



5775 COLLINS AVENUE

SUBMITTAL

MARCH 23, 2018

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5775 COLLINS AVE
SITE DATA & DEVELOPMENT PROGRAM

I. GENERAL LOT INFORMATION		
ZONING CLASSIFICATION:	RM-3	
FOLIO NUMBER:	02-3211-016-0001	
PROPERTY ADDRESS:	5775 COLLINS AVENUE	
FEMA ZONE:	FLOOD ZONE AE	
	REQUIRED / ALLOWED	PROVIDED
LOT AREA:	7000 S.F. MIN	63,638 SF / 1.46 ACRES
LOT WIDTH:	50 FT MIN	225'-0"
LOT DEPTH:		282'-10" (AT MID POINT)
FLOOR AREA RATIO:	3	190,311 SF
MAXIMUM ALLOWABLE AREA:	190,914 SF MAX.	89 DU
DENSITY:	150 DU/ACRE MAX. = 219 DU	
II. SETBACKS & YARD REQUIREMENTS		
	REQUIRED / ALLOWED	PROVIDED
SUBTERRANEAN SETBACK:		
FRONT	20'-0"	20'-1"
SIDE	11'-3"	18'-1"
5 FEET, OR 5% OF LOT WIDTH, WHICHEVER IS GREATER		
REAR	50'-0"	70'-10 1/2"
PEDESTAL SETBACK:		
FRONT	20'-0"	39'-0" TO CANOPY 66'-9 1/2" TO BLDG.
SIDE	18'-0"	38'-10" (SOUTH) 33'-8" (NORTH)
SUM OF THE SIDE YARDS SHALL EQUAL 16% OF LOT WIDTH - 7.5 FEET OR 8% OF LOT WIDTH WHICHEVER IS GREATER		
REAR	56'-6"	112'-10 1/2"
20% OF LOT DEPTH, 50 FEET FROM THE BULKHEAD LINE WHICHEVER IS GREATER		
TOWER SETBACK:		
FRONT	50'-0"	90'-9 1/2"
20 FEET +1 FT FOR EVERY FT INCREASE IN HEIGHT ABOVE 50 FT, TO A MAX. OF 50 FT, THEN SHALL REMAIN CONSTANT		
SIDE	33'-0"	43'-5" (SOUTH) 38'-6 1/2" (NORTH)
THE REQUIRED PEDESTAL SETBACK PLUS 0.10 OF THE HEIGHT OF THE TOWER PORTION OF THE BUILDING. THE TOTAL SETBACK SHALL NOT EXCEED 50'-0".		
REAR	75'-0"	112'-10 1/2"
20% OF LOT DEPTH, 75 FEET MIN. FROM THE BULKHEAD LINE WHICHEVER IS GREATER		

III. OCEANFRONT OVERLAY REQUIREMENTS

OCEANFRONT OVERLAY

ADDITIONAL REGULATIONS FOR OCEANFRONT LOTS. THESE REGULATIONS APPLY TO BUILDINGS AND STRUCTURES LOCATED WEST OF THE BULKHEAD LINE.

LOT COVERAGE:

50 % OF THE REQUIRED REAR YARD SETBACK

REAR YARD SETBACK:

50'-0" FOR GRADE AND SUBTERRANEAN LEVELS MEASURED FROM THE BULKHEAD LINE

56'-6" PROVIDED

SIDE SETBACK:

15'-0"

MAXIMUM HEIGHT:

30'-0" ABOVE GRADE

IV. PARKING REQUIREMENTS

	REQUIRED	PROVIDED
RESIDENTIAL:		
1.5 PARKING SPACES PER 550-999 SF UNITS		
1.75 PARKING SPACES PER 1000-1200 SF UNITS		
2 PARKING SPACES PER UNITS ABOVE 1200 SF	2 x 89 DU = 178 PS	
GUEST:		
10% OF TOTAL PARKING SPACES	18 PS	
ACCESSIBLE:		
151-200 PS	6 PS	6 PS
TOTAL PARKING REQUIRED:	196 PS	196 PS
BICYCLE PARKING:		
4 PER PROJECT OR 1 PER 10 UNITS	9	32

