



ALTON ROAD RESIDENCE
DESIGN REVIEW BOARD FINAL SUBMITTAL

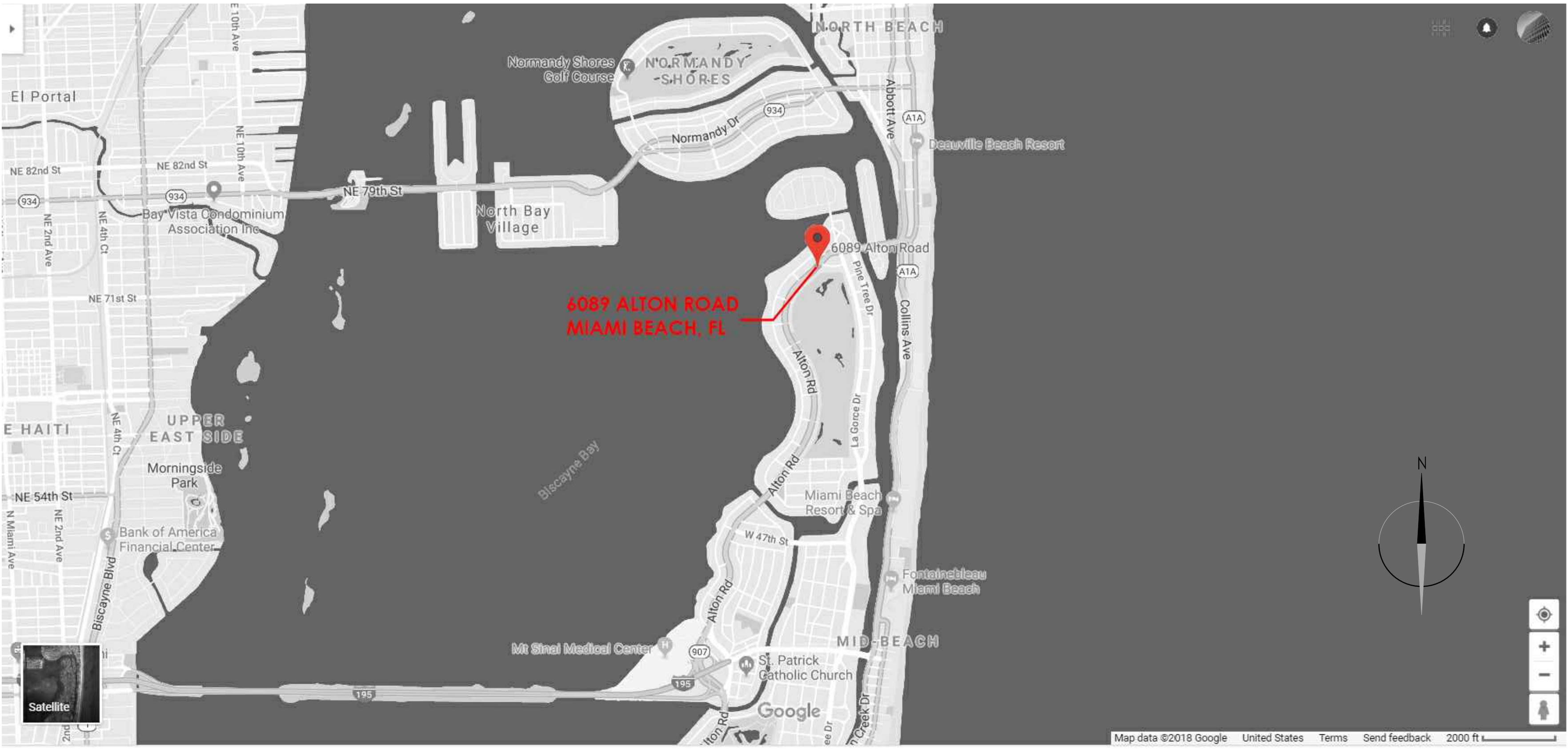
SCOPE OF WORK

- 1. DESCRIPTION OF WORK: New construction 2 story single family residence.
- 2. SCOPE OF WORK INCLUDES:
 - 2.1 Demolition of existing structure
 - 2.2 New Construction 2 story single family residence.

6089 ALTON ROAD
MIAMI BEACH, FLORIDA 33140

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COVER	
DATE:	04/06/2018
SCALE:	NTS
A-0.0	



CITY MAP



NEIGHBORHOOD MAP

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ARCHITECTURE

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A-0.3	REAR RENDERING
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PROPOSED RESIDENCE FRONT YARD



PROPOSED RESIDENCE FRONT YARD LANDSCAPING



STREET TREES PARTIAL OVERLAY



STREET TREES FULL OVERLAY

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FRONT RENDERING
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A-0.2

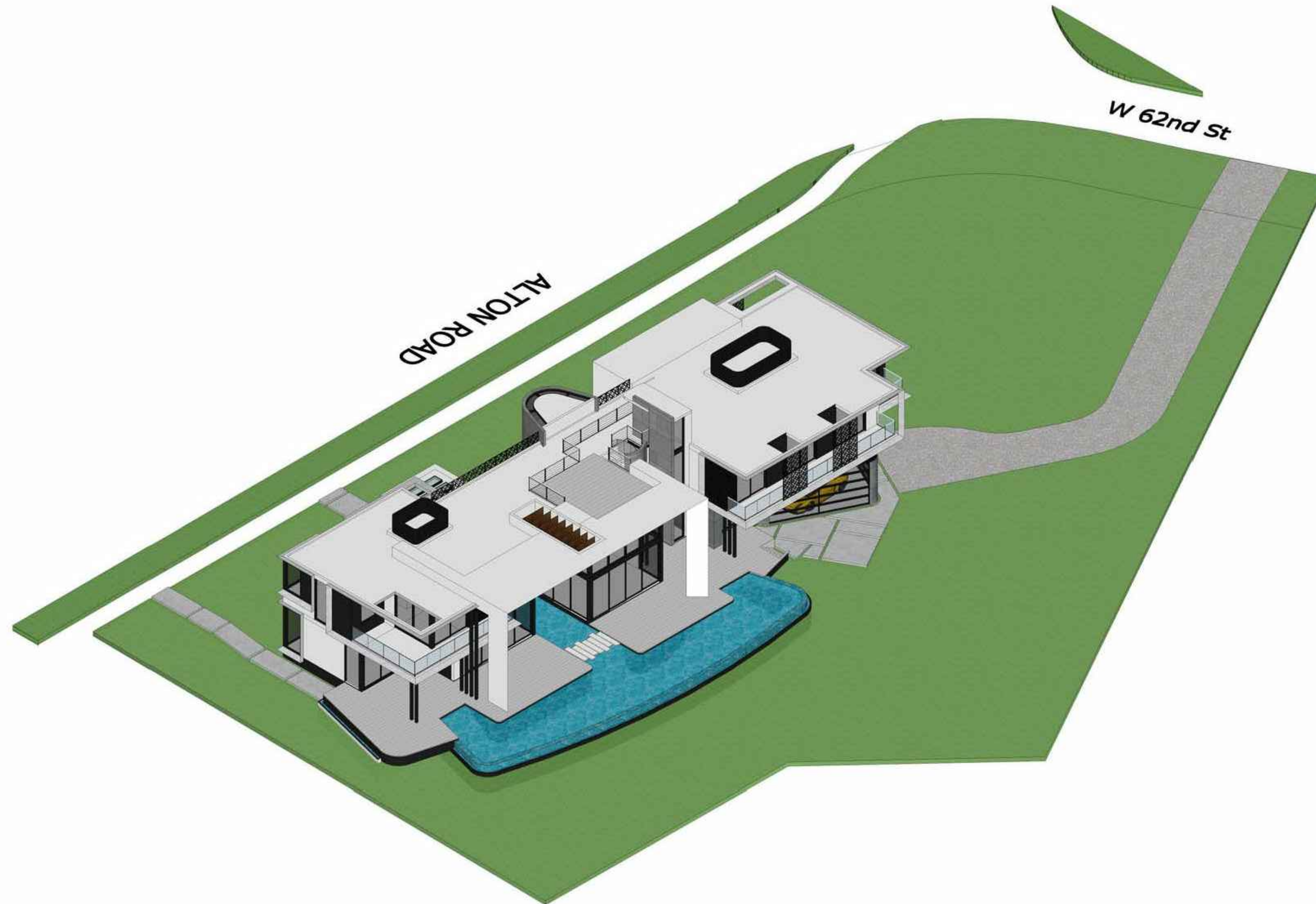


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REAR RENDERING	
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A-0.3	



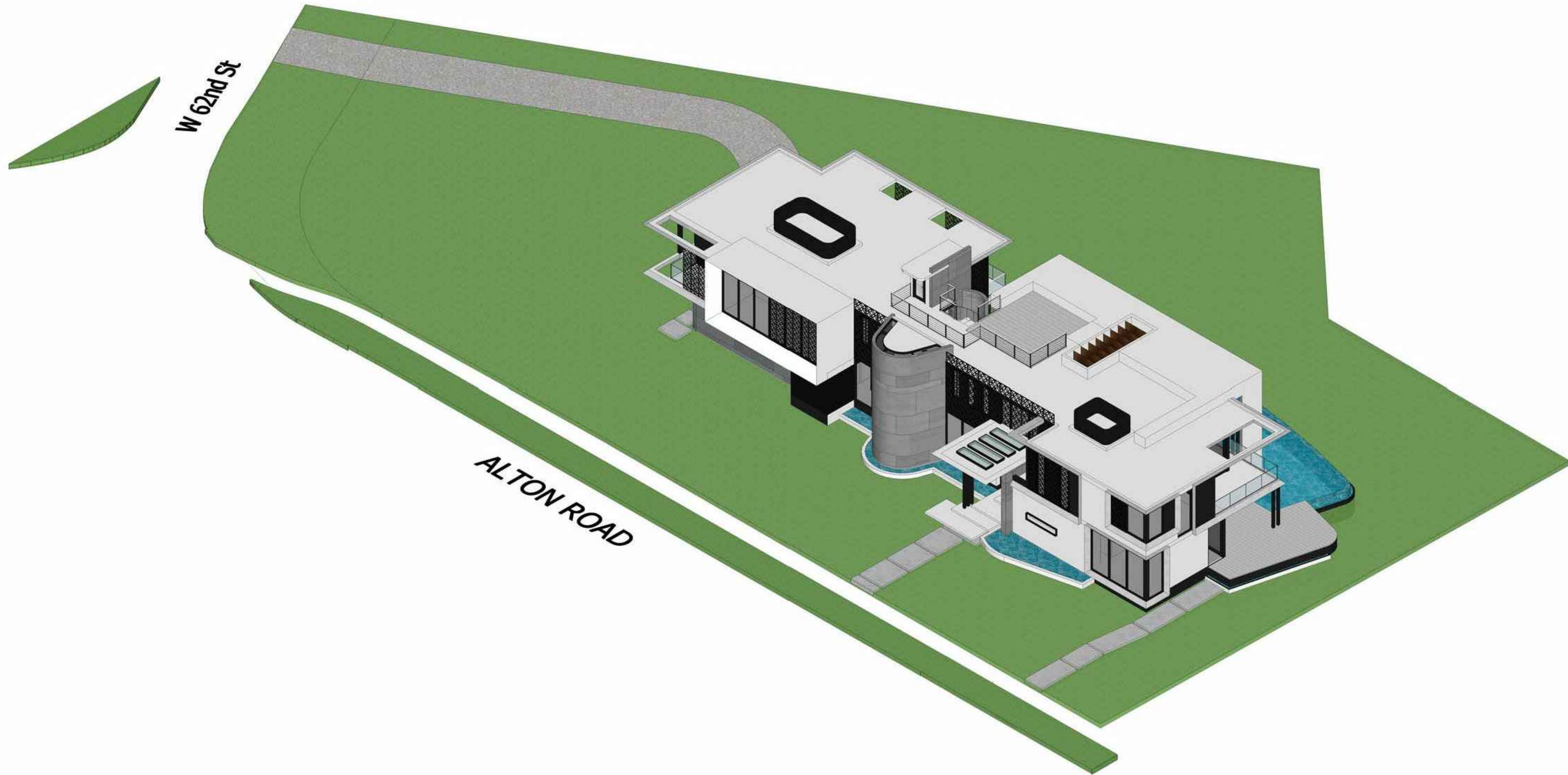
SW AXONOMETRIC VIEW

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AXONOMETRICS
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SCALE: NTS
A-0.4.1



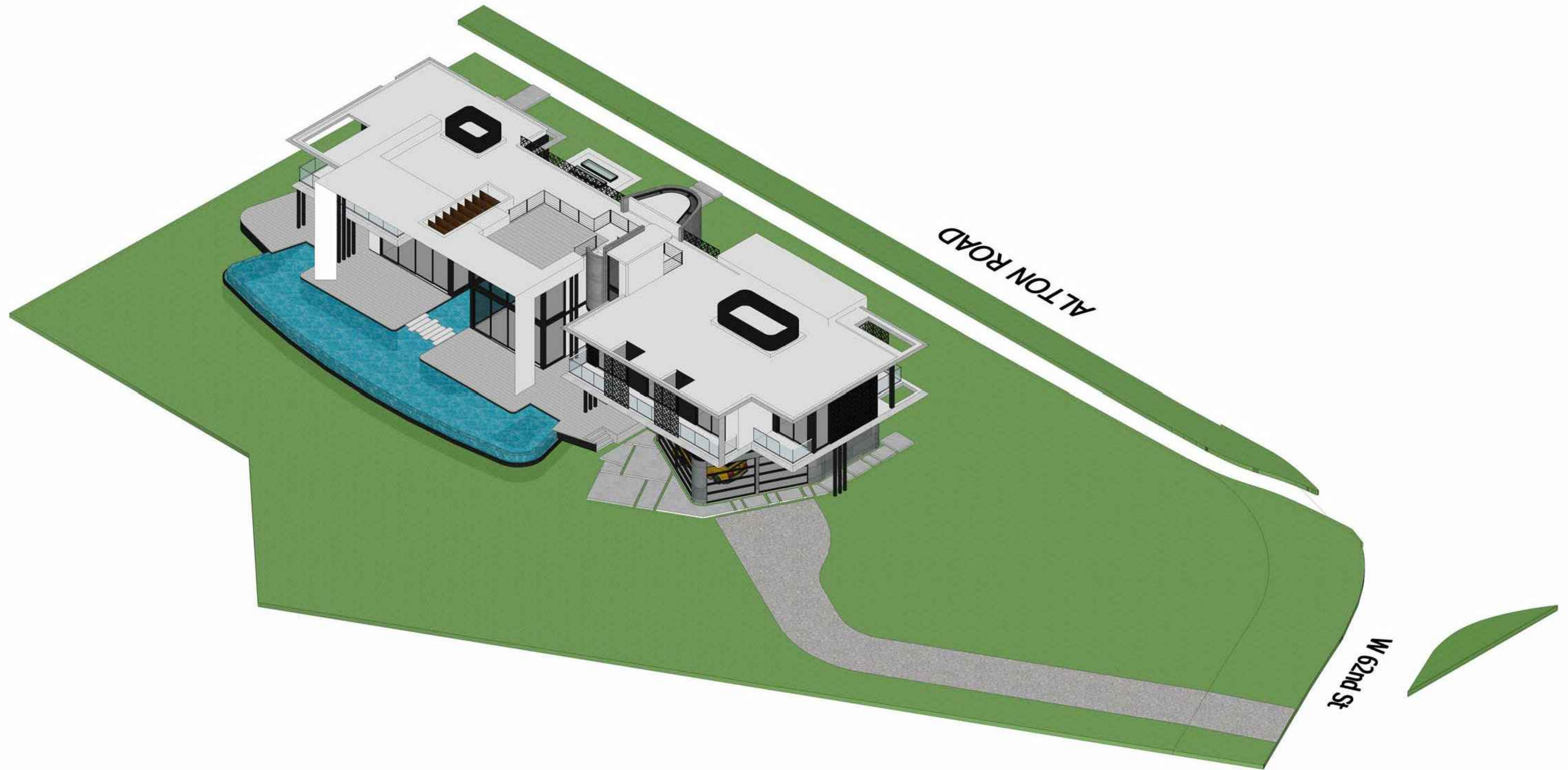
NW AXONOMETRIC VIEW

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AXONOMETRICS
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SCALE: NTS
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SW AXONOMETRIC VIEW

NE AXONOMETRIC VIEW

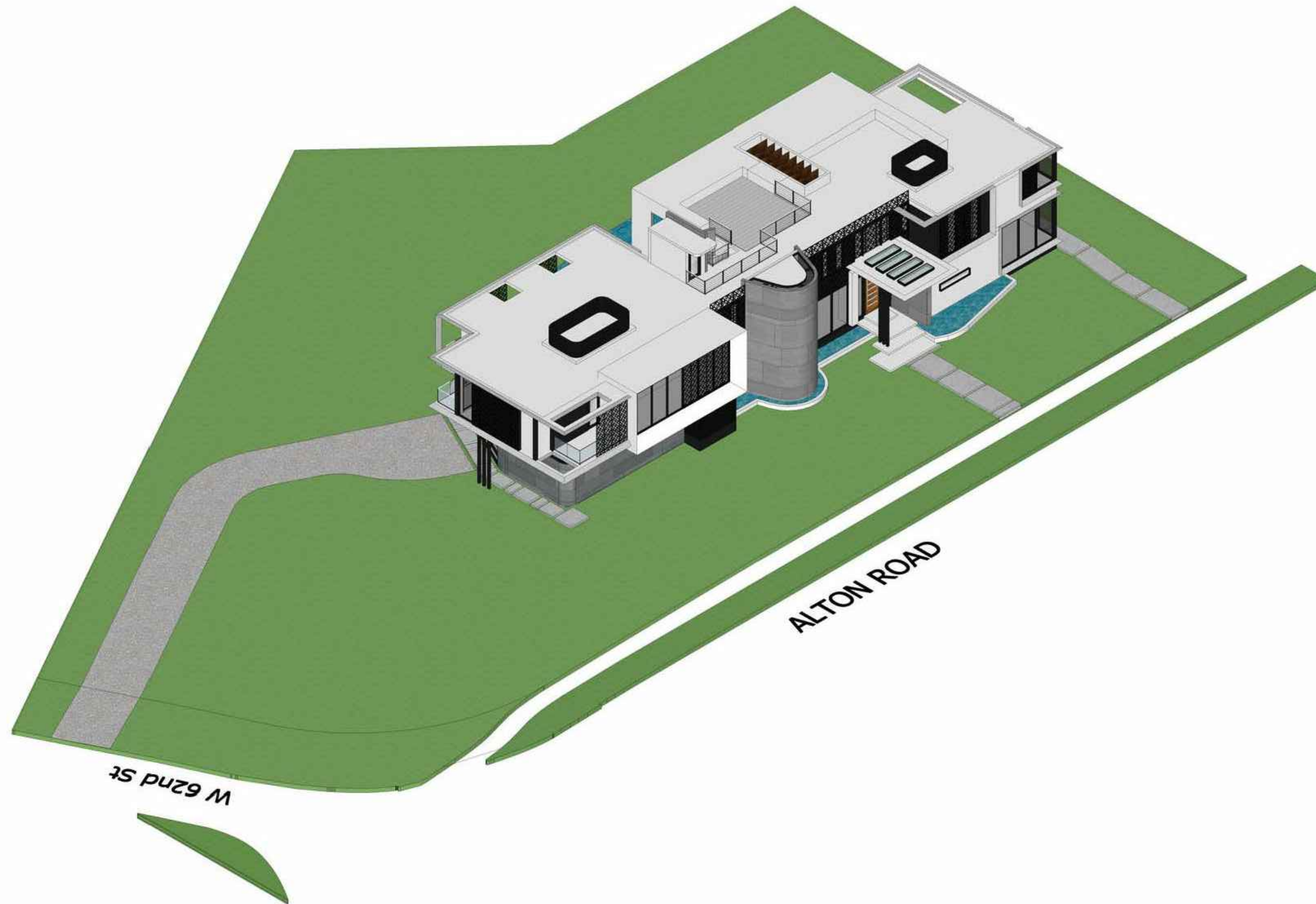
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NE AXONOMETRIC VIEW

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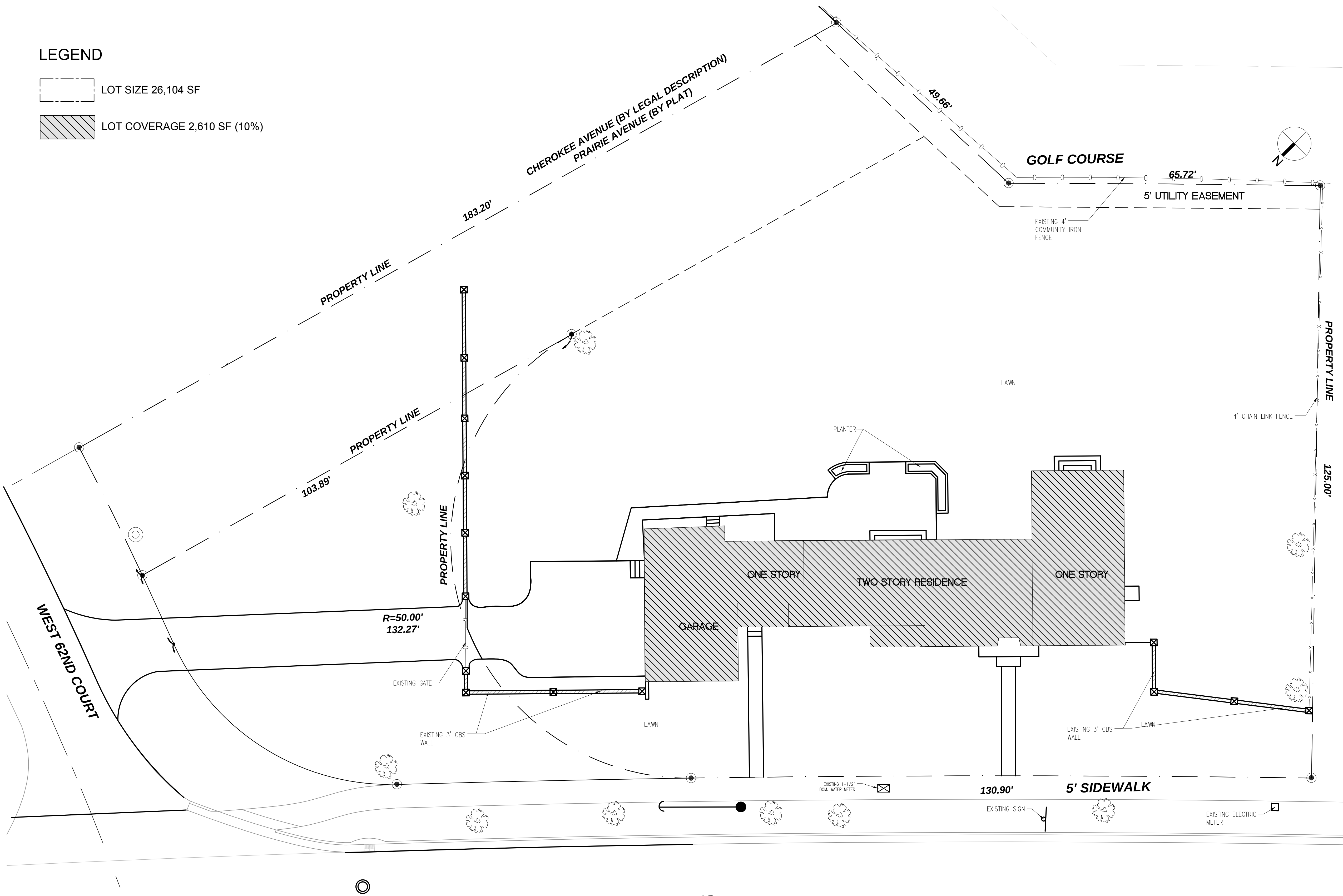
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SITE CONTEXT
DATE: 04/06/2018
SCALE: NTS
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LEGEND

- LOT SIZE 26,104 SF
- LOT COVERAGE 2,610 SF (10%)



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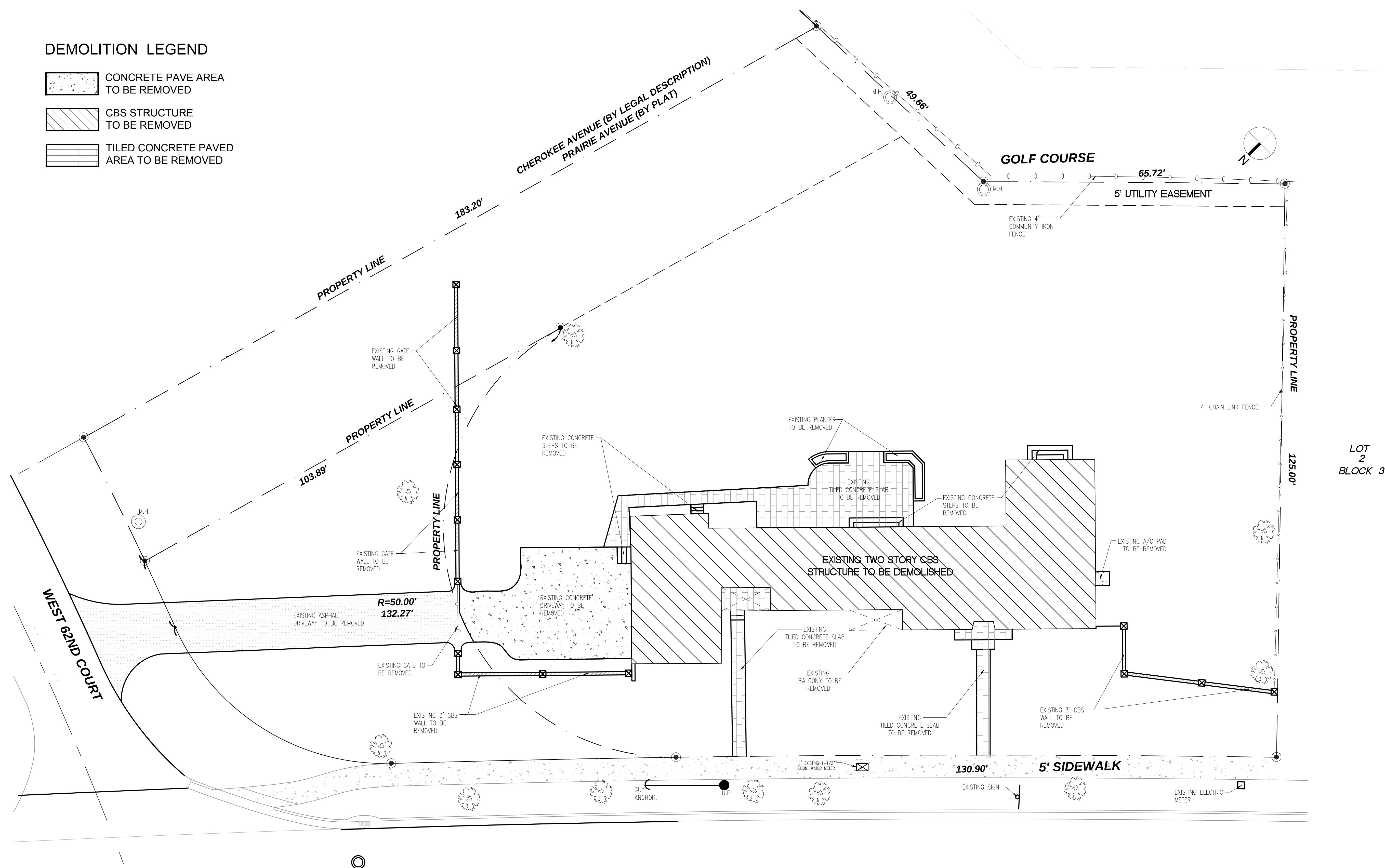
EXISTING LOT COVERAGE

