

TEMPLE BETH SHOLOM

Art Installation upon existing Porte Cochere column.

4144 Chase Avenue.
Miami Beach, Florida 33140-3431

Date: April 06, 2018
FIRST SUBMITTAL / FINAL SUBMITTAL.

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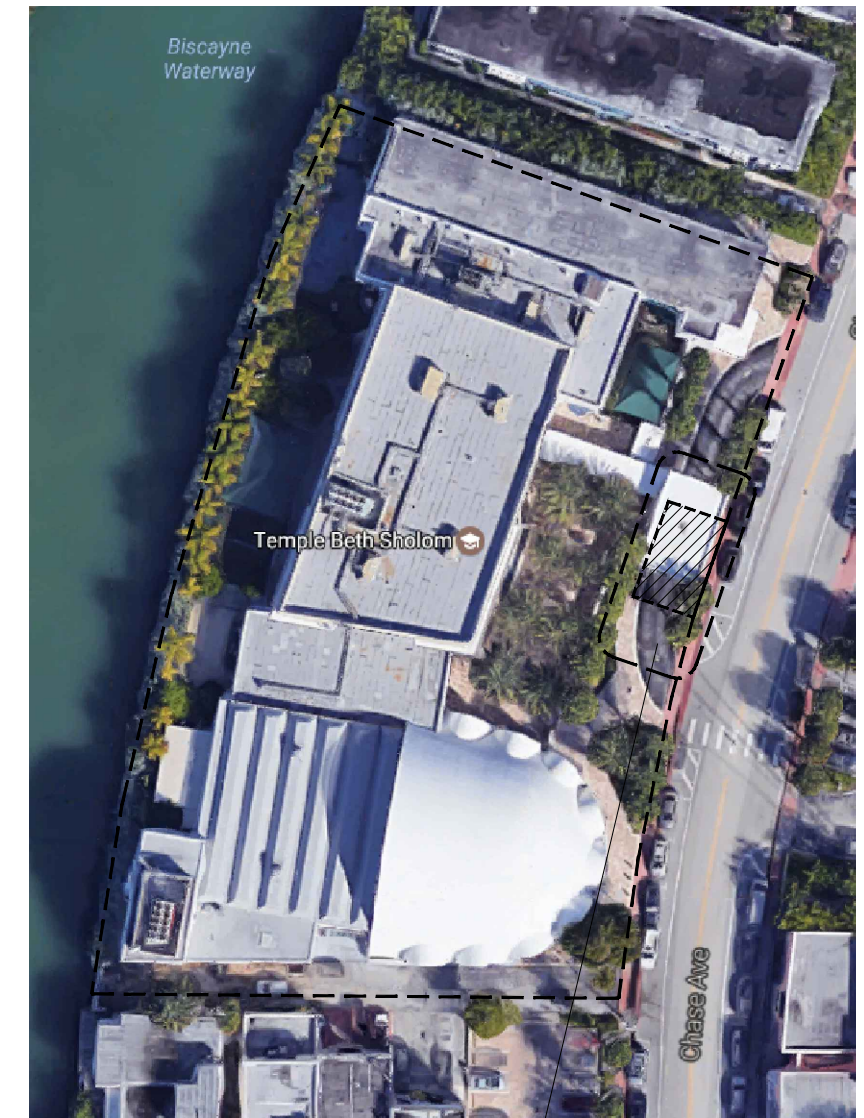
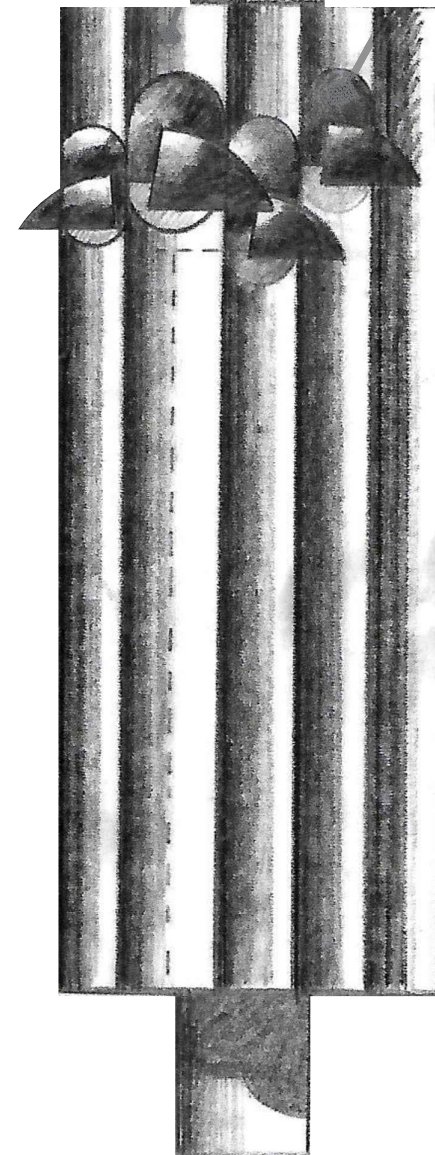
Surveyor: Schwebke-Shiskin & Associates, Inc.