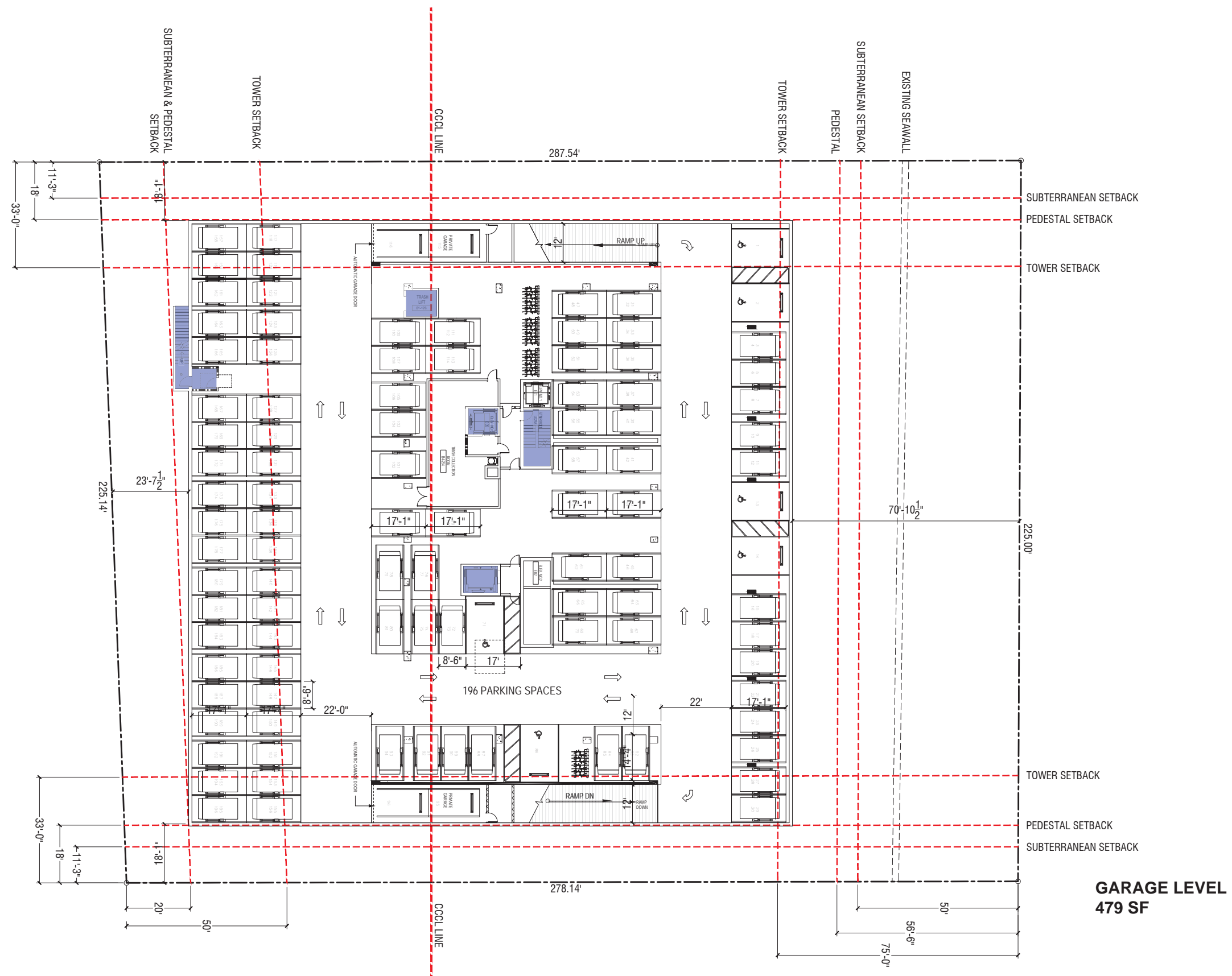
V. LOADING ANALYSIS

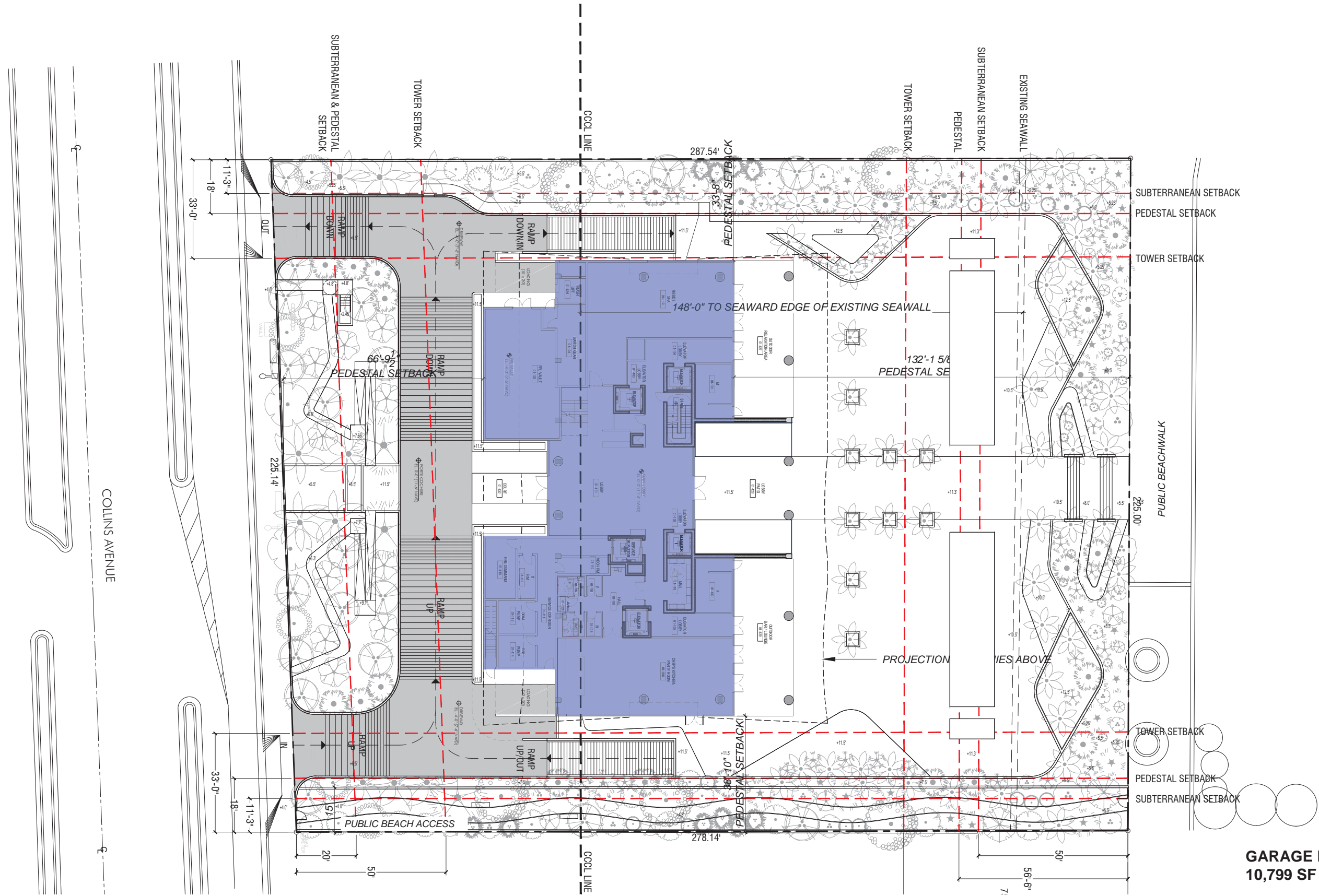
	REQUIRED	PROVIDED
RESIDENTIAL OVER 50 UNITS BUT LESS THAN 100 UNITS:	2 LOADING BERTHS	2 (10' x 20') BERTHS