DATE: 04/06/2018

SCALE: 3/32" = 1'-0"

A-1.0

- CONCRETE PAVE AREA TO BE REMOVED
- CBS STRUCTURE TO BE REMOVED
- TILED CONCRETE PAVED AREA TO BE REMOVED



ALTON ROAD

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DEMOLITION PLAN	
DATE:	04/06/2018
SCALE:	3/32"- 1'-0"

A-1.1

ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	6089 ALTON ROAD MIAMI BEACH, FLORIDA 33140			
2	Folio number(s):	02-3215-003-0530			
3	Board and file numbers :	N/A			
4	Year built:	N/A	Zoning District:		RS-4
5	Based Flood Elevation:	8.0' NGVD	Grade value in NGVD:		4.06' NGVD
6	Adjusted grade (Flood+Grade/2):	6.03' NGVD	Free board: (FEMA+1')		9.0' NGVD
7	Lot Area:	26,104 sf (0.3 ac)			
8	Lot width:	182.0 ft.		Lot Depth:	159.5 ft.
9	Max Lot Coverage SF and %:	7,831.2 sf (30%)		Proposed Lot Coverage SF and %:	6,105 sf (23.4%)
10	Existing Lot Coverage SF and %:	N/A		Lot coverage deducted (garage-storage) SF:	N/A
11	Front Yard Open Space SF and %:	4,698 sf (95.3% of 4,931 sf)		Rear Yard Open Space SF and %:	3,083 sf (100% of 3,083 sf)
12	Max Unit Size SF and %:	13,052 sf (50%)		Proposed Unit Size SF and %:	6,815 sf (26.1%)
13	Existing First Floor Unit Size:	N/A		Proposed First Floor Unit Size:	3,263 sf
14	Existing Second Floor Unit Size	N/A		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	3,496 sf (96%) DRB requirement N/A; overall lot coverage<25%
15				Proposed Second Floor Unit Size SF:	3,492 sf
16				Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed 3,289 sf floor area immediately below): 822 sf	378 sf (11.5%)
		Required	Existing	Proposed	Deficiencies
17	Height:	24 ft.	N/A	24 ft.	
18	Setbacks:				
19	Front First level:	20 ft.	N/A	30 ft.	
20	Front Second level:	30 ft.	N/A	30 ft.	
21	Side 1:	18.2 ft.(10% of lot width)	N/A	20 ft.	
22	Side 2 or (facing street):	18.2 ft.(10% of lot width	N/A	25.5 ft.	
23	Rear:	24 ft.	N/A	47 ft.	
	Accessory Structure Side 1:		N/A	N/A	
24	Accessory Structure Side 2 or (facing street) :		N/A	N/A	
25	Accessory Structure Rear:		N/A	N/A	
26	Sum of Side yard :	45.5 ft. (25% of lot width)	N/A	45. 5 ft.	
27	Located within a Local Historic District?			No	
28	Designated as an individual Historic Single Family Residence Site?			No	
29	Determined to be Architecturally Significant?			No	

Notes:

DATA TABULATION

LOT 1 BLOCK 12

RS-4 ZONING DESIGNATION

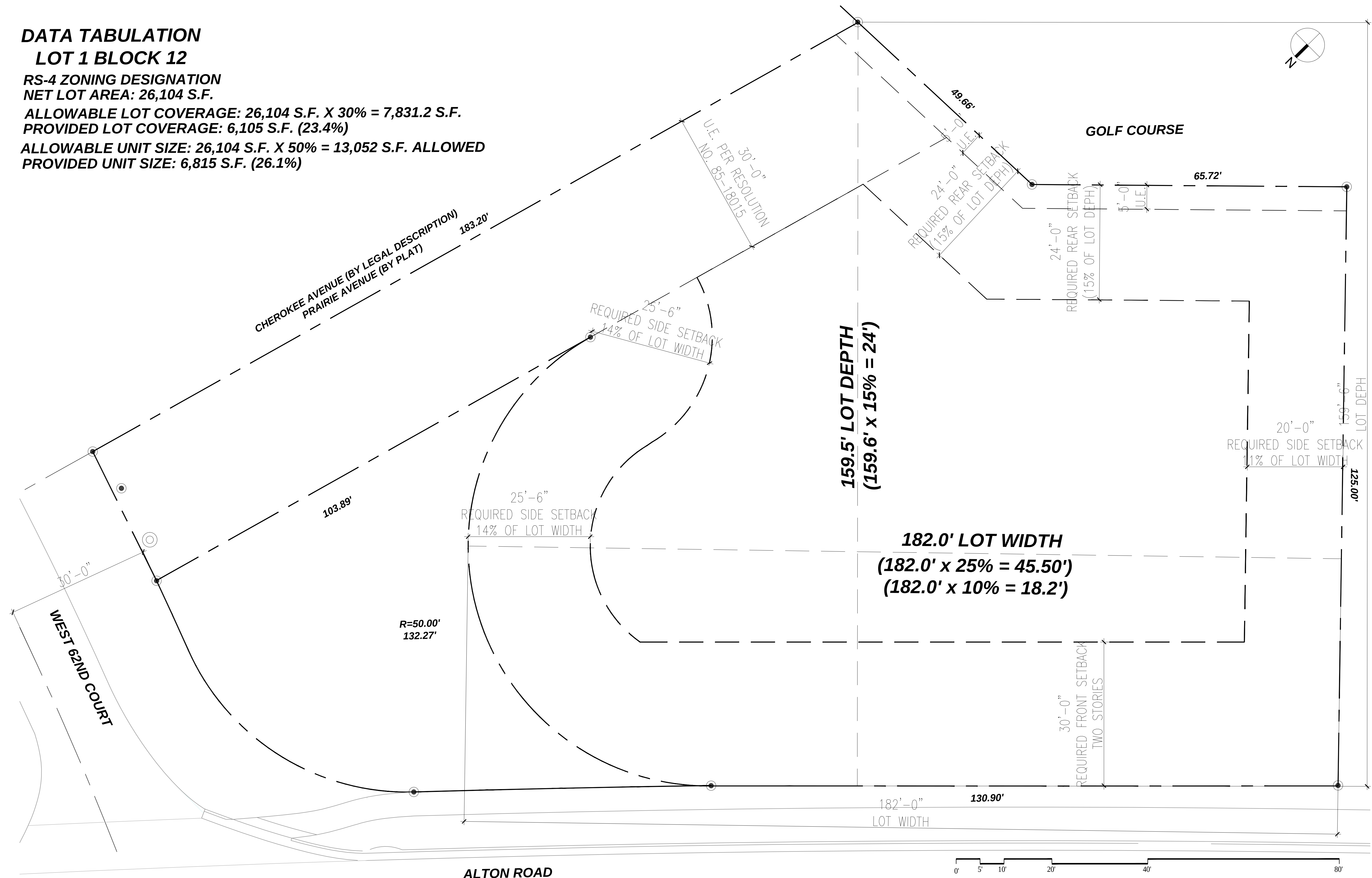
NET LOT AREA: 26,104 S.F.

ALLOWABLE LOT COVERAGE: 26,104 S.F. X 30% = 7,831.2 S.F.

PROVIDED LOT COVERAGE: 6,105 S.F. (23.4%)

ALLOWABLE UNIT SIZE: 26,104 S.F. X 50% = 13,052 S.F. ALLOWED

PROVIDED UNIT SIZE: 6,815 S.F. (26.1%)



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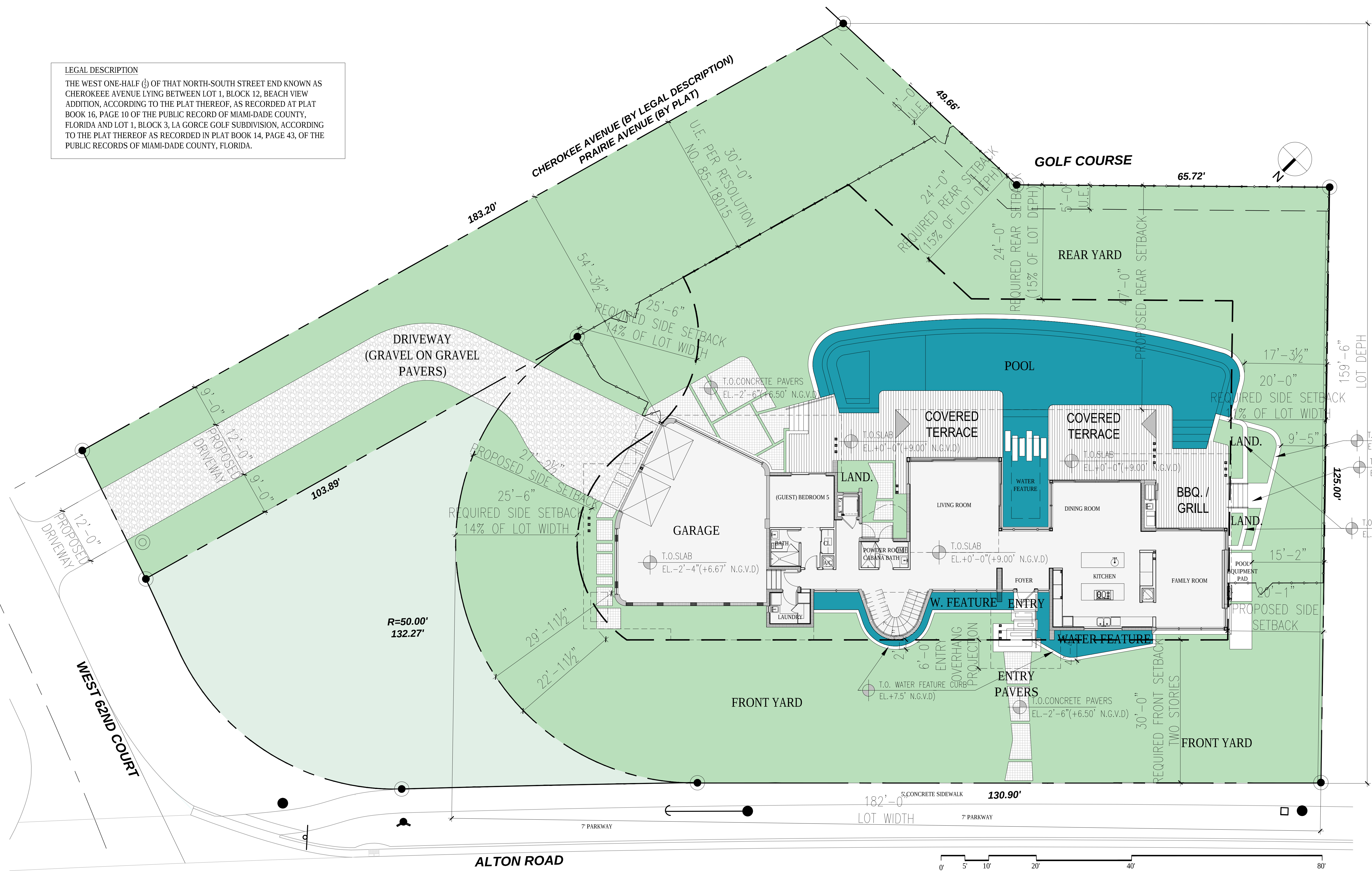
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ZONING SETBACKS
DIAGRAMS
DATE: 04/06/2018
SCALE: NTS

A-1.3

LEGAL DESCRIPTION

THE WEST ONE-HALF (½) OF THAT NORTH-SOUTH STREET END KNOWN AS CHEROKEE AVENUE LYING BETWEEN LOT 1, BLOCK 12, BEACH VIEW ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED AT PLAT BOOK 16, PAGE 10 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY, FLORIDA AND LOT 1, BLOCK 3, LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



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SITE PLAN
DATE: 04/06/2018
SCALE: NTS
A-1.4

THE WEST ONE-HALF (½) OF THAT NORTH-SOUTH STREET END KNOWN AS CHEROKEE AVENUE LYING BETWEEN LOT 1, BLOCK 12, BEACH VIEW ADDITION, ACCORDING TO THE PLAT THEREOF, AS RECORDED AT PLAT BOOK 16, PAGE 10 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY, FLORIDA AND LOT 1, BLOCK 3, LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14, PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



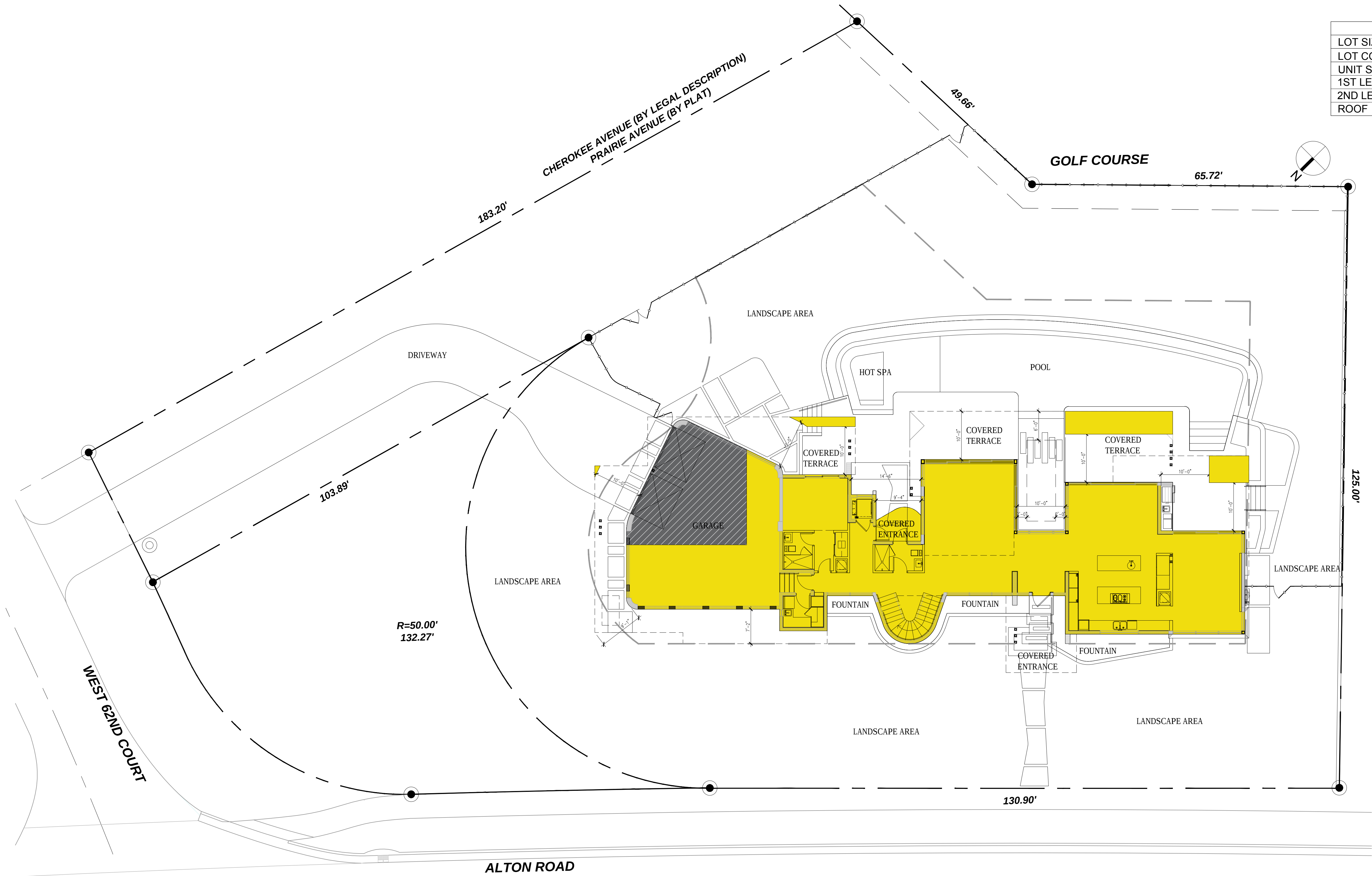
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CONTOUR PLAN

DATE: 04/06/2018

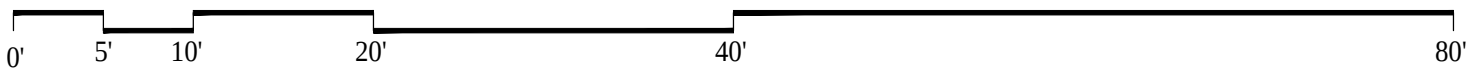
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A-1.4.1



	ALLOWED	PROVIDED
LOT SIZE	10,000 SF MIN.	26,104 SF
LOT COVERAGE	7,831.2 SF MAX. (30% MAX.)	6,105 SF (23.4%)
UNIT SIZE	13,262 SF MAX. (50% MAX.)	6,815 SF (26.1%)
1ST LEVEL		3,263 SF
2ND LEVEL		3,492 SF
ROOF		60 SF

- UNIT SIZE = 3,263 SF
- GARAGE (DEDUCTED) =500 SF



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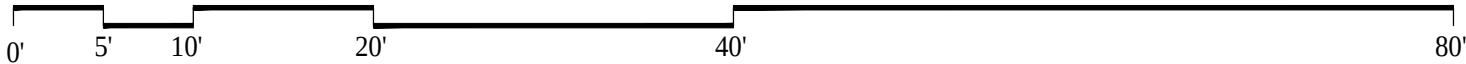
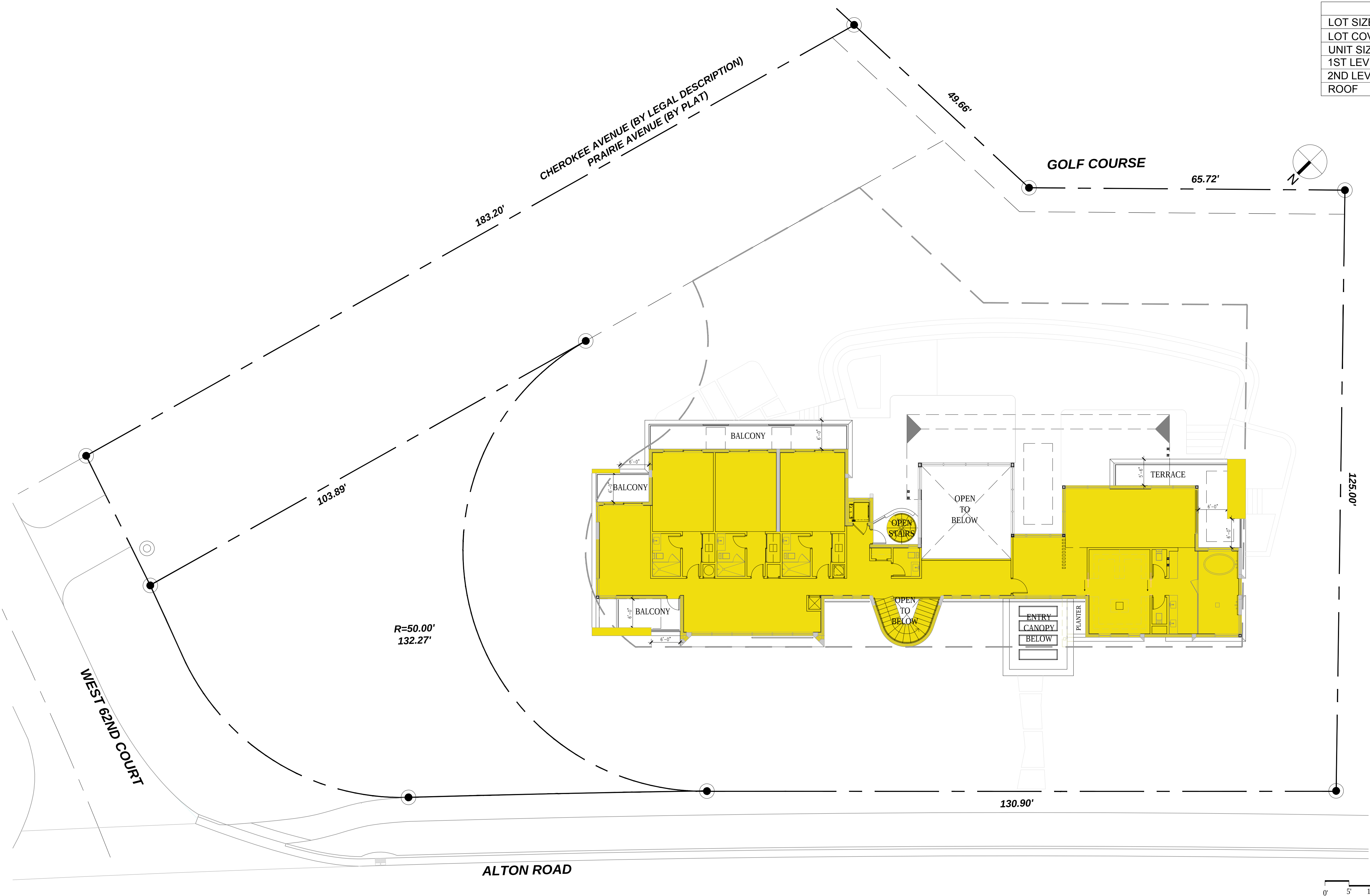
01 GROUND FLOOR

F.A.R./ UNIT SIZE
DIAGRAMS
DATE: 04/06/2018
SCALE: NTS

A-1.5

	ALLOWED	PROVIDED
LOT SIZE	10,000 SF MIN.	26,104 SF
LOT COVERAGE	7,831.2 SF MAX. (30% MAX.)	6,105 SF (23.4%)
UNIT SIZE	13,262 SF MAX. (50% MAX.)	6,815 SF (26.1%)
1ST LEVEL		3,263 SF
2ND LEVEL		3,492 SF
ROOF		60 SF

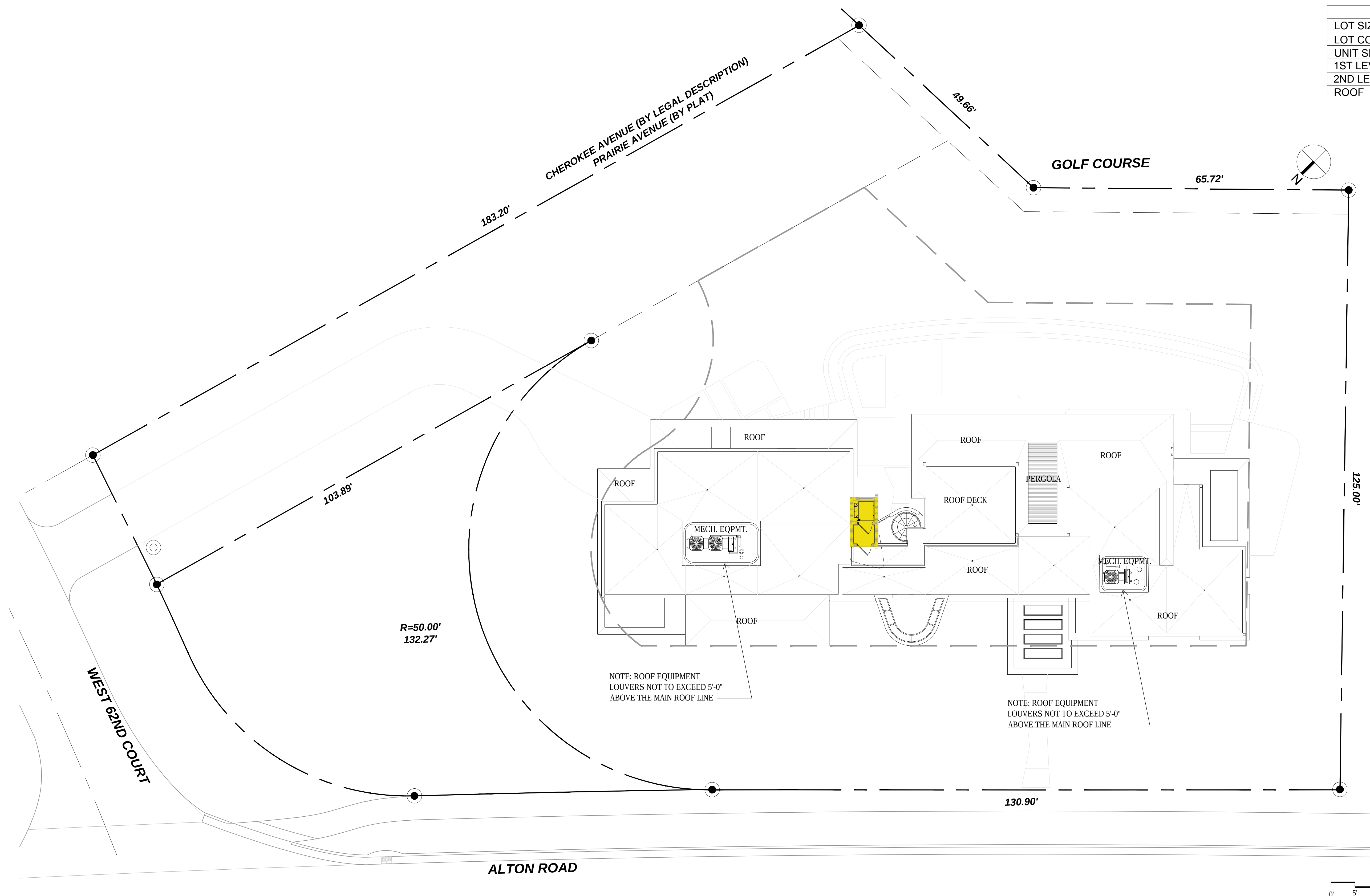
UNIT SIZE = 3,492 SF



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	ALLOWED	PROVIDED
LOT SIZE	10,000 SF MIN.	26,104 SF
LOT COVERAGE	7,831.2 SF MAX. (30% MAX.)	6,105 SF (23.4%)
UNIT SIZE	13,262 SF MAX. (50% MAX.)	6,815 SF (26.1%)
1ST LEVEL		3,263 SF
2ND LEVEL		3,492 SF
ROOF		60 SF