Raymond F. Mielke P.S.M.
Director of Field Operations.
3240 Corporate Way.
Miramar, Florida 33025
Telephone: 954-435-1010 (Broward), Fax: 305-652-8284
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List of Drawings:

STRUCTURAL:

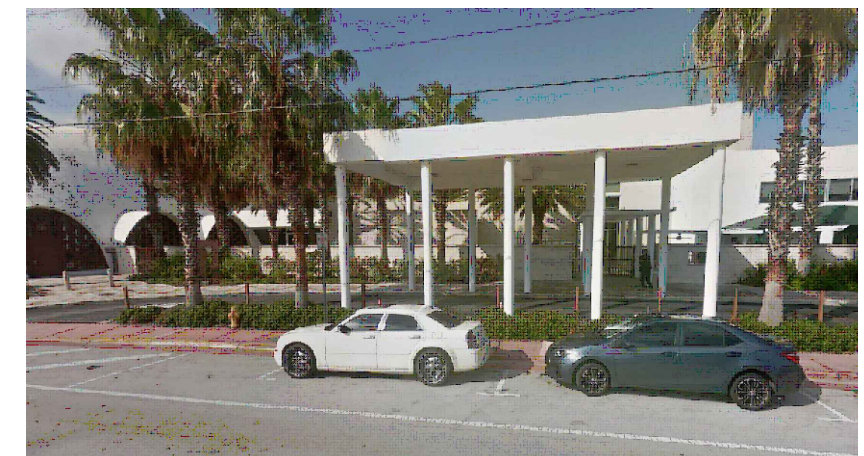
- S-0 Cover Sheet.
- S-1 Existing Ground Floor Plan and Zoning Plan.
- S-2 Sculpture Partial Plan and Section.
- S-3 Front and Side Elevations.
- S-4 General Notes and Detail.
- S-5 Survey Plan.

