  
#58207 - Peoples Gas - 1 meter gas set 2/25/80  
#62987 11/26/86 Novo & Son - 1 rgh, 1 set floor drain, 1 rgh, 1 set lavatory, 1 rgh, 1 set sink pot/3 comp,  
1 rgh, 1 set sink slop, 1 rgh, 1 set urinal,
- 

## Electrical Permits:

- #72185-Holbert Electric- Fire alarm central 31-4-29-75.  
#76690 Ocean Electric Co/4 ceiling fans/10-21-80  
#78547 4/11/83 Gemini Elect - violation(doin repairs)  
#81308 8/25/86 Rayben Elec - 2 switch, 6 light outlets, 6 recept, 2 a-pliance outlets, 1 a/c window

Lot 3 of 4 Block 77

Subdivision FISHER'S FIRST

1465-75 Collins Ave.

ALTERATIONS & ADDITIONS

Building Permits:

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Plumbing Permits:

#46592 C.F. Pitsch - 36 Lavatories, 70 Gas Ranges \$144.00 5/28/68

#46922 Peoples Gas 1 Gas Range 12/5/68.

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Electrical Permits: #62965 Astor Electric Service: 4 Appliance outlets, 11/23/65

#63469 Astor Elec. Serv. Inc.: 122 fixtures - 5/12/66

#64046 Astor Elec. Serv. Inc.: 3 motors, 0-1 hp - 10/20/66

#64782 Astor Elec. Service: 2 motors, 0-1 hp - 6/16/67

#64965 Astor Electric Service: 1 motor, 1 hp - 8/17/67

#64965 Astor Elec. Service: 1 motor, -0-1 H.P. O.K. J. Murray 9/15/67.



## ALTERATIONS &amp; ADDITIONS

Building Permits:

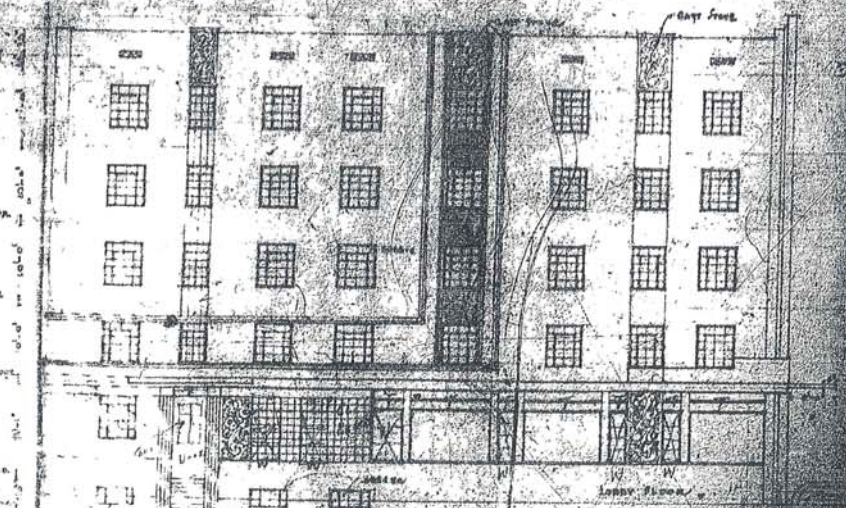
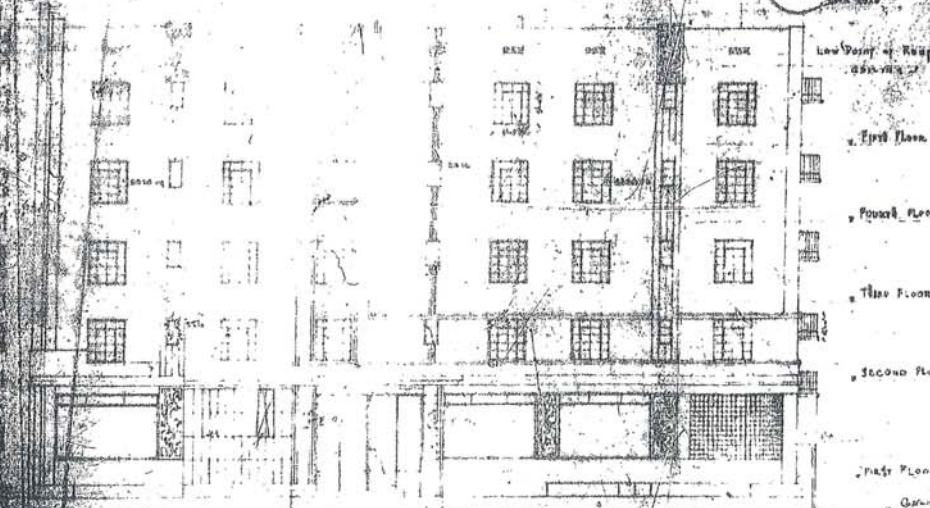
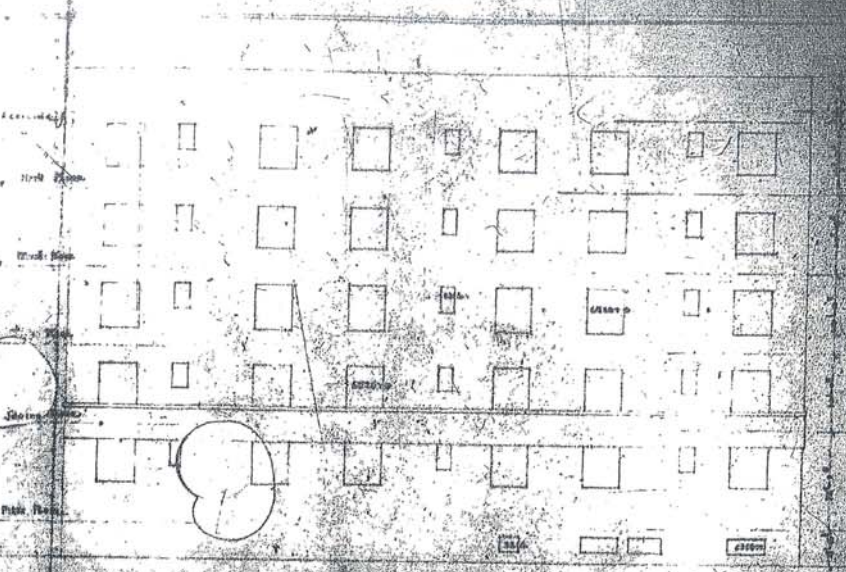
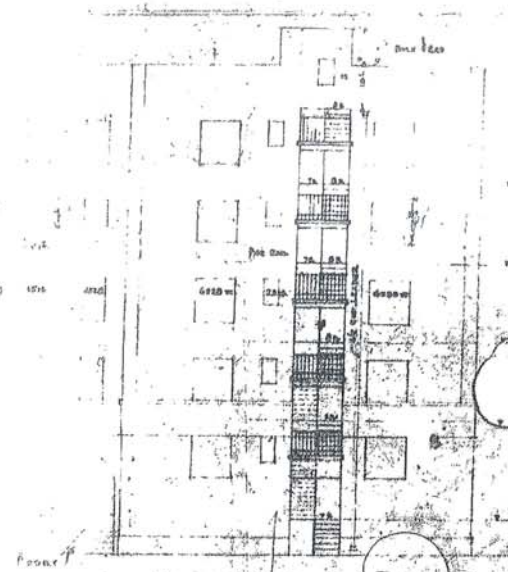
5343 C.L. Morgan: 50 - 3/4 ton window air conditioners-\$10,000-June 3, 1957 OK 8-19-57 Plaag  
 55870 Lowry Elec: 1-1 ton window air conditioner- \$200 - April 11, 1958 OK 5-23-58 Plaag  
 58873 J.E. Morgan: 6 - 1 HP window air conditioners - \$1200 - April 28, 1959 OK 5/14/59 Plaag  
 59993 Albert J. Harris: Exterior painting, \$1000.00, 9/9/59  
 63387 Irving Fischer: Remodeling in Lobby - \$1,000. - 10/27/60  
 53843 Buck Neon: Replacement - neon sign - \$300. - 12/8/60  
 4844 J.B. Air Conditioner - \$2,000. - May 12, 1961 - Remove and install 10 air cond. units - (\$2000. - 5/12/61) OK Plaag 5/12/61  
 4940 J.H. Ervin Heating & Ventilating: 11 - 1 hp. window unit air conditioner - \$200. - May 23, 1961  
 201 C H. Ervin Heating & Ventilating: 11 - 1 hp. window unit air conditioners - \$2200. - 6/26/61  
 666 L. E. Perrault: Window caulking and exterior painting - \$400. - 4/9/62  
 6570 American Roof: Paint exterior - \$3,000 - 7/5/66  
 10340 Owner-Sign-\$50-6-15-73  
 14042 Owner-Interior alterations and repair-\$2000-9-14-73  
 14508 Owner-Sign-\$25-11-5-73  
 UMBIN PER ITS: 440521 H. March: 1 Fire Standpipe - April 20, 1958

Electrical Permits:

49794, Astor Elec. Serv: 2 centers of distribution, 1 meter change, 51 motor 9-1 Hp Apr. 30, 1957  
 1807 Astor Elec: 118 receptacles, 2 centers of distrib, 1 service equipment, 1 meter change, 18 motors (LHP)- April 15, 1958  
 334 Astor Elec: 1 center of distrib, 17 motors (LHP)- Feb. 25, 1959  
 53399 Astor Elec: 4 Fixtures - March 11, 1959  
 4681 Astor Elec: 2 Motors (LHP), 1 Motor (11-25HP)- Jan. 14, 1960 OK 2/1/60 Newbold  
 201 Astor Elec: 12 Fixtures - May 27, 1960 OK 6/8/60 Newbold  
 408 Astor Electric Co., Inc.: 1 violation - 6/29/62 (Hotel Charles Club) OK Scarborough 7/12/62.  
 49590 Astor Elec: 2 switch outlets; 11 light outlets; 20 fixtures - 5/10/63  
 46016 Astor Elec: 9 light outlets, 18 fixtures-9/12/63  
 46158 Astor Elec. Service Inc.: 15 fixtures - 10/16/64  
 46185 Astor Elec. Serv. Inc.: 1 motor, 0-1 hp - 1/12/65  
 46237 Astor Elec.: 16 fixtures - 6/11/65  
 2507 Astor Elec: 1 light outlet, 12 fixtures - 7/15/65  
 2641 Astor Elec.: 1 motor, 2-5 hp; 1 cent. of dist. - 8/25/65