UNIT SIZE = 60 SF

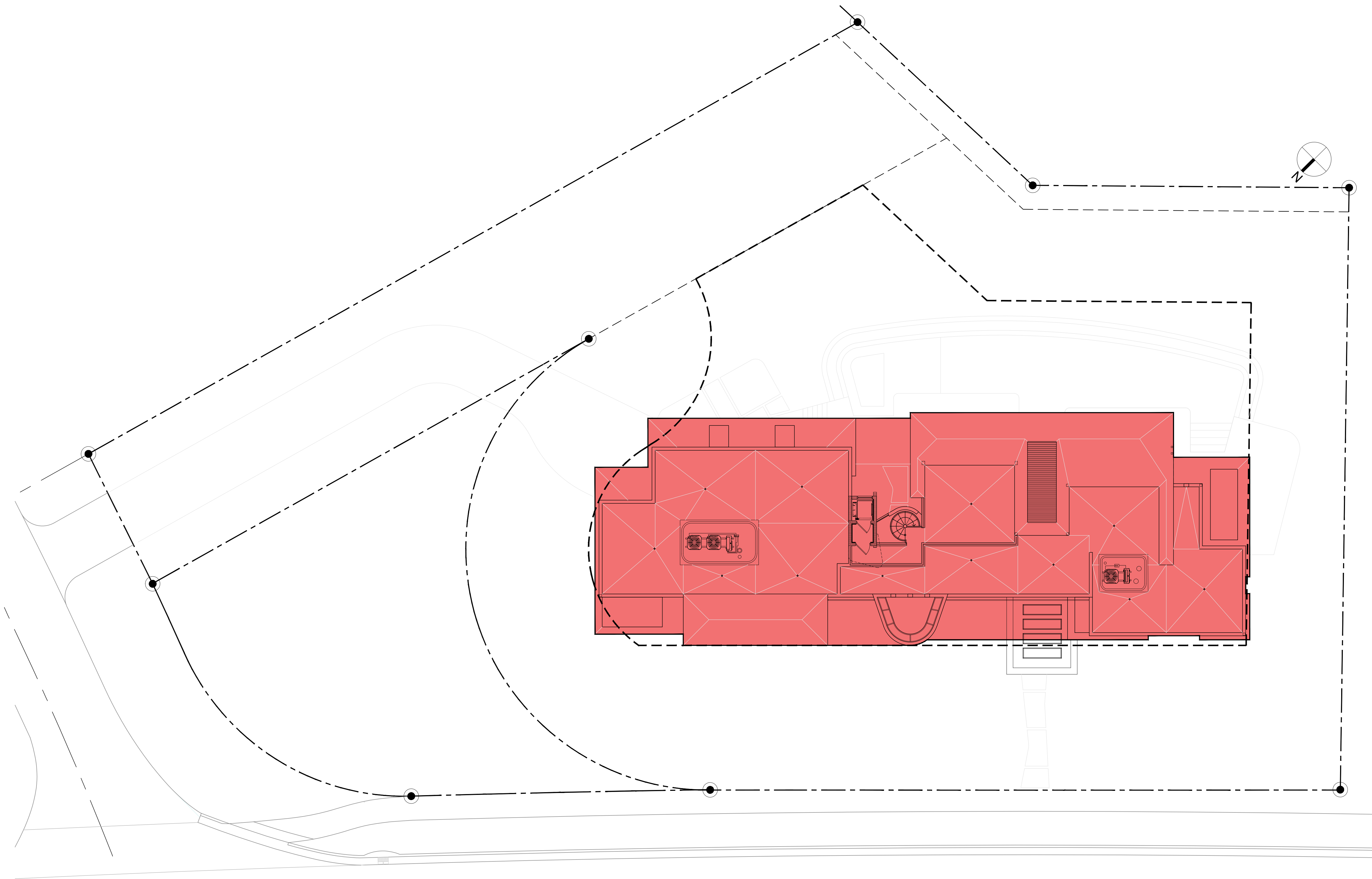
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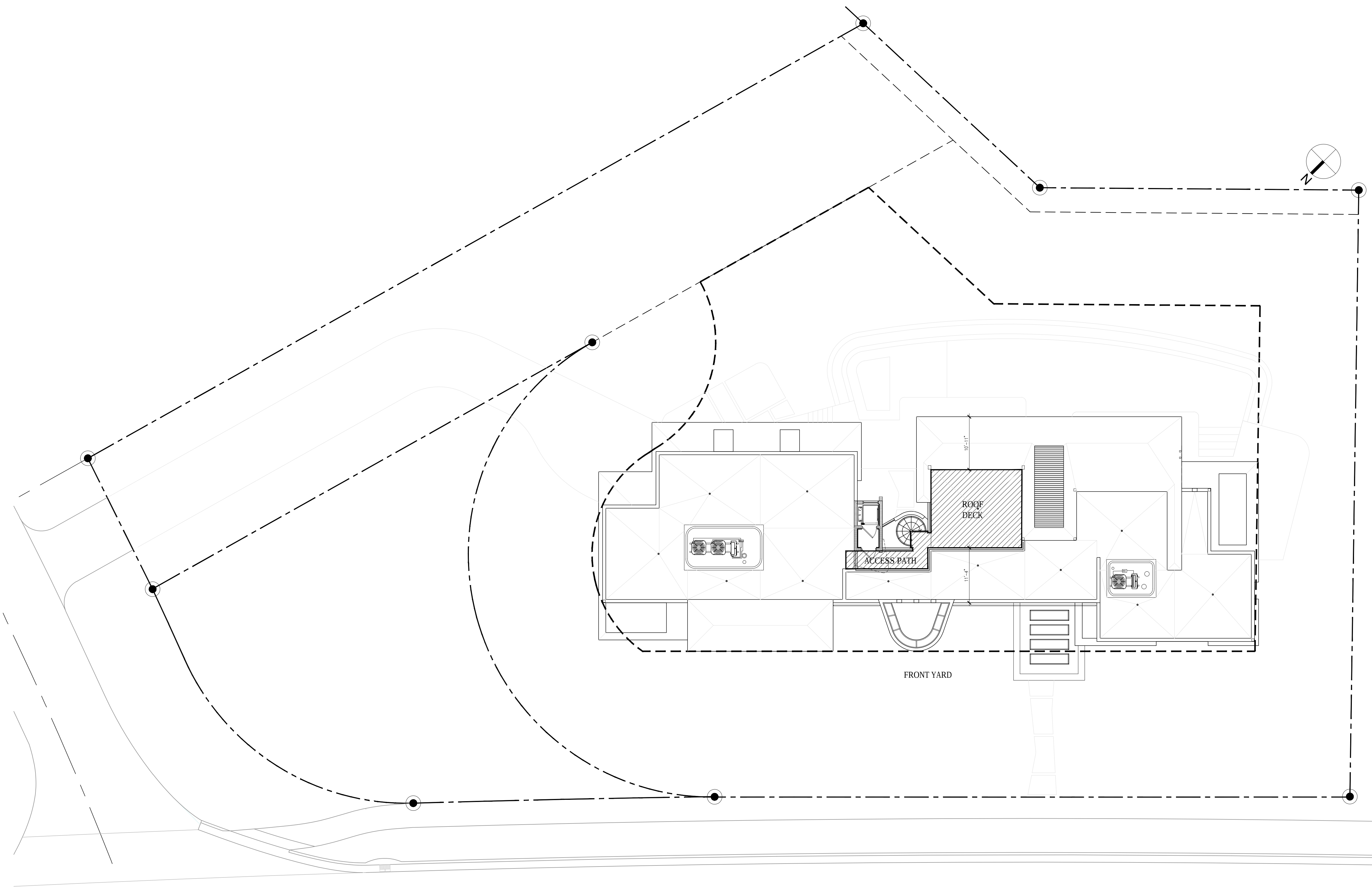
03 ROOF
F.A.R./ UNIT SIZE
DIAGRAMS
DATE: 04/06/2018
SCALE: NTS

A-1.5.2



LOT COVERAGE= 6,105 SF (23.4%)

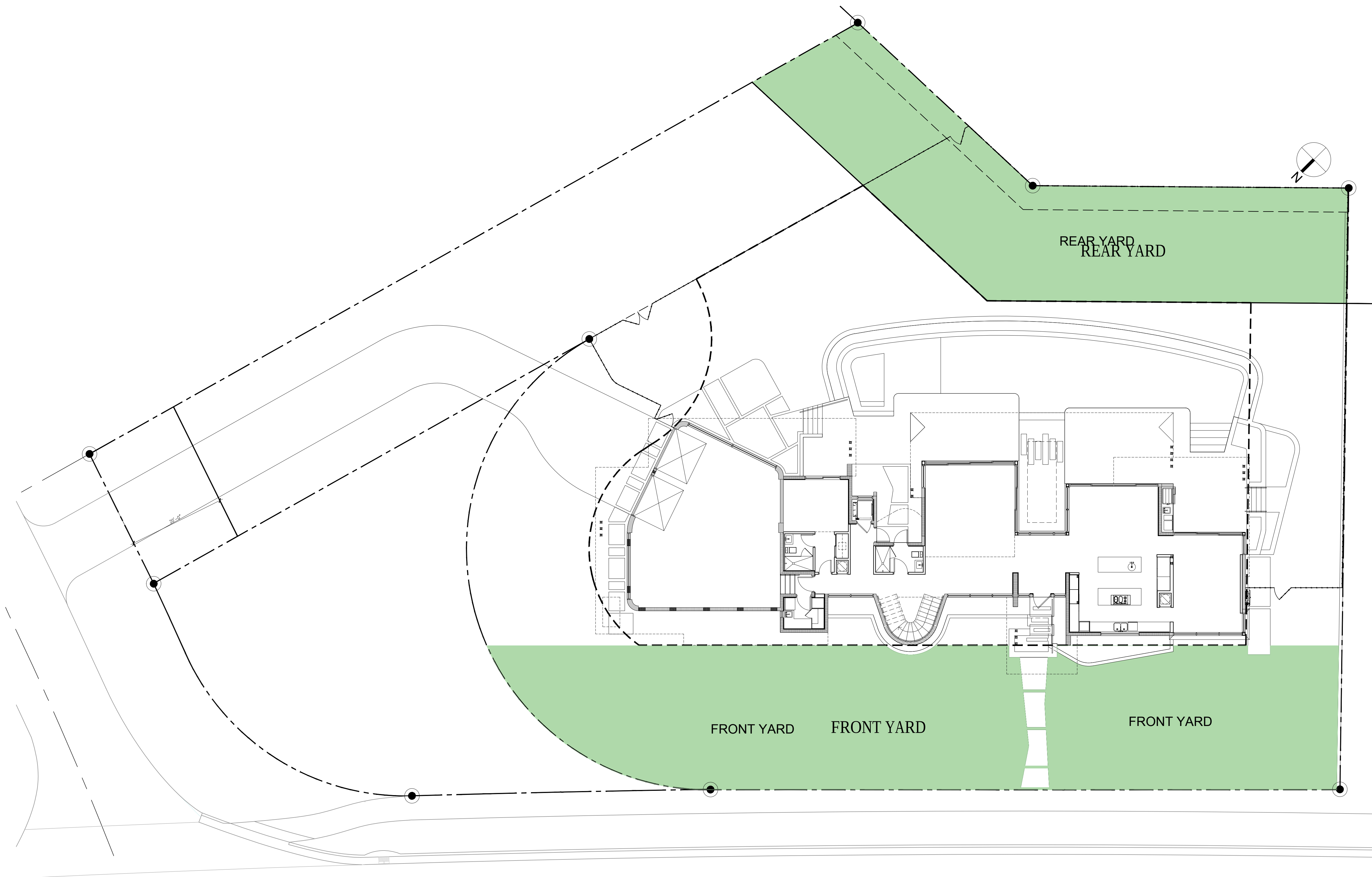
LOT AREA: 26,104 SF
MAXIMUM ALLOWED LOT COVERAGE: 7,831.2 SF
(30% OF LOT AREA)



 ROOF DECK = 378 SF (11.5%)

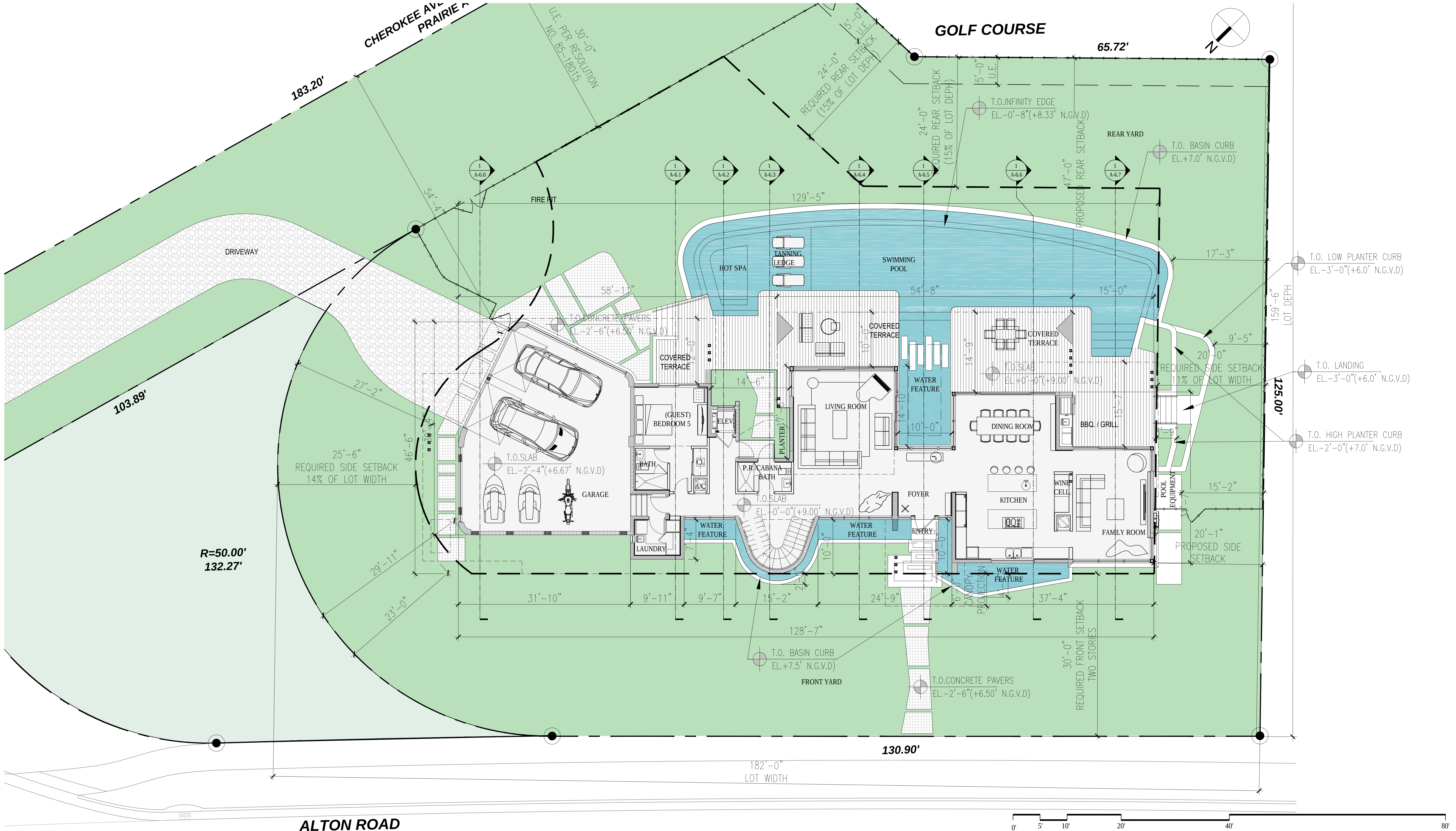
FLOOR AREA DIRECTLY BELOW: 3,289 SF
(MAXIMUM 25% ALLOWED FOR ROOF DECK
OF FLOOR AREA DIRECTLY BELOW)

ALLOWED ROOF DECK AREA: 822 SF



REAR YARD AREA: 3,083 sf
 MINIMUM ALLOWED LANDSCAPE: 2,158 (70% of rear yard area)
 PROPOSED REAR YARD LANDSCAPE AREA: 3,083 SF (100%)

FRONT YARD AREA: 4,931 sf
 MINIMUM ALLOWED LANDSCAPE: 2,959 SF (60% of front yard area)
 PROPOSED FRONT YARD LANDSCAPE AREA: 4,698 SF (95.3%)

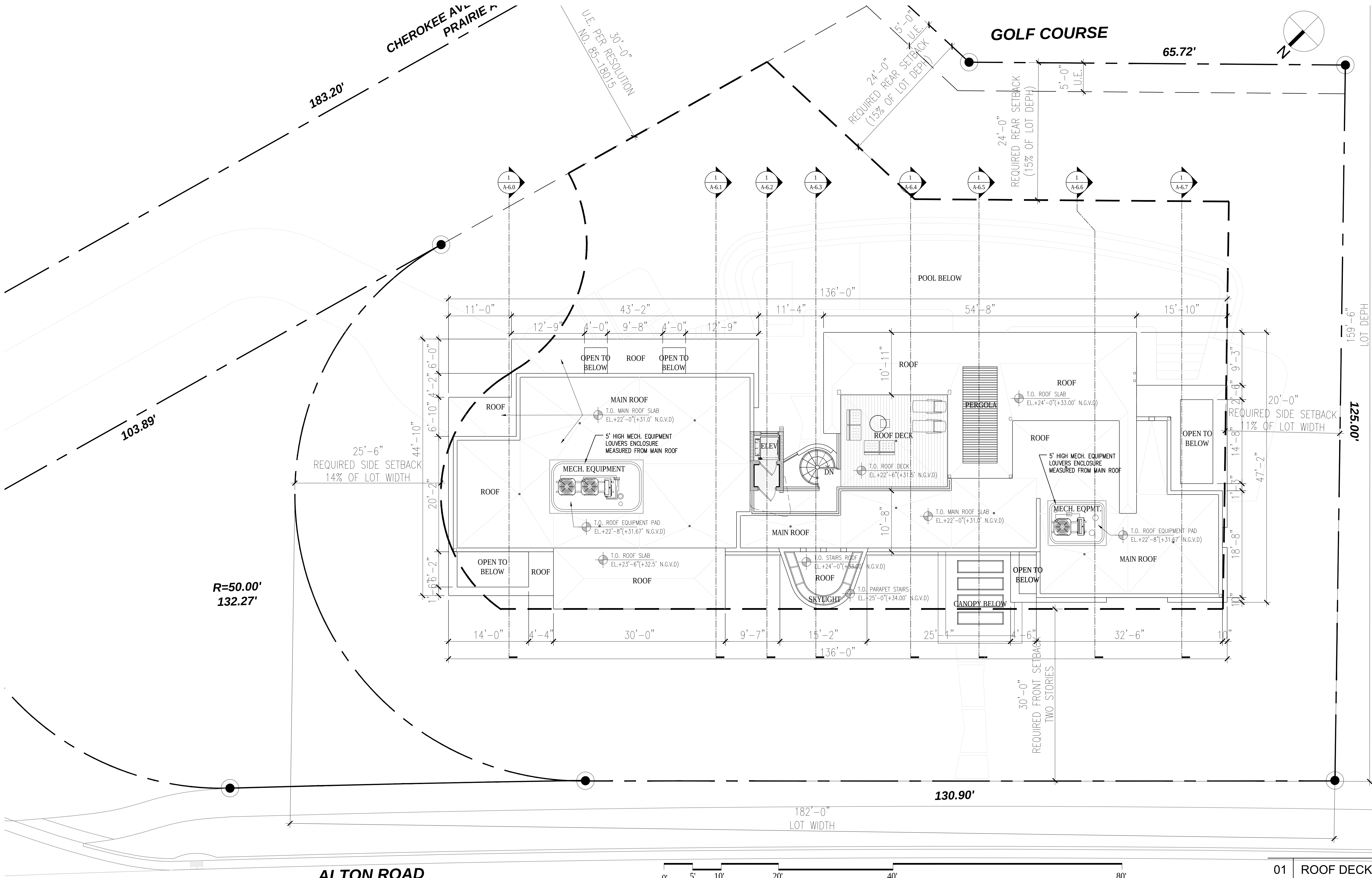


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GROUND FLOOR PLAN
DATE: 04/06/2018
SCALE: NTS
A-2.1



NO HARDWIRE SPEAKERS ON THE ROOF DECK

ALL ROOF TOP LIGHTING SHALL BE LOCATED BELOW THE PARAPET LEVEL

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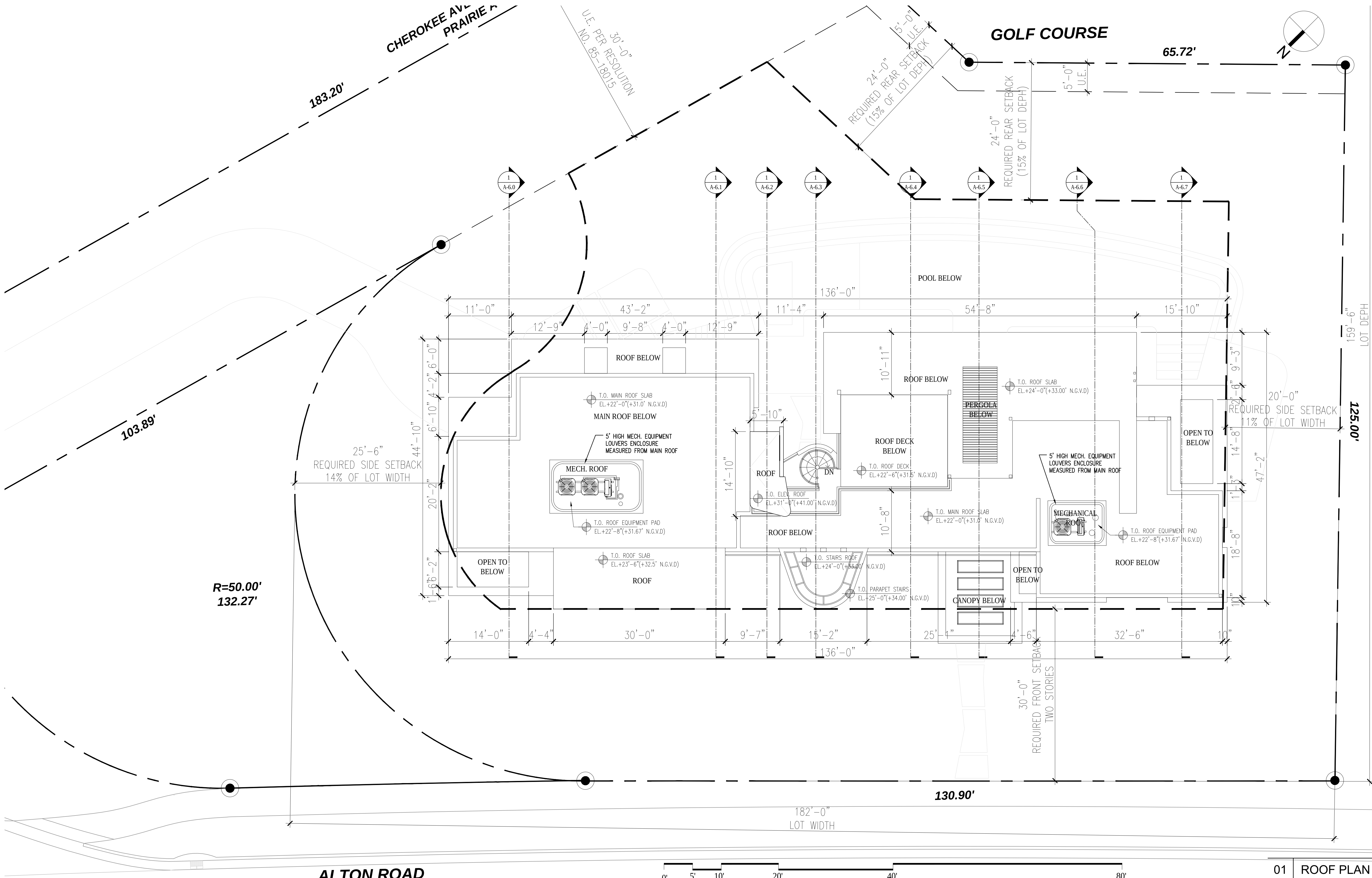
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ROOF DECK FLOOR PLAN

DATE: 04/06/2018

SCALE: NTS

A-2.3



NO HARDWIRE SPEAKERS ON THE ROOF DECK

ALL ROOF TOP LIGHTING SHALL BE LOCATED BELOW THE PARAPET LEVEL

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ROOF FLOOR PLAN

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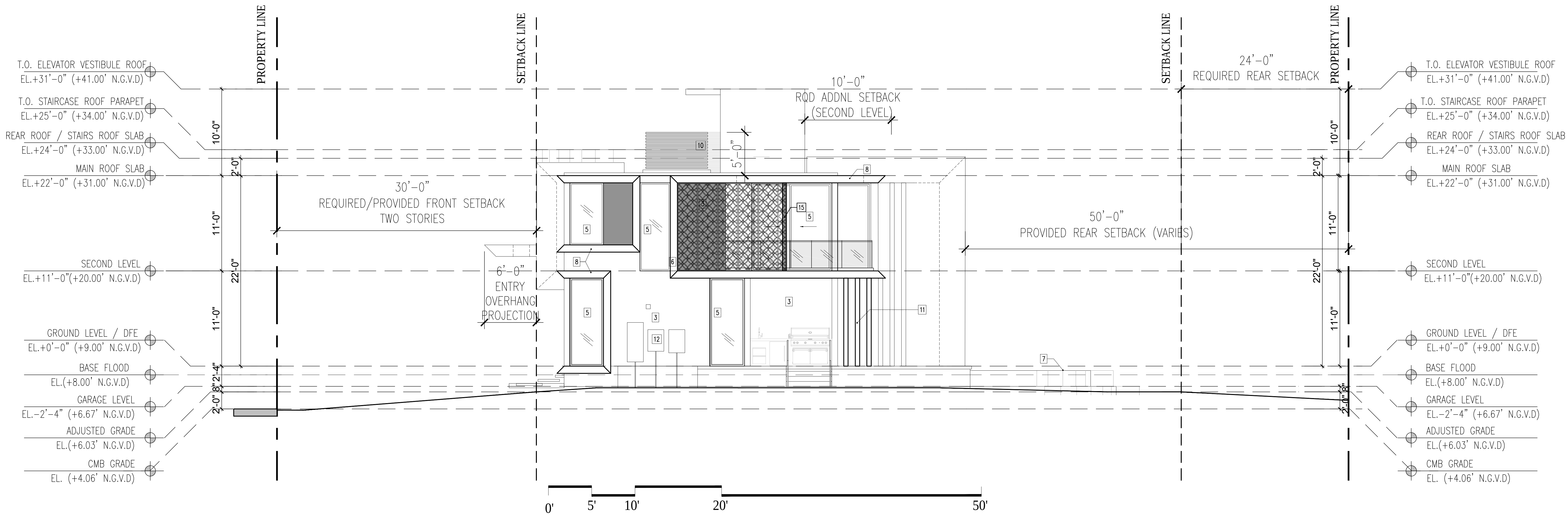
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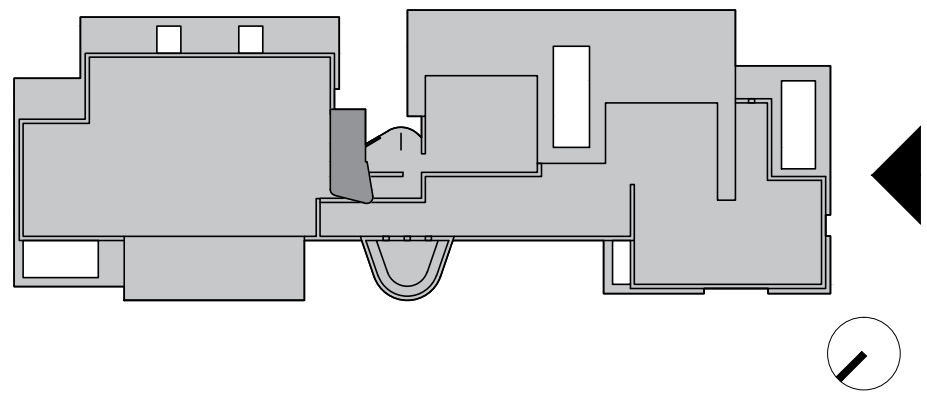
ROOF DECK SHALL BE 6" MAXIMUM ABOVE MAIN ROOF
LOCATED AT +24'-0" (32.0' NGVD) MAXIMUM HEIGHT
TOP OF GLASS RAILINGS ON ROOFTOP 3'-6" MAXIMUM ABOVE
ROOF DECK LOCATED AT +24'-6" (32.5' NGVD) MAXIMUM
HEIGHT