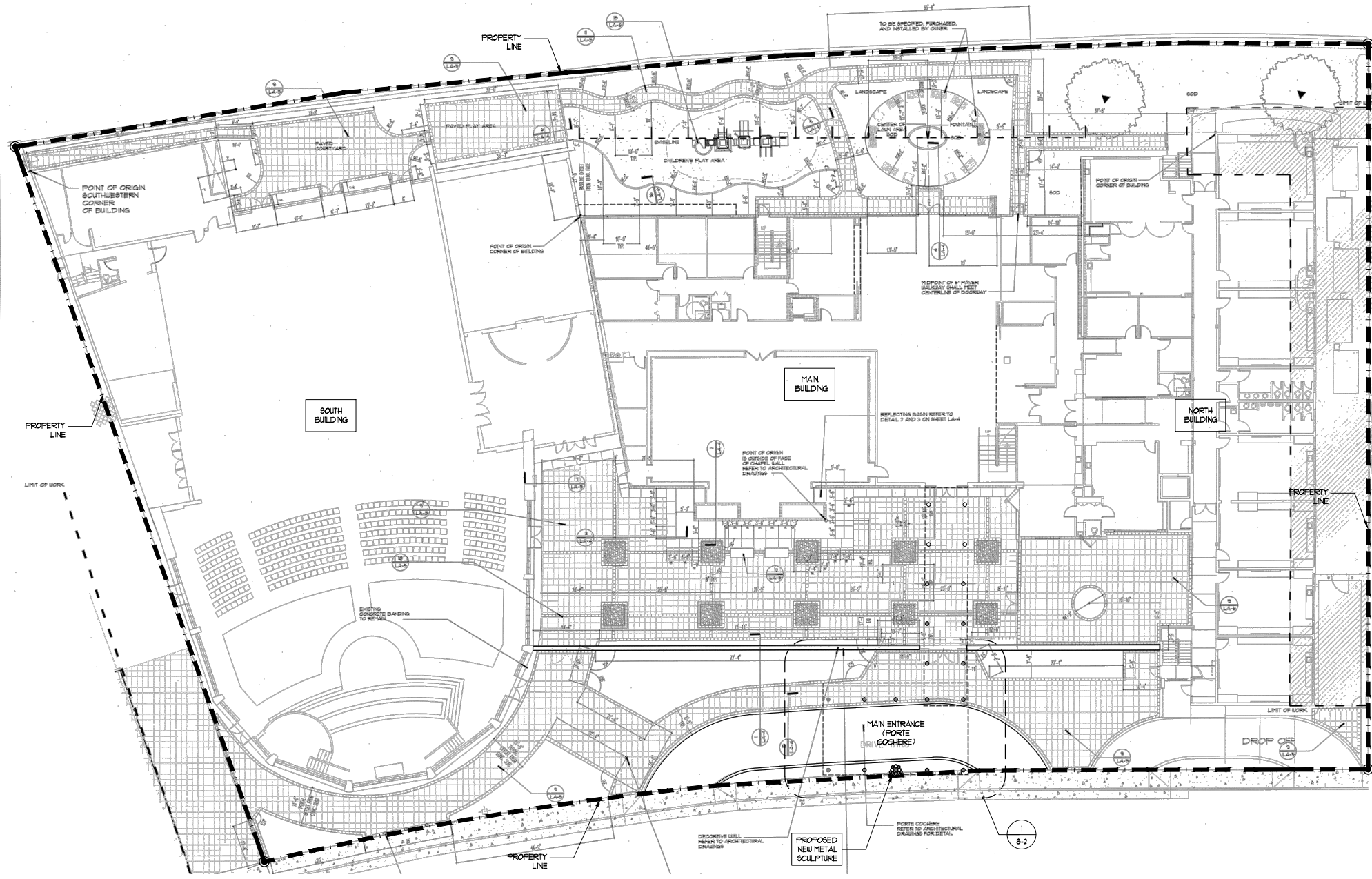


SITE PLAN
SCALE: N.T.S.



SCOPE OF WORK





EXISTING GROUND FLOOR PLAN

SCALE: 1/32" = 1'-0"

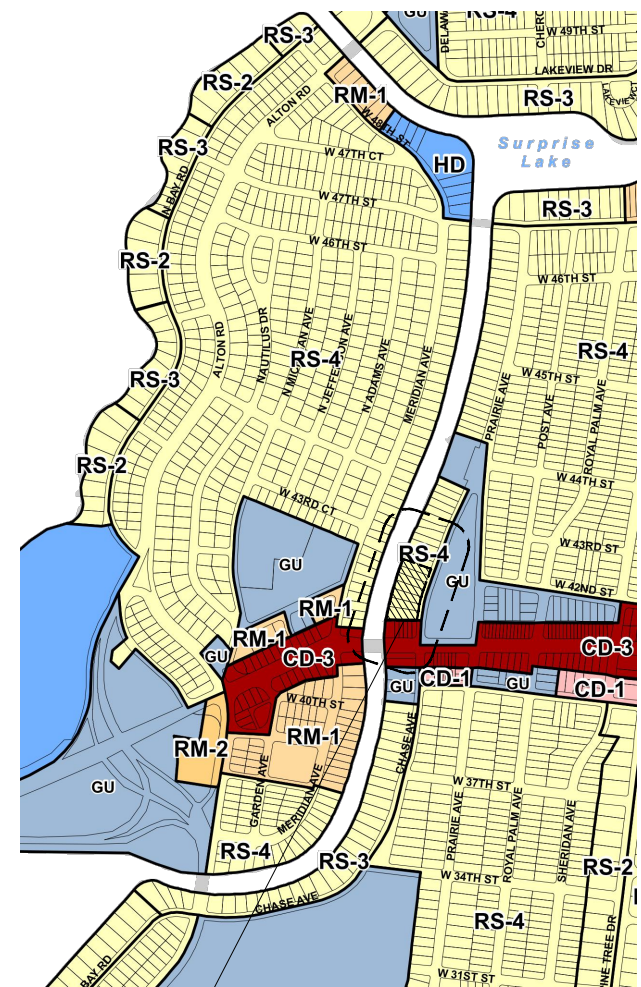


SCOPE OF WORK

Art Installation upon existing Porte Cochere column.