Scale 1/4" = 1'-0"  
Notes: 1. See Elevation  
2. See Elevation  
3. See Elevation

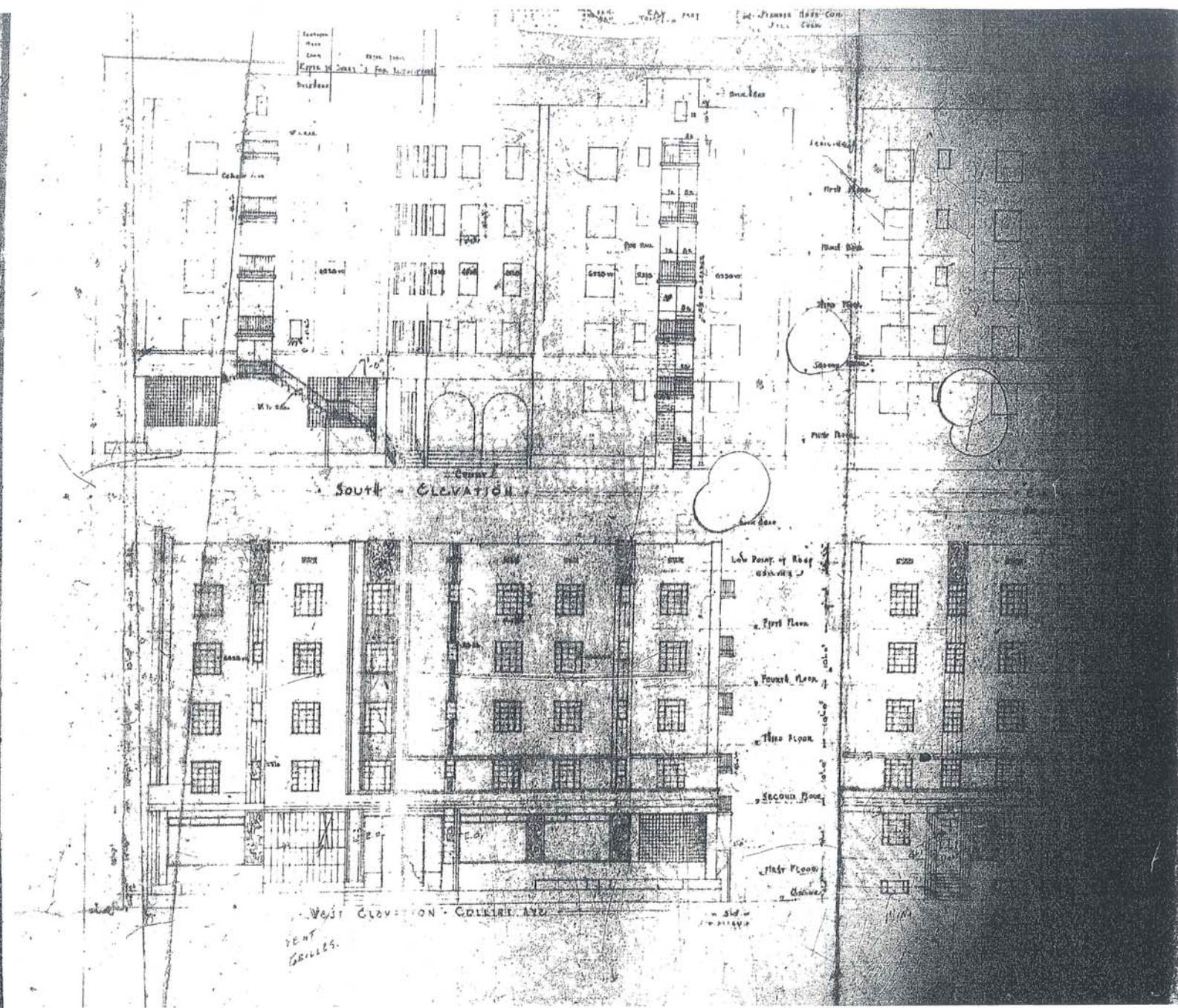


WEST ELEVATION - COLLIER AVE  
VENT GRILLS

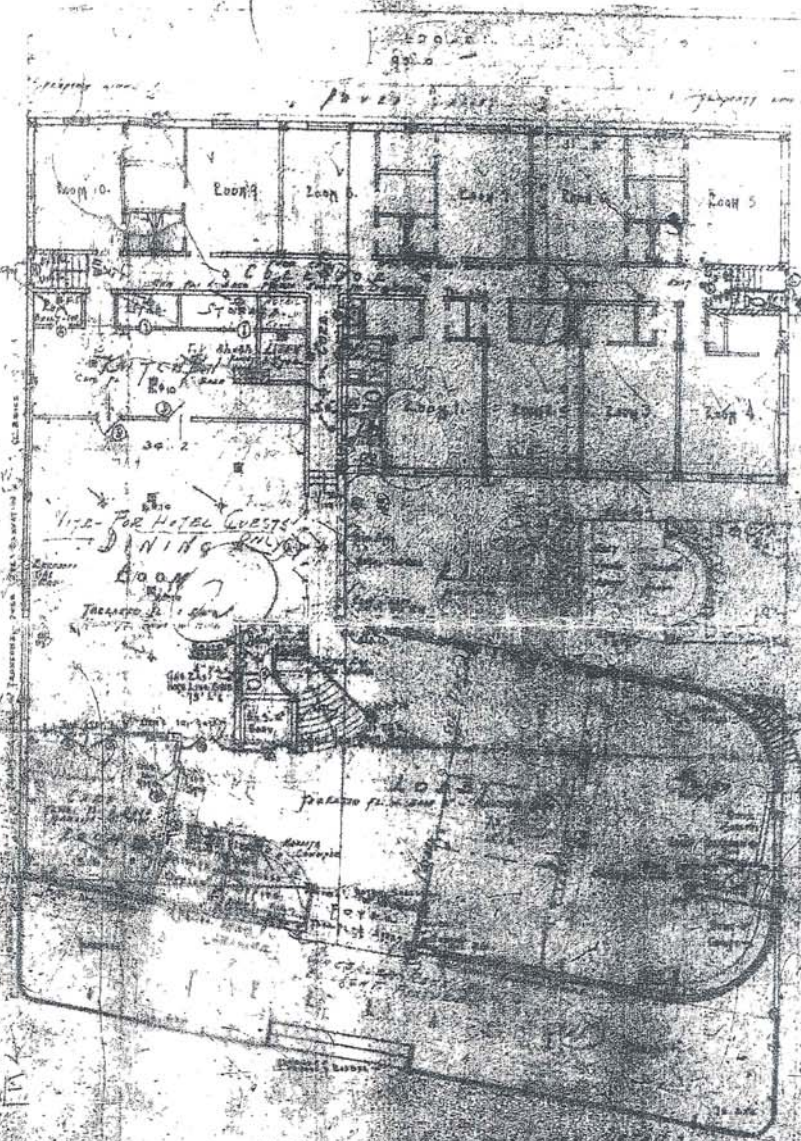
EAST ELEVATION - 10th STREET

SHAW & PARKER







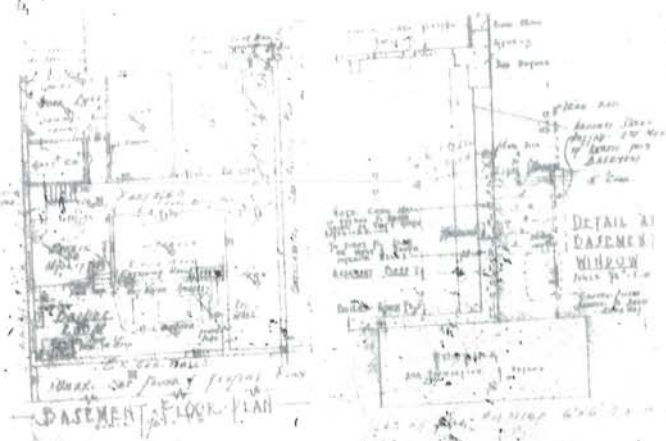


- NOTES
- 1. All rooms to be carpeted.
  - 2. All rooms to be painted.
  - 3. All rooms to be furnished.
  - 4. All rooms to be equipped with a telephone.
  - 5. All rooms to be equipped with a television set.
  - 6. All rooms to be equipped with a radio.
  - 7. All rooms to be equipped with a clock.
  - 8. All rooms to be equipped with a mirror.
  - 9. All rooms to be equipped with a lamp.
  - 10. All rooms to be equipped with a chair.
  - 11. All rooms to be equipped with a table.
  - 12. All rooms to be equipped with a bed.
  - 13. All rooms to be equipped with a bath.
  - 14. All rooms to be equipped with a toilet.
  - 15. All rooms to be equipped with a sink.
  - 16. All rooms to be equipped with a shower.
  - 17. All rooms to be equipped with a bathtub.
  - 18. All rooms to be equipped with a window.
  - 19. All rooms to be equipped with a door.
  - 20. All rooms to be equipped with a lock.
  - 21. All rooms to be equipped with a handle.
  - 22. All rooms to be equipped with a knob.
  - 23. All rooms to be equipped with a latch.
  - 24. All rooms to be equipped with a hinge.
  - 25. All rooms to be equipped with a bolt.
  - 26. All rooms to be equipped with a screw.
  - 27. All rooms to be equipped with a nail.
  - 28. All rooms to be equipped with a staple.
  - 29. All rooms to be equipped with a glue.
  - 30. All rooms to be equipped with a cement.
  - 31. All rooms to be equipped with a mortar.
  - 32. All rooms to be equipped with a brick.
  - 33. All rooms to be equipped with a stone.
  - 34. All rooms to be equipped with a tile.
  - 35. All rooms to be equipped with a floor.
  - 36. All rooms to be equipped with a wall.
  - 37. All rooms to be equipped with a ceiling.
  - 38. All rooms to be equipped with a roof.
  - 39. All rooms to be equipped with a foundation.
  - 40. All rooms to be equipped with a basement.
  - 41. All rooms to be equipped with a garage.
  - 42. All rooms to be equipped with a driveway.
  - 43. All rooms to be equipped with a parking lot.
  - 44. All rooms to be equipped with a road.
  - 45. All rooms to be equipped with a highway.
  - 46. All rooms to be equipped with a bridge.
  - 47. All rooms to be equipped with a tunnel.
  - 48. All rooms to be equipped with a dam.
  - 49. All rooms to be equipped with a levee.
  - 50. All rooms to be equipped with a dike.
  - 51. All rooms to be equipped with a berm.
  - 52. All rooms to be equipped with a ditch.
  - 53. All rooms to be equipped with a canal.
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  - 100. All rooms to be equipped with a creek.