FINISH LEGEND

- | | |
|---|---|
| 1 ACCESS SOLID DOOR | 10 MECHANICAL EQUIPMENT BEHIND MAX 5' ABOVE MAIN ROOF (+24' ABOVE DFE, (32.0' NGVD) |
| 2 CUSTOM AUTOMATED ALUM./GLASS GARAGE DOOR | 11 STEEL COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH. |
| 3 SMOOTH STUCCO FINISH | 12 ELECTRICAL METER/DISCONNECT (TO BE PLACED ABOVE BASED FLOOD ELEVATION) |
| 4 STONE VENEER (EQUITONE OR SIMILAR) | 13 FLOOD VENT/ VENTILATION OPENING OPENING |
| 5 ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS | 14 OVERFLOW SCUPPER |
| 6 LAMINATED GLASS RAILING 42" A.F.F. | 15 ORNAMENTAL METAL SCREEN |
| 7 INFINITY EDGE | 16 ORNAMENTAL CONCRETE/MASONRY FRAME |
| 8 ARCHITECTURAL CONCRETE EYEBROW | |
| 9 5' ALUMINUM LOUVER AND DOOR SYSTEM. | |



01 SOUTH ELEVATION



02 KEYPLAN

ALTON ROAD RESIDENCE
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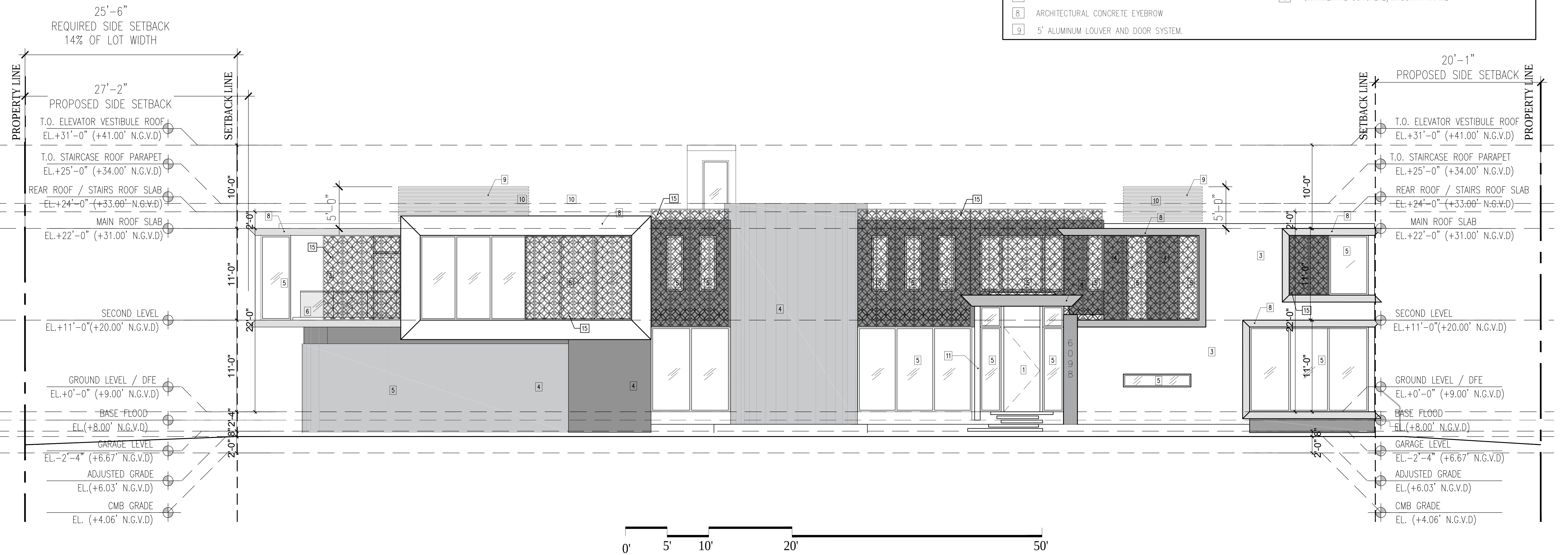
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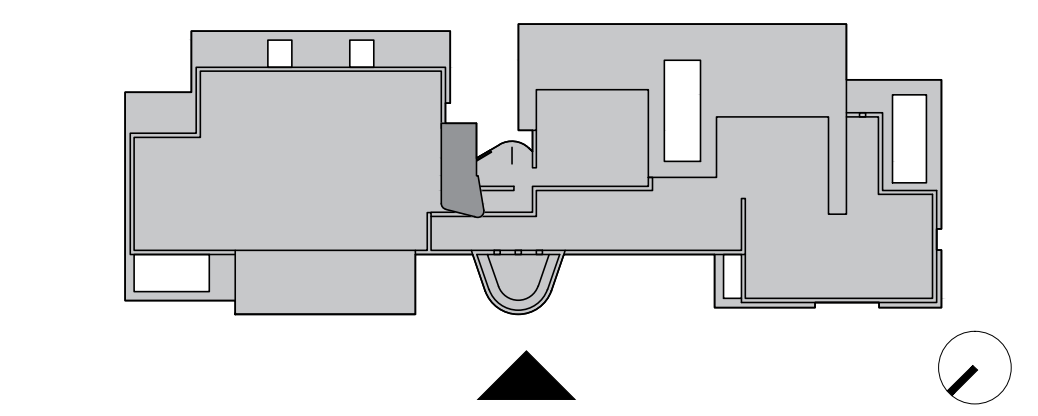
EXTERIOR ELEVATIONS
DATE: 04/06/2018
SCALE: NTS
A-5.0

ROOF DECK SHALL BE 6" MAXIMUM ABOVE MAIN ROOF
LOCATED AT +24'-0" (32.0' NGVD) MAXIMUM HEIGHT
TOP OF GLASS RAILINGS ON ROOFTOP 3'-6" MAXIMUM ABOVE
ROOF DECK LOCATED AT +24'-6" (32.5' NGVD) MAXIMUM
HEIGHT

FINISH LEGEND	
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9 5' ALUMINUM LOUVER AND DOOR SYSTEM.	



01 WEST ELEVATION



02 KEYPLAN

ALTON ROAD RESIDENCE

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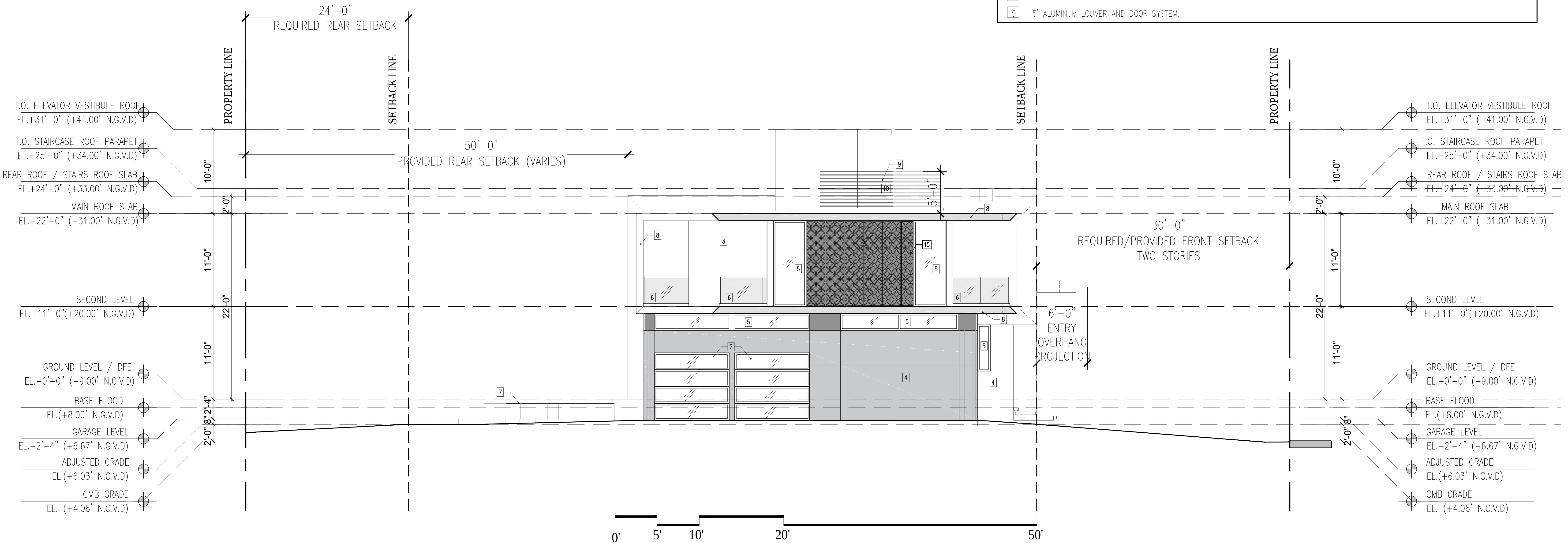
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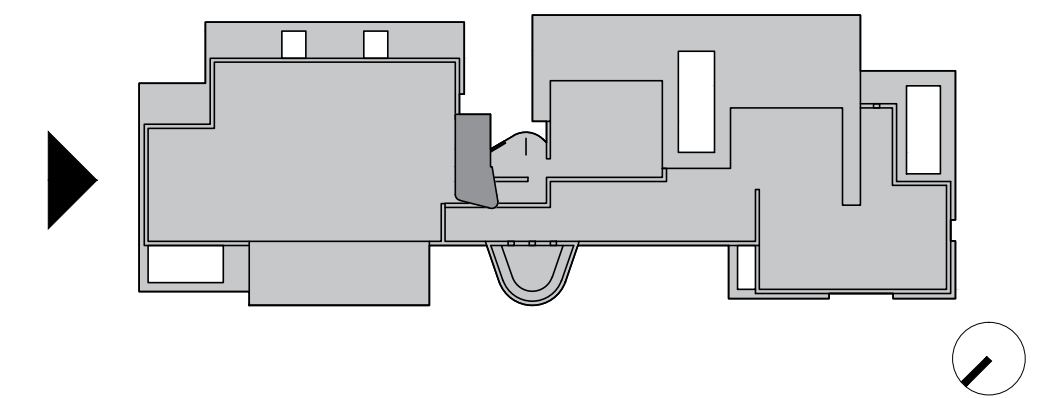
EXTERIOR ELEVATIONS
DATE: 04/06/2018
SCALE: NTS
A-5.1

ROOF DECK SHALL BE 6" MAXIMUM ABOVE MAIN ROOF LOCATED AT +24'-0" (32.0' NGVD) MAXIMUM HEIGHT TOP OF GLASS RAILINGS ON ROOFTOP 3'-6" MAXIMUM ABOVE ROOF DECK LOCATED AT +24'-6" (32.5' NGVD) MAXIMUM HEIGHT

FINISH LEGEND	
1	ACCESS SOLID DOOR
2	CUSTOM AUTOMATED ALUM./GLASS GARAGE DOOR
3	SMOOTH STUCCO FINISH
4	STONE VENEER (EQUITONE OR SIMILAR)
5	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
6	LAMINATED GLASS RAILING 42" A.F.F.
7	INFINITY EDGE
8	ARCHITECTURAL CONCRETE EYEBROW
9	5' ALUMINUM LOUVER AND DOOR SYSTEM.
10	MECHANICAL EQUIPMENT BEHIND MAX 5' ABOVE MAIN ROOF (+24' ABOVE DFE, (32.0' NGVD)
11	STEEL COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH.
12	ELECTRICAL METER/DISCONNECT (TO BE PLACED ABOVE BASED FLOOD ELEVATION)
13	FLOOD VENT/ VENTILATION OPENING OPENING
14	OVERFLOW SCUPPER
15	ORNAMENTAL METAL SCREEN
16	ORNAMENTAL CONCRETE/MASONRY FRAME



01 | NORTH ELEVATION



02 | KEYPLAN

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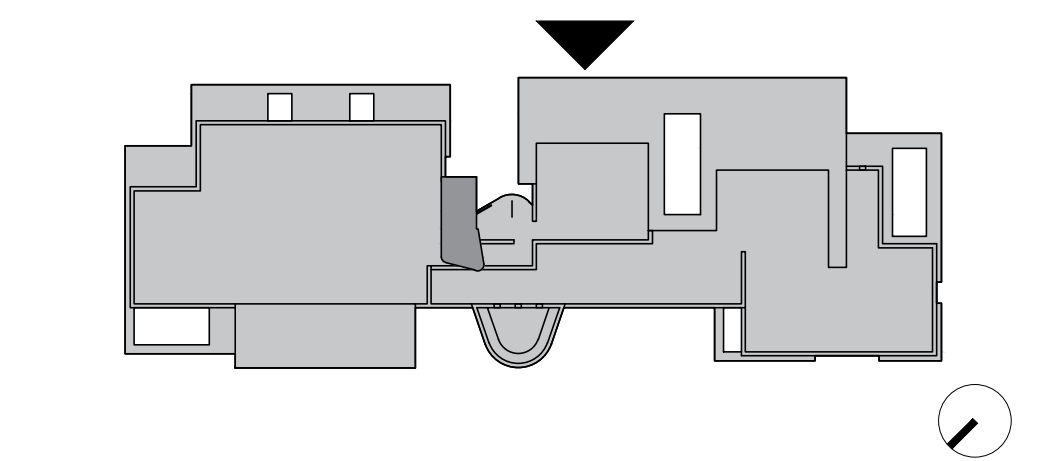
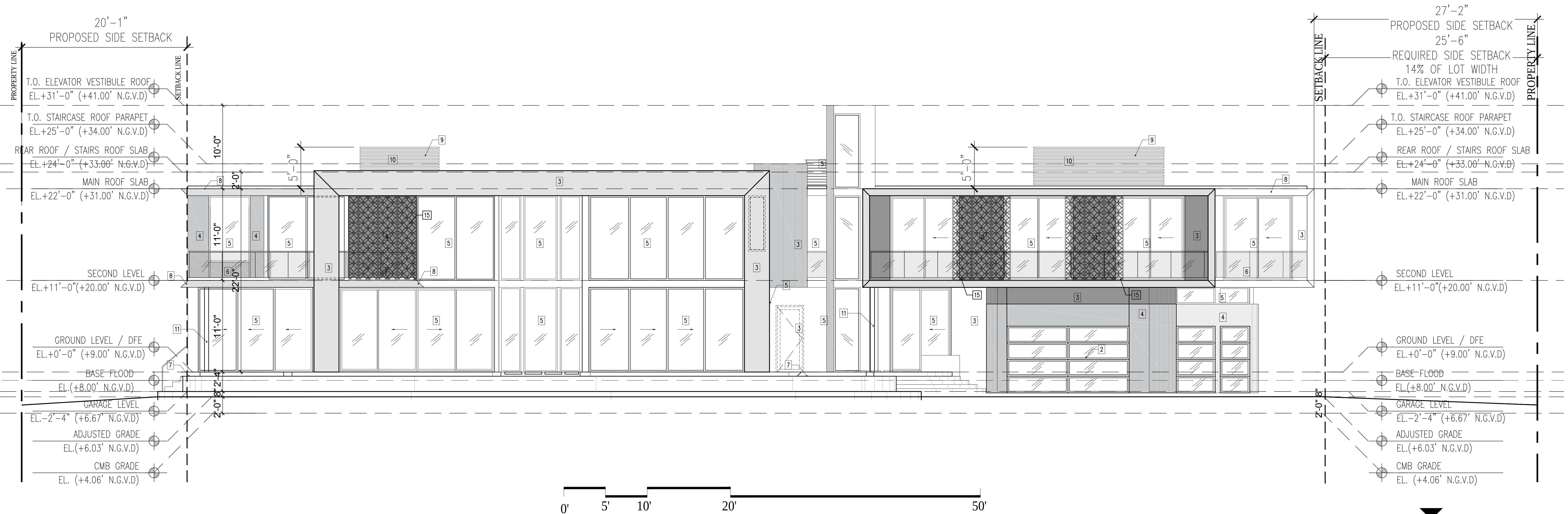
EXTERIOR ELEVATIONS
DATE: 04/06/2018
SCALE: NTS

A-5.2

ROOF DECK SHALL BE 6" MAXIMUM ABOVE MAIN ROOF
LOCATED AT +24'-0" (32.0' NGVD) MAXIMUM HEIGHT
TOP OF GLASS RAILINGS ON ROOFTOP 3'-6" MAXIMUM ABOVE
ROOF DECK LOCATED AT +24'-6" (32.5' NGVD) MAXIMUM
HEIGHT

FINISH LEGEND

1 ACCESS SOLID DOOR	10 MECHANICAL EQUIPMENT BEHIND MAX 5' ABOVE MAIN ROOF (+24' ABOVE DFE, (32.0' NGVD)
2 CUSTOM AUTOMATED ALUM./GLASS GARAGE DOOR	11 STEEL COLUMNS WITH BREAK METAL TO MATCH WINDOWS AND DOORS MULLIONS FINISH.
3 SMOOTH STUCCO FINISH	12 ELECTRICAL METER/DISCONNECT (TO BE PLACED ABOVE BASED FLOOD ELEVATION)
4 STONE VENEER (EQUITONE OR SIMILAR)	13 FLOOD VENT/ VENTILATION OPENING OPENING
5 ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS	14 OVERFLOW SCUPPER
6 LAMINATED GLASS RAILING 42" A.F.F.	15 ORNAMENTAL METAL SCREEN
7 INFINITY EDGE	16 ORNAMENTAL CONCRETE/MASONRY FRAME
8 ARCHITECTURAL CONCRETE EYEBROW	
9 5' ALUMINUM LOUVER AND DOOR SYSTEM.	



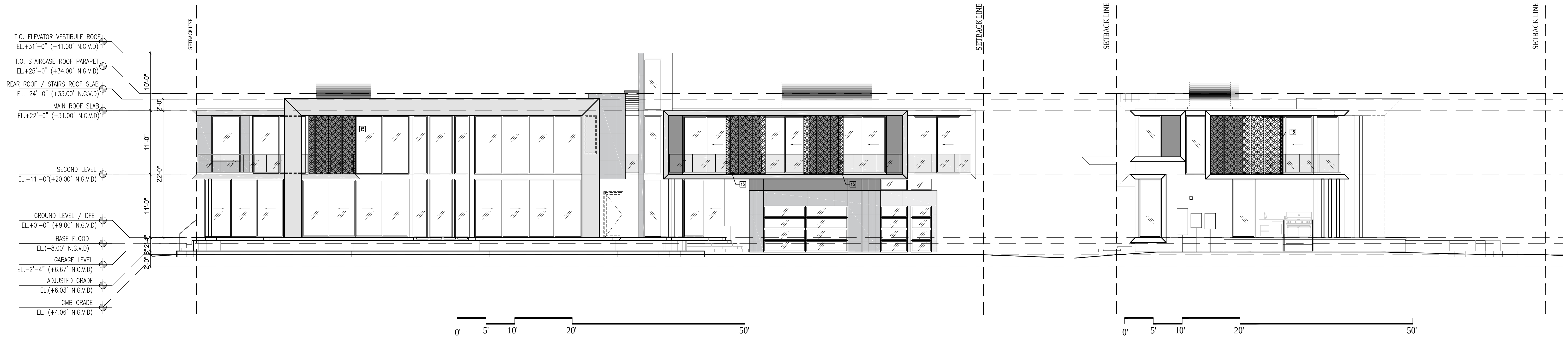
02 KEYPLAN

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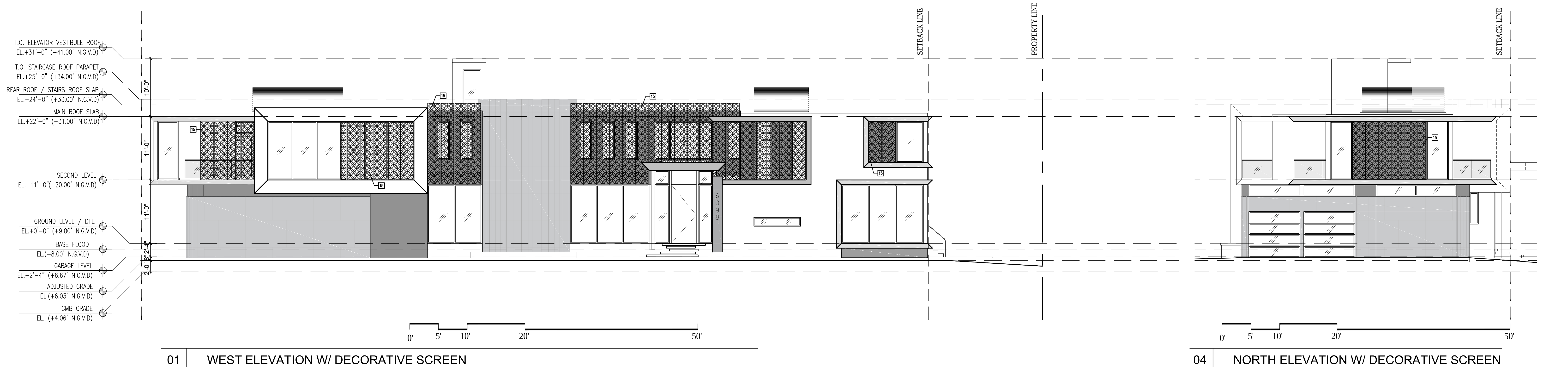
EXTERIOR ELEVATIONS
DATE: 04/06/2018
SCALE: NTS
A-5.3



FINISH LEGEND

16 ORNAMENTAL CONCRETE/MASONRY FRAME

ROOF DECK SHALL BE 6" MAXIMUM ABOVE MAIN ROOF
LOCATED AT +24'-0" (32.0' NGVD) MAXIMUM HEIGHT
TOP OF GLASS RAILINGS ON ROOFTOP 3'-6" MAXIMUM ABOVE
ROOF DECK LOCATED AT +24'-6" (32.5' NGVD) MAXIMUM
HEIGHT



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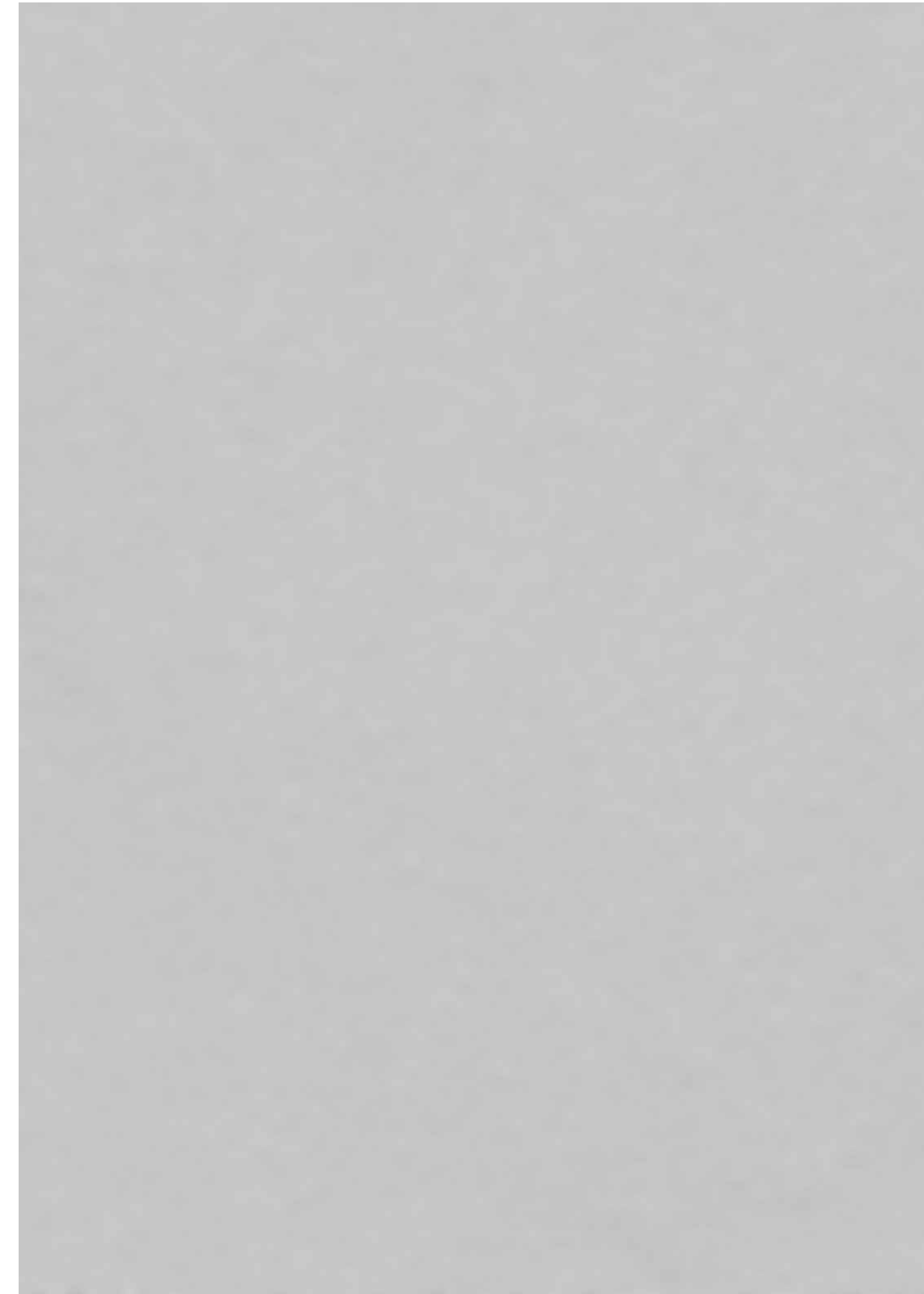
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EXTERIOR ELEVATIONS
W/ DECORATIVE SCREEN
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A-5.4