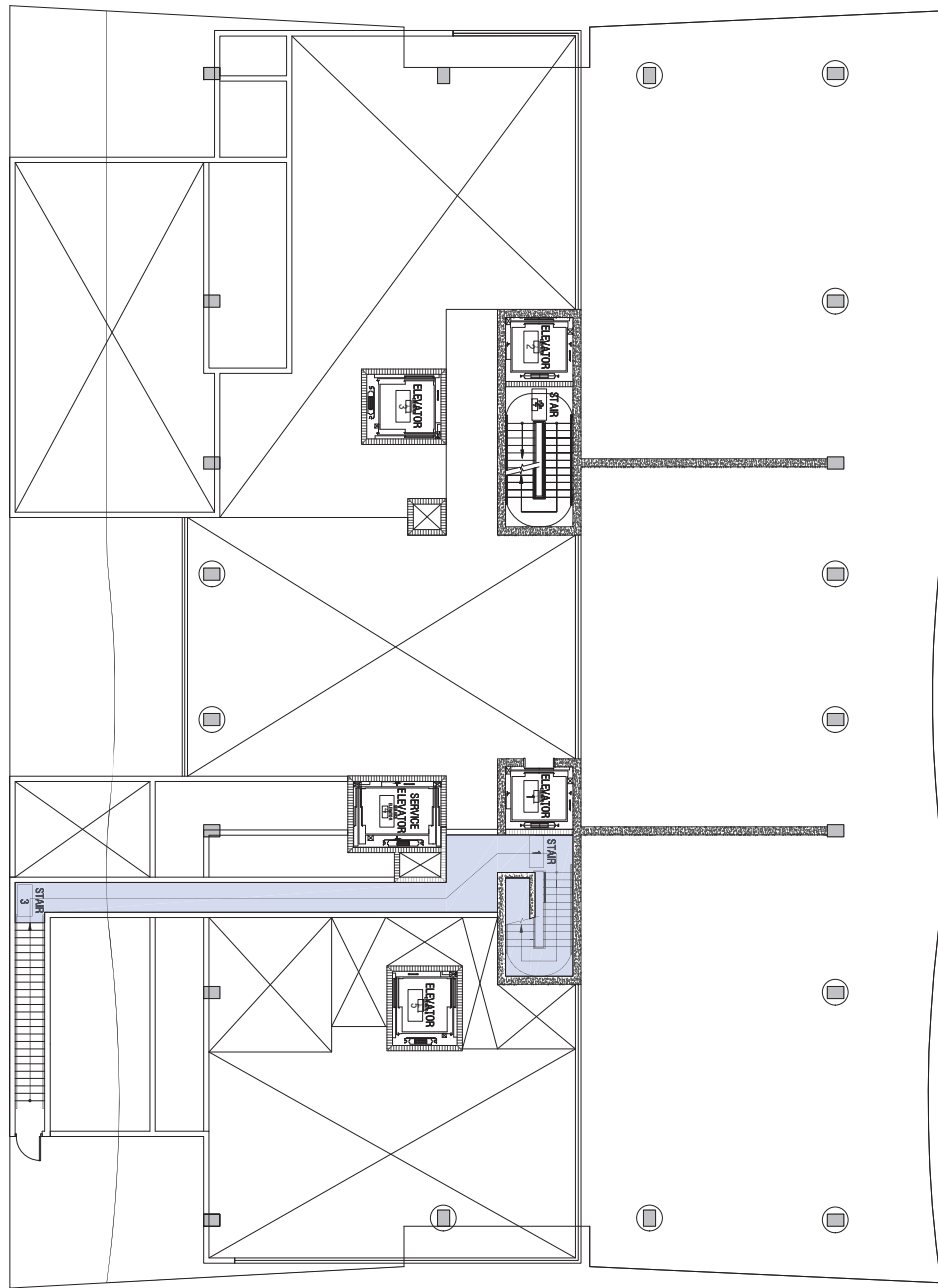
VI. F.A.R SCHEDULE

LEVEL	AREA	# OF LEVELS	TOTAL
GARAGE LVL -1	479 SF	1	479 SF
LEVEL - GROUND	10,799 SF	1	10,799 SF
LEVEL - 3	11,353 SF	1	11,315 SF
STAIR MEZZANINE	405 SF	1	405 SF
TYPICAL LEVELS 4-18	11,315 SF	14	158,410 SF
LEVEL 19 - PENTHOUSE LEVEL	8,560 SF	1	8,560 SF
LEVEL 20 - MECHANICAL LVL 1	234 SF	1	234 SF
LEVEL 21 - MECHANICAL LVL 2	145 SF	1	145 SF
ROOF LVL	0 SF	1	0 SF
GRAND TOTAL	190,914 SF (ALLOWED)		190,347 SF