FOR REFERENCE ONLY

NOTE: THIS INFORMATION WAS TAKEN FROM AS-BUILT DRAWING.



ZONING DISTRICT:
RS-4 SINGLE FAMILY RESIDENTIAL.

ZONING MAP

SCALE: N.T.S.



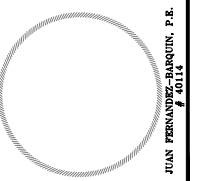
SCOPE OF WORK:

Art Installation upon existing Porte Cochere column.

PROJECT AT:

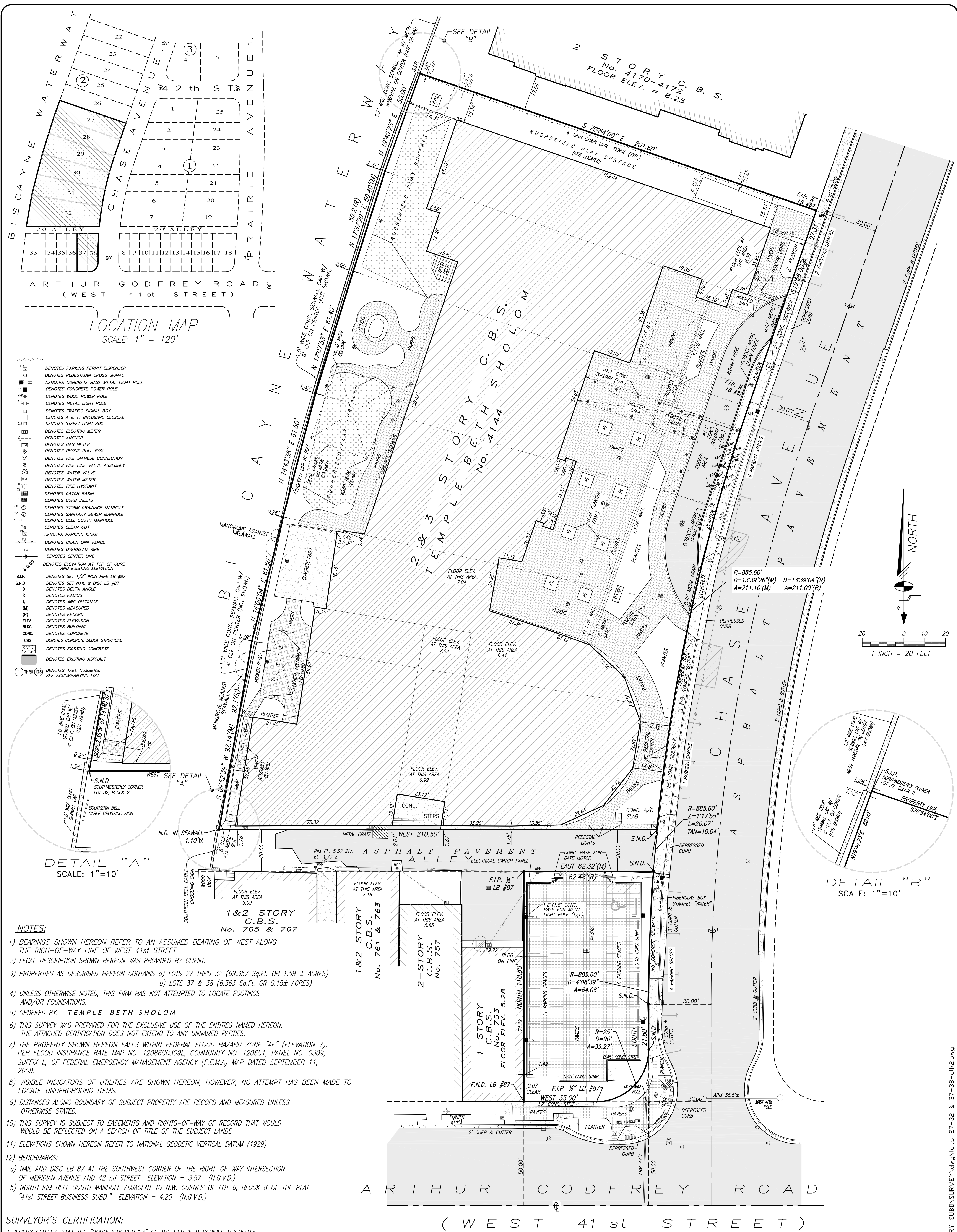
TEMPLE BETH SHOLOM
4144 CHASE AVENUE
MIAMI BEACH, FLORIDA. 33139.