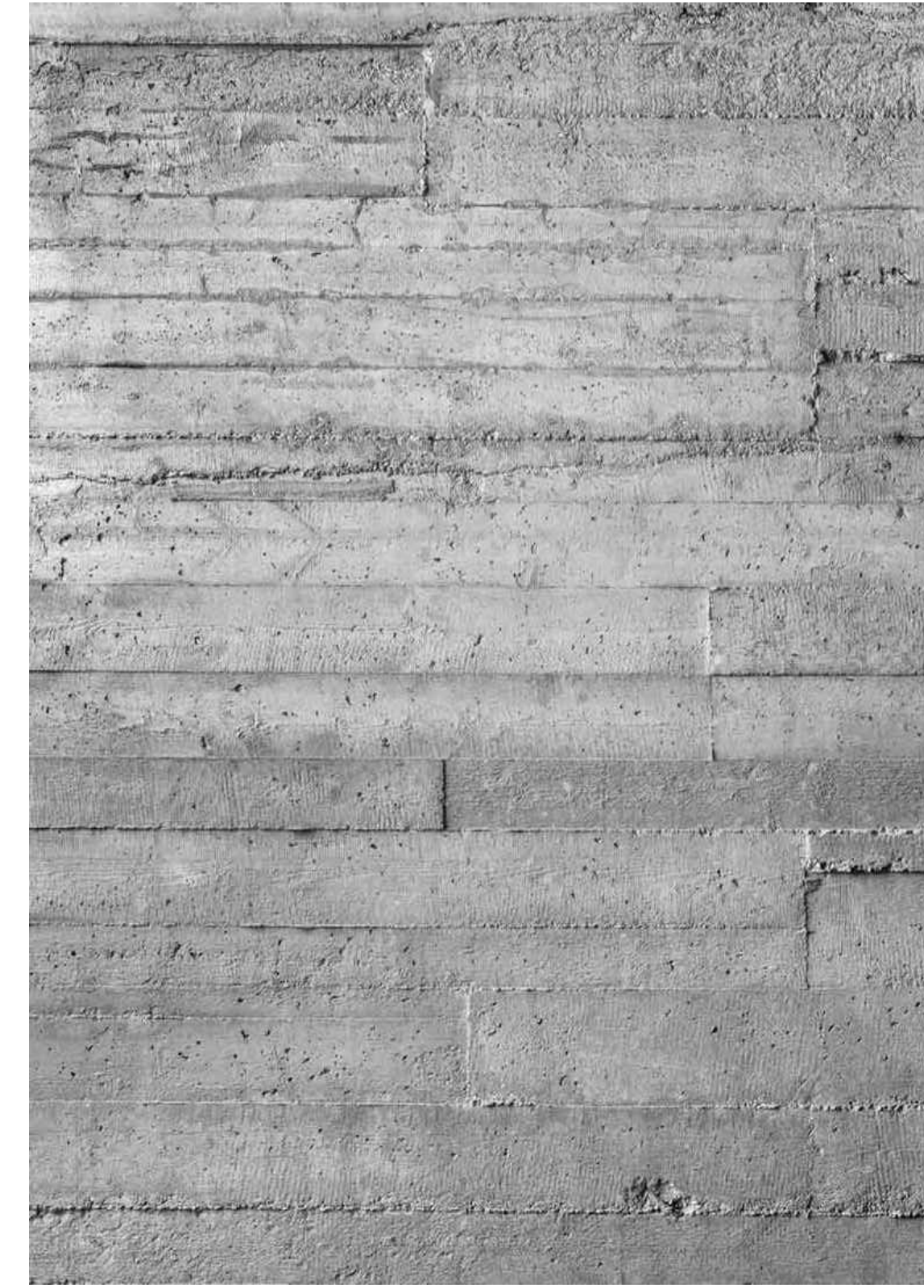
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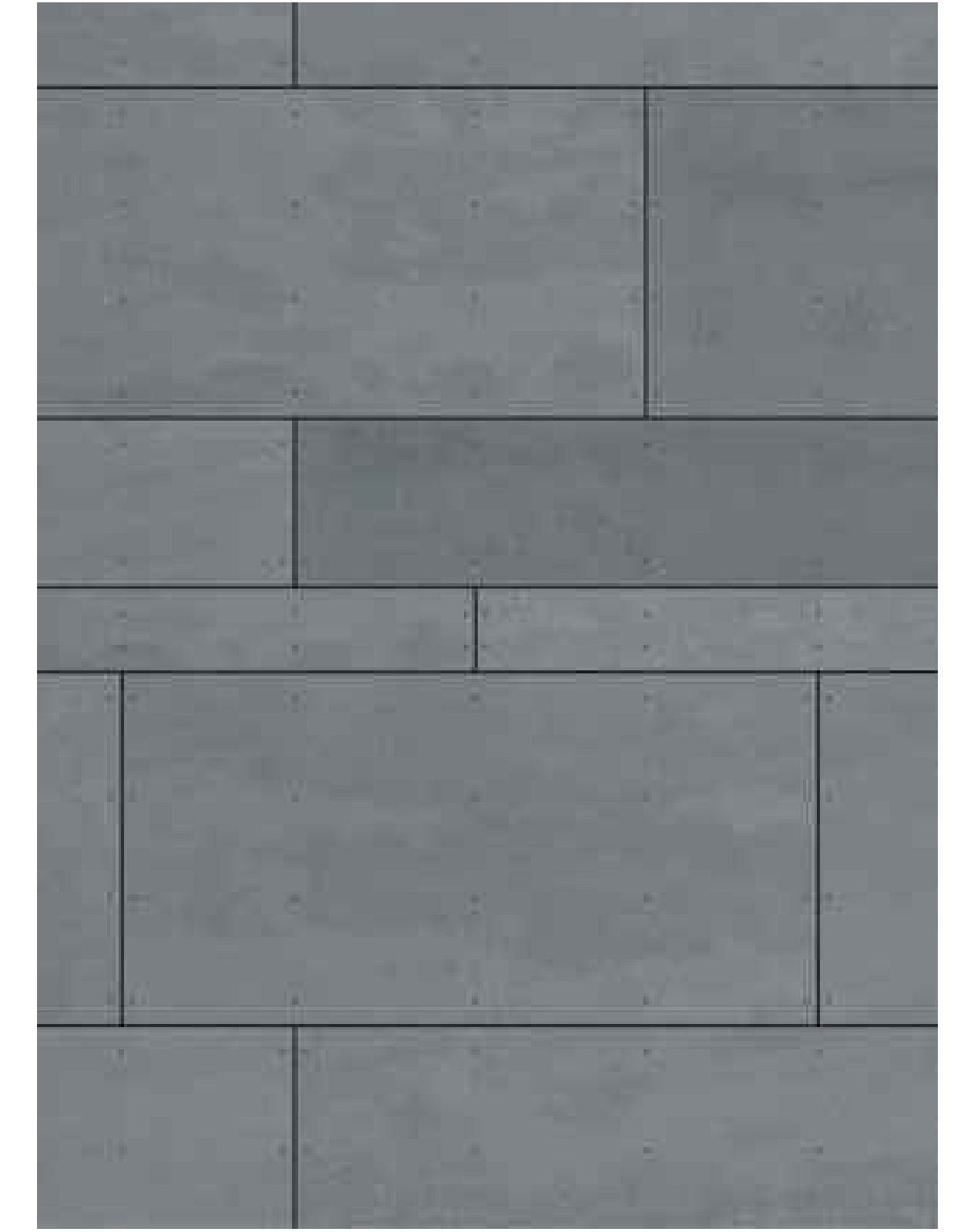
2. SMOOTH STUCCO PAINTED WHITE



3. SMOOTH STUCCO PAINTED CHARCOAL



4. ARCHITECTURAL CONCRETE (SLABS & EYEBROWS)



5. STONE VENEER (EQUITONE OR SIMILAR)



6. PREFAB ALUMINUM LOUVER PAINTED CHARCOAL (MECH. EQUIPMENT)



7. ORNAMENTAL METAL SCREEN



8. ALUMINUM & GLASS IMPACT RESISTANT (WINDOWS & DOORS WITH BRONZE COATED MULLION)



9. ALUMINUM & GLASS GARAGE DOOR



9. LAMINATED GLASS RAILING 42" A.F.F.

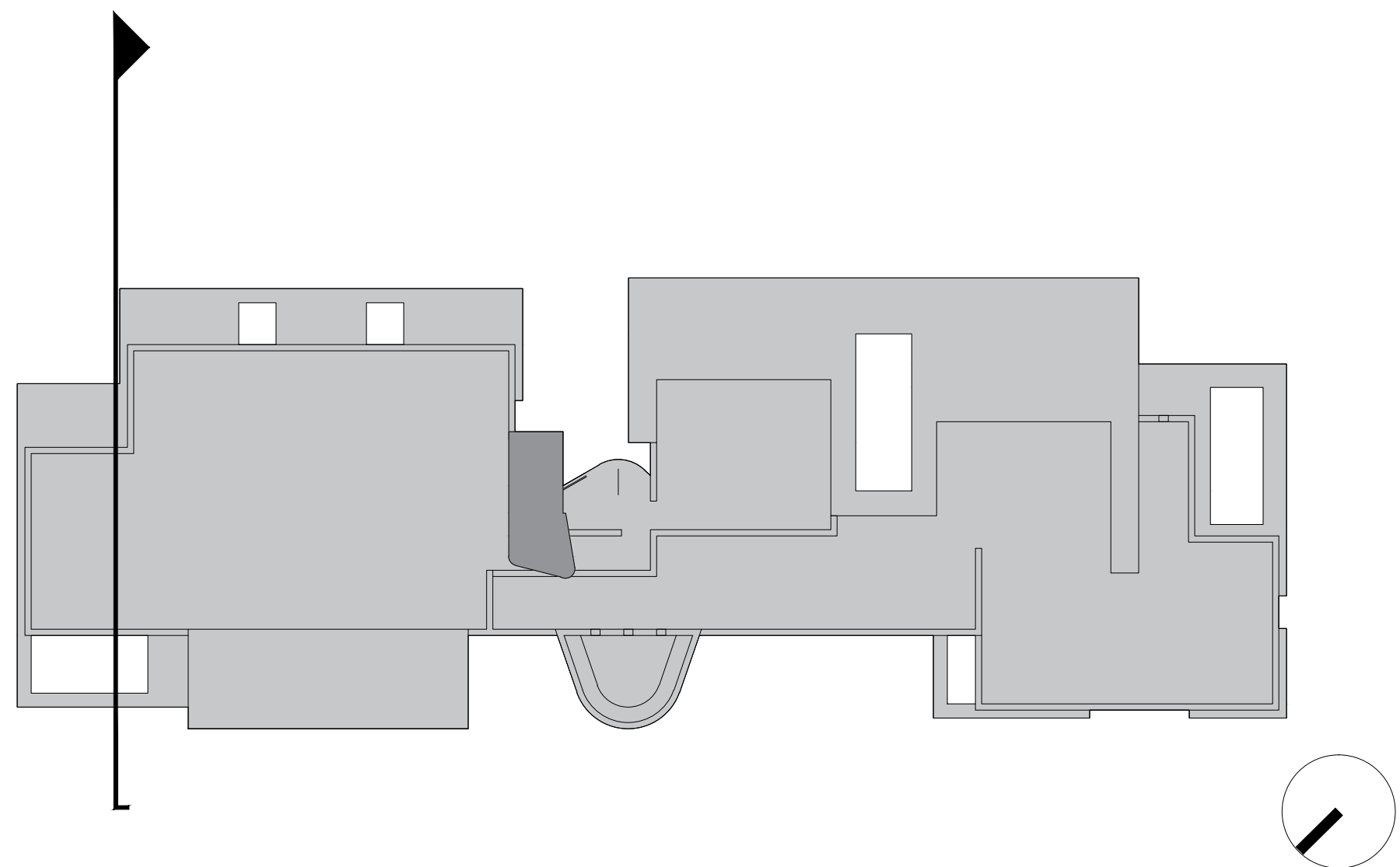
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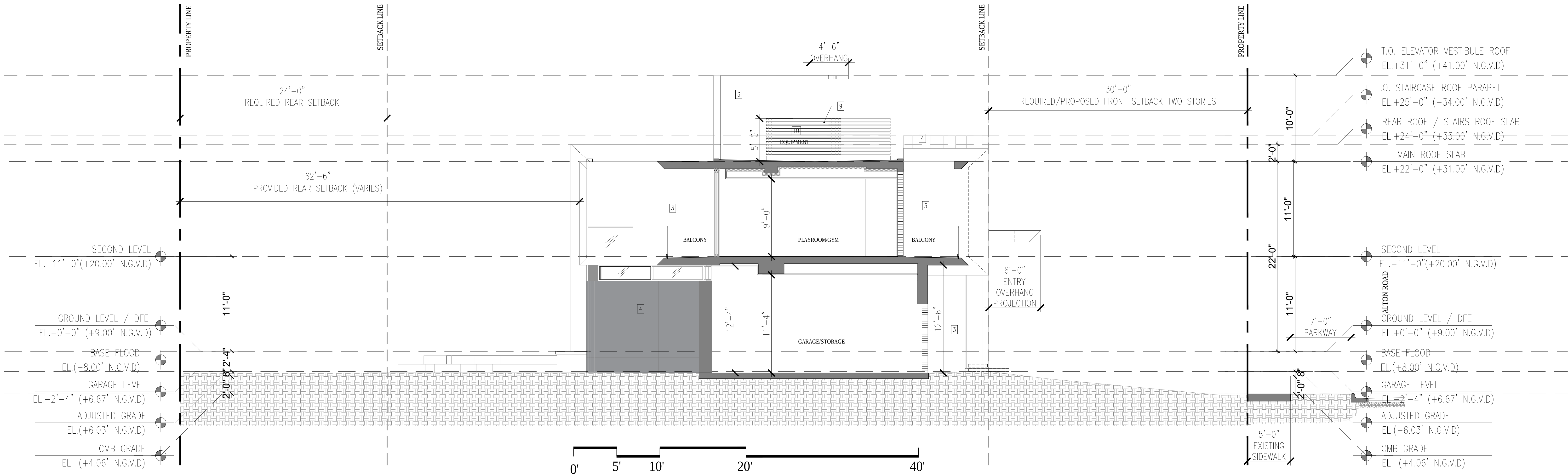
MATERIAL BOARD
DATE: 04/06/2018
SCALE: NTS
A-5.5



02 | KEYPLAN

CONSTRUCTION AND FINISH MATERIALS USED FOR GARAGE WALLS BELOW DFE (+9.0' NGVD) WILL BE USED ARE FLOOD RESISTANT

FINISH LEGEND	
1	ACCESS SOLID DOOR
2	CUSTOM AUTOMATED ALUM./GLASS GARAGE DOOR
3	SMOOTH STUCCO FINISH
4	STONE VENEER (EQUITONE OR SIMILAR)
5	ALUMINUM & GLASS IMPACT RESISTANT WINDOWS/DOORS
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14	OVERFLOW SCUPPER
15	ORNAMENTAL METAL SCREEN
16	ORNAMENTAL CONCRETE/MASONRY FRAME



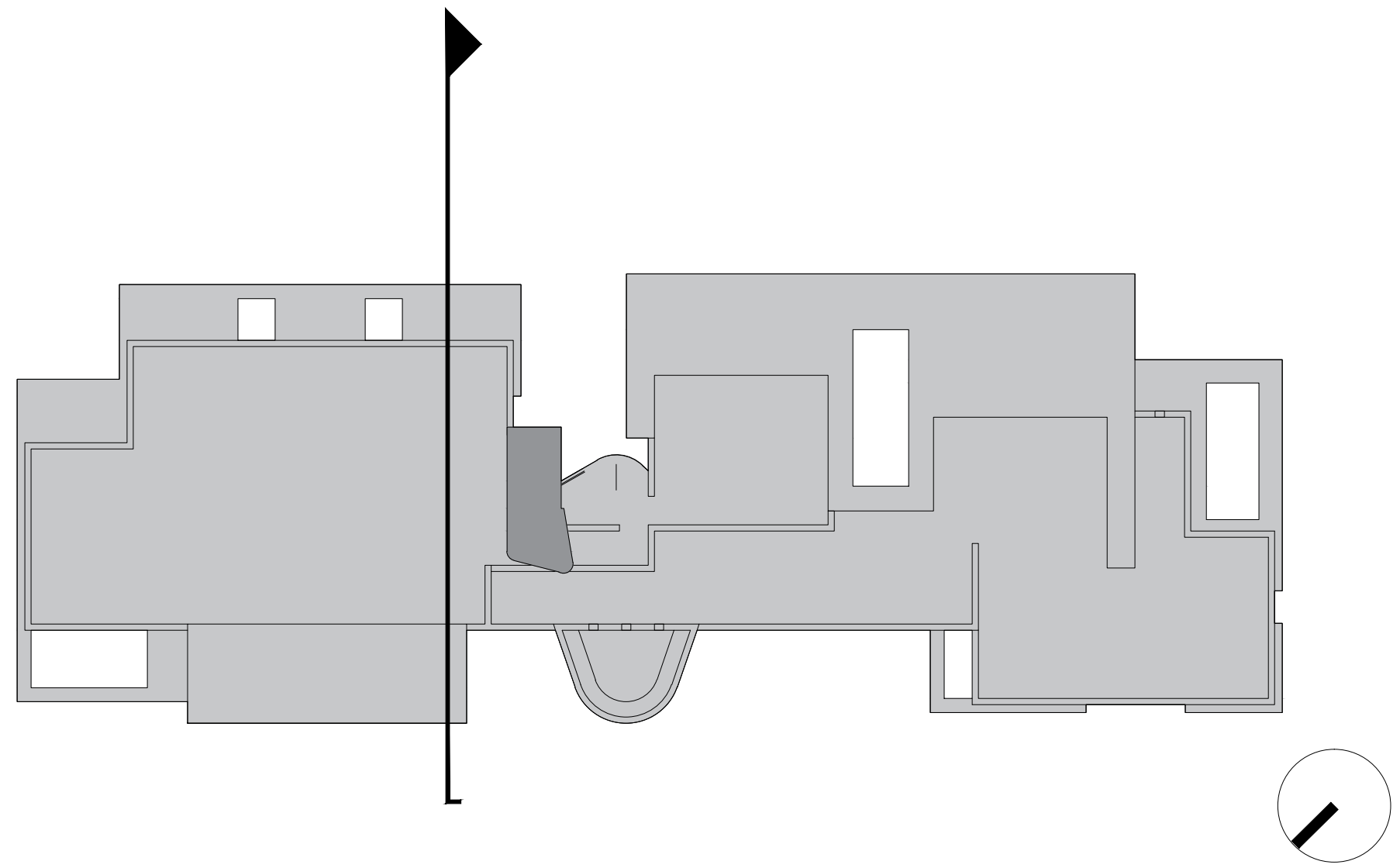
01 | SECTION 6.0

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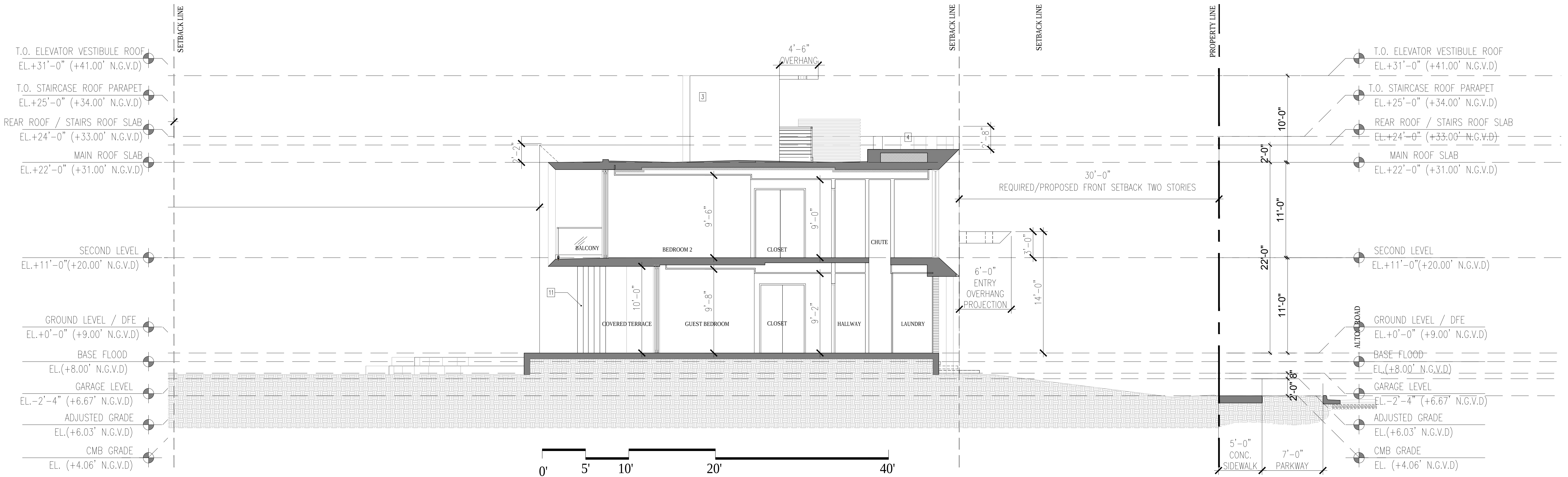


02 | KEYPLAN

CONSTRUCTION AND FINISH MATERIALS USED FOR GARAGE WALLS BELOW DFE (+9.0' NGVD) WILL BE USED ARE FLOOD RESISTANT

FINISH LEGEND

- 1 ACCESS SOLID DOOR
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- 14 OVERFLOW SCUPPER
- 15 ORNAMENTAL METAL SCREEN
- 16 ORNAMENTAL CONCRETE/MASONRY FRAME



01 | SECTION 6.1

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FINISH LEGEND

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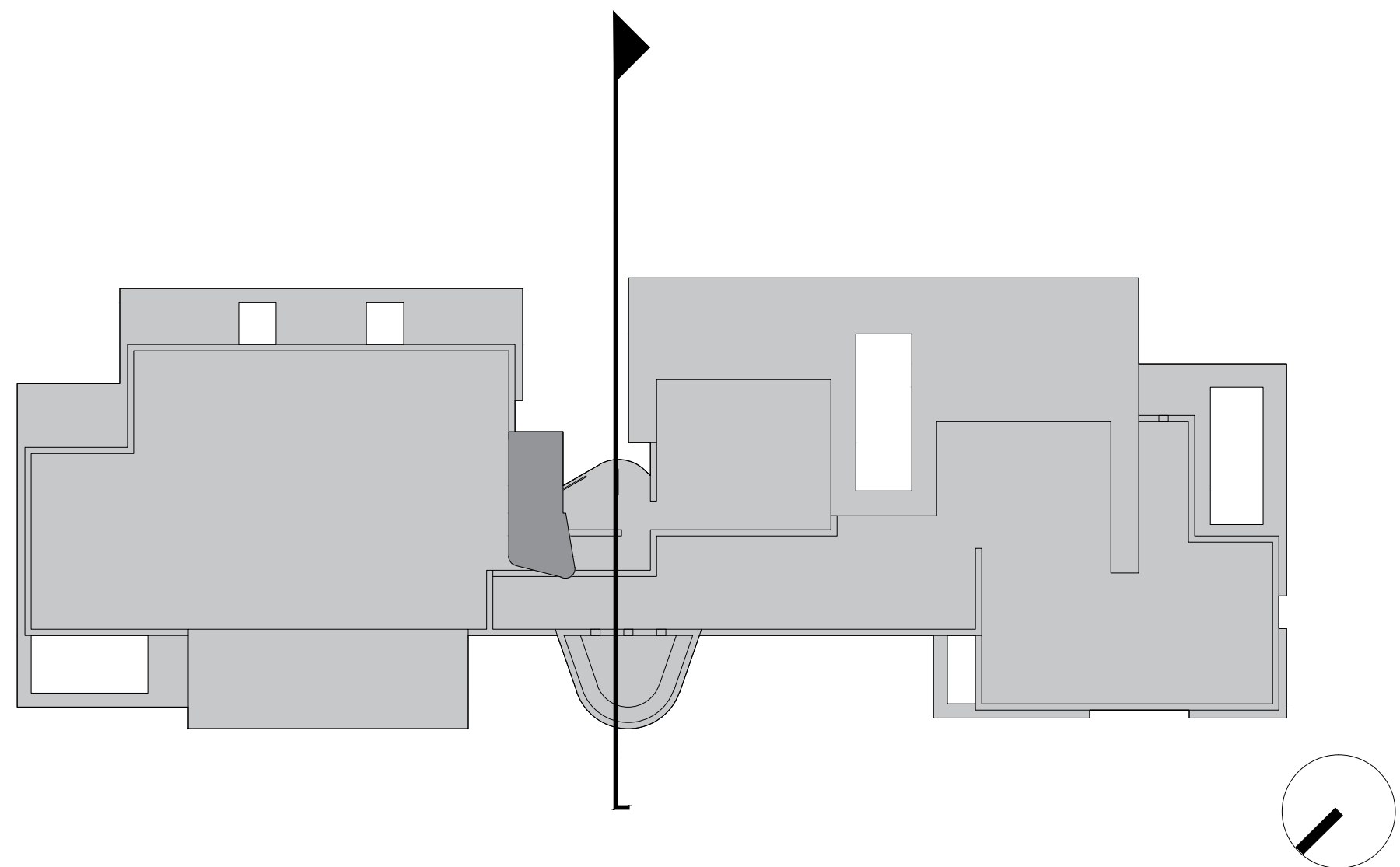
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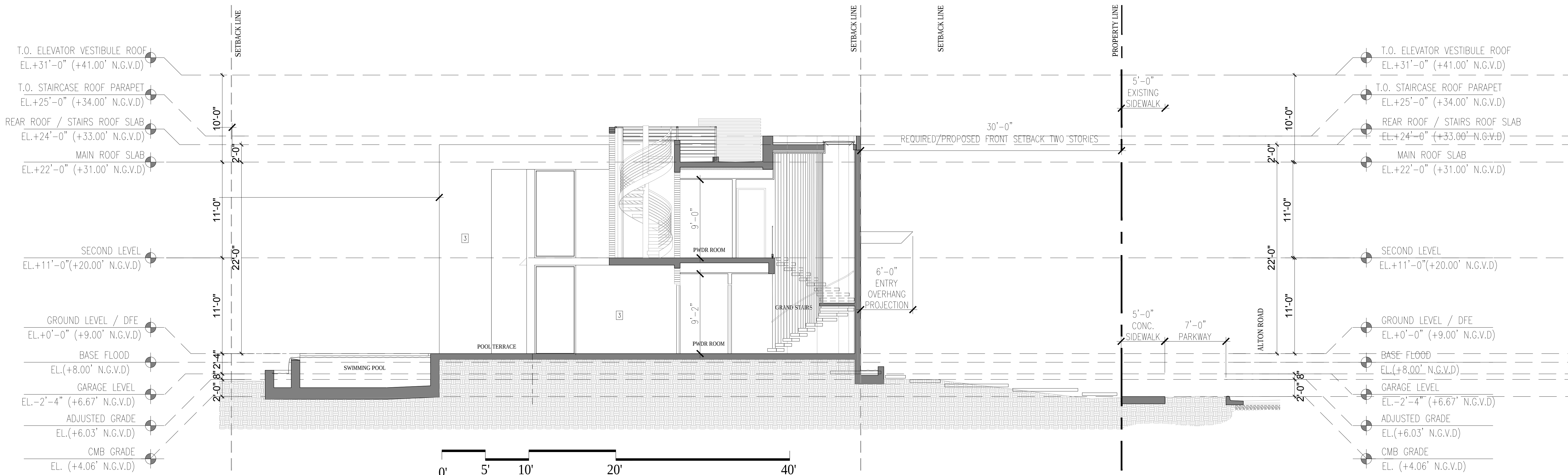