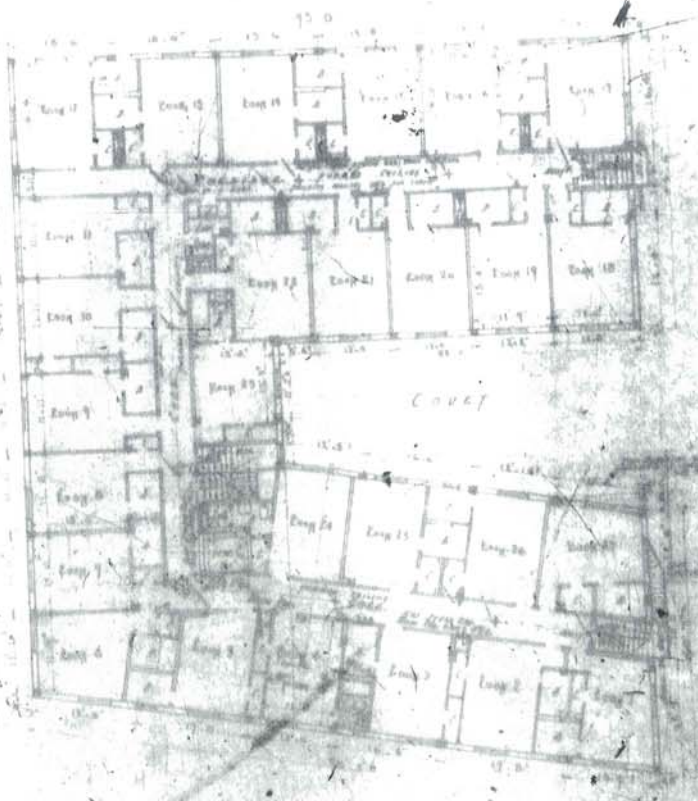
FIRST FLOOR PLAN

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BASMENT FLOOR PLAN



SECOND FLOOR PLAN

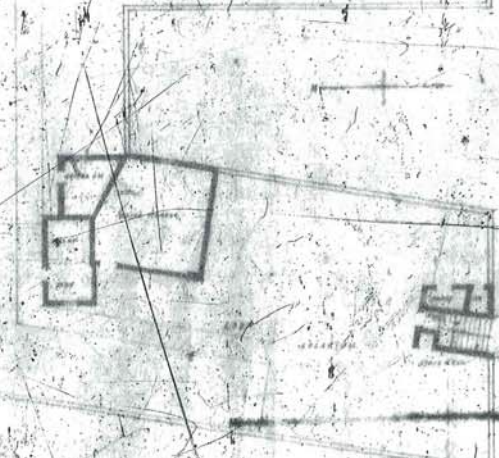
11124



DATE	11/12/4
BY	
FOR	
REMARKS	
APPROVED	
SIGNATURE	







ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED  
DATE 01-04-2001 BY 60322 UCBAW/SJS

RONALD E. SMITH  
ADMINISTRATIVE  
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17		18		19		20	
17.1	17.2	17.3	17.4	18.1	18.2	18.3	18.4
17.5	17.6	17.7	17.8	18.5	18.6	18.7	18.8
17.9	17.10	17.11	17.12	18.9	18.10	18.11	18.12
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17.57	17.58	17.59	17.60	18.57	18.58	18.59	18.60
17.61	17.62	17.63	17.64	18.61	18.62	18.63	18.64
17.65	17.66	17.67	17.68	18.65	18.66	18.67	18.68
17.69	17.70	17.71	17.72	18.69	18.70	18.71	18.72
17.73	17.74	17.75	17.76	18.73	18.74	18.75	18.76
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17.81	17.82	17.83	17.84	18.81	18.82	18.83	18.84
17.85	17.86	17.87	17.88	18.85	18.86	18.87	18.88
17.89	17.90	17.91	17.92	18.89	18.90	18.91	18.92
17.93	17.94	17.95	17.96	18.93	18.94	18.95	18.96
17.97	17.98	17.99	17.100	18.97	18.98	18.99	18.100

*[Faint handwritten notes at the bottom of the page]*

31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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[illegible]

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項目	単位	数値	単位	数値
1. 総人口	人	1,234,567	1. 総人口	人
2. 男性人口	人	612,345	2. 男性人口	人
3. 女性人口	人	622,222	3. 女性人口	人
4. 総世帯数	世帯	234,567	4. 総世帯数	世帯
5. 男性世帯数	世帯	112,345	5. 男性世帯数	世帯
6. 女性世帯数	世帯	122,222	6. 女性世帯数	世帯
7. 総就業人口	人	567,890	7. 総就業人口	人
8. 男性就業人口	人	289,012	8. 男性就業人口	人
9. 女性就業人口	人	278,878	9. 女性就業人口	人
10. 総失業人口	人	666,677	10. 総失業人口	人
11. 男性失業人口	人	323,333	11. 男性失業人口	人
12. 女性失業人口	人	343,344	12. 女性失業人口	人
13. 総労働人口	人	456,789	13. 総労働人口	人
14. 男性労働人口	人	234,567	14. 男性労働人口	人
15. 女性労働人口	人	222,222	15. 女性労働人口	人
16. 総生産額	円	123,456,789	16. 総生産額	円
17. 男性生産額	円	61,234,567	17. 男性生産額	円
18. 女性生産額	円	62,222,222	18. 女性生産額	円
19. 総消費額	円	98,765,432	19. 総消費額	円
20. 男性消費額	円	49,876,543	20. 男性消費額	円
21. 女性消費額	円	48,888,889	21. 女性消費額	円

*[Faint, illegible markings]*

STUCKE PLUMS

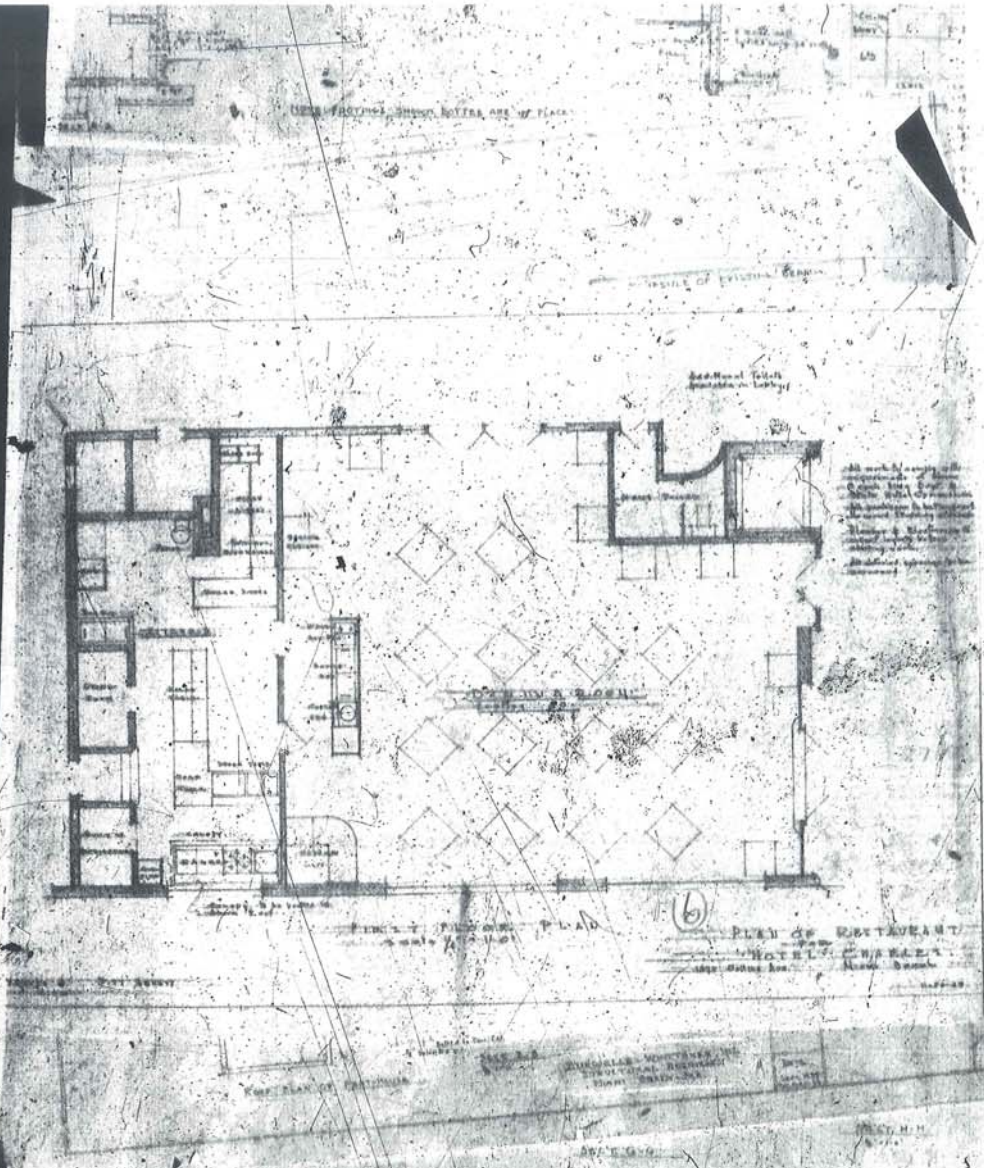
Model 10  
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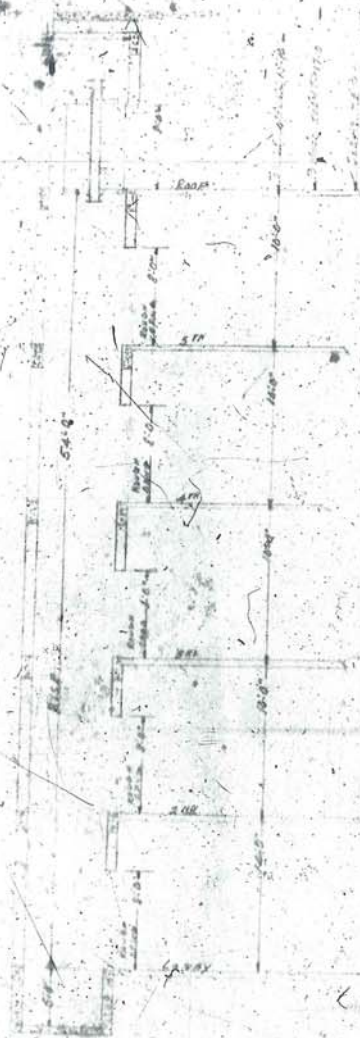