JUAN FERNANDEZ-BARQUIN, P.E.
STRUCTURAL ENGINEER P.E. # 40114
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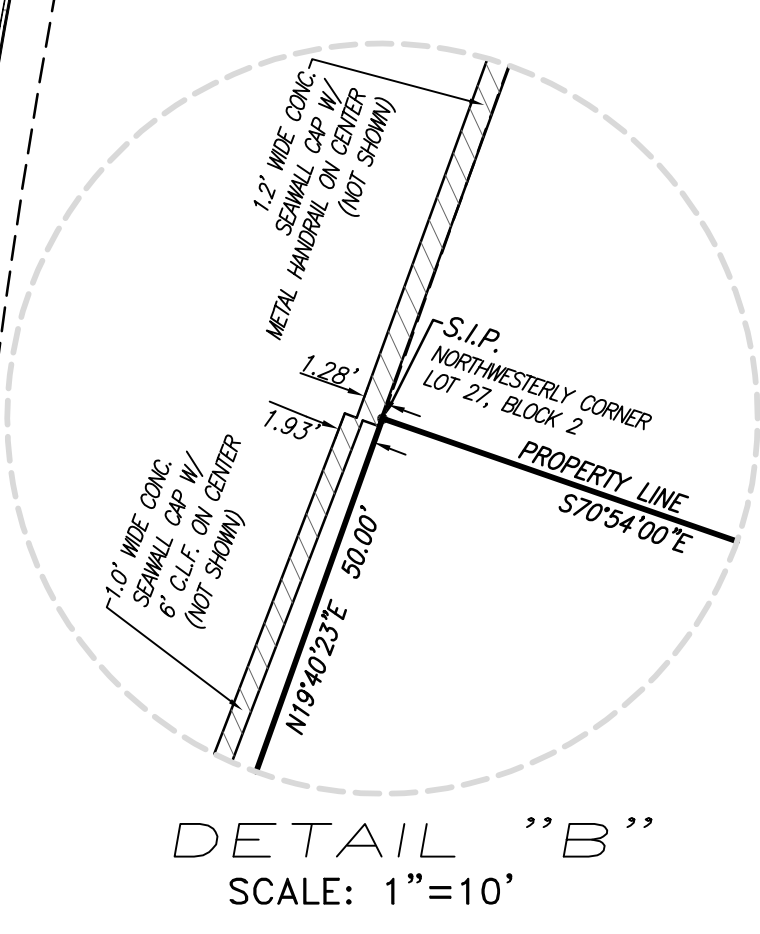
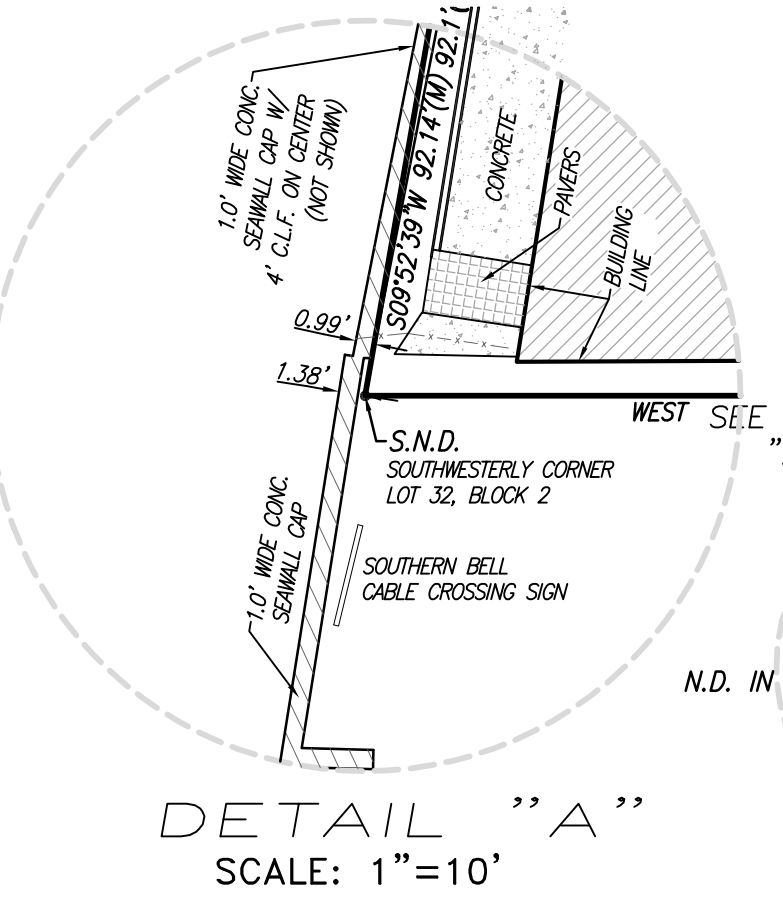
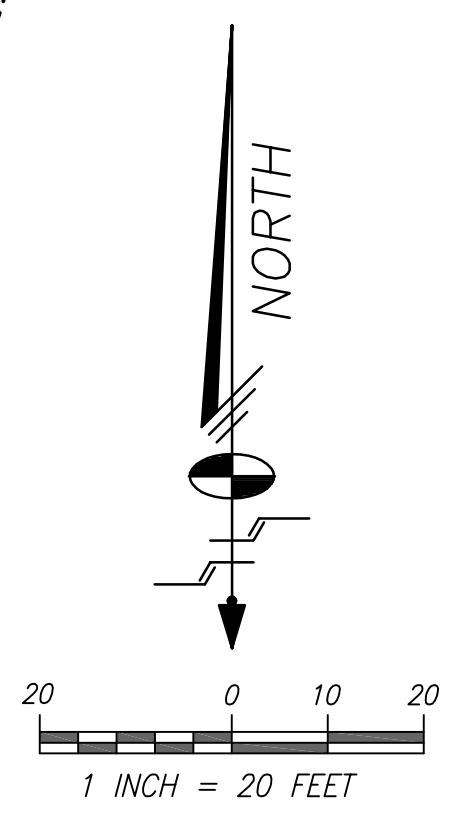
SCALE: AS SHOWN