02 | KEYPLAN

CONSTRUCTION AND FINISH MATERIALS USED FOR GARAGE WALLS BELOW DFE (+9.0' NGVD) WILL BE USED ARE FLOOD RESISTANT

FINISH LEGEND

- 1 ACCESS SOLID DOOR
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- 15 ORNAMENTAL METAL SCREEN
- 16 ORNAMENTAL CONCRETE/MASONRY FRAME



01 | SECTION 6.3

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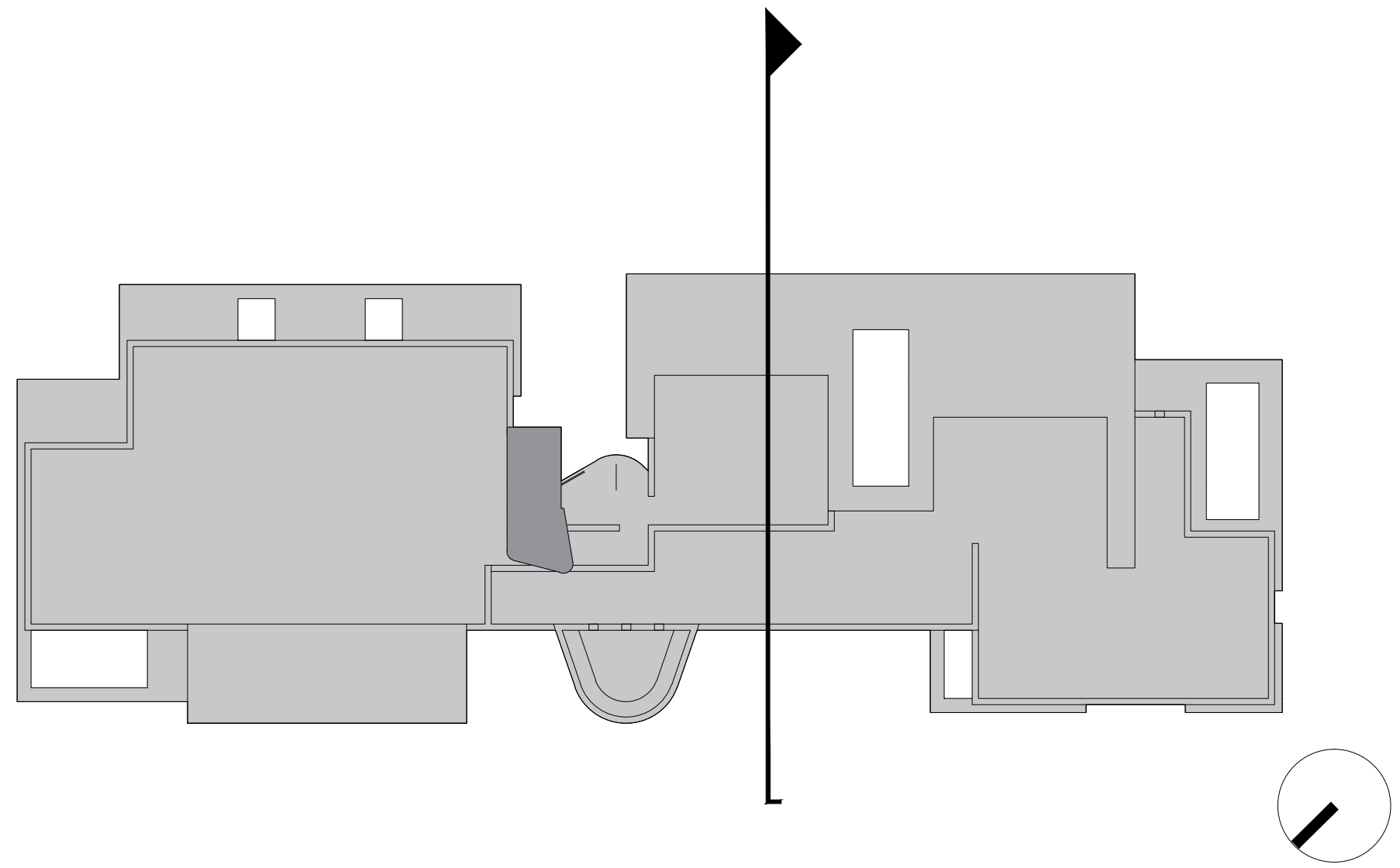
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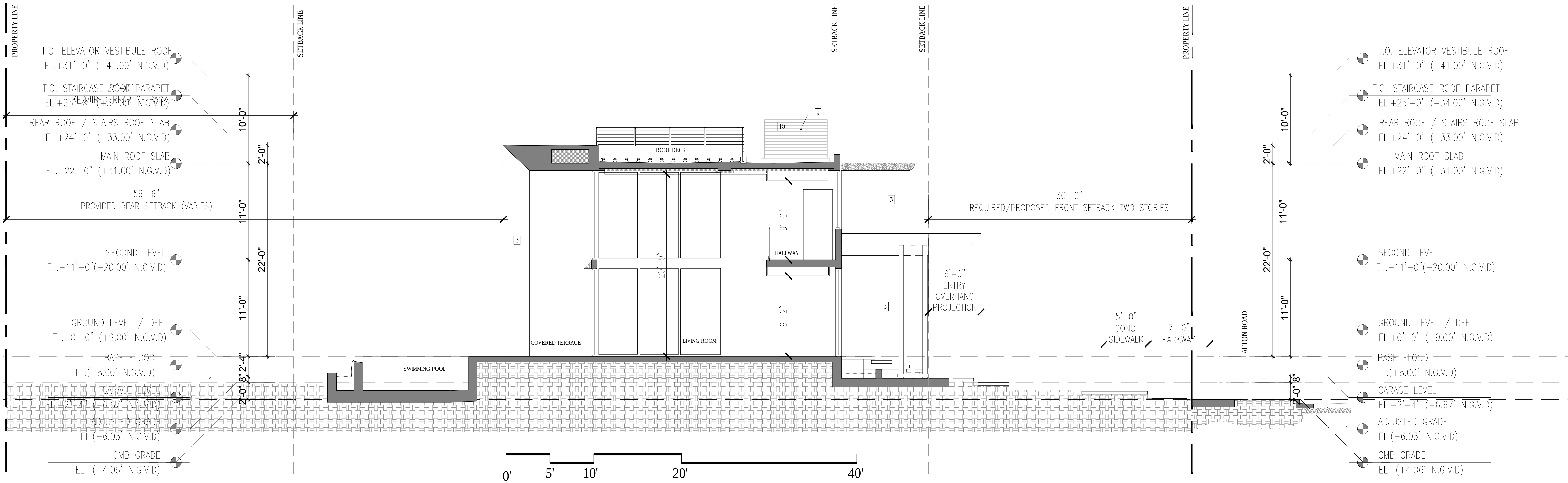


02 KEYPLAN

CONSTRUCTION AND FINISH MATERIALS USED FOR GARAGE WALLS BELOW DFE (+9.0' NGVD) WILL BE USED ARE FLOOD RESISTANT

FINISH LEGEND

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- 14 OVERFLOW SCUPPER
- 15 ORNAMENTAL METAL SCREEN
- 16 ORNAMENTAL CONCRETE/MASONRY FRAME



01 SECTION 6.4

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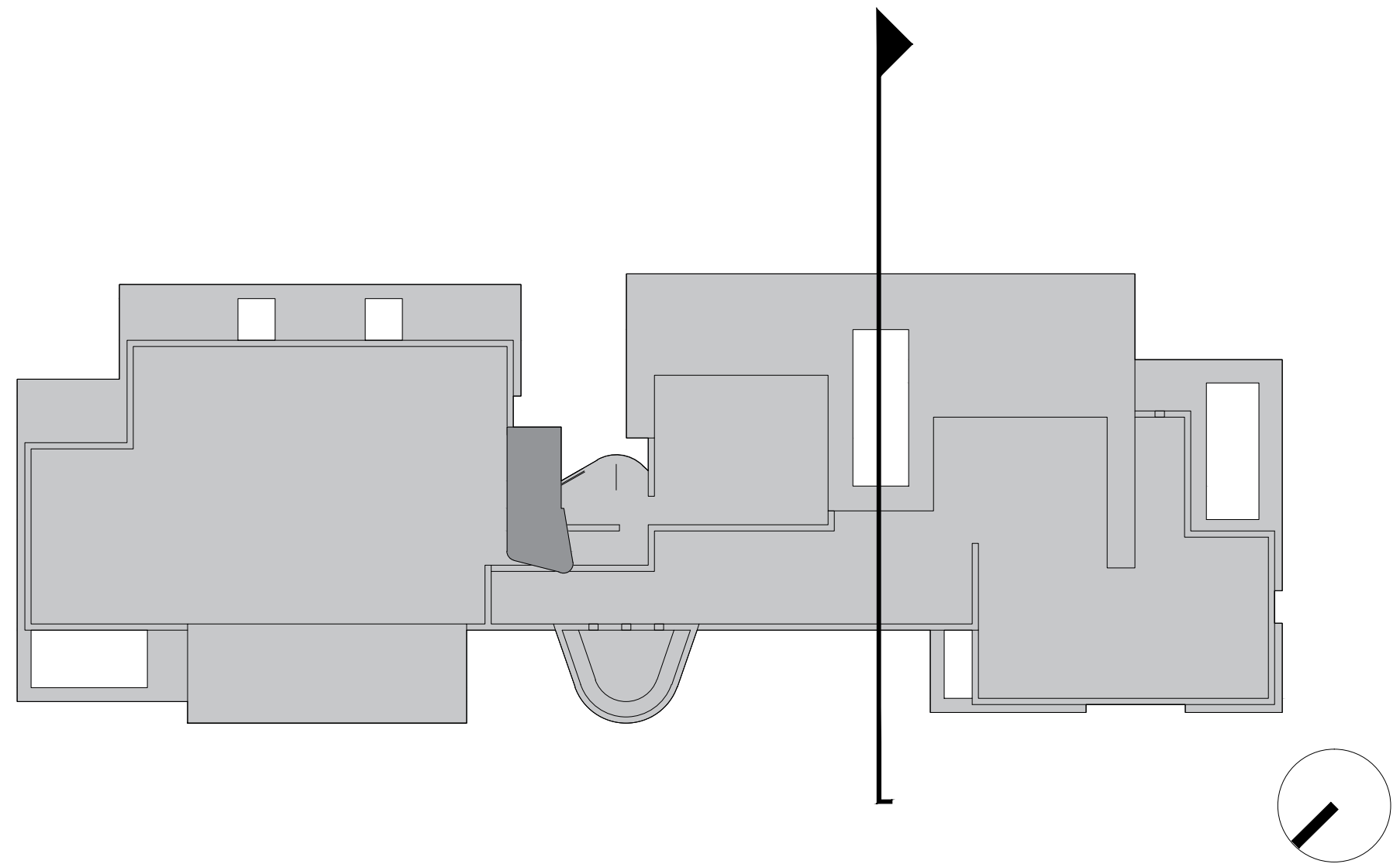
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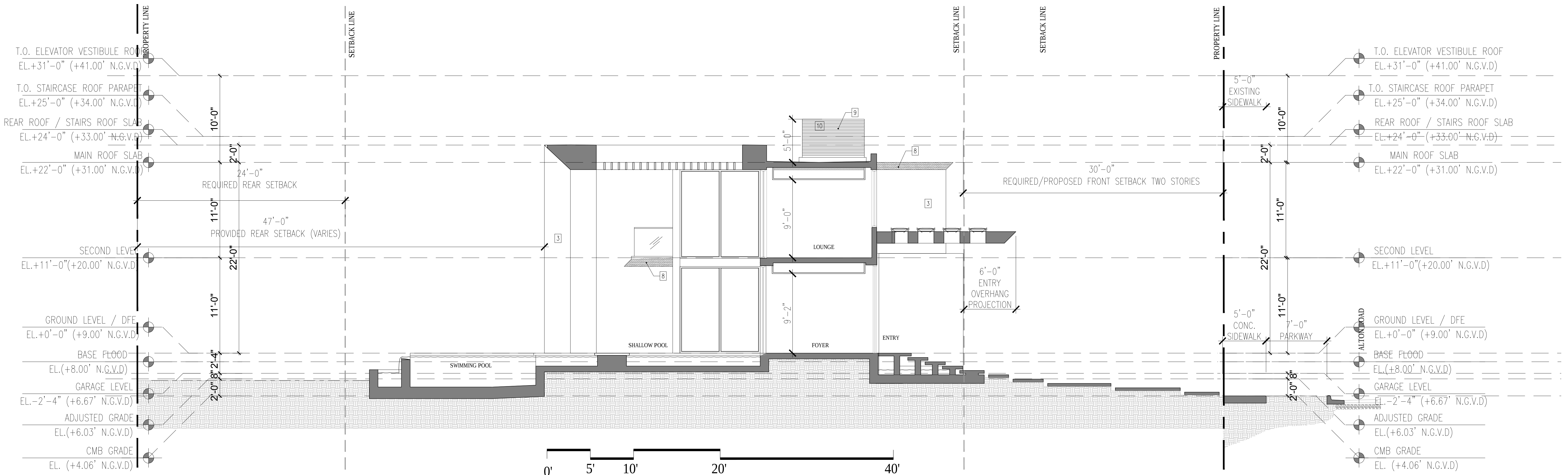


02 | KEYPLAN

CONSTRUCTION AND FINISH MATERIALS USED FOR GARAGE WALLS BELOW DFE (+9.0' NGVD) WILL BE USED ARE FLOOD RESISTANT

FINISH LEGEND

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- 16 ORNAMENTAL CONCRETE/MASONRY FRAME



01 | SECTION 6.5

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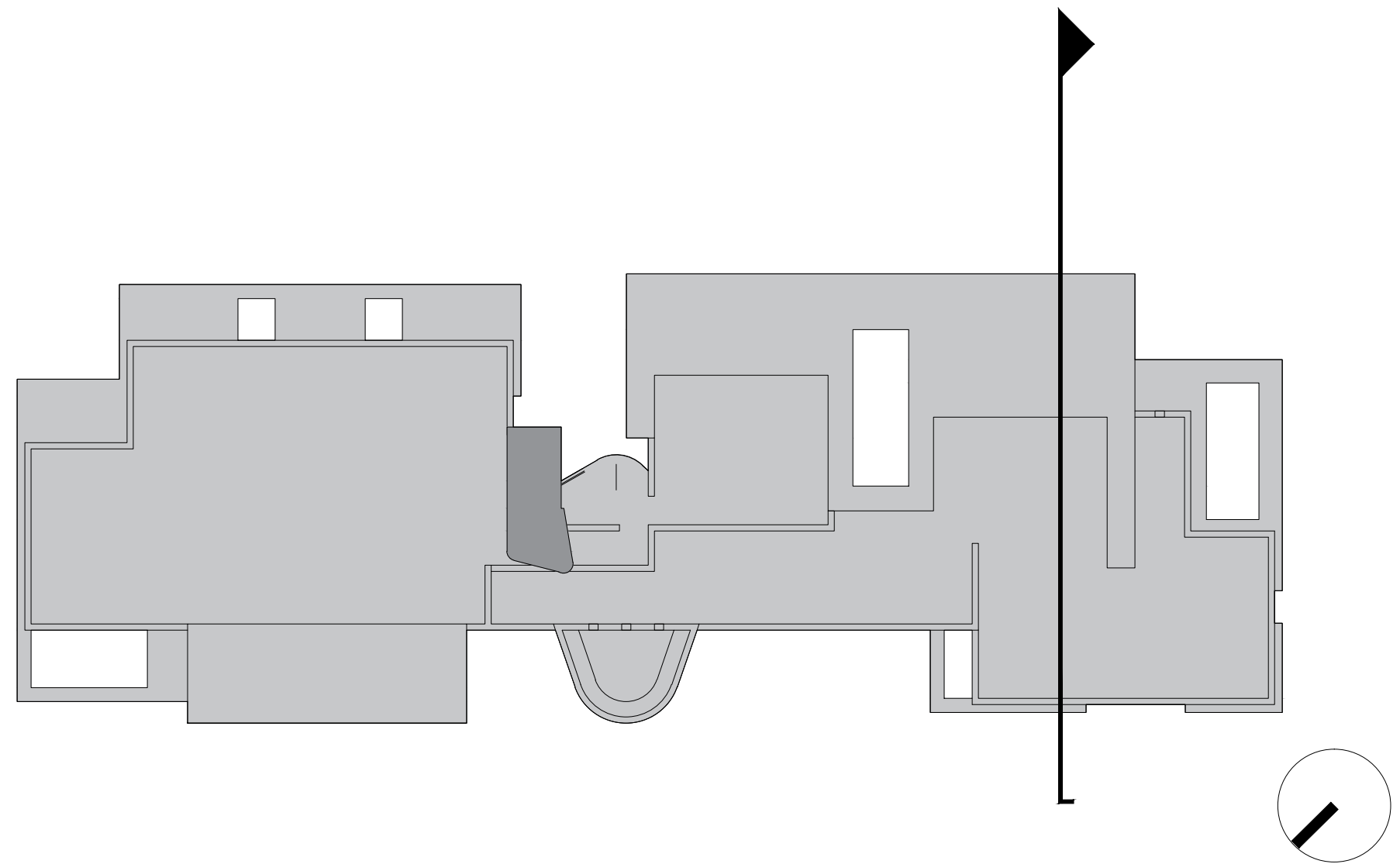
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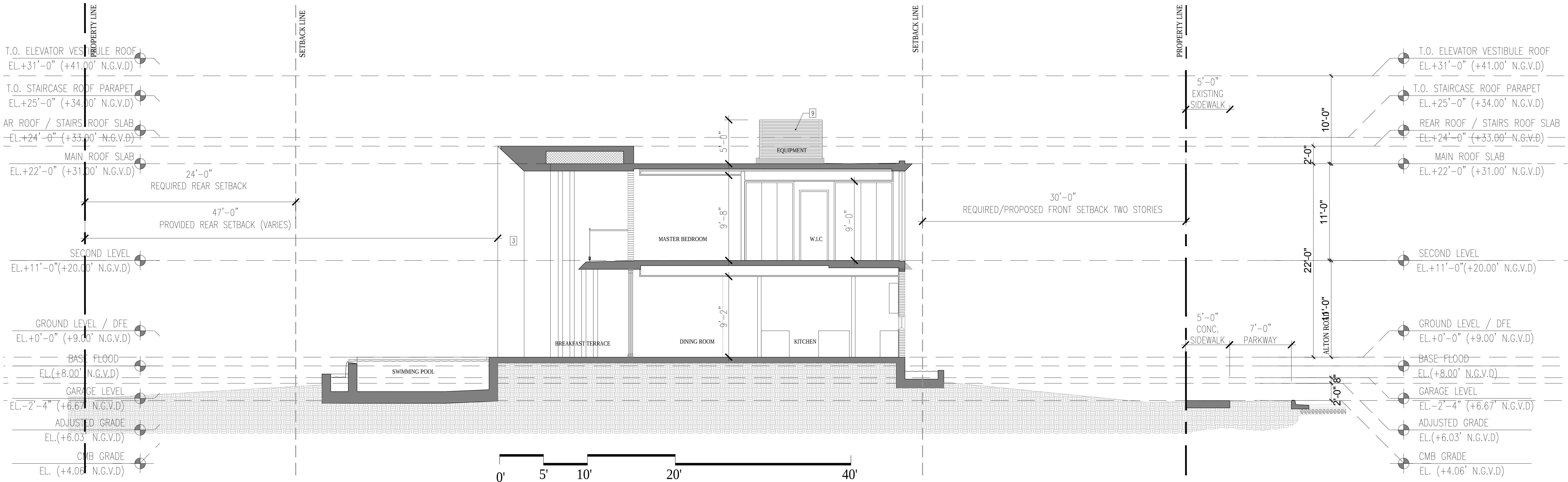


02 KEYPLAN

CONSTRUCTION AND FINISH MATERIALS USED FOR GARAGE WALLS BELOW DFE (+9.0' NGVD) WILL BE USED ARE FLOOD RESISTANT

FINISH LEGEND

- 1 ACCESS SOLID DOOR
- 2 CUSTOM AUTOMATED ALUM./GLASS GARAGE DOOR
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- 4 STONE VENEER (EQUITONE OR SIMILAR)
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- 15 ORNAMENTAL METAL SCREEN
- 16 ORNAMENTAL CONCRETE/MASONRY FRAME



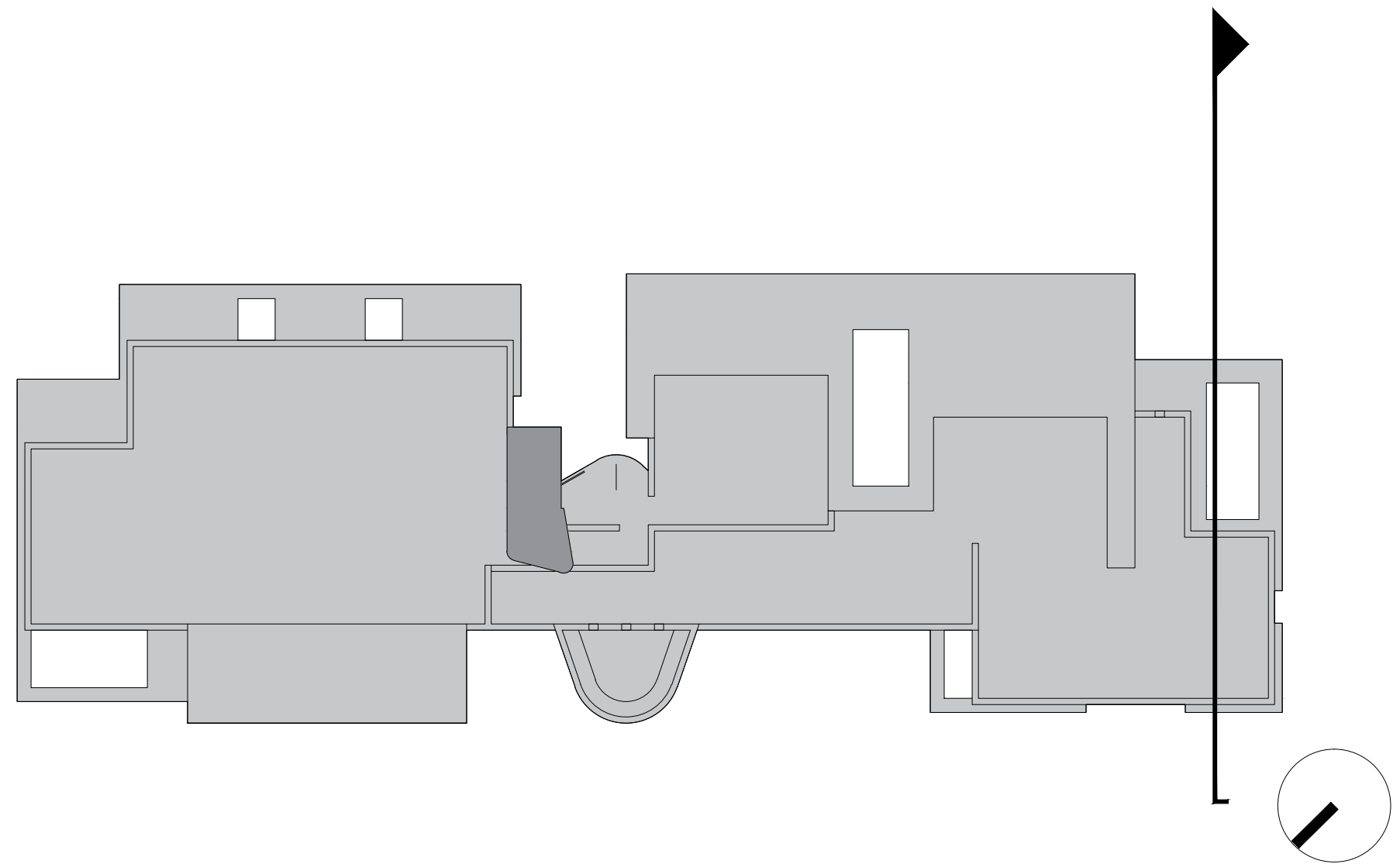
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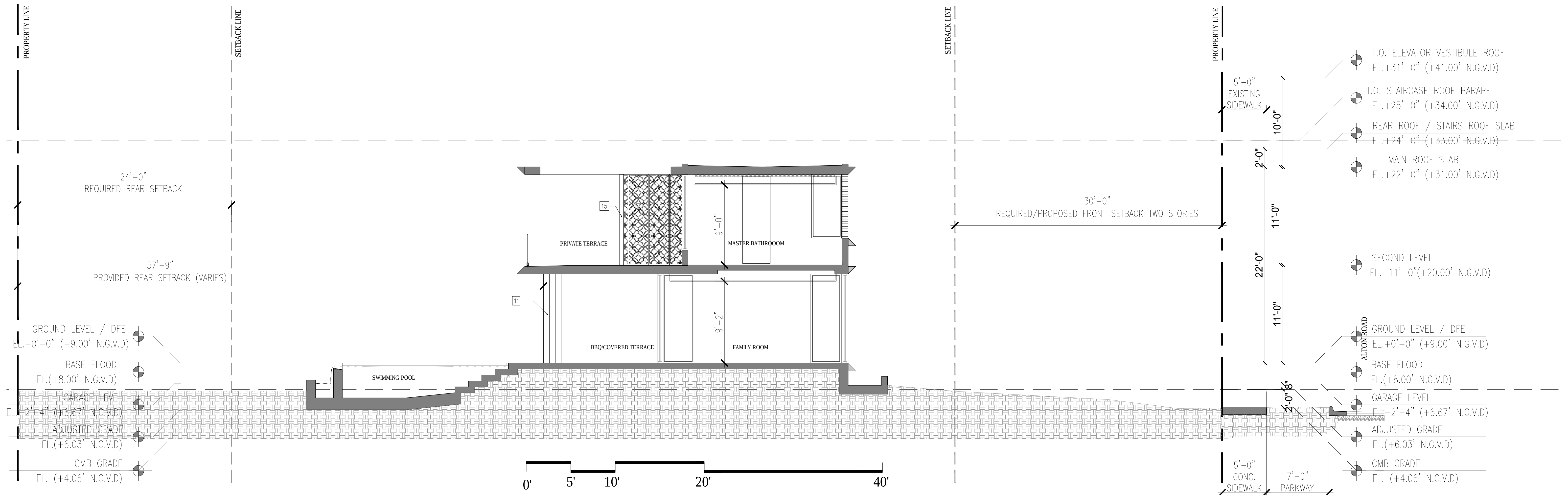