COLUMN AND FOOTING SCHEDULE

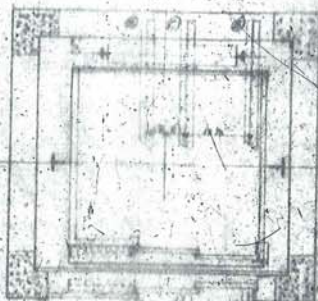
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100	CONCRETE	100-100	10.0	4.0	1.0	40.0	12000	12000

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 2. JAN 18 1960  
 3. JAN 18 1960



**SITE DATA**

**EXISTING  
PHOTO  
SURVEY**

**SKETCHES AND  
PHOTOS OF  
STUCCO  
RELIEFS ON  
BUILDING**

**FLOOR PLANS**

**CONCRETE  
CORE SAMPLE  
RESULTS**



View of the Charles  
Hotel from the corner of  
15<sup>th</sup> Street and Collins  
Avenue



Collins Avenue view



View of the southwest  
corner of the building





View of the South facade



The Corner of 15<sup>th</sup> Street  
looking towards the  
Bancroft Hotel



A close up of the front facade



A close-up of the  
front canopy  
with the  
concrete infill



A detail of one of  
the Bas-relief at  
the ground floor



A detail of the  
typicall window  
sills at the  
ground floor



A detail of the curved glass block wall at the ground floor on the south side

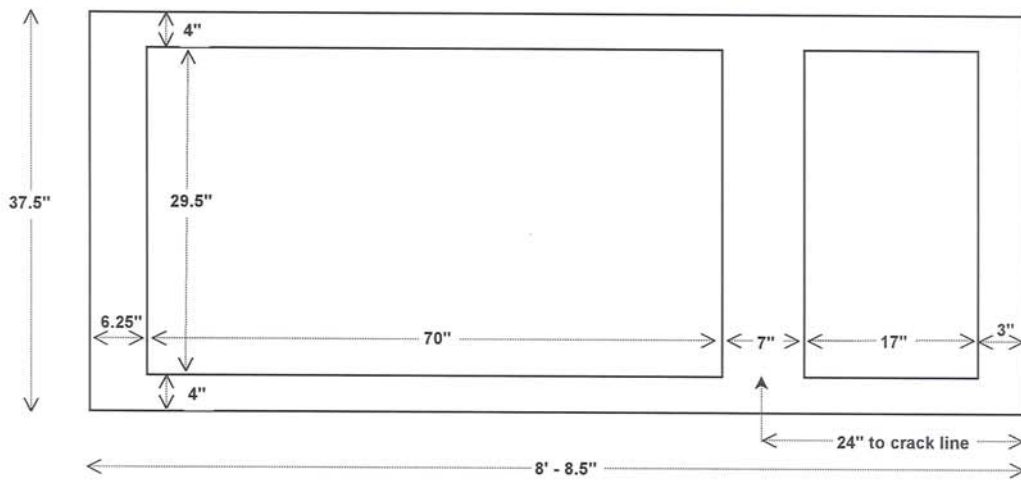


The courtyard during partial demolition.



Photos taken during the Demolition Process



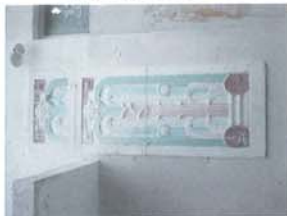


**U.S. Wrecking & Land Clearing, Inc.**  
 9620 NE 2nd Avenue, Suite 209  
 Miami Shores, Florida 33138  
 Tel. 305-757-5557  
 Fax 305-759-1799

Project:	Charles Hotel Demolition		
Sheet Name:	Façade Art Dimensions		
Prepared For:	Charles Hotel & Maurice Cohen		
Location:	1475 Collins Avenue, Miami Beach, Florida		
Project No.:	2004-07	Date:	6/7/04
		Scale:	NTS
			Figure 1

A detail of one of  
the Bas-relief at  
the ground floor





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P6040003.JPG



P6040004.JPG



P6040005.JPG



P6040006.JPG



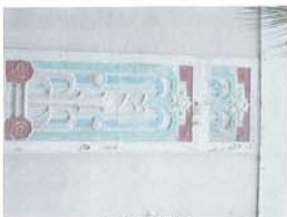
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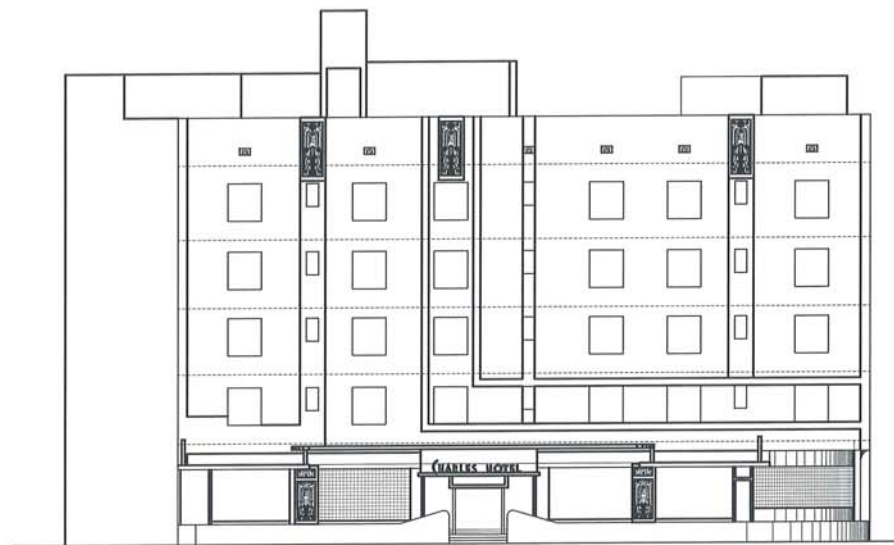
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# CHARLES HOTEL

1475 COLLINS AVENUE, MIAMI BEACH, FLORIDA



WEST ELEVATION

EXISTING DRAWINGS OF HOTEL BEFORE DEMOLITION

Revisions		
No.	Date	Description

0000  
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CHARLES HOTEL  
1475 COLLINS AVE., MIAMI BEACH, FLORIDA

COVER SHEET

Lot # A00012578

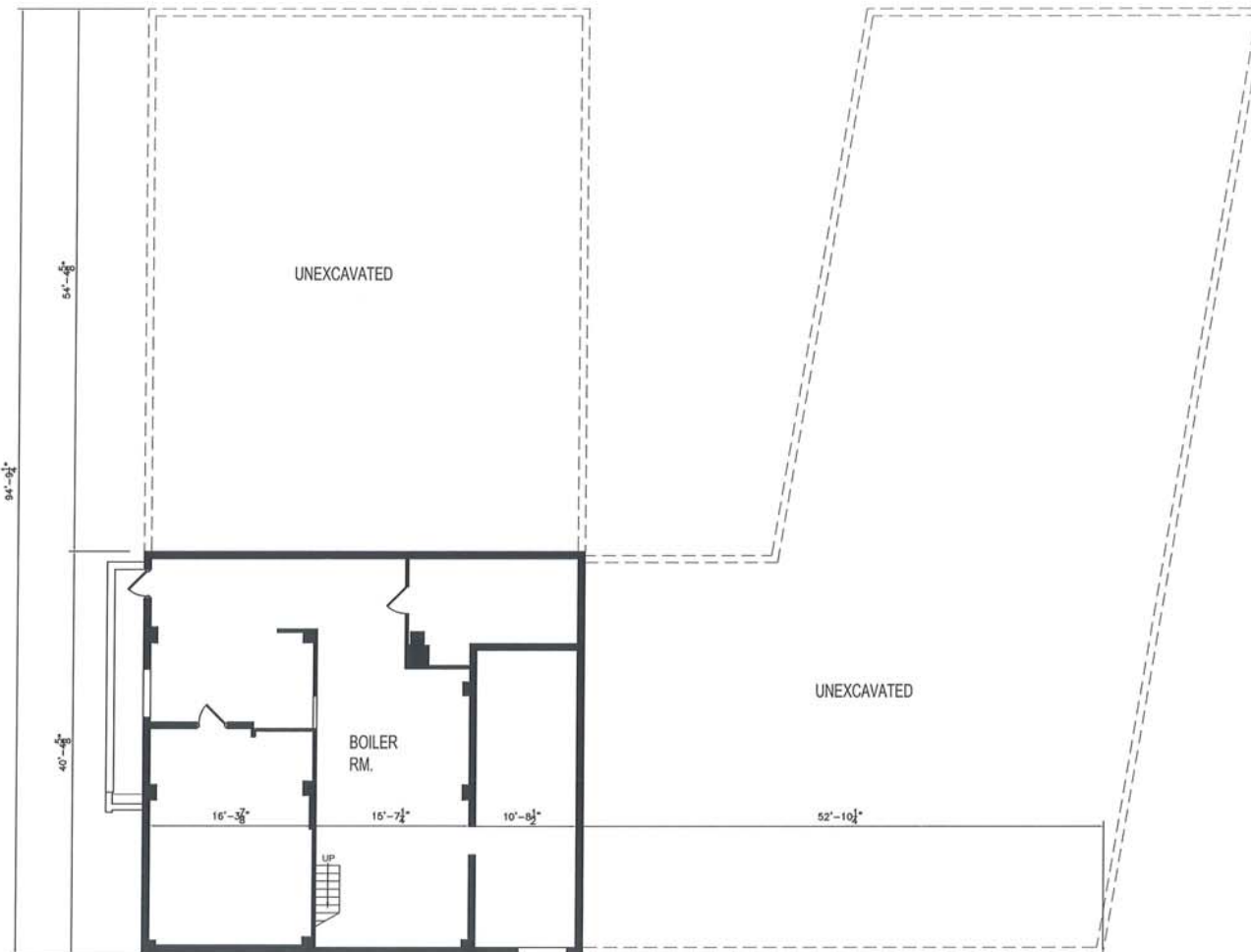
ARCHITECTS  
INTERIOR  
DESIGNERS  
KOB & KARP  
ARCHITECTS, INC.  
1475 COLLINS AVE., SUITE 200  
MIAMI BEACH, FLORIDA 33139  
PH: 305.673.1111 FAX: 305.673.1112