DATE: 04-6-2018



LOCATION MAP
SCALE: 1" = 120'

- LEGEND:
- ☐ DENOTES PARKING PERMIT DISPENSER
 - ☐ DENOTES PEDESTRIAN CROSS SIGNAL
 - ☐ DENOTES CONCRETE BASE METAL LIGHT POLE
 - ☐ DENOTES CONCRETE POWER POLE
 - ☐ DENOTES WOOD POWER POLE
 - ☐ DENOTES METAL LIGHT POLE
 - ☐ DENOTES TRAFFIC SIGNAL BOX
 - ☐ DENOTES 4" & 11" BRIDGE AND CLOSURE
 - ☐ DENOTES STREET LIGHT BOX
 - ☐ DENOTES ELECTRIC METER
 - ☐ DENOTES ANCHOR
 - ☐ DENOTES GAS METER
 - ☐ DENOTES PHONE PULL BOX
 - ☐ DENOTES FIRE SIAMISE CONNECTION
 - ☐ DENOTES FIRE LINE VALVE ASSEMBLY
 - ☐ DENOTES WATER VALVE
 - ☐ DENOTES WATER METER
 - ☐ DENOTES FIRE HYDRANT
 - ☐ DENOTES CATCH BASIN
 - ☐ DENOTES CURB INLETS
 - ☐ DENOTES STORM DRAINAGE MANHOLE
 - ☐ DENOTES SANITARY SEWER MANHOLE
 - ☐ DENOTES BELL SOUTH MANHOLE
 - ☐ DENOTES CLEAN OUT
 - ☐ DENOTES PARKING KIOSK
 - ☐ DENOTES CHAIN LINK FENCE
 - ☐ DENOTES OVERHEAD WIRE
 - ☐ DENOTES CENTER LINE
 - ☐ DENOTES ELEVATION AT TOP OF CURB AND EXISTING ELEVATION
 - S.L.P. DENOTES SET 1/2" IRON PIPE LB #87
 - S.M.D. DENOTES SET NAL & DISC LB #87
 - ☐ DENOTES DELTA ANGLE
 - ☐ DENOTES RADIUS
 - ☐ DENOTES ARC DISTANCE
 - ☐ DENOTES MEASURED
 - ☐ DENOTES RECORDS
 - ☐ DENOTES ELEVATION
 - ☐ DENOTES BLDG
 - ☐ DENOTES CONCRETE
 - ☐ DENOTES CONCRETE BLOCK STRUCTURE
 - ☐ DENOTES EXISTING CONCRETE
 - ☐ DENOTES EXISTING ASPHALT
 - ① THRU ⑫ DENOTES TREE NUMBERS; SEE ACCOMPANYING LIST