02 KEYPLAN

CONSTRUCTION AND FINISH MATERIALS USED FOR GARAGE WALLS BELOW DFE (+9.0' NGVD) WILL BE USED ARE FLOOD RESISTANT

FINISH LEGEND

- 1 ACCESS SQUID DOOR
- 2 CUSTOM AUTOMATED ALUM./GLASS GARAGE DOOR
- 3 SMOOTH STUCCO FINISH
- 4 STONE VENEER (EQUITONE OR SIMILAR)
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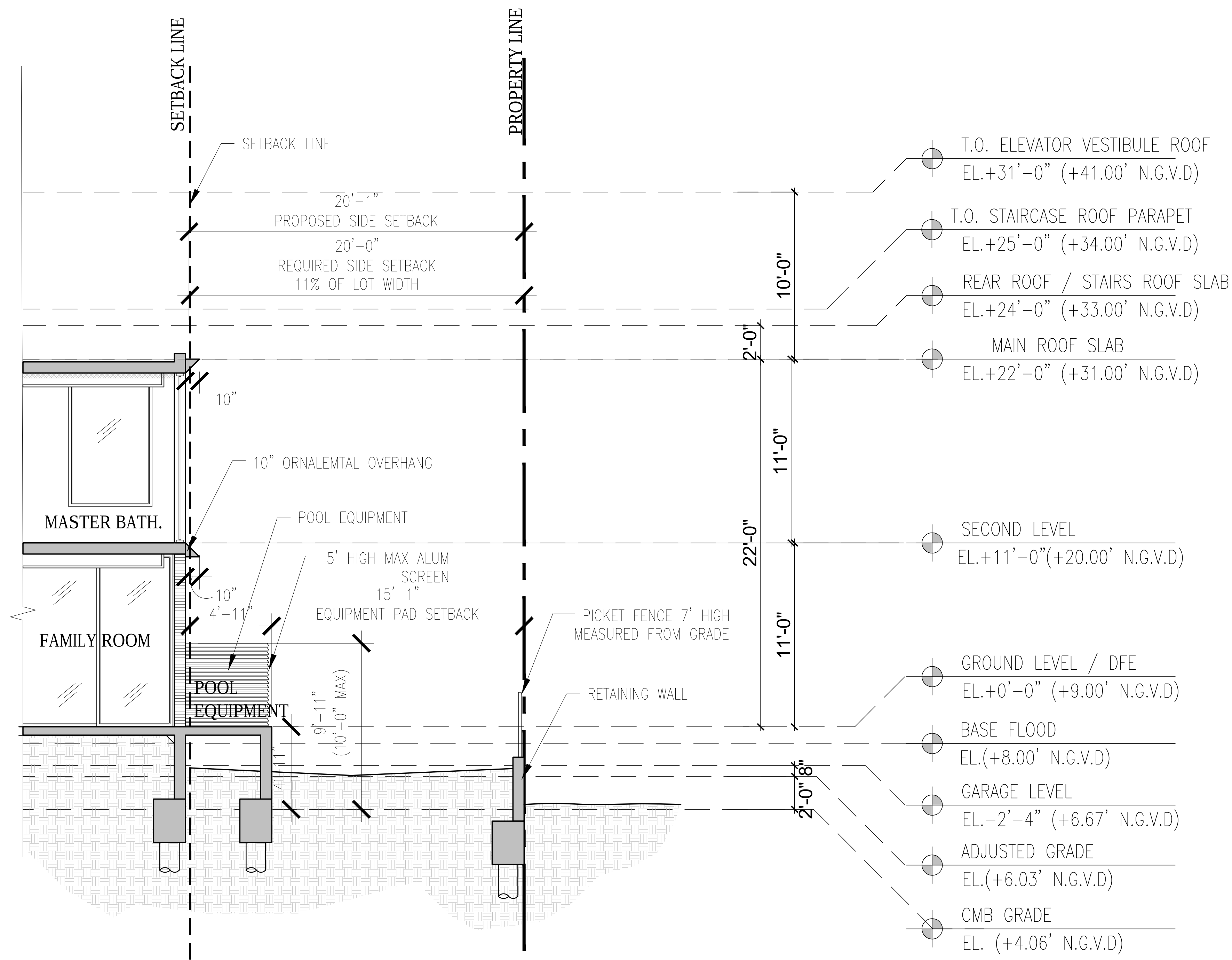
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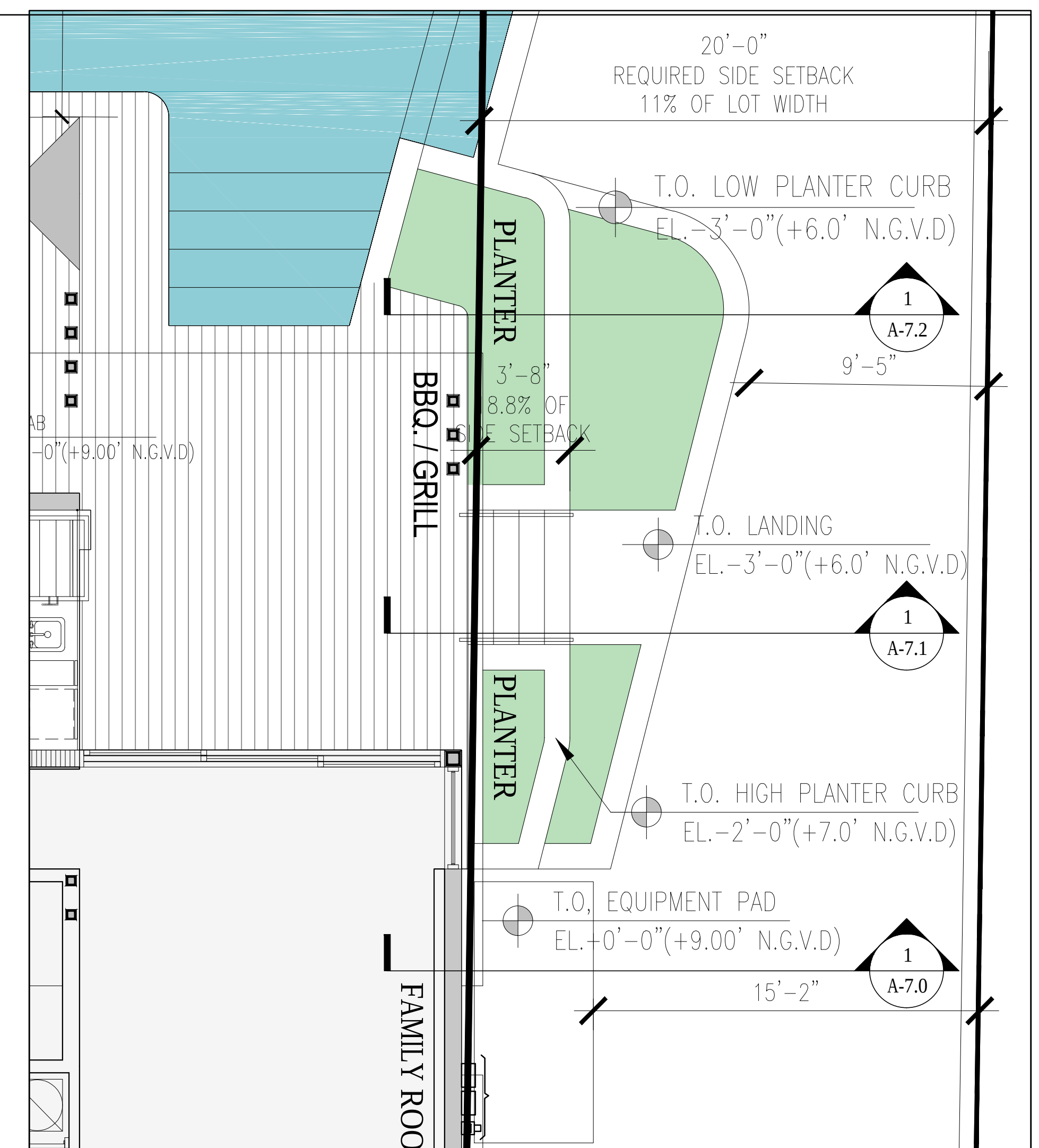
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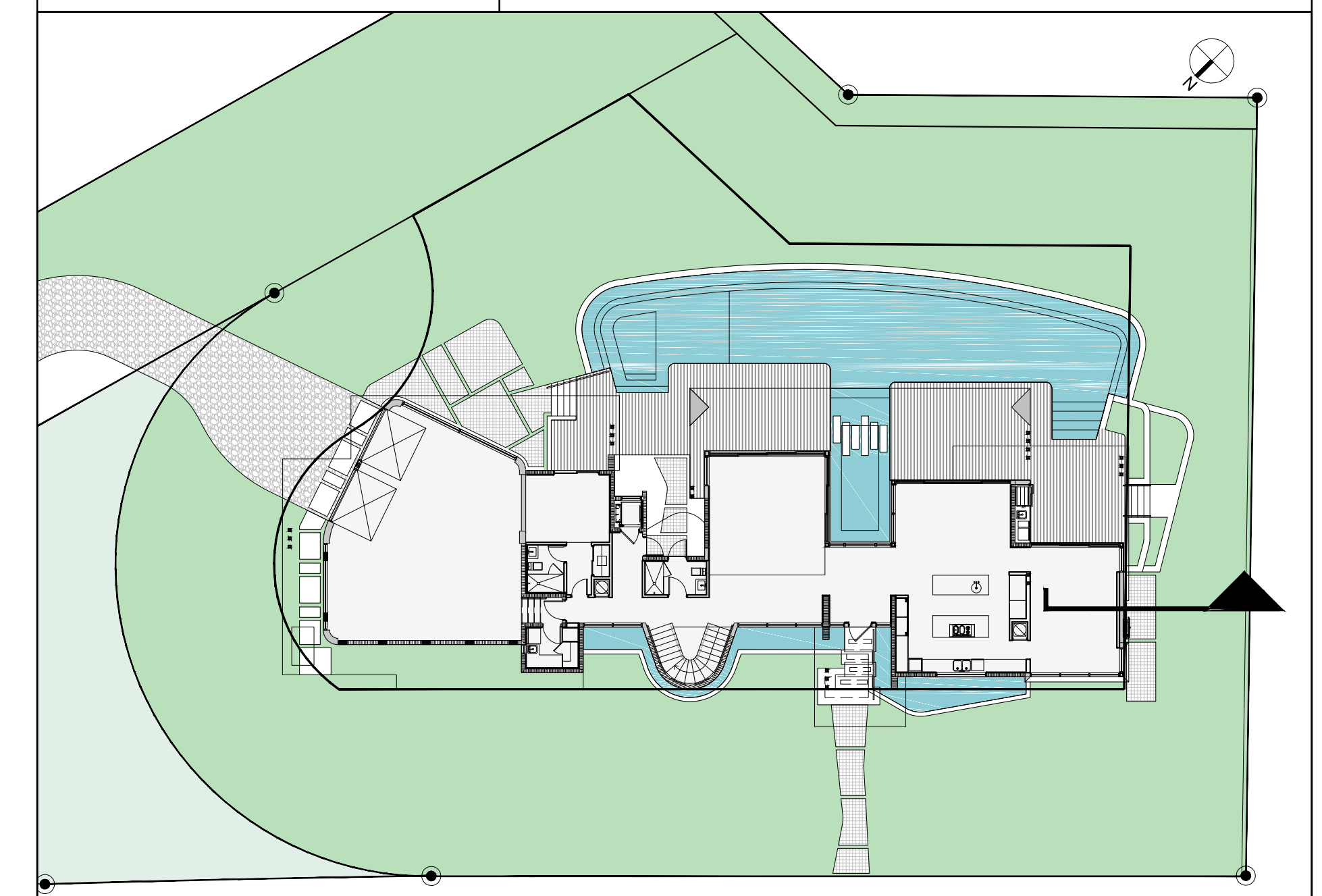
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01 SIDE YARD SECTION 1/4" = 1'-0"



02 SIDE YARD DIAGRAM 1/4" = 1'-0"



03 KEYPLAN

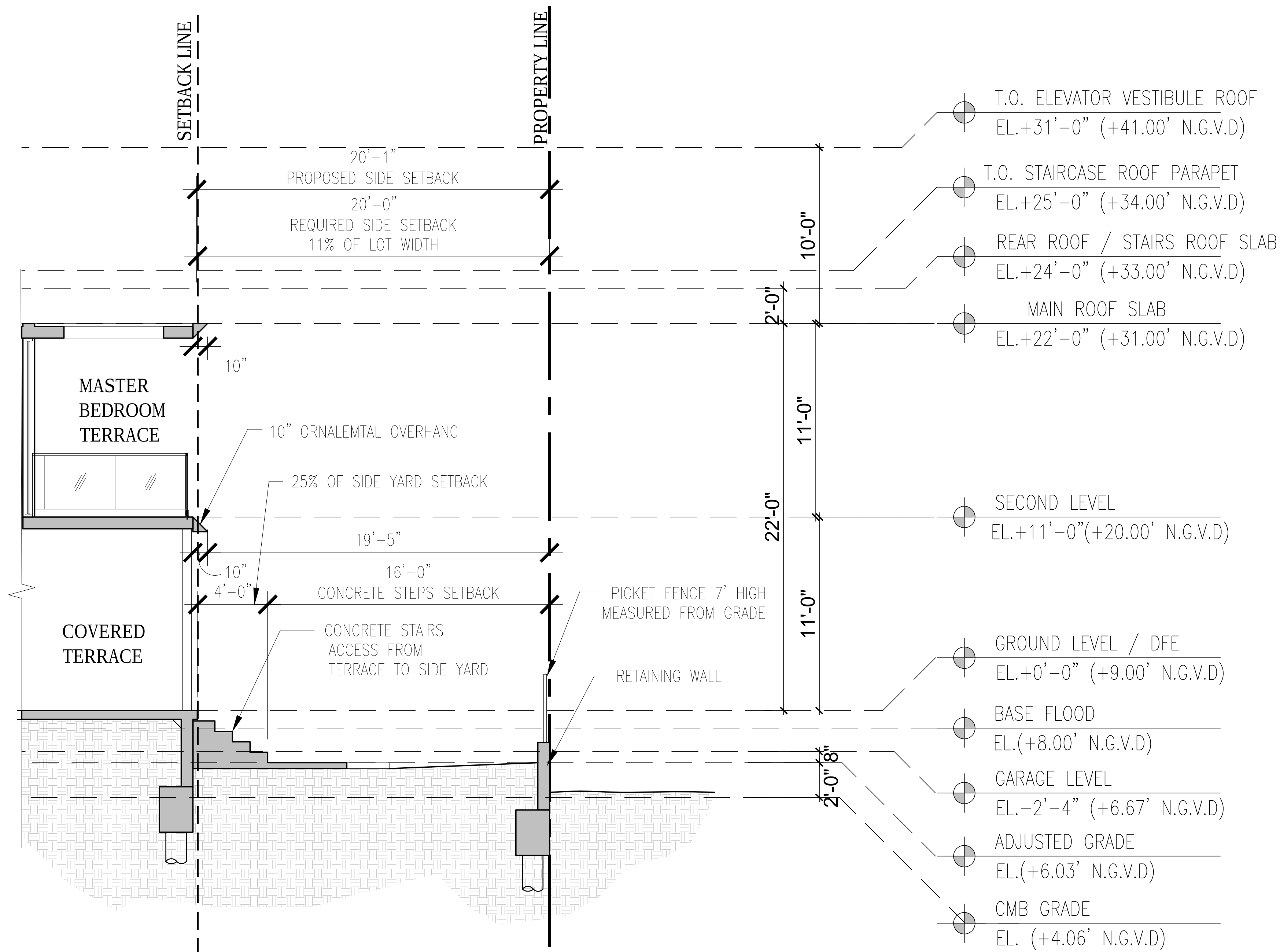
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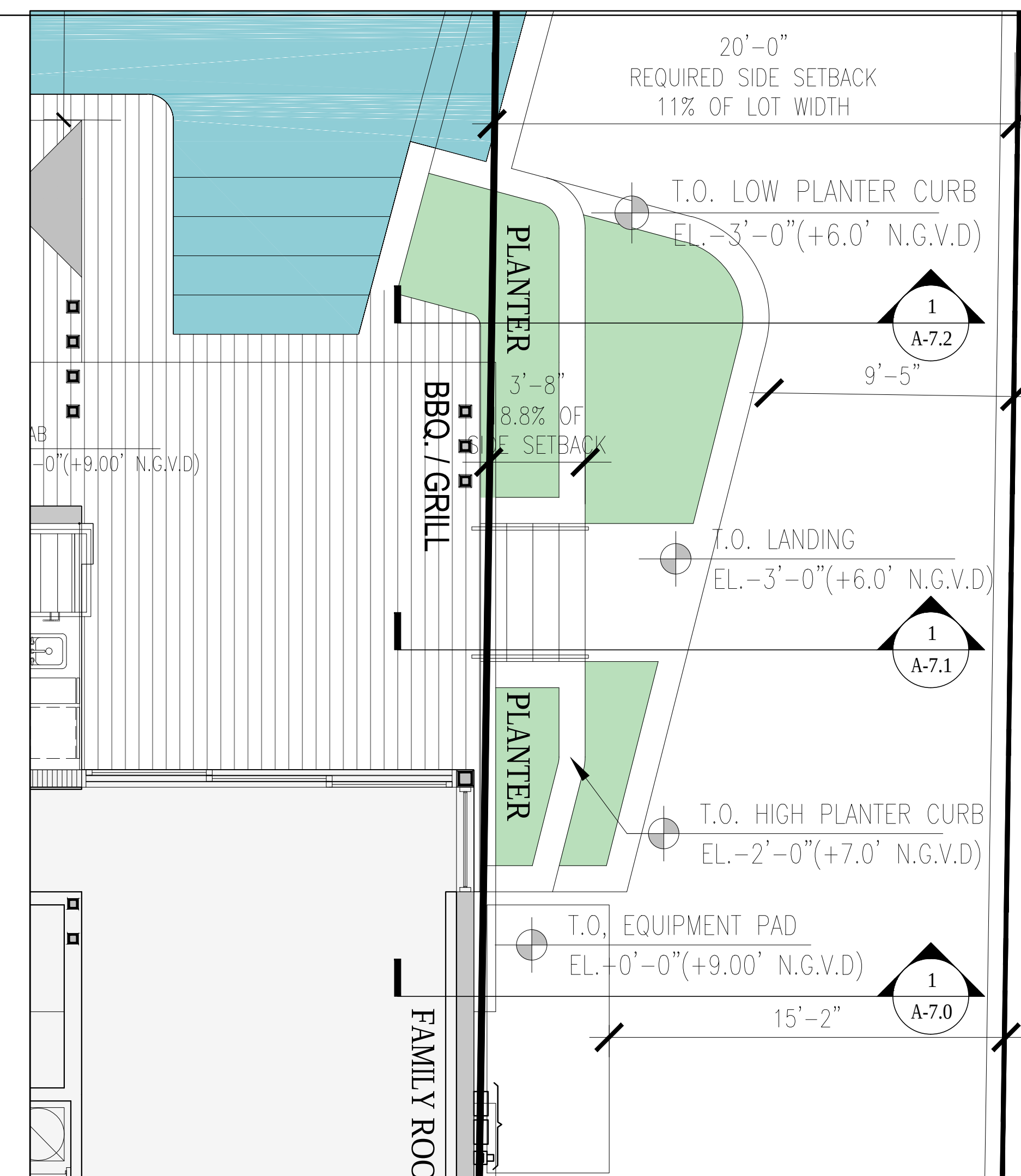
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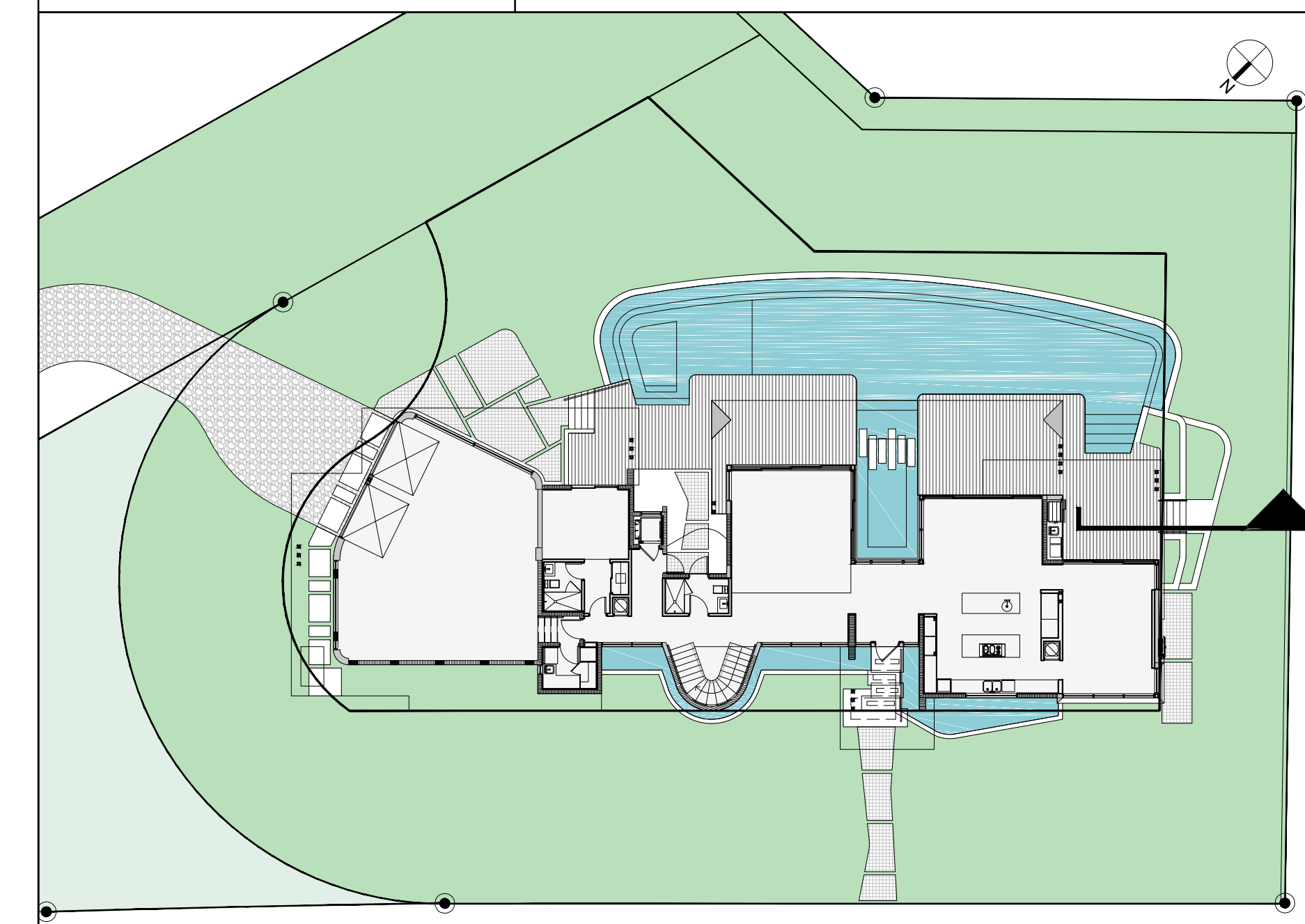
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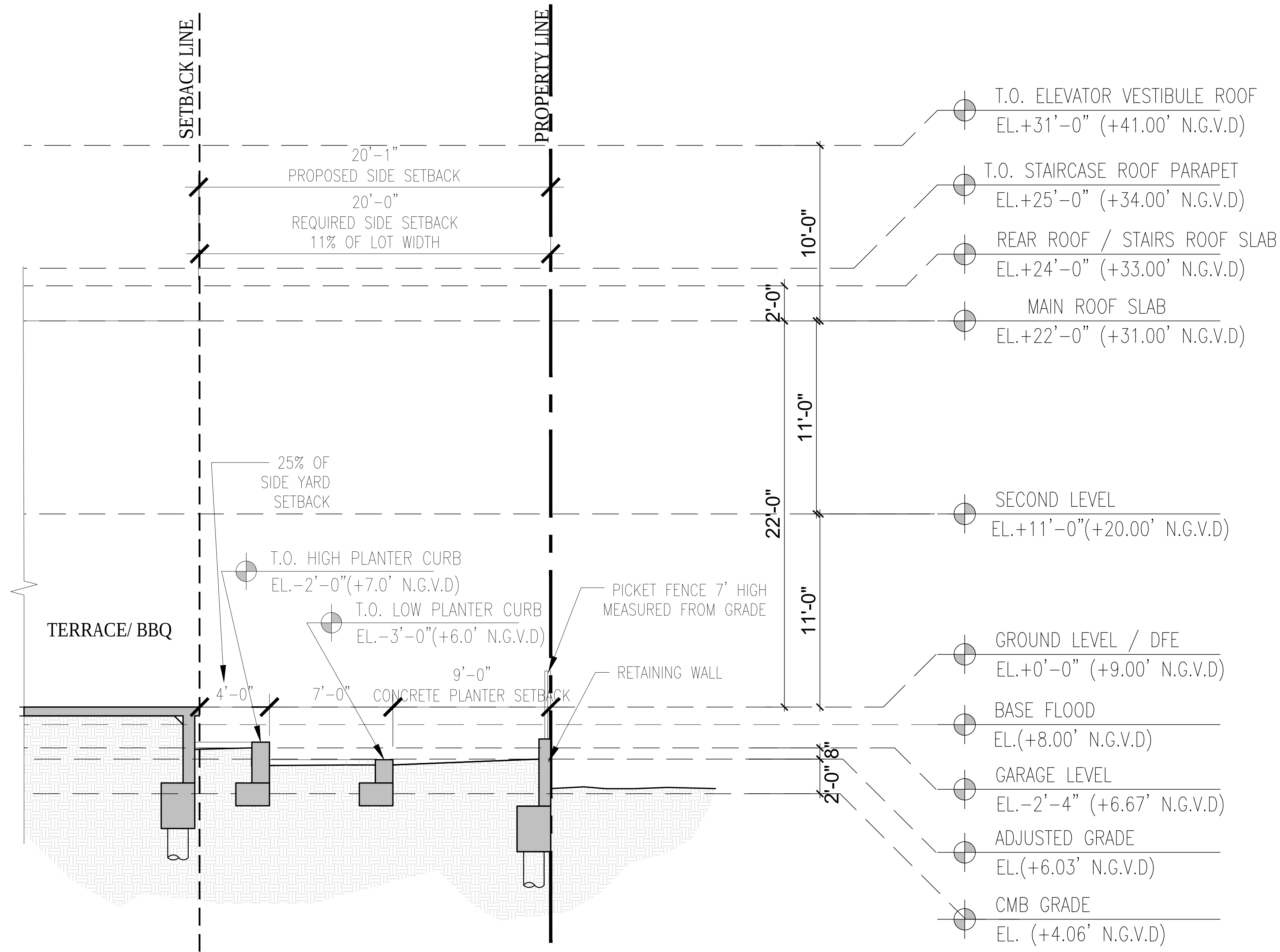