Scale	1/4" = 1'-0"
Orientation	0°
Orientation	0° - 180°
Scale	1/4" = 1'-0"

Sheet  
A-0





EXISTING BASEMENT PLAN  
SCALE: 3/16" = 1'-0"

Revisions		
No.	Date	Description

0236

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CHARLES HOTEL  
1475 COLLINS AVE., MIAMI BEACH, FLORIDA

EXISTING BASEMENT PLAN

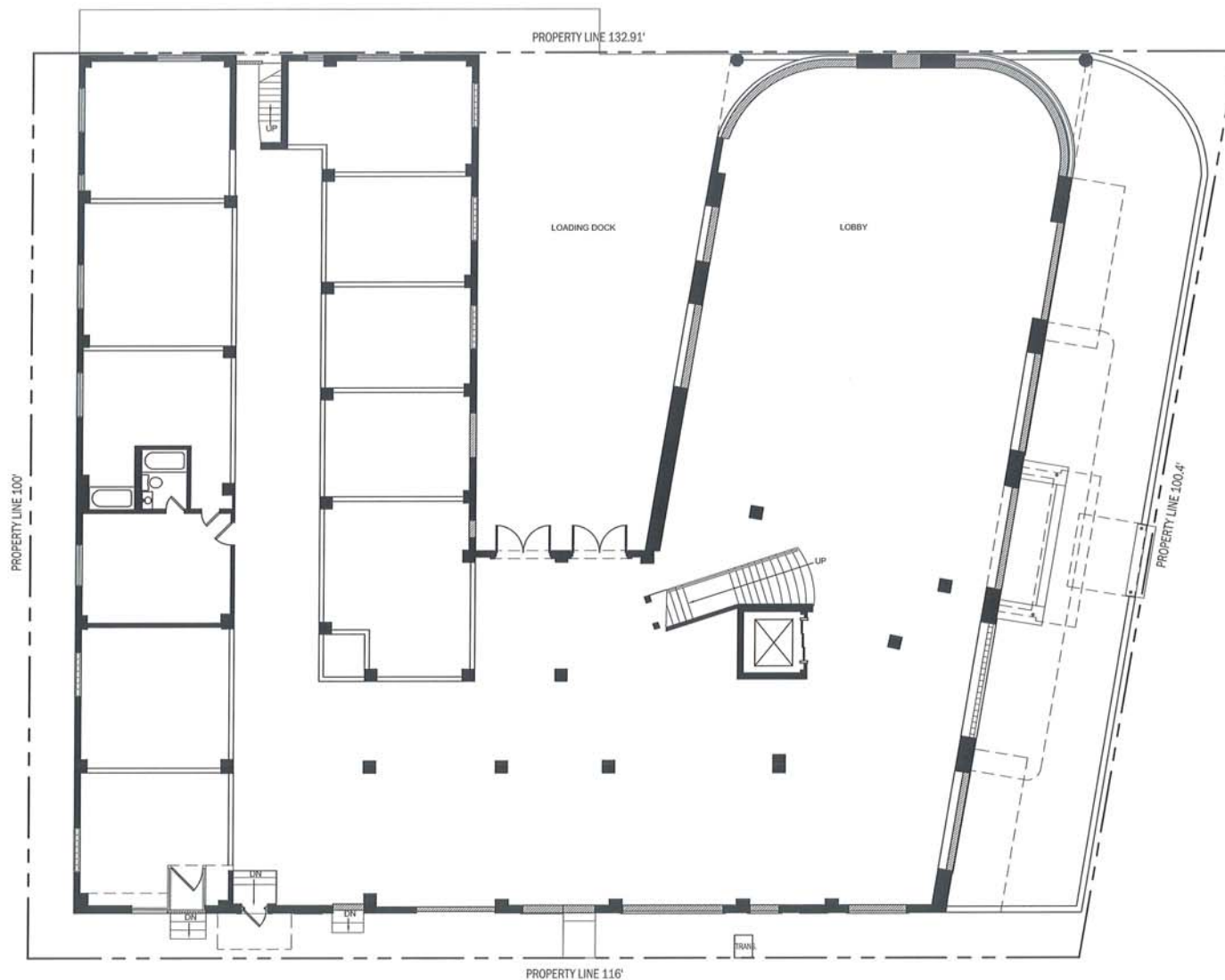
LIC # KP0012578

ARCHITECTS  
INTERIOR  
DESIGNERS  
KOB I KARP  
ARCHITECTURE  
AND INTERIOR DESIGN  
1475 COLLINS AVE. SUITE 200  
MIAMI BEACH, FLORIDA 33139  
TEL: (305) 555-1111  
FAX: (305) 555-1112  
WWW.KOB I KARP.COM



Date	8-29-04
Drawn By	AK
Checked By	AK
Scale	

A-1



EXISTING GROUND FLOOR PLAN  
SCALE: 3/16" = 1'-0"

Revisions		
No.	Date	Description

0236  
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PLANS AND SPECIFICATIONS SPECIFYING  
CONFORM WITH THE APPLICABLE BUILDING  
CODES AND THE APPLICABLE FIRE SAFETY  
REGULATIONS AS DETERMINED BY THE LOCAL  
AUTHORITY IN ACCORDANCE WITH THE  
SECTION AND ALL FLORIDA STATUTES,  
CHAPTER 37 OF SOUTH FLORIDA  
BUILDING CODE 1997.

CHARLES HOTEL  
1475 COLLINS AVE., MIAMI BEACH, FLORIDA  
GROUND FLOOR (LOBBY LEVEL)

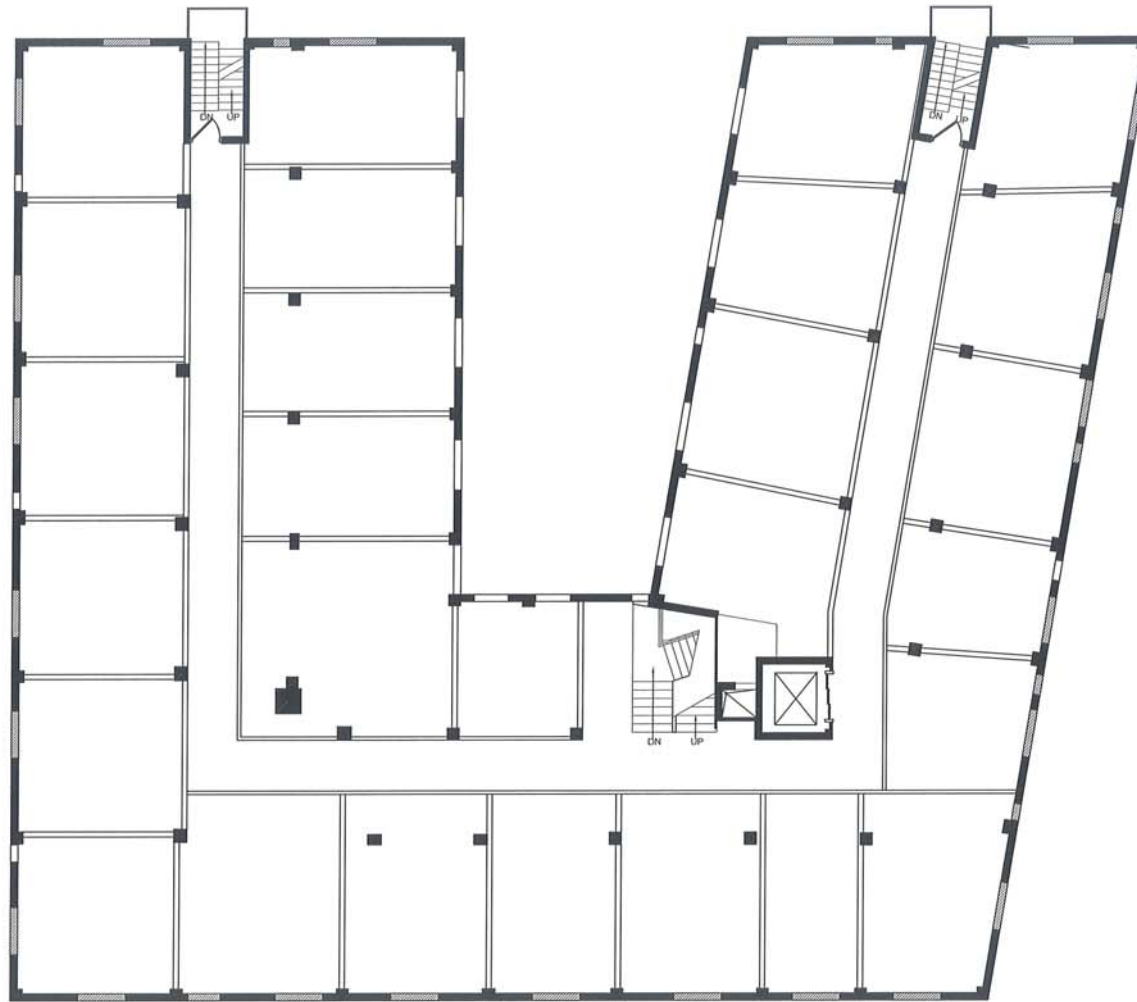
CL # 880101278

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MIAMI BEACH, FLORIDA 33139  
(305) 555-1111  
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Date	8-29-04
Drawn by	AK
Checked by	MC
Scale	