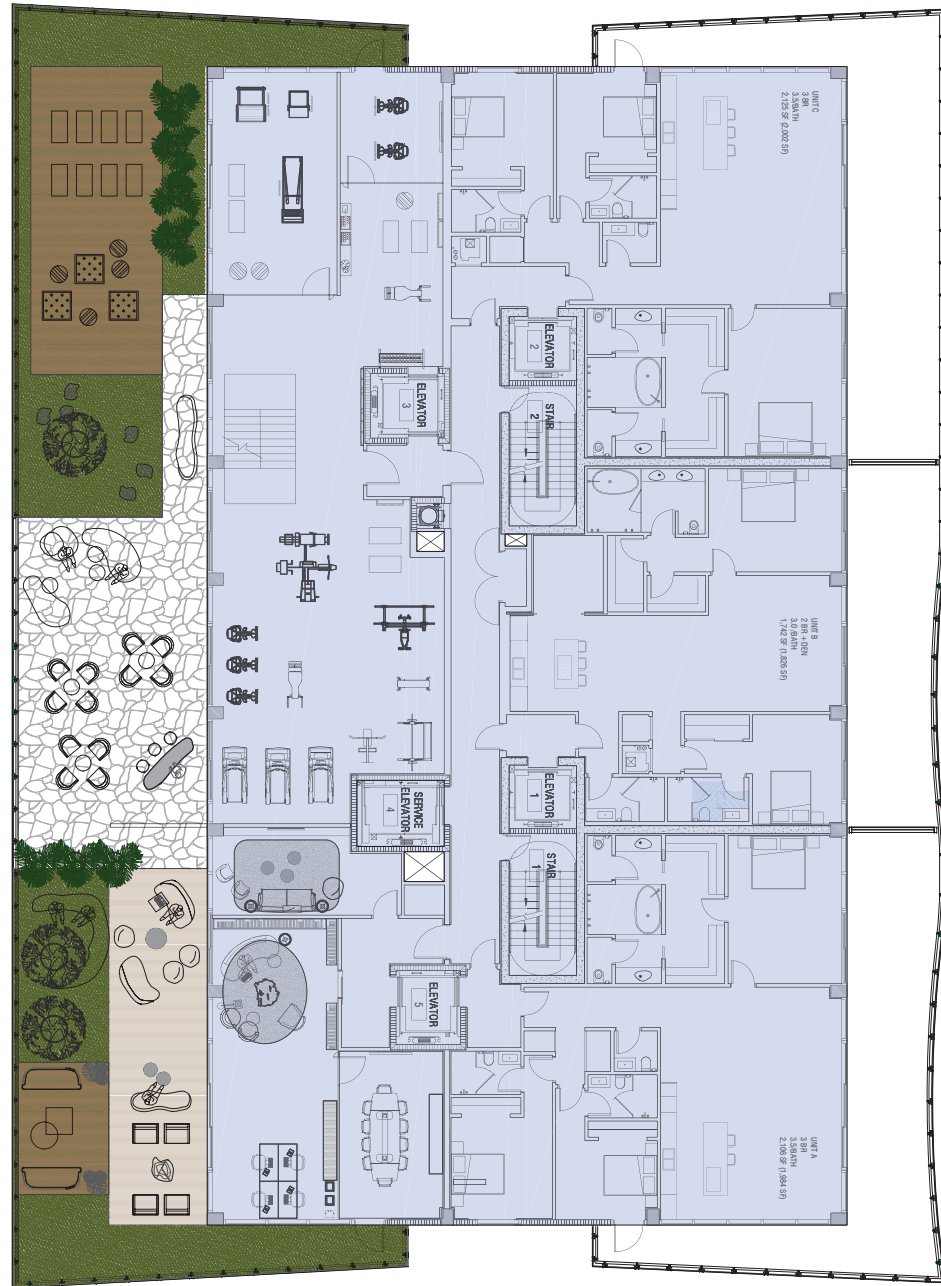
EXISTING MARLBOROUGH HOUSE BUILDING (FAR)				
LEVEL	AREA	# OF LEVELS	TOTAL	
GROUND	10,044 SF	1	10,044 SF	
TYPICAL LOWER LEVELS - 2-13	10,044 SF	12	120,528 SF	
GRAND TOTAL			130,572 SF	
UNIT MATRIX				
UNIT	BED / BATH	SQ. FT.	QTY.	TOTAL S.F.
UNIT A	3 BED / 3.5 BATH	2106 SF	15	31,590 SF
UNIT B	2 BED / 3.0 BATH	1742 SF	15	26,130 SF
UNIT C	3 BED / 3.5 BATH	2125 SF	15	31,875 SF
UNIT D	2 BED / 2.5 BATH	1340 SF	14	18,760 SF
UNIT E	2 BED / 2.5 BATH	1274 SF	14	17,836 SF
UNIT F	2 BED / 2.5 BATH	1337 SF	14	18,718 SF
PH A	4 BED / 5.5 BATH	3,724 SF	1	3,724 SF
PH B	4 BED / 5.5 BATH	3,625 SF	1	3,625 SF
TOTAL	30 BED / 40 BATH		89	152,258 SF