01 SIDE YARD SECTION 1/4" = 1'-0"

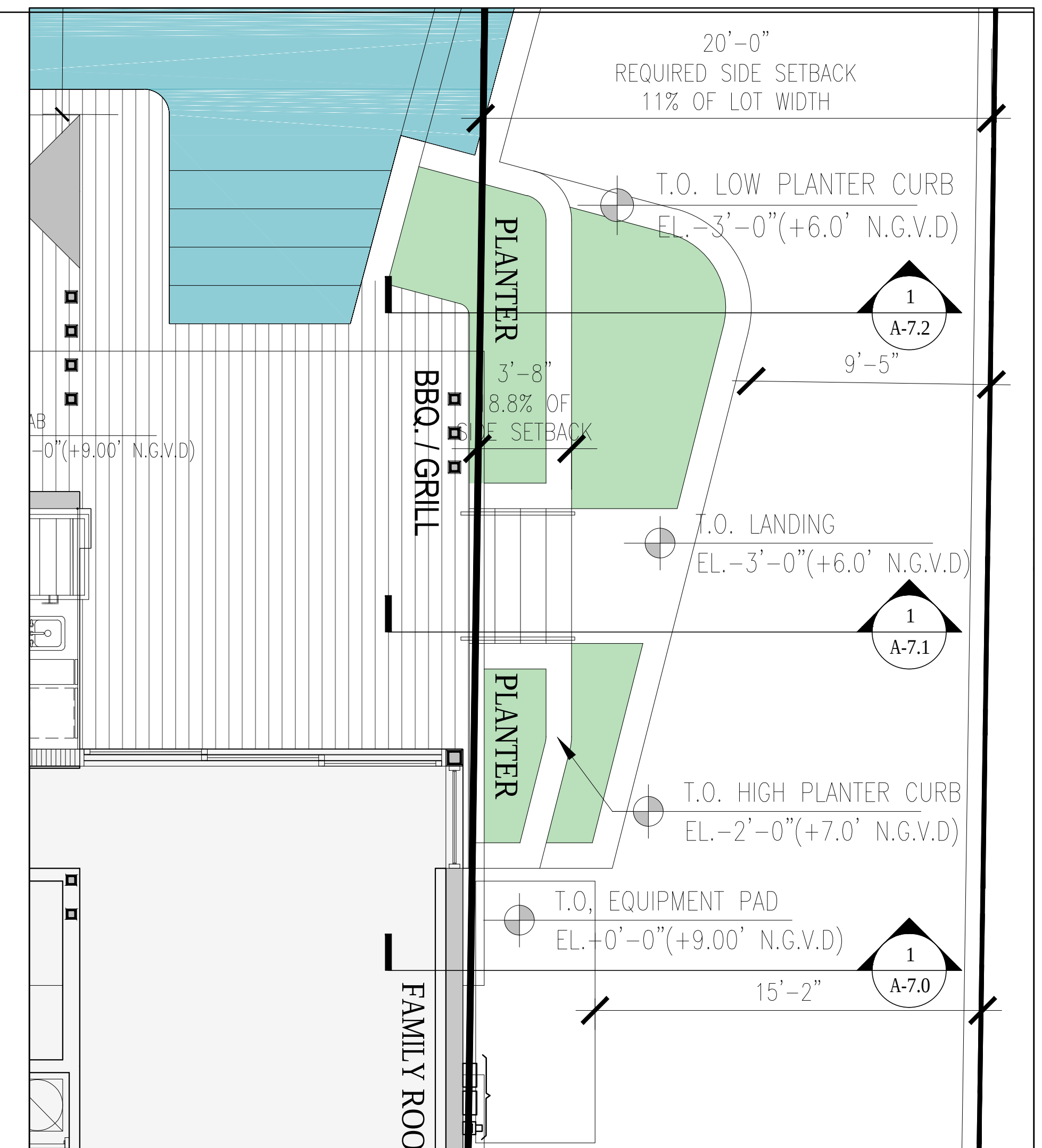


02 SIDE YARD DIAGRAM 1/4" = 1'-0"

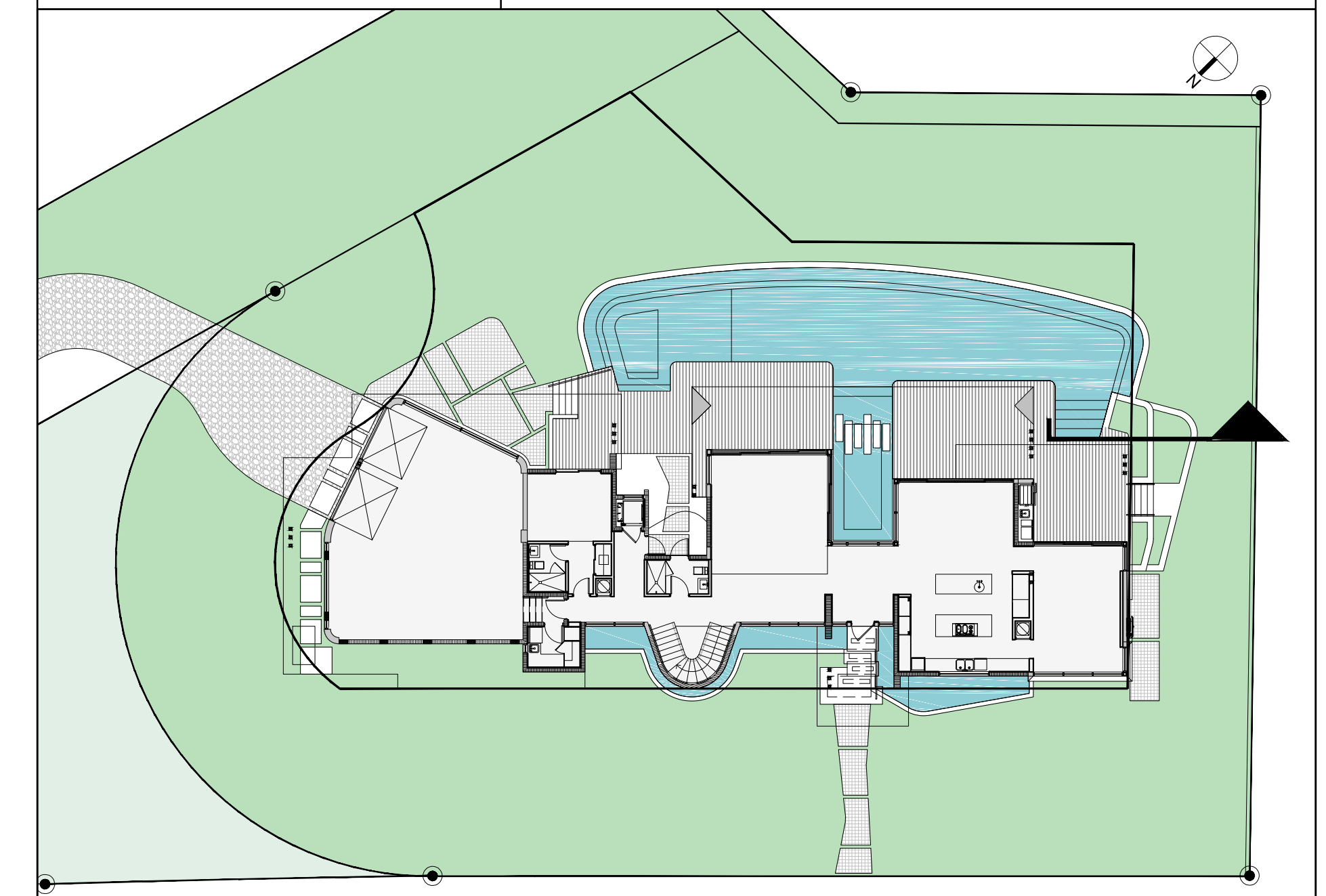




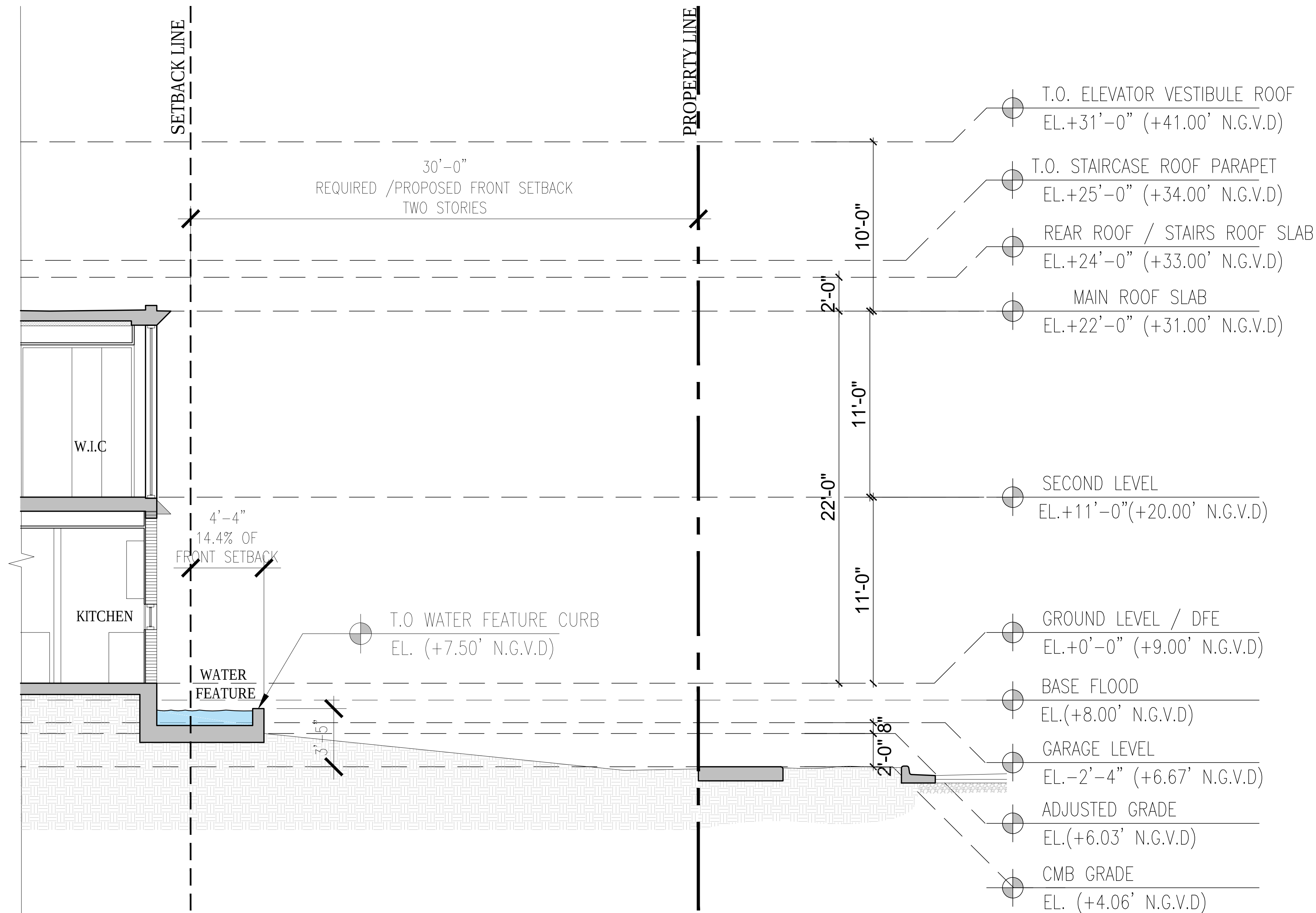
01 SIDE YARD SECTION 1/4" = 1'-0"



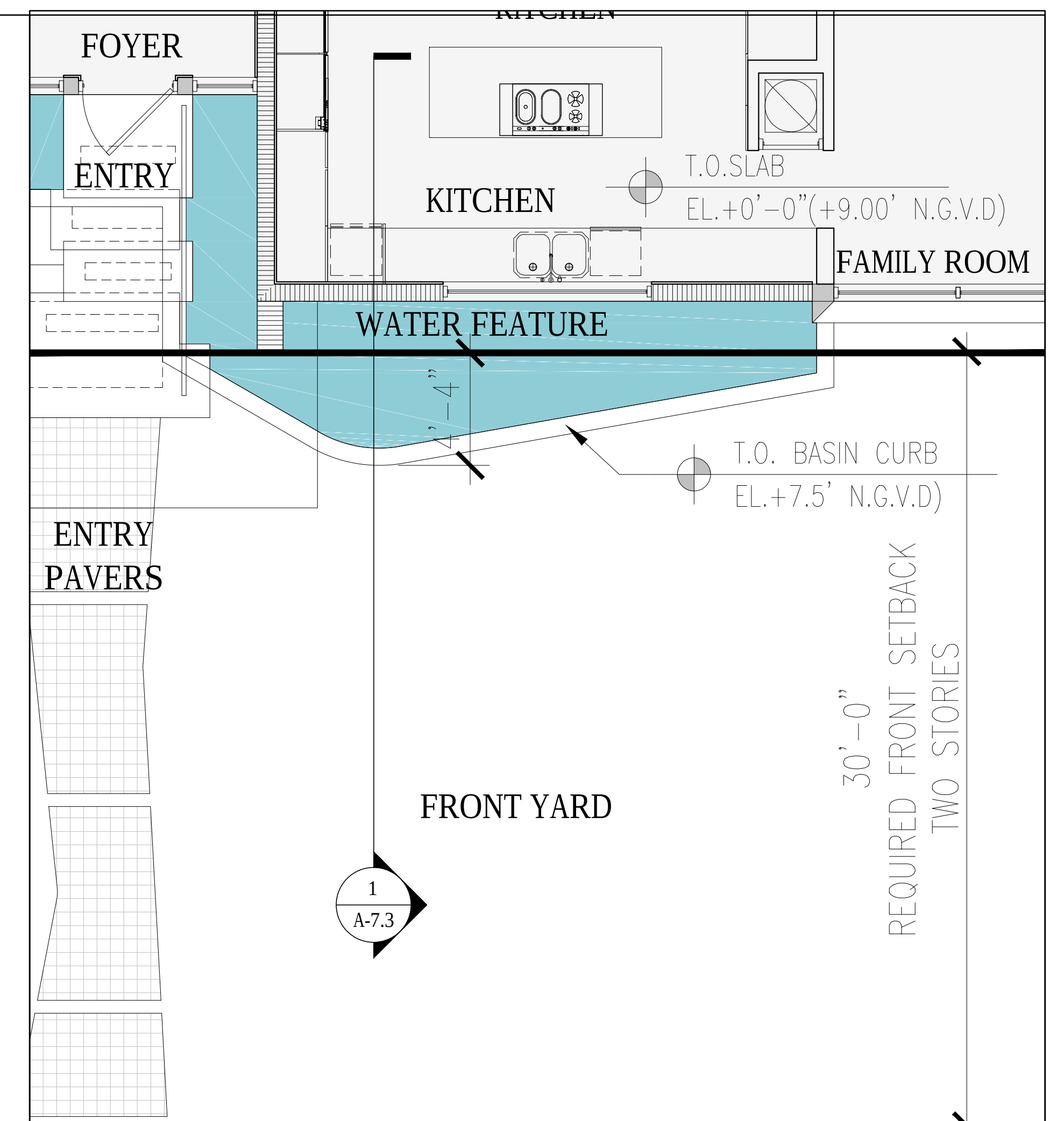
02 SIDE YARD DIAGRAM 1/4" = 1'-0"



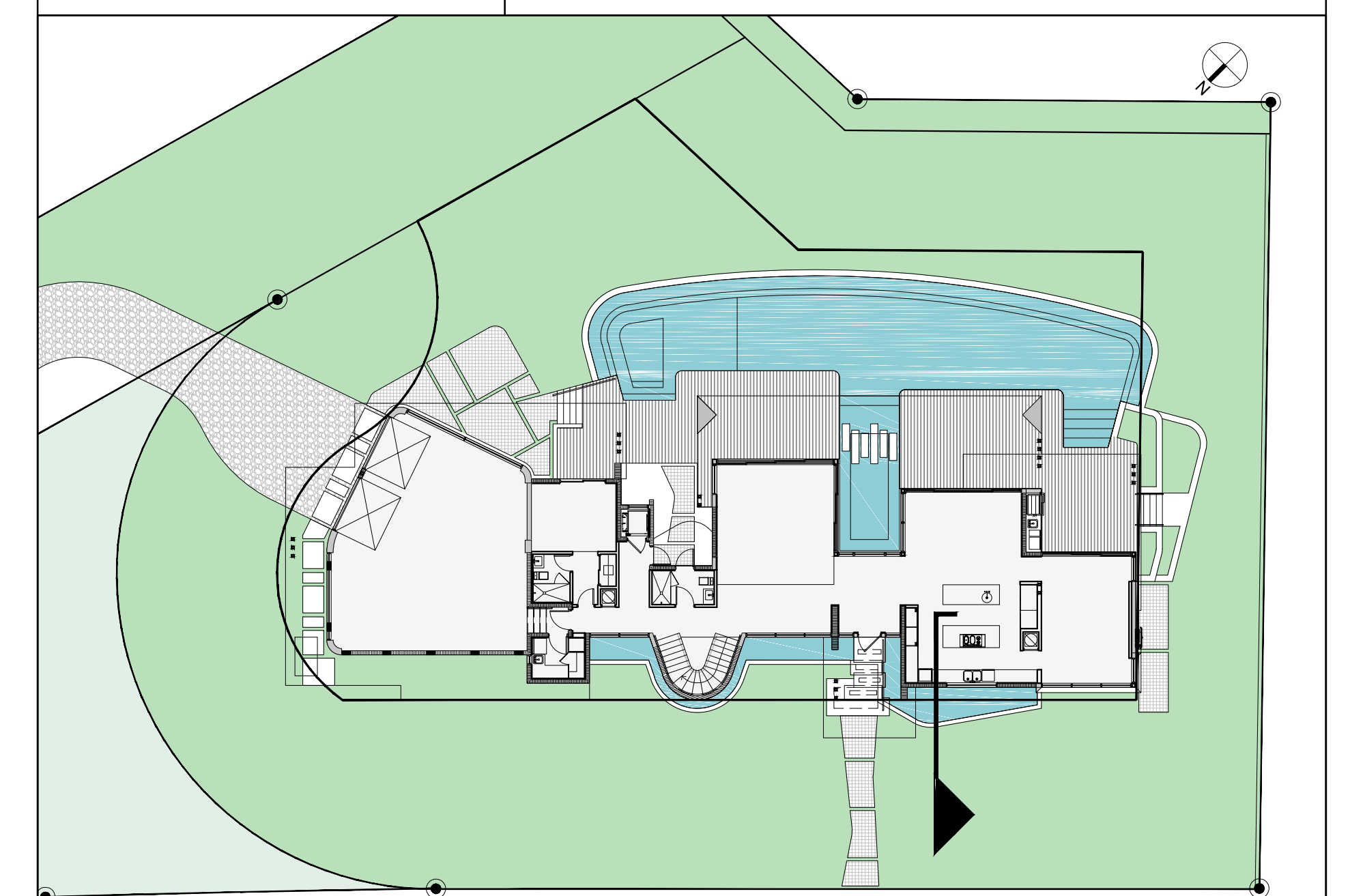
03 KEYPLAN



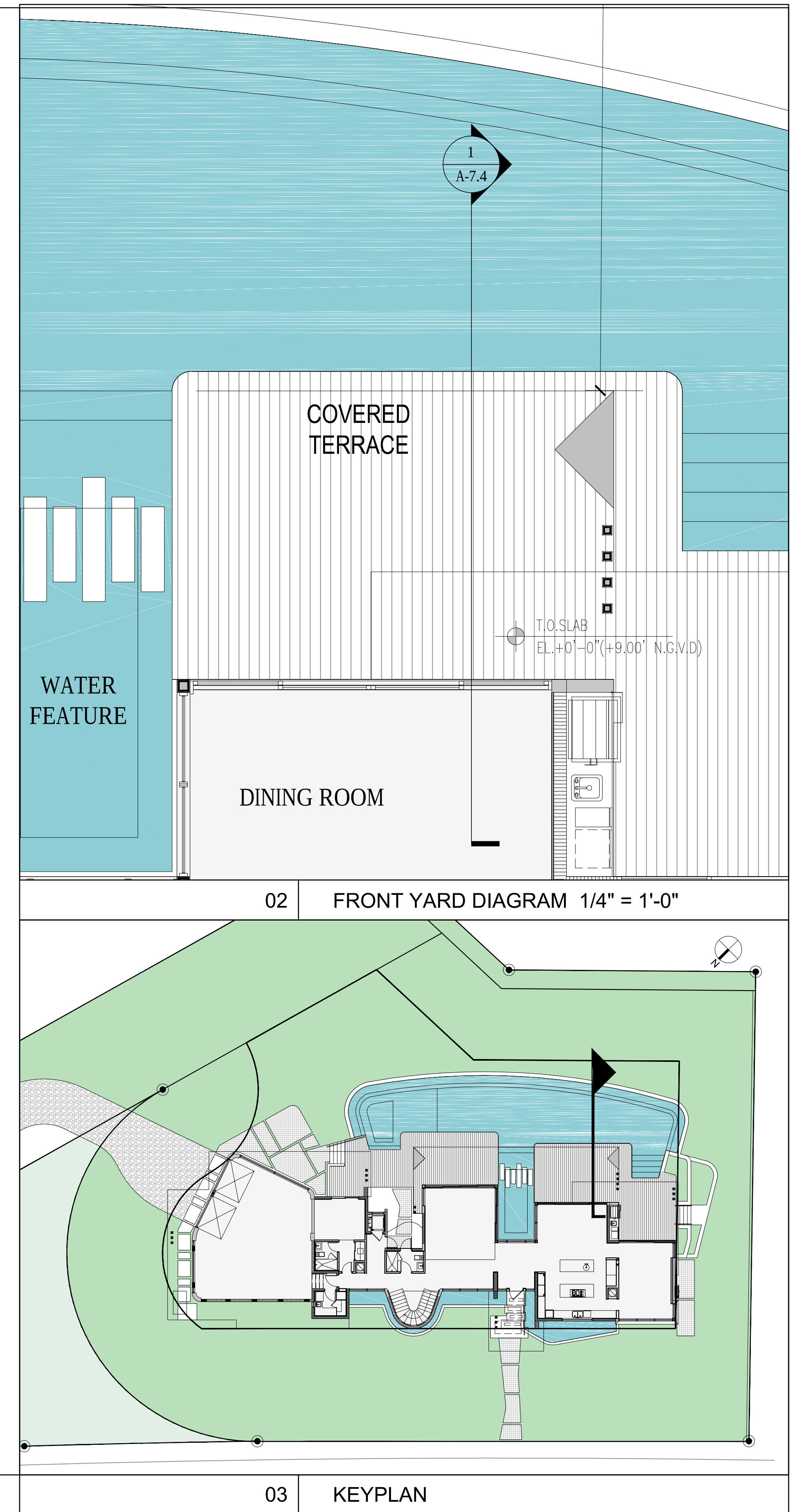
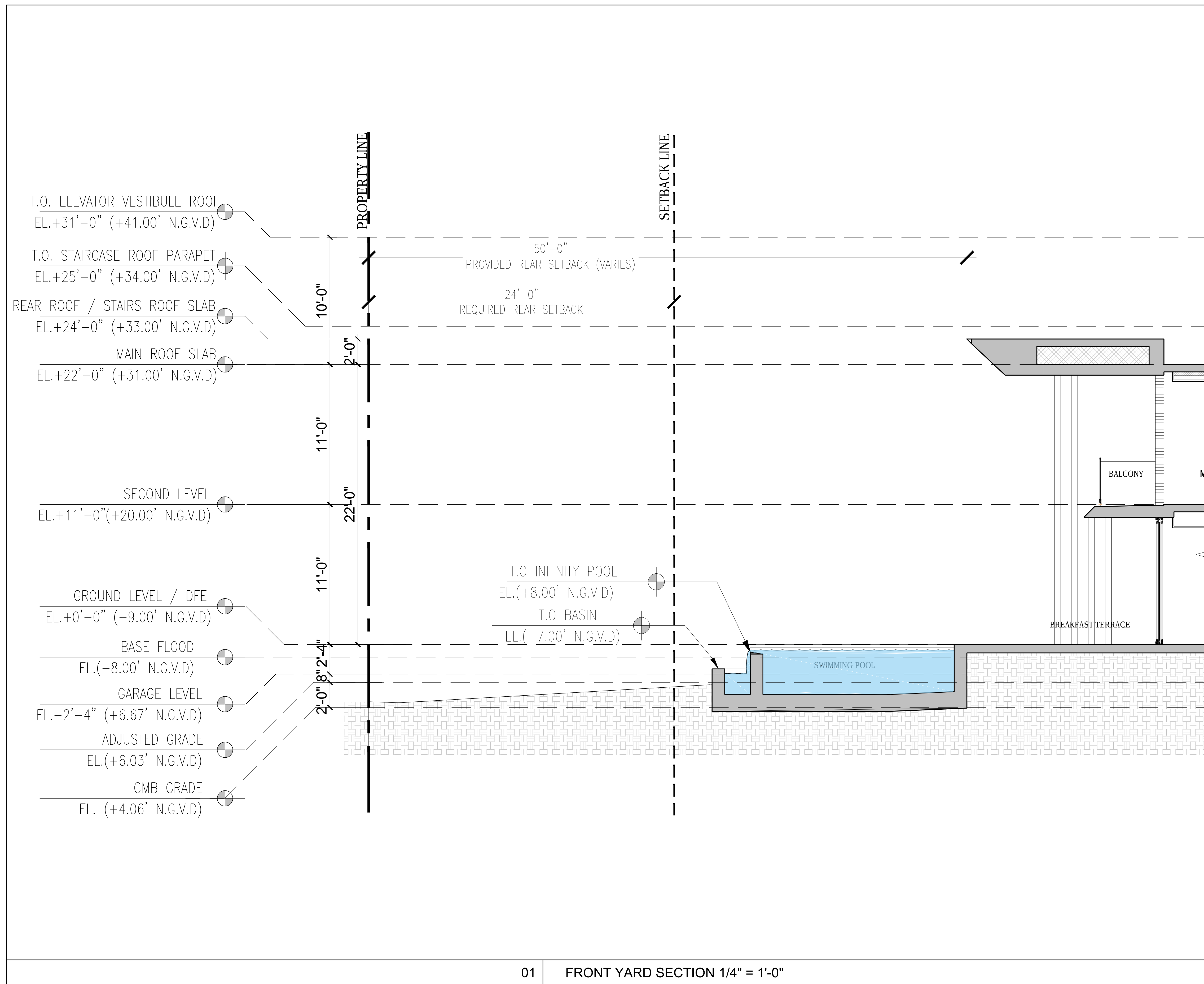
01 FRONT YARD SECTION 1/4" = 1'-0"



02 FRONT YARD DIAGRAM 1/4" = 1'-0"



03 KEYPLAN



ALTON ROAD RESIDENCE

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YARD SECTIONS
DATE: 04/06/2018
SCALE: NTS
A-7.4