A-2



⊕ EXISTING TYPICAL LEVELS 2-5  
SCALE: 3/16" = 1'-0"

Revisions		
No.	Date	Description

0236  
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CHARLES HOTEL  
1475 COLLINS AVE., MIAMI BEACH, FLORIDA  
EXISTING TYPICAL LEVELS 2-5

DATE: 4-29-04  
BY: JH  
CHECKED: JH  
SCALE: 3/16" = 1'-0"

ARCHITECTS  
INTERIOR  
DESIGNERS  
KOB I KARP  
ARCHITECTURE  
1475 COLLINS AVE. SUITE 100  
MIAMI BEACH, FLORIDA 33139  
(305) 555-1111  
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WWW.KOB I KARP.COM



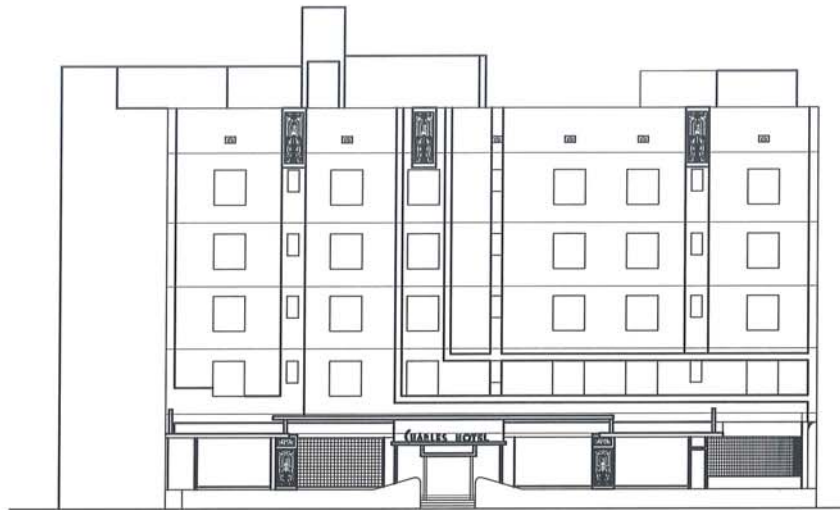
DATE: 4-29-04  
BY: JH  
CHECKED: JH  
SCALE: 3/16" = 1'-0"

Sheet  
A-3

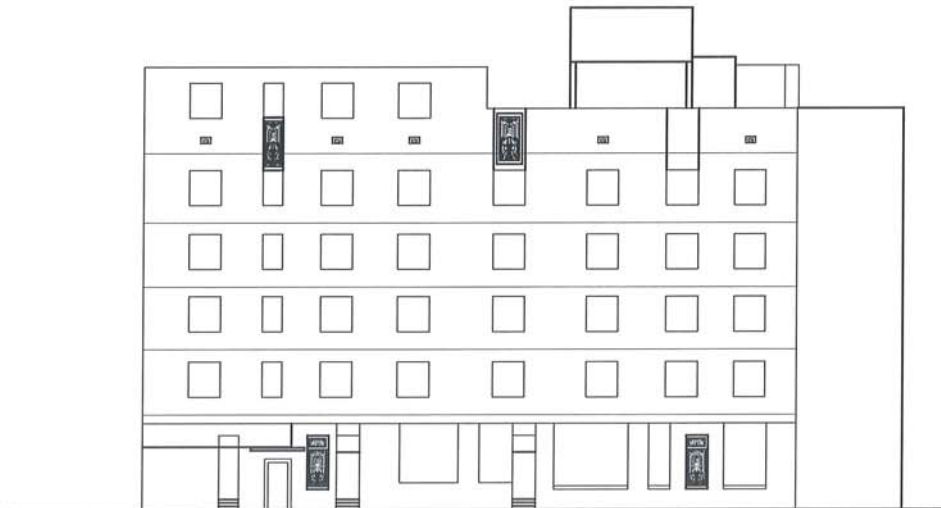


A-4





EXISTING WEST ELEVATION  
SCALE: 1/8" = 1'-0"



EXISTING NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

Revisions		
Rev	Date	Description

0236  
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DESIGN, INC. AIA 63 2000

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COMPLY WITH THE MINIMUM BUILDING  
CODES AND THE APPLICABLE FIRE SAFETY  
REQUIREMENTS AS REQUIRED BY THE LOCAL  
AUTHORITY. IN ACCORDANCE WITH THE  
SECTION AND ALL FLORIDA STATUTES,  
CHAPTER 33 OF SOUTH FLORIDA  
BUILDING CODE 1997.

CHARLES HOTEL  
1475 COLLINS AVE., MIAMI BEACH, FLORIDA

EXISTING WEST AND  
NORTH ELEVATIONS

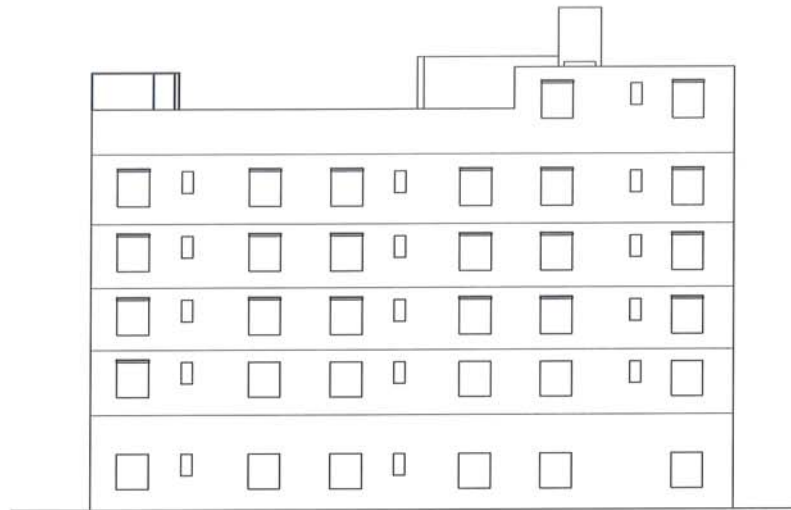
LIC # BR0012538

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ARCHITECTURE  
1475 COLLINS AVE.  
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Rev	4-29-04
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Checked By	AK
Scale	

A-5



EXISTING EAST ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

EXISTING SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

Revisions		
No.	Date	Description

0236

ALL CHANGES AND REVISIONS TO THE ORIGINAL ARCHITECTURAL DRAWINGS SHALL BE INDICATED BY A REVISION NUMBER AND DATE. THE REVISION NUMBER SHALL BE PLACED IN THE REVISIONS TABLE. THE DATE SHALL BE PLACED IN THE DATE COLUMN. THE REVISION NUMBER SHALL BE PLACED IN THE DESCRIPTION COLUMN. THE DATE SHALL BE PLACED IN THE DATE COLUMN. THE REVISION NUMBER SHALL BE PLACED IN THE DESCRIPTION COLUMN. THE DATE SHALL BE PLACED IN THE DATE COLUMN.

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS CONFORM TO THE CITY OF MIAMI BEACH, FLORIDA, AND THE APPLICABLE FIRE, SAFETY, AND BUILDING CODES. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON.

CHARLES HOTEL  
1475 COLLINS AVE., MIAMI BEACH, FLORIDA

EXISTING EAST AND  
SOUTH ELEVATIONS

Lin. # 0000000000

ARCHITECTS  
INTERIOR  
DESIGNERS  
KOB I  
KARP  
ARCHITECTS



Date: 8-29-04  
Drawing: 01  
Sheet: 01  
Scale: 1/8" = 1'-0"

A-6



# INTERCOUNTY LABORATORIES, INC.

Geotechnical, Environmental, and Construction Materials Testing Engineers

## REPORT OF DRILLED CONCRETE CORE TESTS

CLIENT: American Leisure, Inc.

PROJECT: CHARLES HOTEL

ADDRESS: 1475 Collins Avenue, Miami Beach, FL

### PLACEMENT DATA

CLASS OF CONCRETE: NOT FURNISHED

308 N. W. 170th Street, North Miami Beach, FL 33169

TELEPHONE: (305) 651-8483 FACSIMILE: (305) 651-4460

Charles  
Hoyer 1-3

PROJECT NO.: 022166

REPORT NO.: 2

CONTROL NO.: 117397

SUPPLIER: Not Furnished

### LABORATORY TEST DATA

SPEC. I.D.	LOCATION**	DATE PLACED DATE DRILLED DATE TESTED	CORE AGE CURING AGE (DAYS)	FIELD CUT CAPPED LENGTH (IN.)	DIAM. (IN.)	AREA (SQ. IN.)	TOTAL LOAD (LBS.)	L/D CORR.	COMPR. STR. (PSI)	BREAK TYPE (A)	MOIST. COND. (B)	CURING METHOD (C)	LOAD DIREC. (D)
A	Basement Level: Beam - 3' north of Boiler Room Doorway on East Wall	NF 10/22/2002 10/24/2002	UNK 2	7.83 5.90 6.00	3.08	7.45	21,790	1.00	2,920	4	2	1	2
B	Basement Level: Beam - 1' north of Boiler Room on West Wall	NF 10/22/2002 10/24/2002	UNK 2	7.27 5.88 5.98	3.10	7.55	22,530	1.00	2,980	4	2	1	2
C	Basement Level: Column - South end of Center Wall	NF 10/22/2002 10/24/2002	UNK 2	7.59 5.89 5.99	3.03	7.21	12,050	1.00	1,670	4	2	1	2
D	Basement Level: Column - Approx. 20' North of South end of Center Wall	NF 10/22/2002 10/24/2002	UNK 2	7.45 5.90 6.00	3.00	7.07	24,640	1.00	3,490	4	2	1	2

\* Denotes failure to meet strength criteria for class of concrete per ACI.