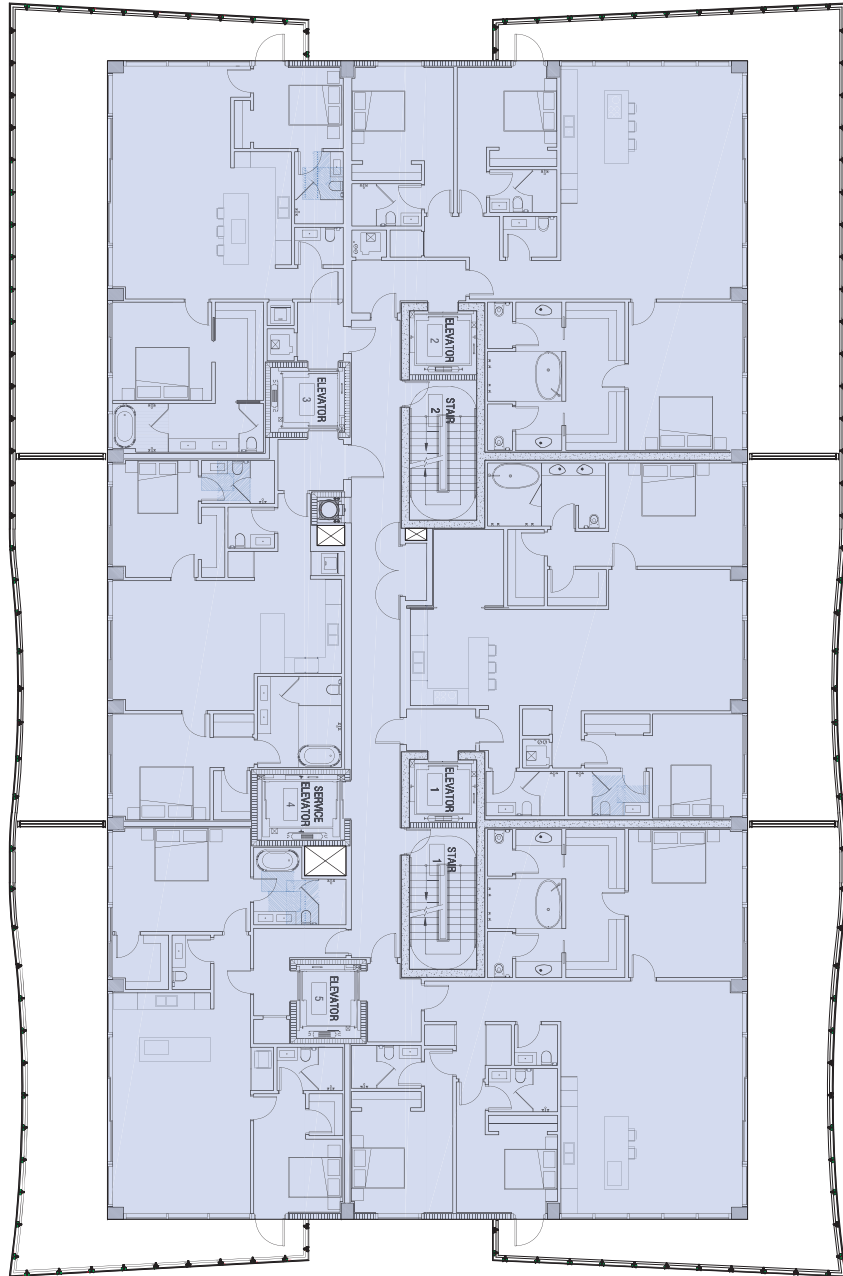




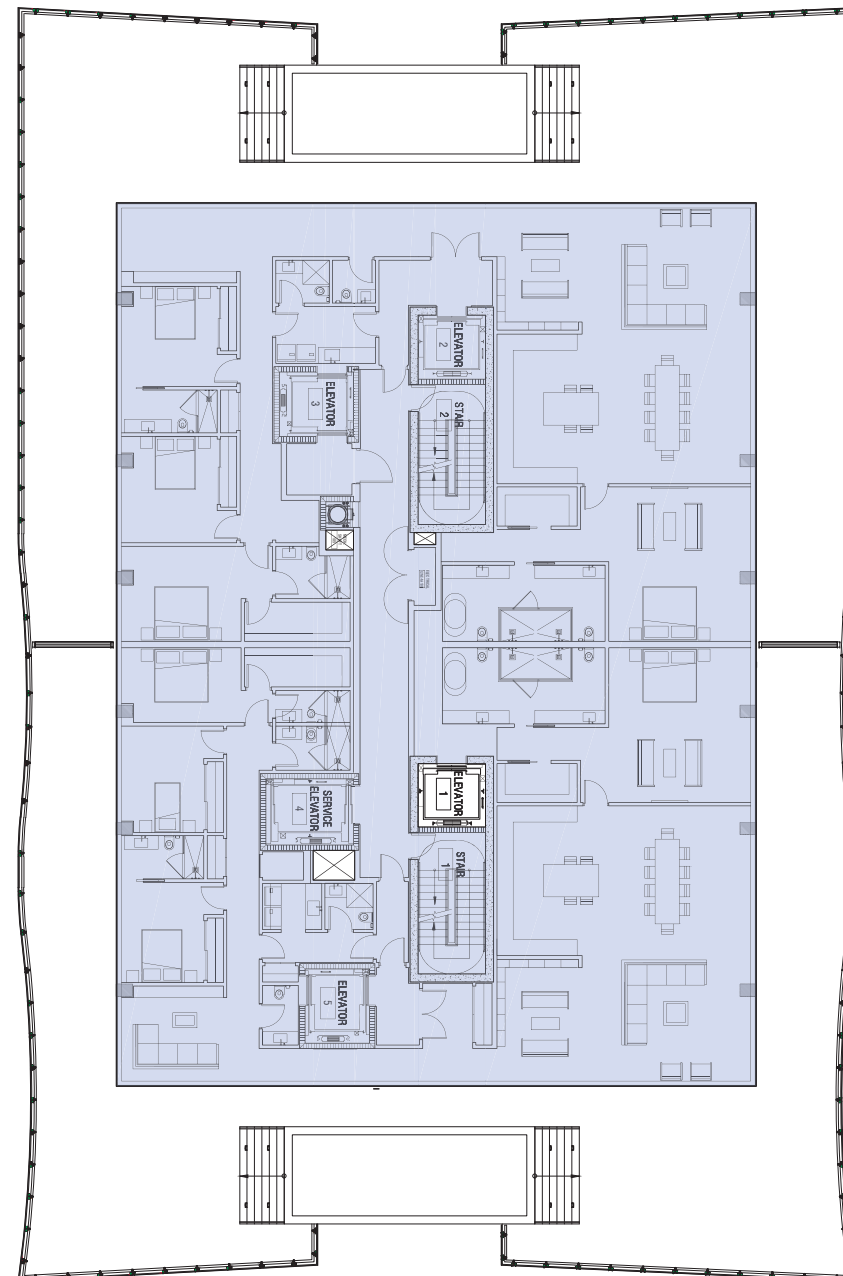
MEZZANINE LEVEL
405 SF



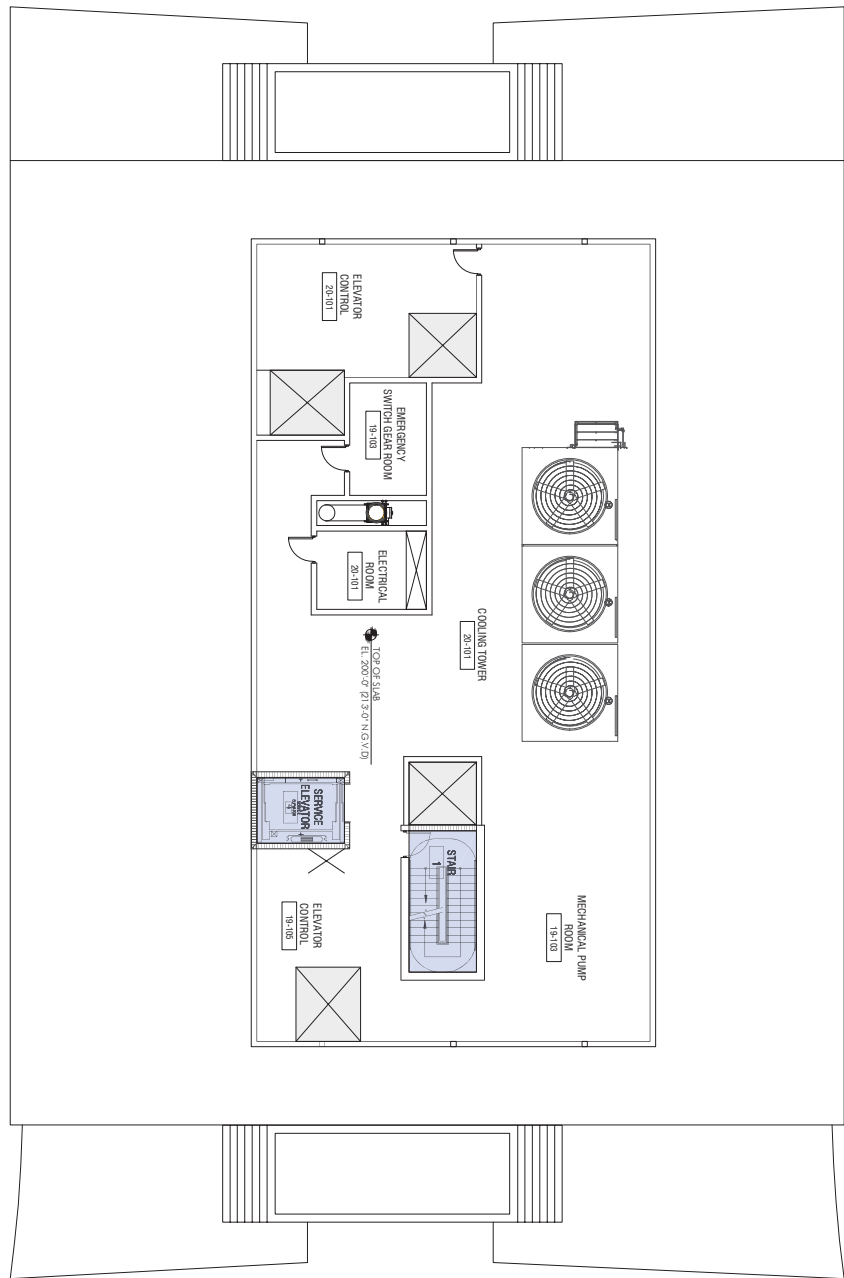
TOWER LEVEL- 3
11,315 SF