- NOTES:
- BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF WEST ALONG THE RIGHT-OF-WAY LINE OF WEST 41st STREET
 - LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY CLIENT.
 - PROPERTIES AS DESCRIBED HEREON CONTAINS a) LOTS 27 THRU 32 (69,357 Sq.Ft. OR 1.59 ± ACRES) b) LOTS 37 & 38 (6,563 Sq.Ft. OR 0.15± ACRES)
 - UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS AND/OR FOUNDATIONS.
 - ORDERED BY: TEMPLE BETH SHOLOM
 - THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.
 - THE PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "AE" (ELEVATION 7), PER FLOOD INSURANCE RATE MAP NO. 12086C0309L, COMMUNITY NO. 120651, PANEL NO. 0309, SUFFIX L, OF FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) MAP DATED SEPTEMBER 11, 2009.
 - VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND ITEMS.
 - DISTANCES ALONG BOUNDARY OF SUBJECT PROPERTY ARE RECORD AND MEASURED UNLESS OTHERWISE STATED.
 - THIS SURVEY IS SUBJECT TO EASEMENTS AND RIGHTS-OF-WAY OF RECORD THAT WOULD BE REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT LANDS
 - ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM (1929)
 - BENCHMARKS:
 - NAIL AND DISC LB 87 AT THE SOUTHWEST CORNER OF THE RIGHT-OF-WAY INTERSECTION OF MERIDIAN AVENUE AND 42nd STREET ELEVATION = 3.57 (N.G.V.D.)
 - NORTH RIM BELL SOUTH MANHOLE ADJACENT TO N.W. CORNER OF LOT 6, BLOCK 8 OF THE PLAT "41st STREET BUSINESS SUBD." ELEVATION = 4.20 (N.G.V.D.)

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE "BOUNDARY SURVEY" OF THE HEREIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION ON (09/07/2017). THIS SURVEY COMPLIES WITH THE STANDARD OF PRACTICE REQUIREMENTS AS SET FORTH IN RULES 5J-17.051 AND 5J-17.052 AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

Schwebke-Shiskin & Associates, Inc.

By: *Mark Steven Johnson*
MARK STEVEN JOHNSON, PRINCIPAL
PROFESSIONAL LAND SURVEYOR No. 4775
STATE OF FLORIDA.

NOTE: Authentic copies of this drawing will bear the raised seal of the attesting Professional Engineer or Professional Land Surveyor.

Date	REVISIONS	By
08/22/20	ADD ADJL ELEV. ORDER# 187047	REE
08/28/20	ORD No. 188013 UP-DATE SURVEY	ORL
08/22/20	ORD No. 189745 LOCATE MANGROVES	ORL
09/14/17	ORD No. 207508 BOUNDARY SURVEY UP-DATE	YLF
09/25/17	ORD No. 207508 BOUNDARY SURVEY UP-DATE	L.E.G.
04/24/18	ORD No. 208431 ADD ELV'S	CSJ

BOUNDARY SURVEY

LOTS 27 THRU 32, AND LOTS 37 AND 38, BLOCK 2, "NURSERY SUBDIVISION OF MIAMI BEACH BAY SHORE CO." ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23 AT PAGE 66, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA. SECTION 22-53-42

Schwebke-Shiskin & Associates, Inc.
LAND PLANNERS ENGINEERS LAND SURVEYORS LB #87
3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: 305.652.7010 FAX: 305.652.8284

By: **ROBERT F. JACKSON** PRESIDENT
Registered Land Surveyor No. 2408 State of Florida
Registered Engineer No. State of Florida

Drawn By: D.R.L. Date: 04-09-02 Checked By: Date:
Order No. 185976 FB. Sketches & 2152 Pg.17 Scale: 1" = 20'
File No. **AJ-4031** Sheet No. 1 of 1 Sheets

K:\255342\NURSERY SUBDIVISION.dwg\lots 27-32 & 37-38-bk2.dwg