\*\* All dimensions and directions are approximate

NF = Not Furnished UNK = Unknown

REMARKS: Chloride Content (% by weight): Samples A=0.46, B=0.004, C=0.091 & D=0.096

A) Type of Break: 1: Cone, 2: Cone & Split 3: Cone & Shear 4: Shear 5: Columnar

B) Moisture Condition: 1-Specimen Moist at Time of Test 2-Specimen Exhibited Surface Drying at Time of Test

C) Curing Method: 1-As Received 2-Dry Condition 3-Other (See Remarks)

D) Load Direction: 1-Load Applied Perpendicular to Horizontal Plane as Placed 2-Load Applied Parallel to Horizontal Plane as Placed

Copy to: American Leisure, Inc.

Respectfully submitted,  
INTERCOUNTY LABORATORIES, INC.

*Alfredo Budik* 10/26/02

Alfredo Budik, P.E.

FL License No. 43884

Checked by: \_\_\_\_\_

1 of 1

As a mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients. Authorization for publication of statements, conclusions or extracts from our reports is reserved pending written approval. Our reports apply only to the strengths of the test cores and not to the in-situ strengths of the members identified in the "location".



# INTERCOUNTY LABORATORIES, INC.

Geotechnical, Environmental, and Construction Materials Testing Engineers  
REPORT OF DRILLED CONCRETE CORE TESTS

CLIENT: American Leisure, Inc.  
PROJECT: CHARLES HOTEL  
ADDRESS: 1475 Collins Avenue, Miami Beach, FL

308 N. W. 170th Street, North Miami Beach, FL 33169  
TELEPHONE: (305) 651-8483 FACSIMILE: (305) 651-4460

PROJECT NO.: 022166  
REPORT NO.: 1  
CONTROL NO.: 116997

## PLACEMENT DATA

CLASS OF CONCRETE: NOT FURNISHED

SUPPLIER: Not Furnished

## LABORATORY TEST DATA

SPEC. ID.	LOCATION**	DATE PLACED DATE DRILLED DATE TESTED	CORE AGE CURING AGE (DAYS)	FIELD CUT CAPPED LENGTH (IN.)	DIAM. (IN.)	AREA (SQ. IN.)	TOTAL LOAD (LBS.)	LD CORR.	COMPR. STR. (PSI)	BREAK TYPE (A)	MOIST. COND. (%)	CURING METHOD (B)	LOAD DIREC. (C)
A	Column at NE Corner of Building & 3' above grade	NF 10/11/2002 10/15/2002	UNK 4	4.65 4.49 4.60	3.07	7.40	24,800	0.96	3,226	4	2	1	2
B	Column approx. 20' East of NW Corner of Building & 3' above grade	NF 10/11/2002 10/15/2002	UNK 4	5.58 5.08 5.20	3.02	7.16	19,520	0.98	2,670	4	2	1	2

\* Deviates failure to meet strength criteria for class of concrete per ACI.

\*\* All dimensions and directions are approximate

NF = Not Furnished UNK = Unknown

A) Type of Break: 1: Comp, 2: Comp & Split, 3: Comp & Shear, 4: Shear, 5: Columnar

B) Moisture Condition: 1: Specimen Moist at Time of Test 2: Specimen Exhibited Surface Drying at Time of Test

C) Curing Method: 1: As Received 2: Dry Condition 3: Other (See Remarks)

D) Load Direction: 1: Load Applied Perpendicular to Horizontal Plane as Placed 2: Load Applied Parallel to Horizontal Plane as Placed

REMARKS: Chloride Content (% by weight): Sample A: 0.063 & Sample B: 0.106

Post-it Fax Note 7671		Date 10-25	Page 2
To Jennifer	From	Same	
Co/Dept	Co.		
Phone # 305-945-3636	Phone # 305-651-8483		
Fax # 305-945-3737	Fax #		

Copy to: American Leisure, Inc.

Respectfully submitted,  
INTERCOUNTY LABORATORIES, INC.

*Alfredo Budik* 10/16/02  
Alfredo Budik, P.E.  
FL License No. 43884

Checked by:

1 of 1

As a result of previous tests, the public and customer, all reports are submitted as the confidential property of clients. Authorization for publication of statements, conclusions or extracts from our reports is reserved pending written approval. Our reports apply only to the strength of test cores and not to the in-situ strength of the structure in which the cores were taken.

FROM: Intercounty Laboratories, Inc. FAX NO.: 305-651-4460 DATE: 25 2002 02:10PM P1

## References

### **Books and Articles**

Armbruster, Ann. The Life and Times of Miami Beach. Alfred A. Knopf Publishing, New York, 1995.

Gannon, Michael. Florida: A Short History. University Press of Florida, Gainesville, 1993.

Kennedy, Patricia. Miami Beach in Vintage Postcards. Arcadia Publishing. Charleston, 2001.

Parks, Arva Moore; Carolyn Klepser. Miami Then and Now. Thunderbay Press, San Diego. 2002.

### **Reference Locations**

City of Miami Beach, Building Department

Metro-Dade Public Library, Miami Beach Branch

City of Miami Beach, Public Works Department

Metro-Dade Regional Library, Downtown Miami Branch (Romer Collection)

Florida Historical Museum Research Center

University of Miami Library and Archives

Florida State Photo Archives



December 19, 2017

Josiel Ferrer-Diaz, E.I.  
City of Miami Beach  
1688 Meridian Avenue, Suite 801  
Miami Beach, Florida 33139

**Re: CVS Drugstore**  
**1475 Collins Avenue, Miami Beach, FL 33139**  
**Trip Generation Analysis**

Dear Mr. Ferrer-Diaz:

We have completed a trip generation analysis for the proposed development located at 1475 Collins Avenue, Miami Beach, Florida. Currently, the site proposed for development is vacant. The proposed development includes a 16,378 square-foot CVS drugstore. A site plan is provided in Attachment A.

The site will not provide on-site parking nor valet service, all patrons and visitors will arrive as pedestrians to the site. Therefore, typical traffic study requirements are not applicable as trips to the site will be person-trips. Additionally, it is expected that the development will primarily serve pedestrians visiting other destinations in the vicinity of the development (i.e. Española Way, Ocean Drive, and Collins Avenue) as patrons and visitors tend to visit multiple venues and not individual retail facilities. Therefore, the development is expected to result in person-trips and not typical vehicular trips. However, typical vehicular trip generation calculations were prepared. Trip generation for the proposed land use were performed using Institute of Transportation Engineer's (ITE's) *Trip Generation Manual*, 10<sup>th</sup> Edition. The trip generation characteristics for the proposed drugstore were based on ITE Land Use Code (LUC) 880 (Pharmacy/Drugstore without Drive-Through Window).

A multimodal (public transit, bicycle, and pedestrian) factor based on US Census *Means of Transportation to Work* data was reviewed for the census tract containing the development. The US Census data indicated that there is a 60.4 percent (60.4%) multimodal factor within the vicinity of the development. Furthermore, The proposed development results in 36 A.M. peak hour trips and 55 P.M. peak hour trips. Detailed trip generation calculations and US Census *Means of Transportation to Work* data are included in Attachment B.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Adrian K. Dabkowski, P.E., PTOE  
Associate

Attachments

K:\FTL\_TPTO\043247094 - CVS Collins and 15th\correspondence\tr\12 19 17 Trip Generation.docx