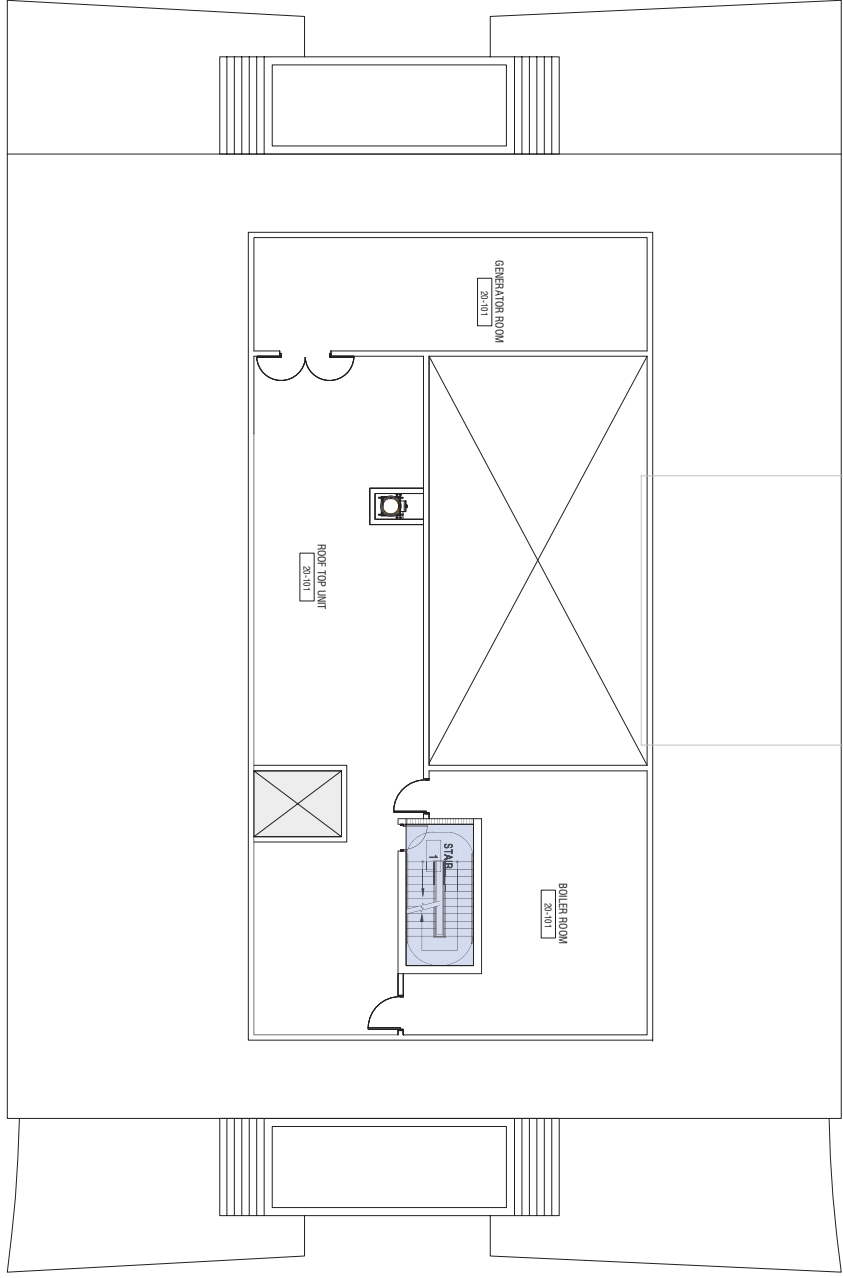
TYPICAL TOWER LEVELS 04-18
11,315 SF



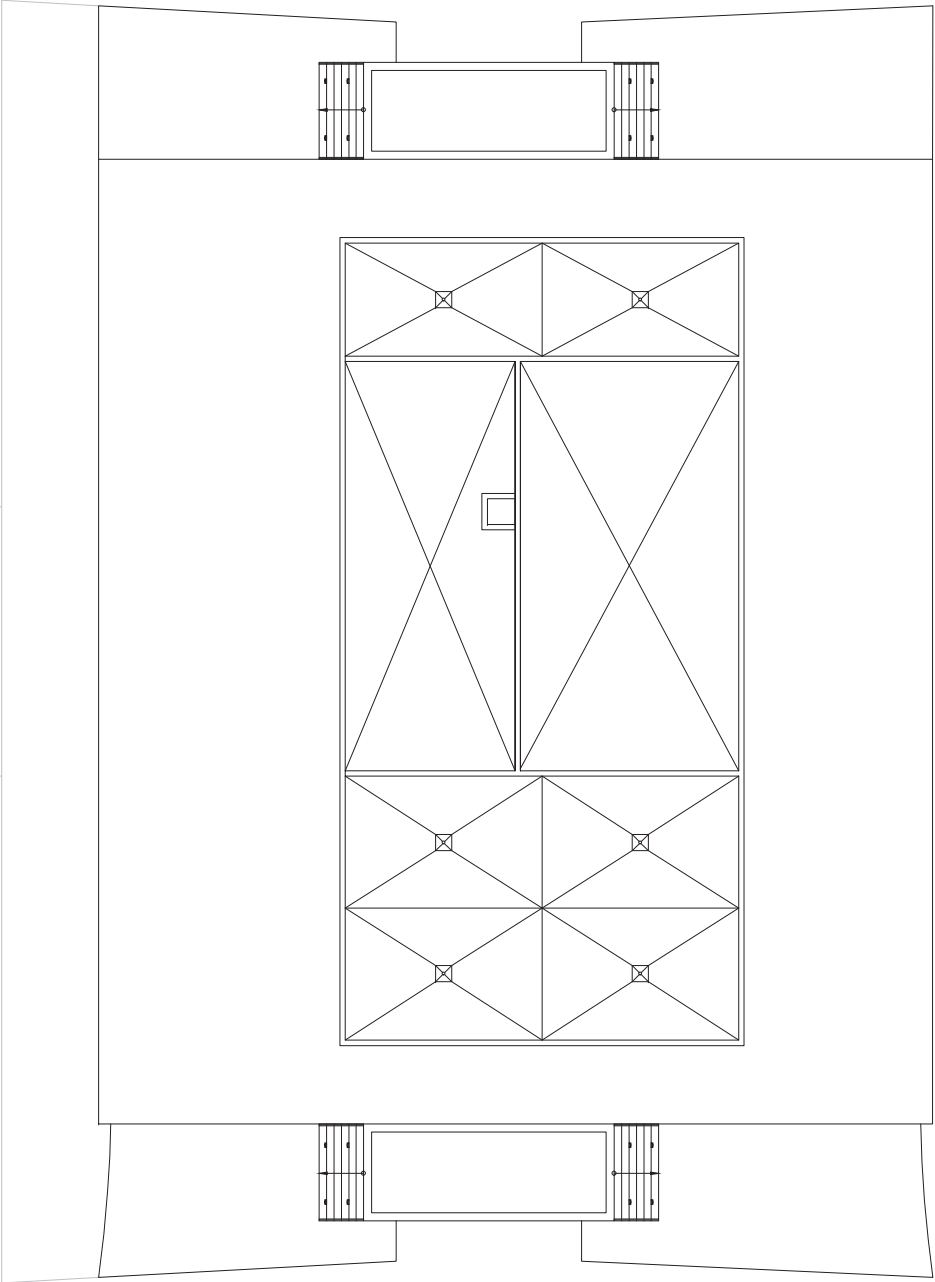
PENTHOUSE LEVEL
8,560 SF



MECHANICAL LEVEL - 1
234 SF



MECHANICAL LEVEL - 2
145 SF