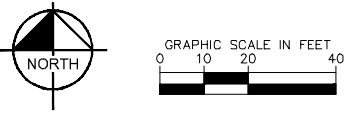
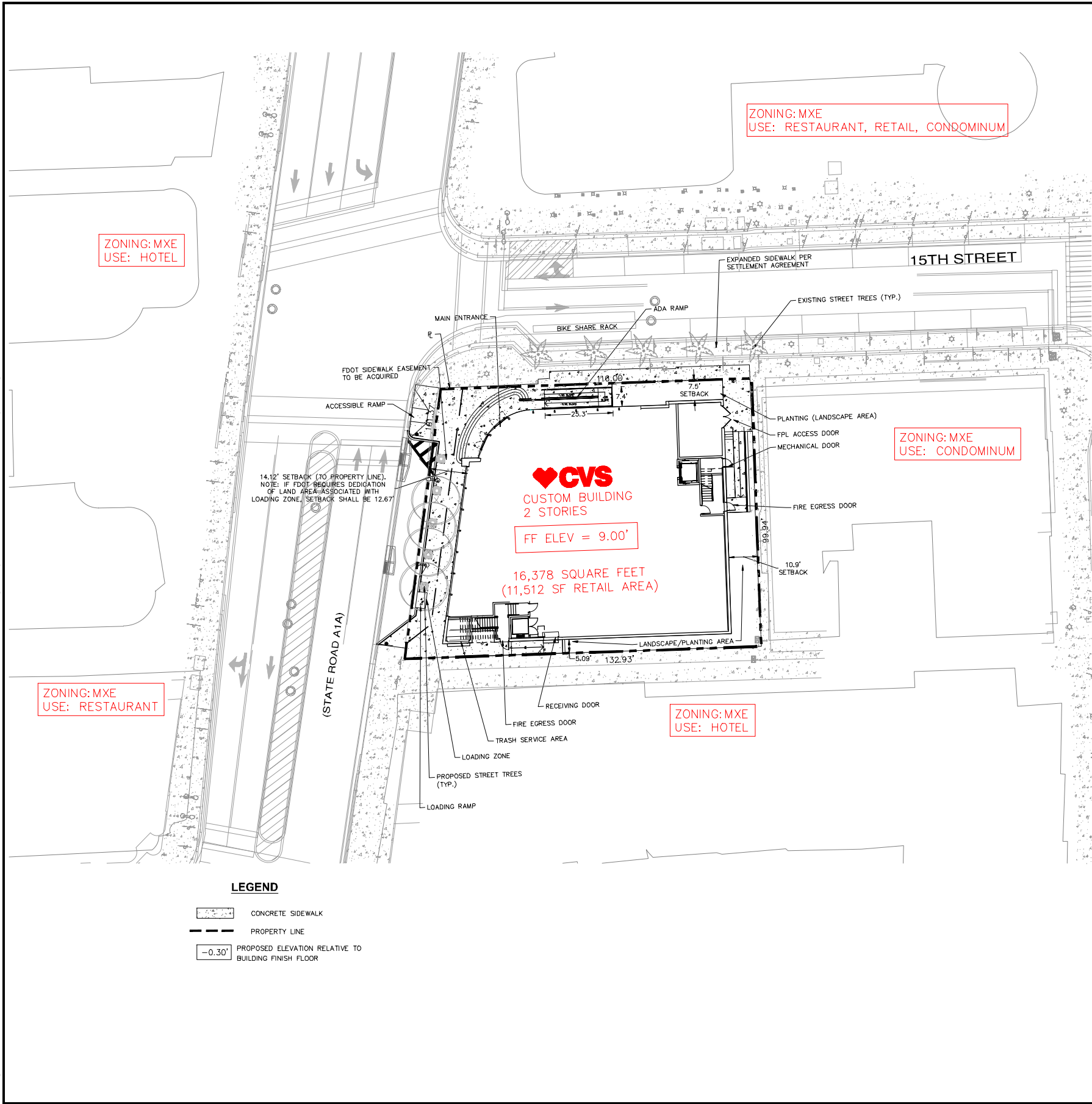


Adrian K. Dabkowski, P.E., PTOE  
Florida Registration Number 78828  
Kimley-Horn and Associates, Inc.  
600 North Pine Island Road, Suite 450  
Plantation, Florida 33324  
CA # 00000696

**Attachment A**  
Site Plan



Drawing name: K:\BDD\_CVS\043247094 - CVS Collins and 15th Miami Beach\CADD\Plan Sheets\2017.1.4 Site Plan.dwg Layout1 Dec 14, 2017 3:47pm by: Nhl.Ngo



SITE DATA TABLE

SITE ADDRESS	1475 COLLINS AVENUE
FOLIO	02-3234-019-1230
ZONING DISTRICT	MXE (MIXED USE ENTERTAINMENT)
HISTORIC DISTRICT	OCEAN DRIVE / COLLINS AVENUE HISTORIC DISTRICT DISTRICT
EXISTING USE	VACANT
PROPOSED USE	RETAIL
DWELLING UNITS	0
TOTAL SITE AREA	12,439 SF 0.2855 AC 100.0%
LOT COVERAGE	8,539 SF 0.1960 AC 68.6%
SIDEWALK/ADA RAMP/STAIRS	2,605 SF 0.0598 AC 20.9%
LANDSCAPE OPEN SPACE	1,295 SF 0.0297 AC 10.5%
FAR	16378/12439 = 1.32
TOTAL BUILDING AREA	16,378 SF (11,512 SF RETAIL)
FIRST FLOOR	8,526 SF (8,290 SF RETAIL)
SECOND FLOOR	7,852 SF (5,222 SF RETAIL)
REQUIRED PARKING	55 SPACES
RETAIL 16,378 SF @ 1/300 SF	
PROVIDED PARKING	*0
ON SITE PARKING	
*PARKING MITIGATION THOUGH CASH PAYMENT	
FRONT SETBACK-COLLINS AVE:	REQUIRED 20' PROPOSED 12.67*
SIDE SETBACK-15TH ST:	10% OF LOT WIDTH + 5' (16.6') 7.50**
SIDE SETBACK:	5' 5.09'
REAR SETBACK:	10' 10.00'
BUILDING HEIGHT LIMIT:	50'
*WAIVERS REQUESTED, SEE TABLE BELOW	

WAIVERS	CODE REQUIREMENT	PROPOSED CONDITION
1	SECTION 142-547: SETBACK REQUIREMENT - FRONT SETBACK NON OCEANFRONT - FOR LOTS 100' IN WIDTH OR GREATER 20' OR 5' FOR BUILDINGS WITH A TEN FOOT DEEP COVERED FRONT PORCH RUNNING SUBSTANTIALLY THE FULL WIDTH OF THE BUILDING FRONT, TO INCLUDE ONE COURTYARD, OPEN TO THE SKY, WITH A MINIMUM WIDTH OF TEN FEET AND A MINIMUM AREA OF THREE SQUARE FEET FOR EVERY LINEAR FOOT OF LOT FRONTAGE.	12.67', NO COURTYARD/PORCH
2	SECTION 142-547: SETBACK REQUIREMENT - SIDE STREET SETBACK NON OCEANFRONT - 10% OF THE LOT WIDTH + FIVE (5) FEET NOT TO EXCEED 25' (16.6').	7.50'
3	SECTION 130-101: OFF-STREET LOADING - SPACE REQUIREMENTS AND LOCATIONS RETAIL STORE, OVER 10,000 BUT NOT OVER 20,000 SF - TWO SPACES	0 SPACE

LEGEND

- CONCRETE SIDEWALK
- PROPERTY LINE
- PROPOSED ELEVATION RELATIVE TO BUILDING FINISH FLOOR

CVS

PROTOTYPE: CUSTOM

STORE NUMBER: TBD

1475 COLLINS AVENUE

MIAMI BEACH, FL 33139

PROJECT TYPE:

DEAL TYPE:

CS PROJECT NUMBER: 66731

ARCHITECT OF RECORD:



CONSULTANT:

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC.  
1615 S. Congress Ave., Ste 201  
Delray Beach, Florida 33445  
TEL: (561) 330-2345  
FAX: (561) 330-2245  
CA 00000696

DEVELOPER:

5789 NW 151st STREET,  
SUITE B  
MIAMI LAKES, FL 33014  
PHONE: (305) 828-8284  
FAX: (305) 828-9594



SEAL:

REVISIONS:

LAYOUT COORD: MTR

PLANNING MGR: MTR

DRAWING BY: NMN

DATE: 11/14/2017

JOB NUMBER: 043247094

TITLE:

SITE PLAN

SHEET NUMBER:

SP-1

COMMENTS:  
NOT RELEASED FOR CONSTRUCTION

## **Attachment B**

### Trip Generation Calculations

## PM PEAK HOUR TRIP GENERATION COMPARISON

### EXISTING WEEKDAY PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS						
Land Use					ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total
									In	Out													
GROUP 1	1	Pharmacy/Drugstore without Drive-Through Window			10	880	16.378	ksf	65%	35%	60	32	92	60.4%	56	23	13	36	0.0%	0	23	13	36
	2																						
	3																						
	4																						
	5																						
	6																						
	7																						
	8																						
	9																						
	10																						
	11																						
	12																						
	13																						
	14																						
	15																						
ITE Land Use Code					Rate or Equation			Total:		60	32	92	60.4%	56	23	13	36	0.0%	0	23	13	36	
880					Y=10.22*(X)+75.7																		

### PROPOSED WEEKDAY PM PEAK HOUR TRIP GENERATION

ITE TRIP GENERATION CHARACTERISTICS					DIRECTIONAL DISTRIBUTION		GROSS VOLUMES			MULTIMODAL REDUCTION		EXTERNAL TRIPS			INTERNAL CAPTURE		NET NEW EXTERNAL TRIPS							
Land Use		ITE Edition	ITE Code	Scale	ITE Units	Percent		In	Out	Total	Percent	MR Trips	In	Out	Total	Percent	IC Trips	In	Out	Total				
						In	Out																	
GROUP 2	1	Pharmacy/Drugstore without Drive-Through Window			10	880	16.378	ksf	49%	51%	68	71	139	60.4%	84	27	28	55	0.0%	0	27	28	55	
	2																							
	3																							
	4																							
	5																							
	6																							
	7																							
	8																							
	9																							
	10																							
	11																							
	12																							
	13																							
	14																							
	15																							
ITE Land Use Code					Rate or Equation					Total:		68	71	139	60.4%	84	27	28	55	0.0%	0	27	28	55
880					Y=8.51(X)																			



B08301

## MEANS OF TRANSPORTATION TO WORK

Universe: Workers 16 years and over

2012-2016 American Community Survey 5-Year Estimates

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Data and Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

**Tell us what you think.** Provide feedback to help make American Community Survey data more useful for you.

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities and towns and estimates of housing units for states and counties.

$$(152 + 123 + 676) / 1,574 = 60.4\%$$

	Census Tract 42.05, Miami-Dade County, Florida	
	Estimate	Margin of Error
Total:	1,574	+/-483
Car, truck, or van:	468	+/-163
Drove alone	441	+/-162
Carpooled:	27	+/-42
In 2-person carpool	27	+/-42
In 3-person carpool	0	+/-13
In 4-person carpool	0	+/-13
In 5- or 6-person carpool	0	+/-13
In 7-or-more-person carpool	0	+/-13
Public transportation (excluding taxicab):	152	+/-88
Bus or trolley bus	152	+/-88
Streetcar or trolley car (carro publico in Puerto Rico)	0	+/-13
Subway or elevated	0	+/-13
Railroad	0	+/-13
Ferryboat	0	+/-13
Taxicab	0	+/-13
Motorcycle	0	+/-13
Bicycle	123	+/-102
Walked	676	+/-439
Other means	0	+/-13
Worked at home	155	+/-88

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see Accuracy of the Data). The effect of nonsampling error is not represented in these tables.

Workers include members of the Armed Forces and civilians who were at work last week.