ROOF LEVEL
0 SF



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AERIAL PLAN

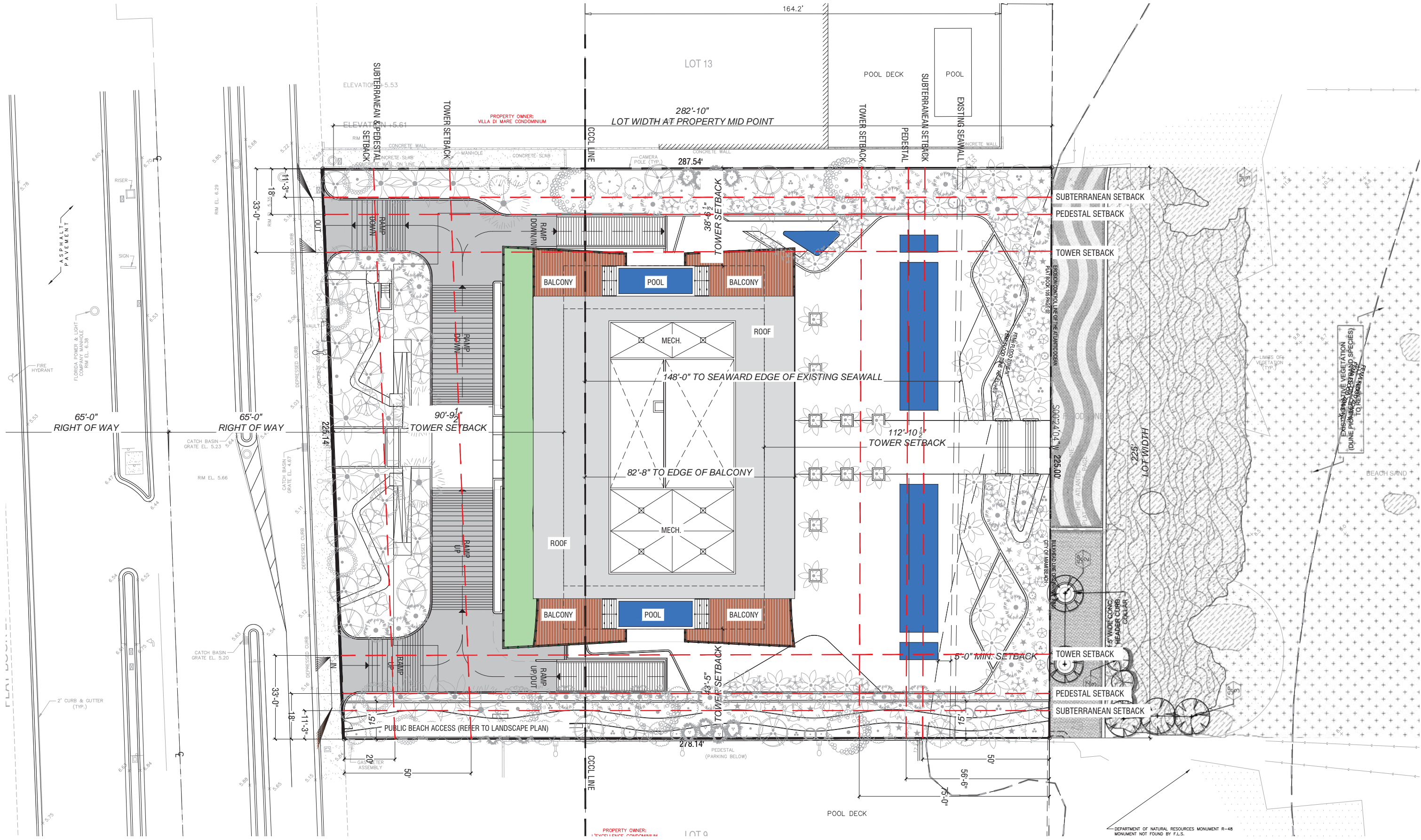
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MULTIPLAN

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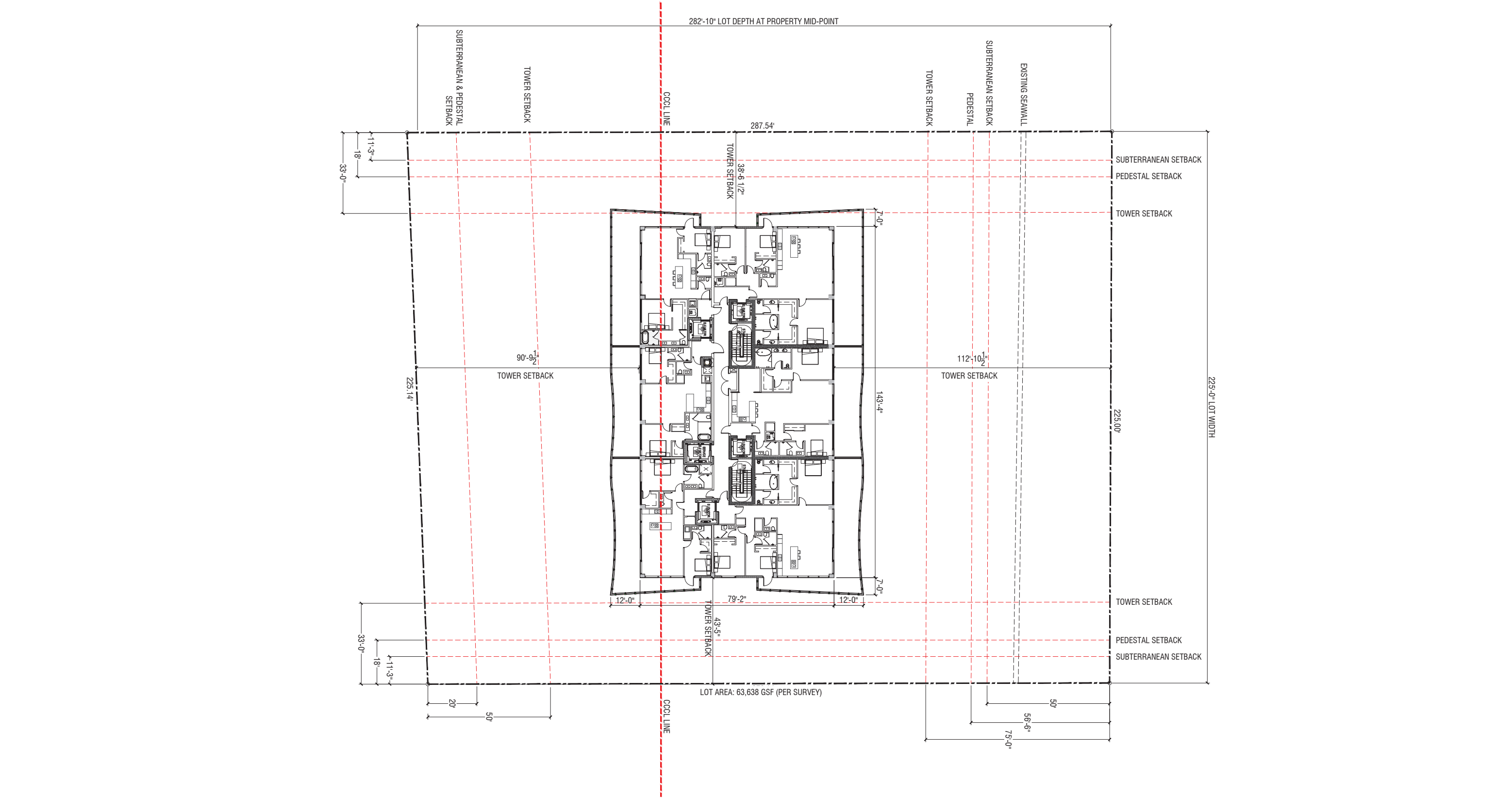
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5775 COLLINS AVE

SITE PLAN

2018.03.23 A-1-00



5775 COLLINS AVE

TYPICAL OVERALL PLAN_LEVELS_4-18

2018.03.23 A-1-06

MULTIPLAN

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